

Site lighting fixtures at 16'-0" maximum w/ sharp cut-offs. See detail "F" on sheet SDP-1.

All walls shall follow the City's design guidelines.

Signage on fast food restaurants shall not be back lit and shall not include raceway signs or elements of generic franchise design.

Building mounted signs on the fast food restaurant shall be limited to 6% of the facade area. Signage shall be individual channelized letters, metal letters or neon letters at a maximum height of 3'-0".

No pole mounted signage shall be allowed. No building mounted signage shall face residential properties.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Lay-out (TCL) before C.O. is released.

Light levels shall be between 2 footcandles minimum and 16 footcandles maximum.

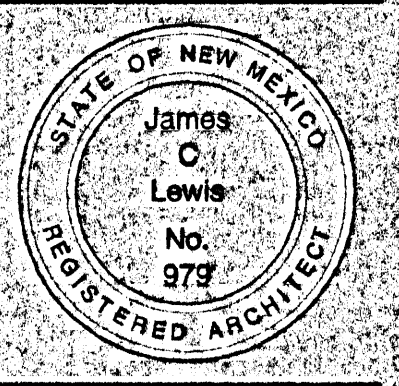
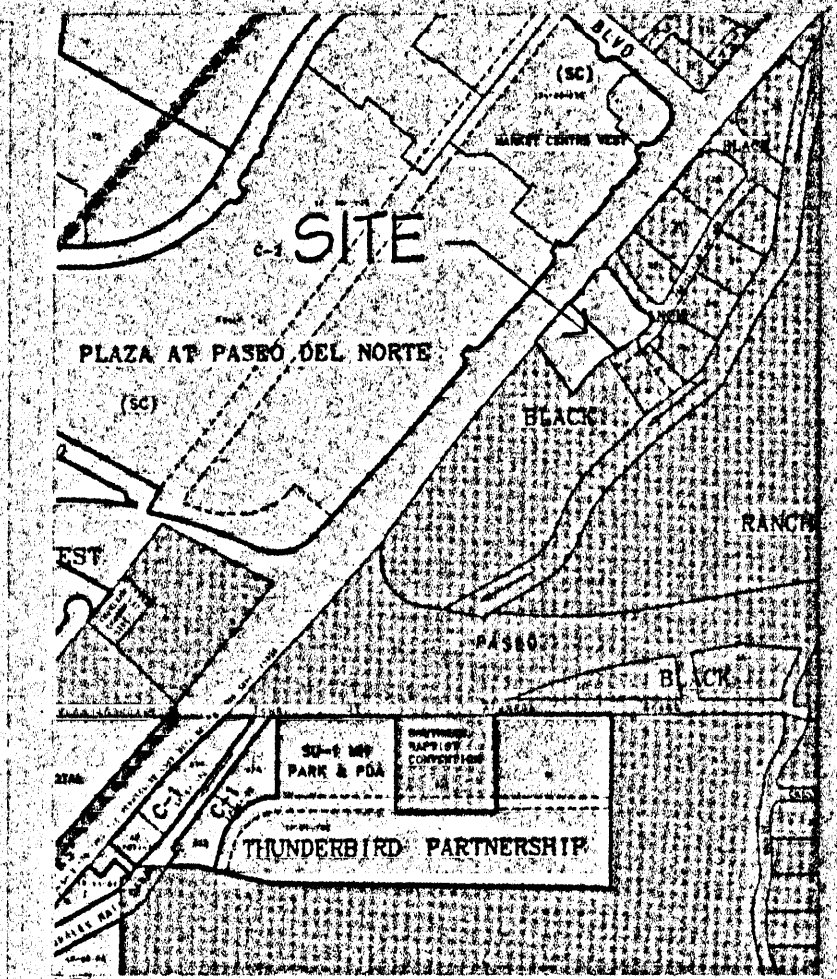
A blanket cross-access path and parking easement shall be created on lots 2-A-1 and 3E-1-A for the benefit of both lots.

A Multiple Use Project

Tract 2-A-1 & 3E-1-A

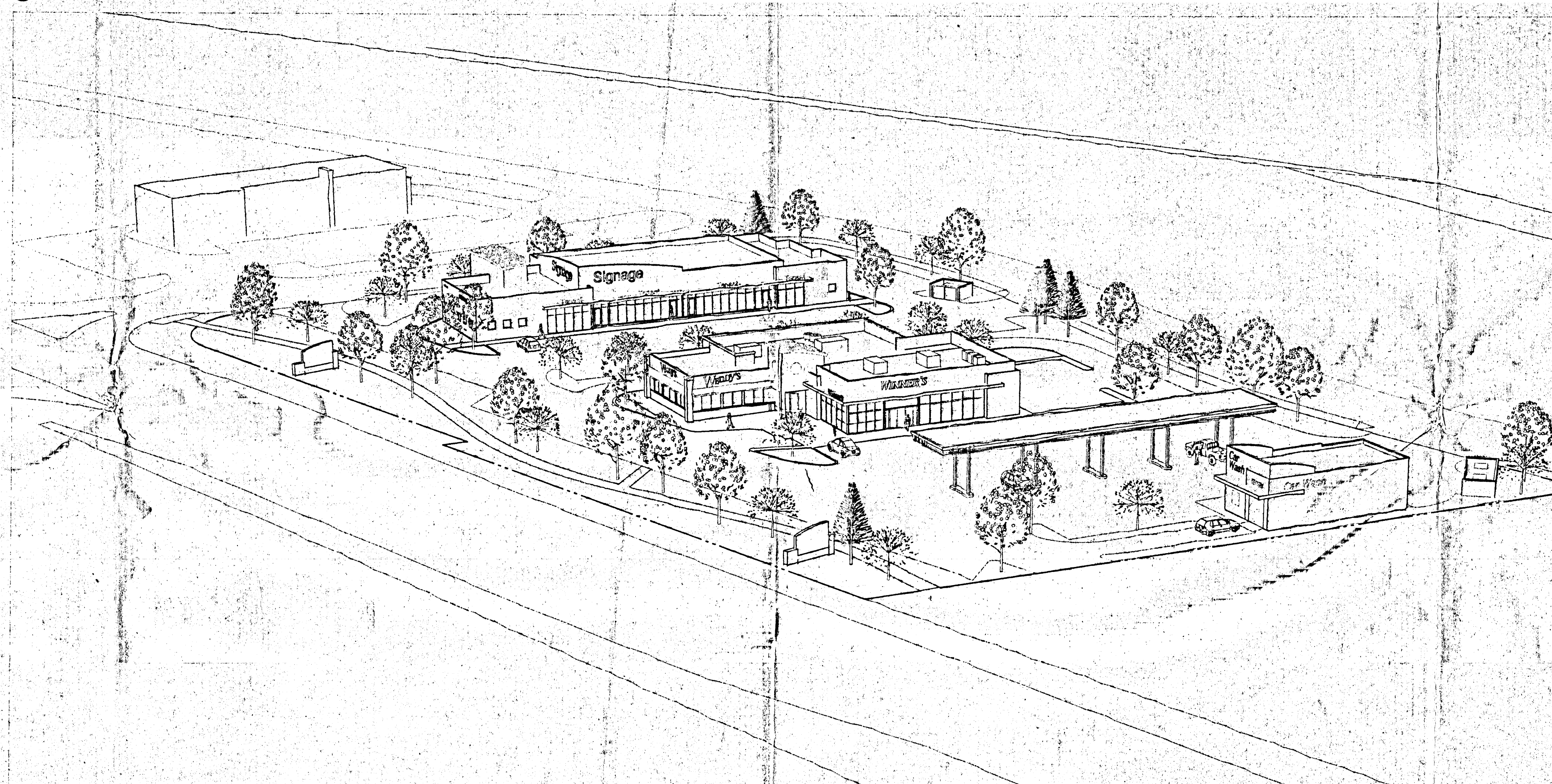
Wendy's
Gas & Convenience Store
Retail

Coors Boulevard NW & Valley View Place NW
Albuquerque, New Mexico 87114



Consultant

B Project Title



C Vicinity Map

ZONING
ADDRESS: Coors Blvd NW & Valley View Place NW
Albuquerque, NM 87114

LEGAL DESCRIPTION
TRACTS 2-A-1 & 3E-1-A
SUBDIVISION: Black Ranch

LAND USE: SU-1 for C-2 and SU-1 for C-1 permissive uses and hotel not to exceed two stories

ZONE ATLAS PAGE: C-13-Z

PARKING
TRACT 2-A-1
Required: 45 Spaces
Retail (1 space per 200 SF) 2,471/200 = 12 Spaces
Restaurants (1 space/4 seats) 109 seats/4 = 27 Spaces
Service (1 space per 200 SF) 1,184/200 = 6 Spaces
Provided:
Standard Spaces: 49 Spaces
HC Space: 4 Spaces
Total: 53 Spaces

TRACT 3E-1-A
Required: 37 Spaces
Office (1 space per 200 SF) 7,454/200 = 37 Spaces
Provided:
Standard Spaces: 41 Spaces
HC Space: 2 Spaces
Total: 43 Spaces

BICYCLE PARKING
TRACT 2-A-1
Required: 1 space/20 parking spaces, 52 parking/20 = 3 spaces

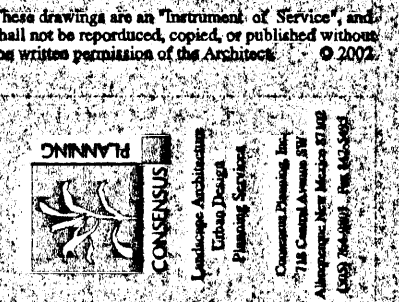
TRACT 3E-1
Required: 1 space/20 parking spaces, 43 parking/20 = 3 spaces

LANDSCAPE CALCULATIONS

SITE AREAS
TRACT 2-A-1
Lot Area: 88,019 SF (1.49 Acres)

TRACT 3E-1-A
Lot Area: 48,854 SF (1.05 Acres)

LANDSCAPE
See sheet SDP-3 for areas.

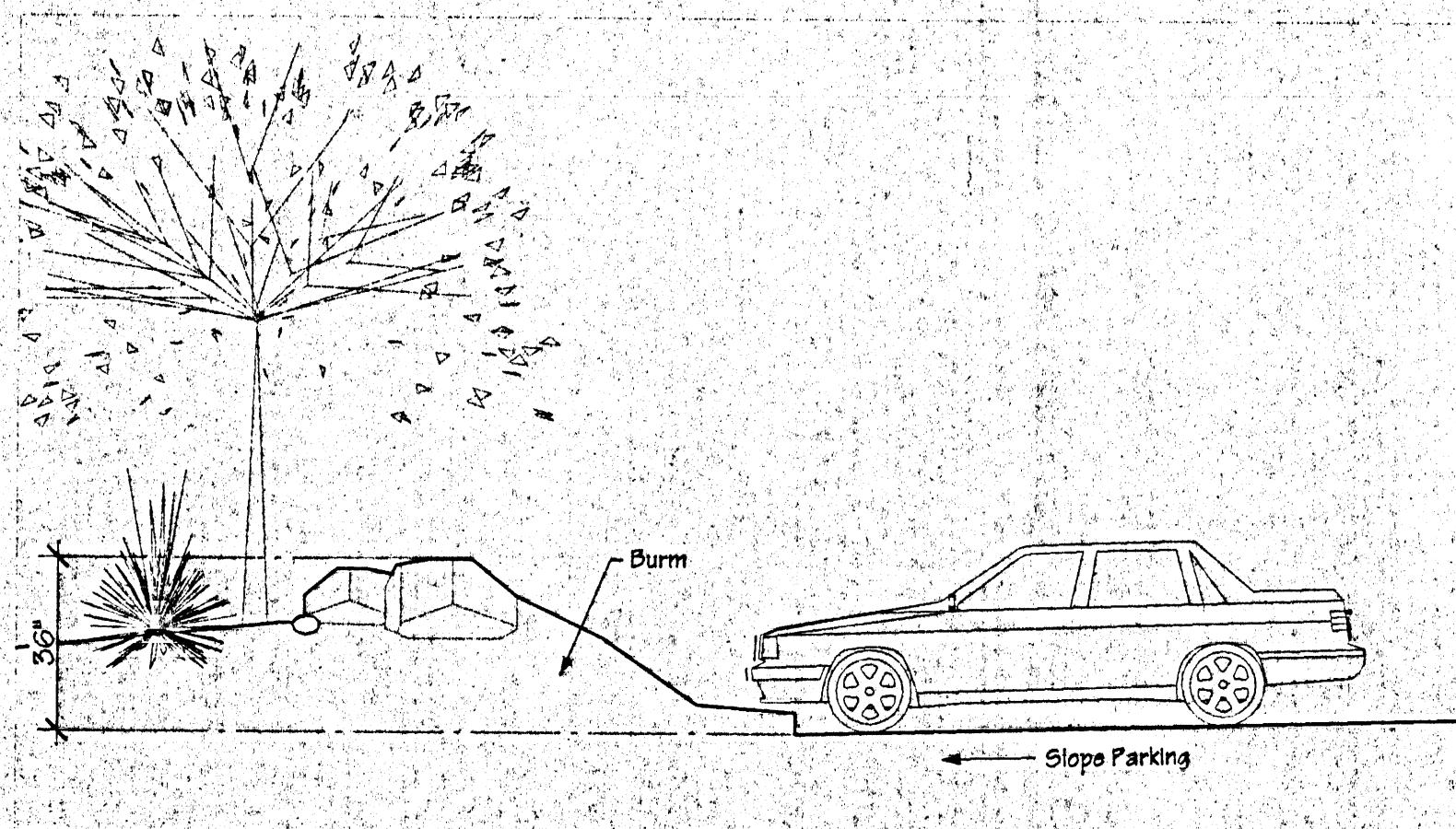


A Multiple Use Project
Tracts 2-A-1 & 3E-1-A Black Ranch
Coors Blvd & Valley View Place NW
Albuquerque, New Mexico 87114

PROJECT 1001206

N General Notes

O Birds Eye View from the Southwest



L Landscape Buffer At Parking

OWNER

Conway Oil Company
Suite 142
One Towne Center Building
6121 Indian School Road NE
Albuquerque, NM 87110
(505) 883-8400 x-106, Fax: (505) 883-8600
E-mail: cconway@conwayoil.com
Contact: Casey Cortway

OWNER

Double Cheese Corporation
DBA Wendy's Old Fashioned Hamburgers
4810 Hardware Dr. NE
Albuquerque, NM 87109
(505) 883-5285, Fax: (505) 881-0506
E-mail: timhogsett@aol.com
Contact: T.W. Hogsett

ARCHITECT

Schlegel Lewis Architects
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529, Fax: (505) 243-6701
E-mail: gl@slmac.com
Contact: James Lewis

PLANNER

Consensus Planning
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801
E-mail: strozier@consensusplanning.com
Contact: Jim Strozier

CIVIL ENGINEER

Wilson & Company
2600 American Road, Suite 100
Rio Rancho, NM 87124
(505) 898-8021, Fax: (505) 898-8501
Contact: Sheldon Greer

LANDSCAPE

The Hilltop
7909 Edith NE
Albuquerque, NM 87184
(505) 898-9690, Fax: (505) 898-7737
E-mail: it@hilltoplandscaping.com
Contact: James Da Flori

V Project Team

SDP-1 COVER SHEET

SDP-2 SITE PLAN

SDP-3 LANDSCAPE PLAN (L-1)

SDP-4 GRADING PLAN (C-1)

SDP-6 BUILDING ELEVATIONS

SDP-7 BUILDING ELEVATIONS

SDP-8 BUILDING ELEVATIONS

Y Sheet Index

Legal Information

PROJECT NUMBER: 1001206
EPC APPLICATION NUMBER: 02 EPC-01345

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Richard D. Smith 1/29/03
Traffic Engineer, TRANSPORTATION DEPT
Date

Christina Sandoral 1/29/03
PARKS & RECREATION DEPT
Date

Ron Allen 1/29/03
UTILITY DEVELOPMENT DEPT
Date

Bruce D. Bylin 3/19/03
City Engineer, ENGINEERING DEPT/AMFCA
Date

Michael H. Hill 1-21-03
SOLID WASTE DEPT
Date

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

Sharon Matson 1/29/03
City Planner
ALBUQUERQUE PLANNING DEPARTMENT
Date

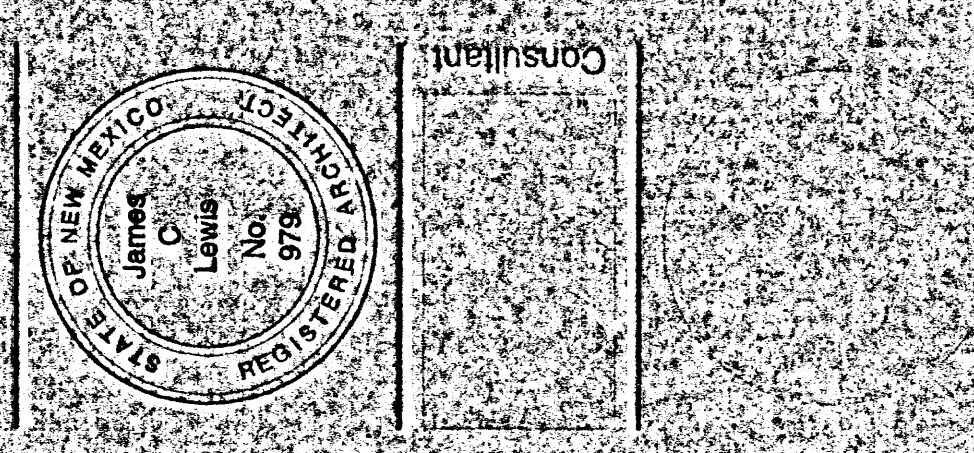
Z Approvals

ISSUE DATE:
29 AUG 02

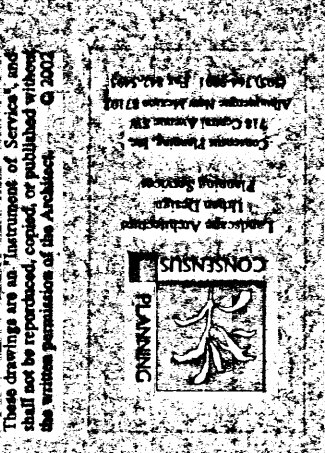
REVISIONS:
05 SEPT 02
13 NOV 02
30 DEC 02

Site Development
Plan

PROJECT 1001206
SHEET 1
SDP-1
OF 7



Salcedo Lewis Architects
 1620 Central Ave SE
 Albuquerque, NM 87106
 (505) 243-1529
 FAX (505) 243-6201
 www.salcedolewis.com

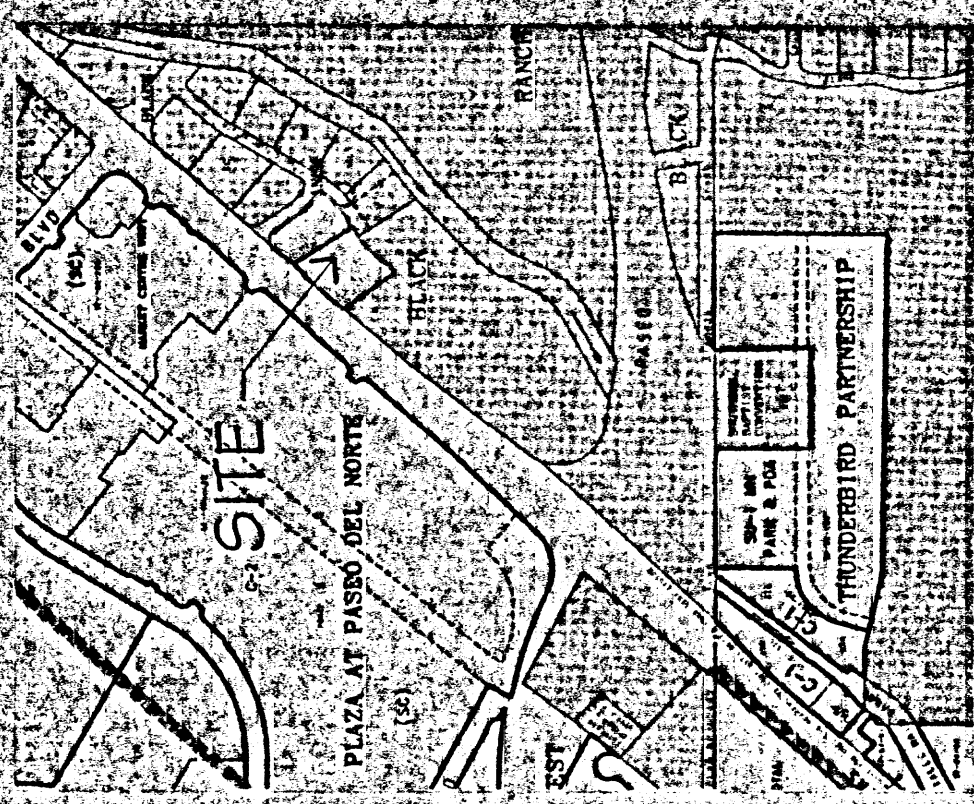


Coors Blvd & Valley View Place NW
 Albuquerque, New Mexico 87114

ISSUE DATE:
 29 AUG 02

REVISIONS:
 08 SEPT 02
 13 NOV 02
 19 DEC 02
 30 DEC 02
 14 JAN 03
 28 JAN 03
 10 FEB 03

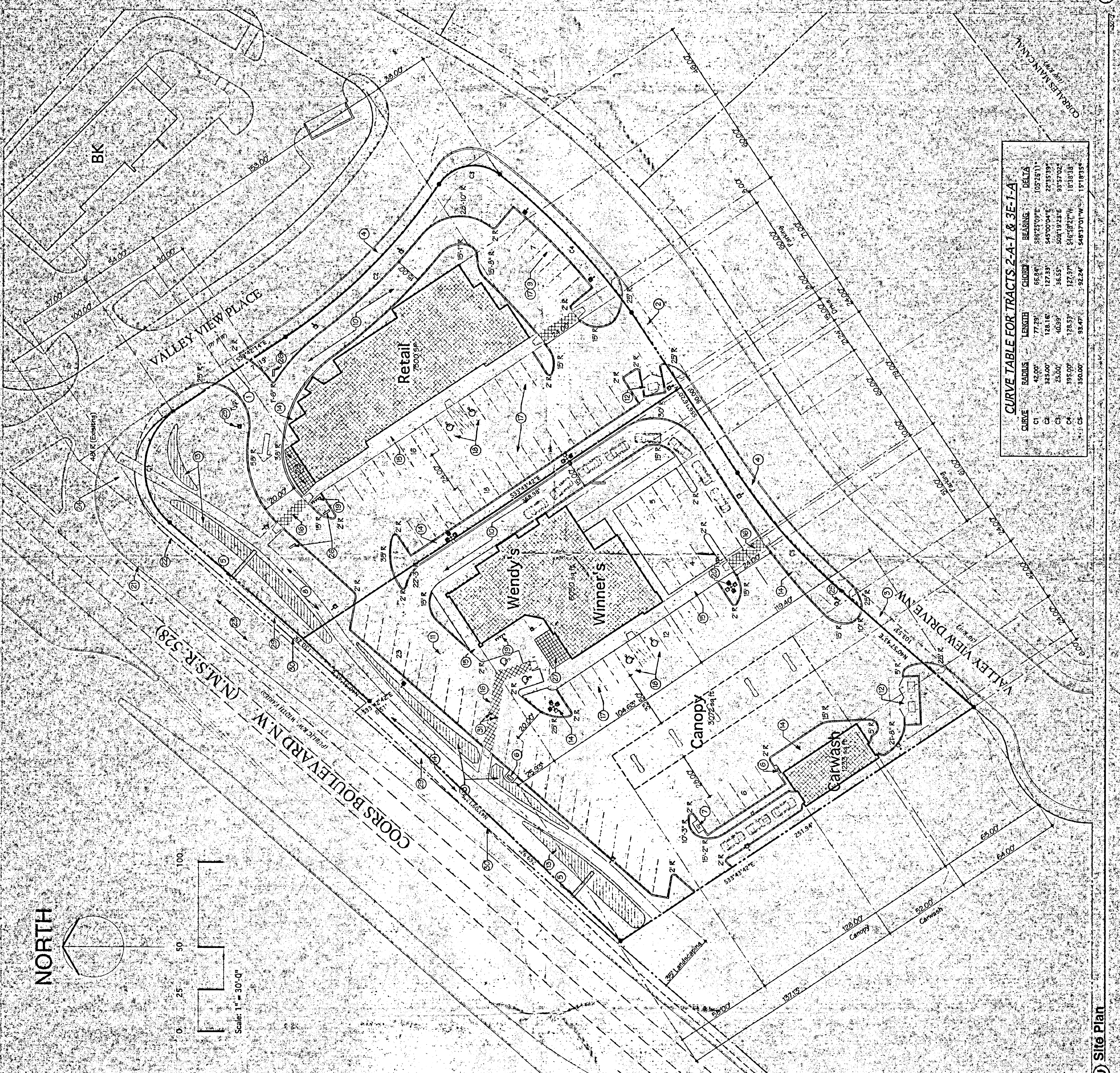
Site Development Plan
 SHEET 2
SDP-2
 OF 2



Vicinity Map
 Building Areas:
 Retail: 7500 SF
 Wendy's & Winner's: 6050 SF
 Car Wash: 5070 SF
 Car Wash: 1255 SF

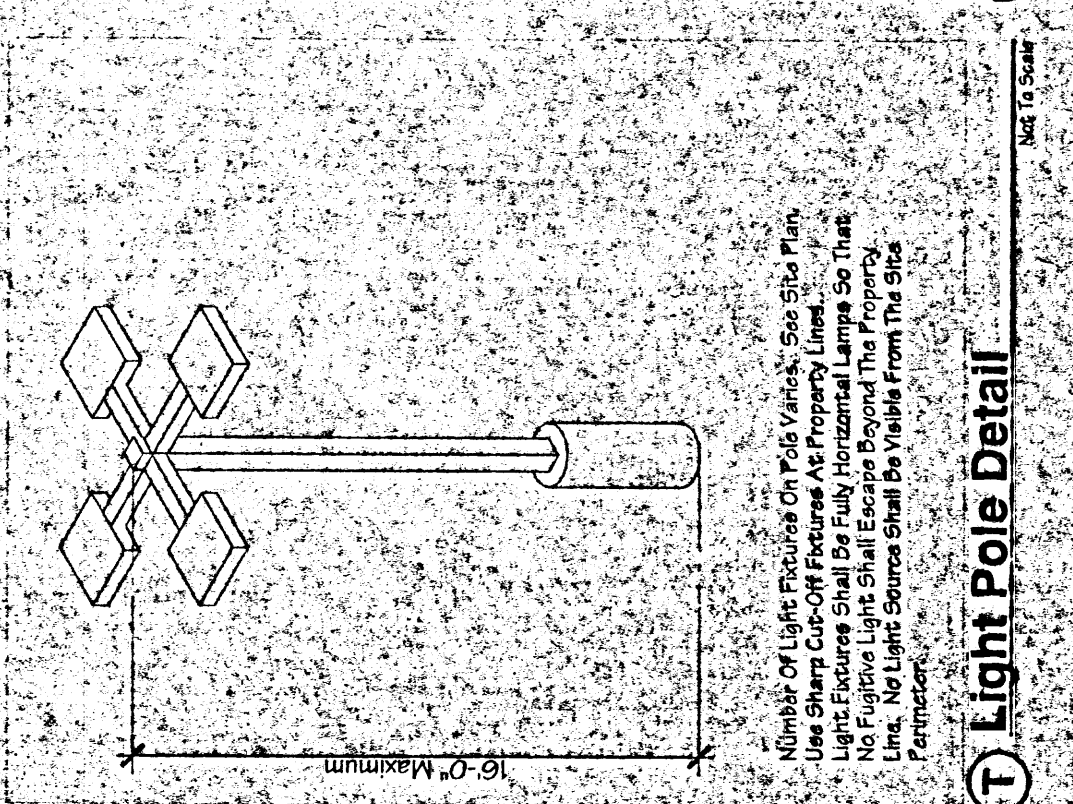
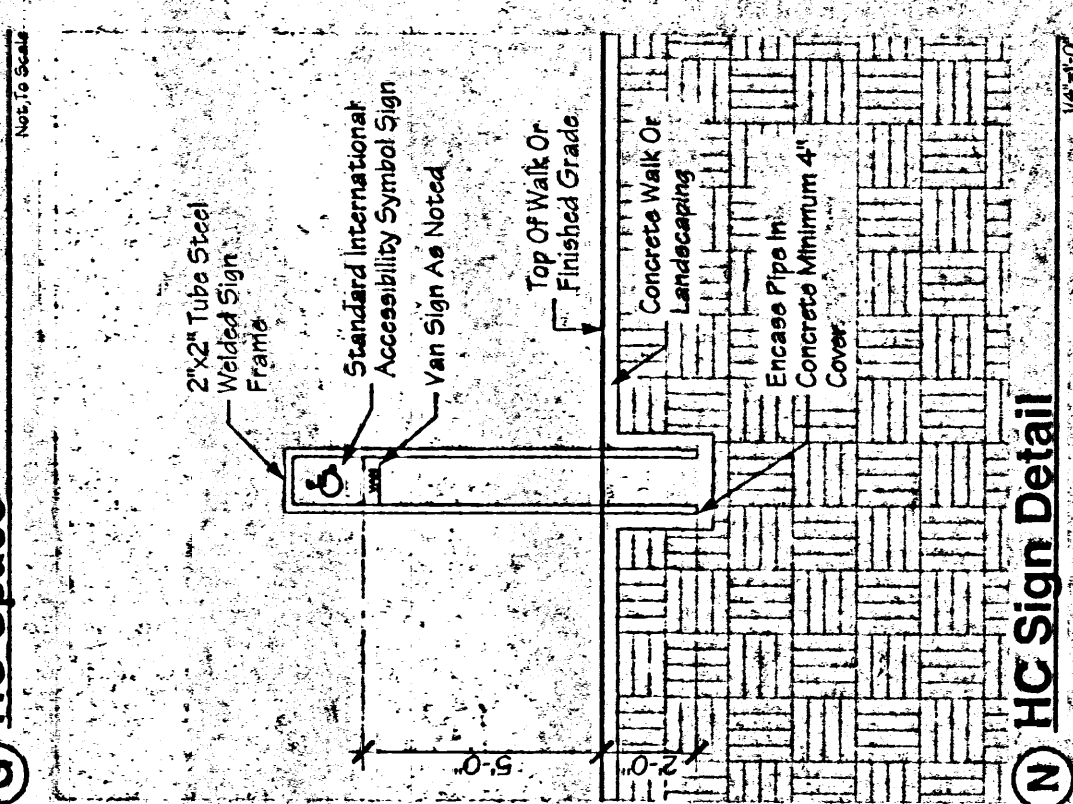
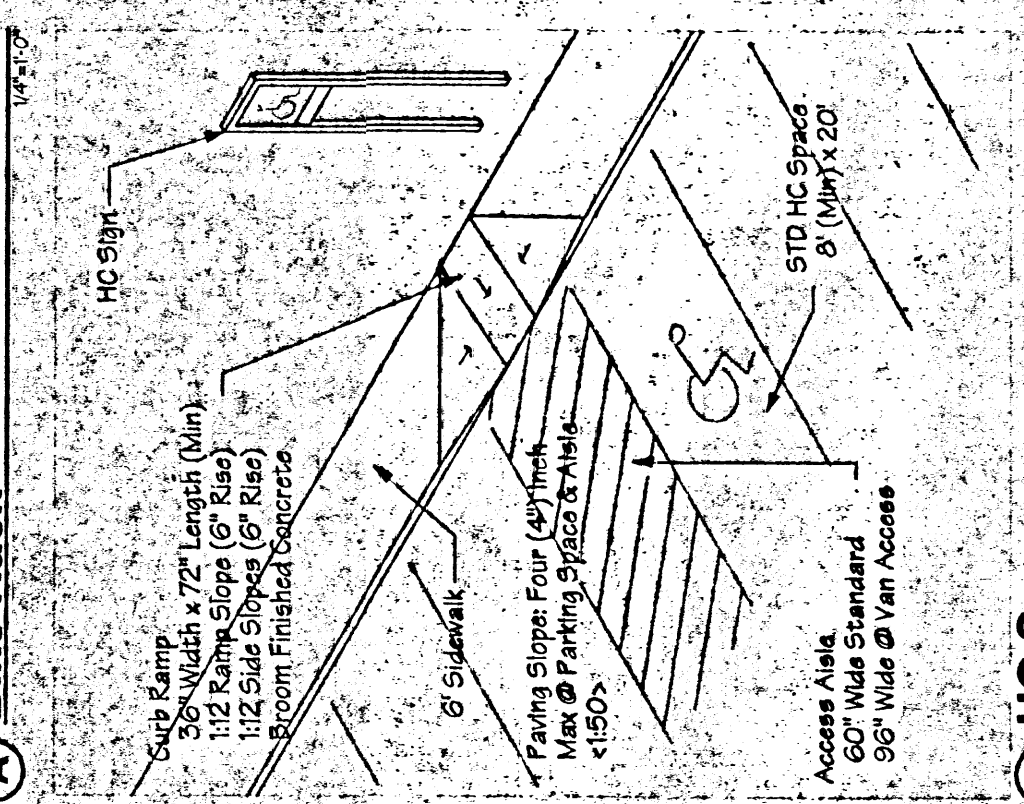
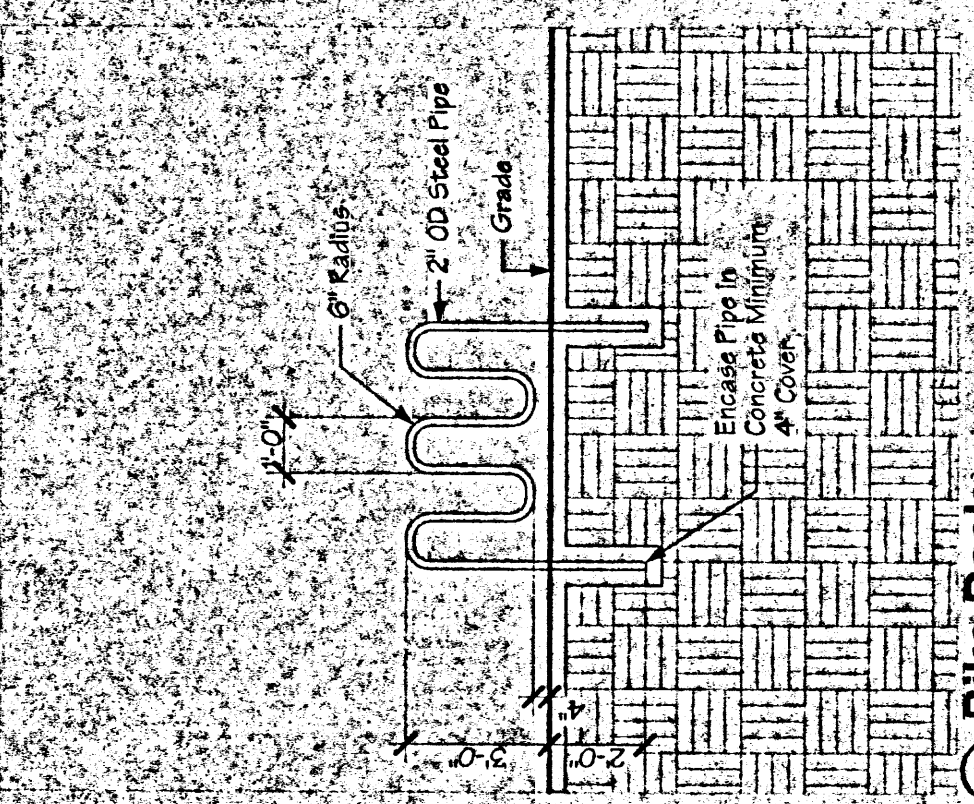
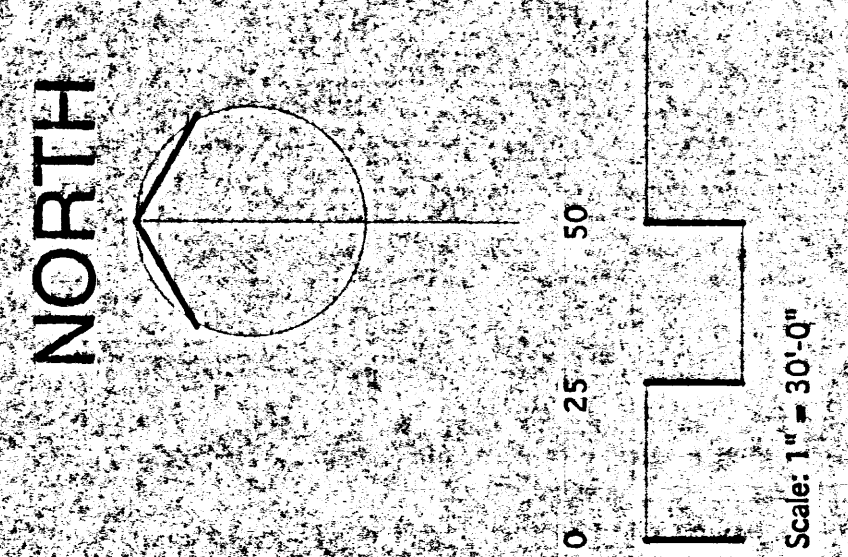
(M) Site Information

1. 20' Curb Cut
2. 30' Curb Cut
3. 40' Curb Cut
4. 6' Sidewalk
5. Monument Sign
6. Pay Phone
7. Air Maching
8. Meandering Sidewalk
9. Employee Parking
10. One-way Lane
11. Zoning Demarcation Line
12. Garage Enclosure
13. Landscape Buffer - 3' High from Parking Level
14. Landscaping
15. Sidewalk
16. Colored and Textured Concrete @ Pedestrian Path
17. Typical Parking Space 9'x20' (18' x 2' Overhang)
18. Typical HC Parking Space 9'x20' (18' x 2' Overhang)
19. Bicycle Rack
20. Light Pole - See Detail T on This Sheet
21. Existing Doors - Edge of Paving
22. Future Coors Alignments - Edge of Paving
23. Future Decal Line by NMSH & TD
24. Future Coors Alignments - 35' Radius
25. Light Pole
26. One-way Only Sign
27. Access to Paved Area (with Required Sealing and Slopes) - 25'
28. Retail Ratio (with Required Sealing and Slopes) - 253 SF
29. Right-of-Way (with Required Sealing and Slopes) - 253 SF
30. Old Property Ditch
31. Bolsters - Concrete Paved Area Paving



CURVE TABLE FOR TRACTS 2-A-1 & 3E-1-A

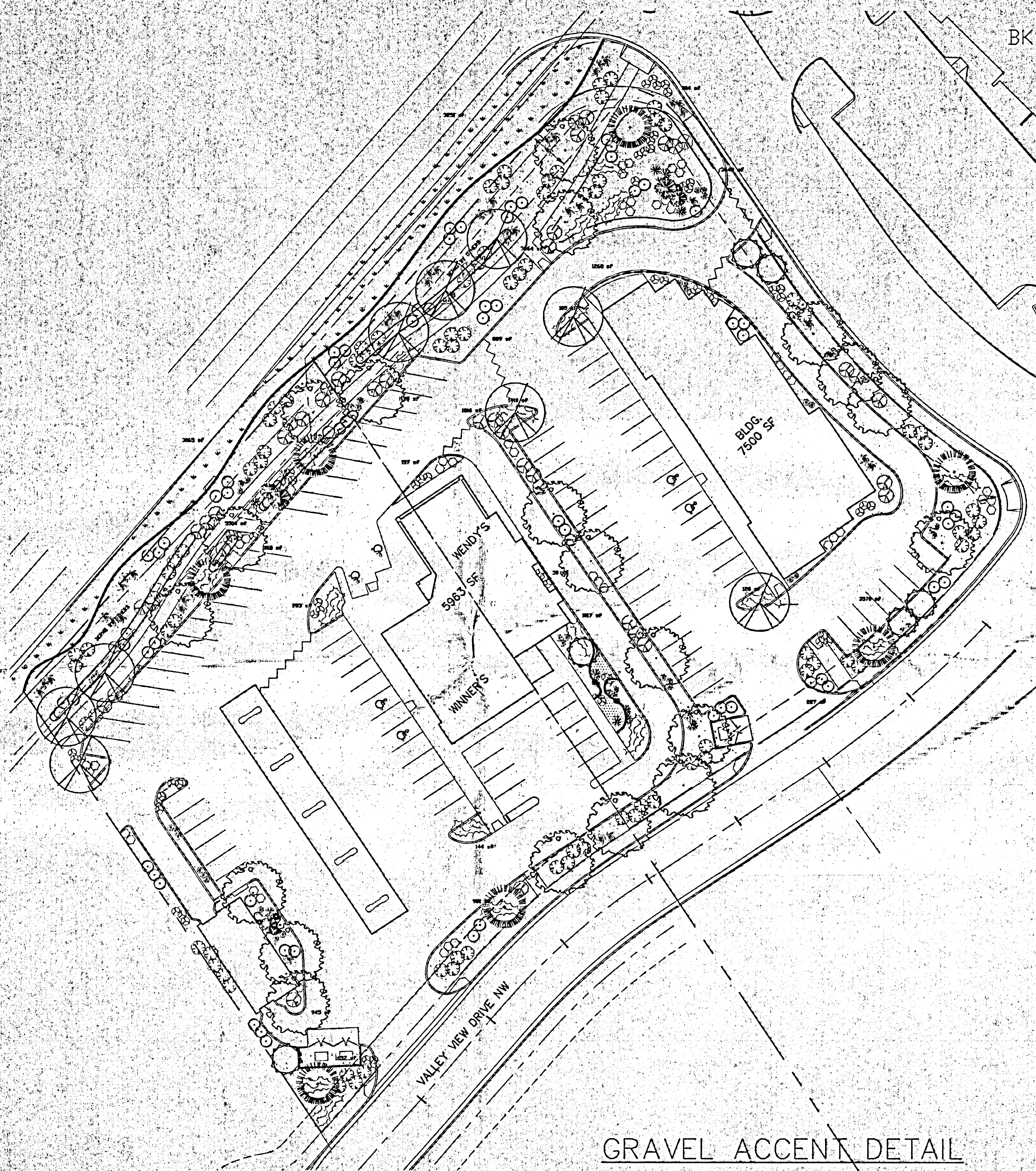
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	42.00'	77.75'	65.44'	88°23'09"	102°26'11"
C2	34.00'	124.16'	127.33'	54°00'04"	22°35'59"
C3	25.00'	40.85'	36.55'	80°19'23.5"	93°37'02"
C4	99.00'	128.53'	127.37'	54°05'52.7"	18°38'38"
C5	350.00'	83.47'	82.24'	148°37'01.7"	15°18'55"



(U) Site Plan

(T) Light Pole Detail

Number of Lights: 10
 Pole Height: 18'-0"
 Pole Diameter: 6"
 Light Fixture: 150W
 Light Fixture Spacing: 30'-0"
 Light Fixture Height: 15'-0"
 Light Fixture Spacing: 30'-0"
 Light Fixture Height: 15'-0"
 Light Fixture Spacing: 30'-0"
 Light Fixture Height: 15'-0"



LANDSCAPE CALCULATIONS		
	LOT 2A-1	LOT 3E-1
TOTAL LOT AREA	65,019 SF	45,854 SF
TOTAL BUILDINGS AREA	9,508 SF	7,500 SF
NET LOT AREA	55,511 SF	38,354 SF
LANDSCAPE REQUIREMENT (.15)	8,326 SF	5,753 SF
TOTAL LANDSCAPE PROVIDED	17,529 SF 30%	18,654 SF 48%
TOTAL BED PROVIDED	14,464 SF	15,403 SF
TOTAL NATIVE SEED PROVIDED	3,065 SF	3,251 SF

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

COORS BLVD
Required 13 Provided 14

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

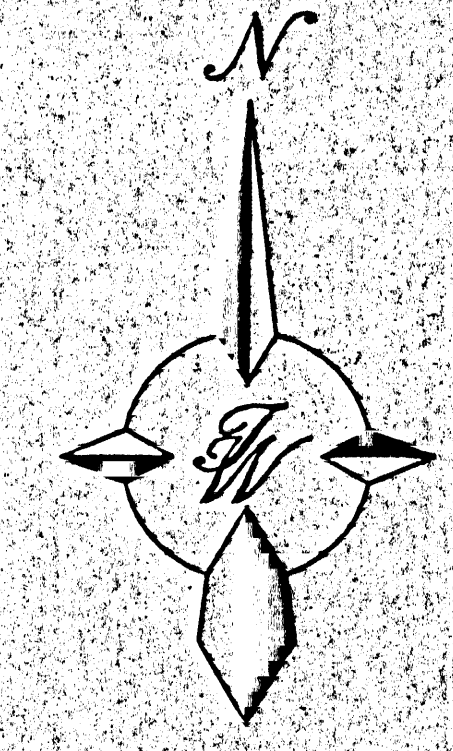
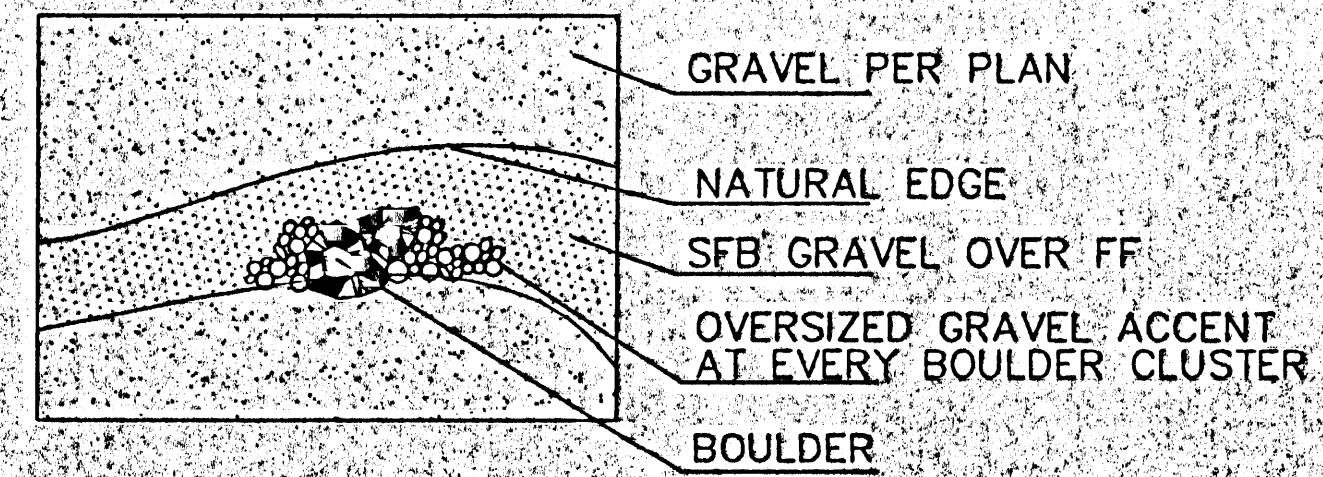
Irrigation will be operated by automatic controller. Location of controller to be field determined, and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

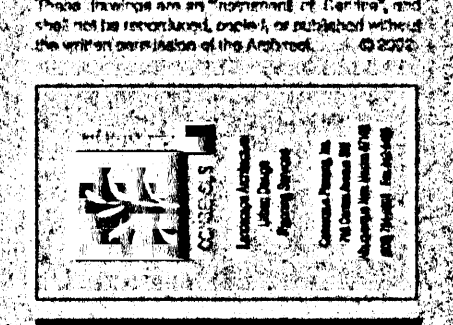
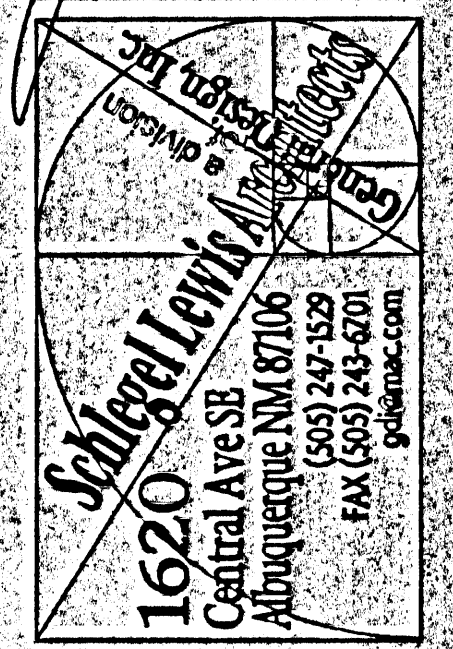
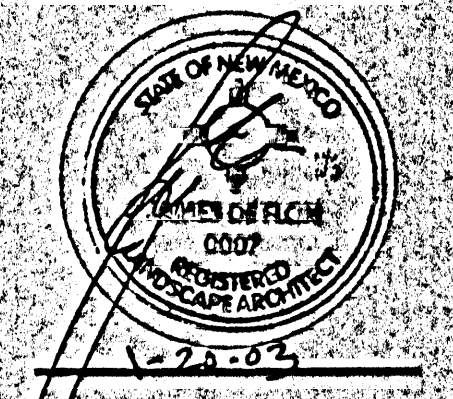
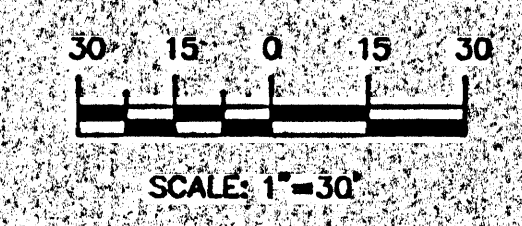
PLANT LEGEND

- ASH (H) 10 \ Fraxinus pennsylvanica 2" Cal.
- AUSTRIAN PINE (H) 7 Pinus nigra 6'-8'
- DESERT WILLOW (L) 6 Chilopsis linearis 15 Gal.
- RED YUCCA (L) 13 Hesperaloe parviflora 5 Gal.
- MAIDENGRASS (M) 42 Miscanthus sinensis 16sf
- RUSSIAN SAGE (M) 66 Perovskia atriplicifolia 5 Gal.
- TAM JUNIPER (M) 54 Juniperus sabinia 3 Gal. 225sf Symbol indicates 3 plants
- SANTA FE BROWN C.FINES WITH FILTER FABRIC
- SANTA FE BROWN GRAVEL WITH F.F.
- CRIMP STRAW/NATIVE SEED
- HONEY LOCUST (H) 9 Gleditsia triacanthos 2" Cal.
- CHINESE PISTACHE (M) 9 Pistachia chinensis 2" Cal.
- PALM YUCCA (L) 5
- BLUE MIST SPIREA (M) 51 Caryopteris clandonensis 5 Gal.
- AUTUMN SAGE (M) 48 Salvia greggii 9sf
- HONEYSUCKLE (M) 42 Lonicera sempervirens 1 Gal. 200sf Unstaked-Groundcover
- CHAMISA (L) 86 Chrysothamnus nauseosus 1 Gal. 25sf
- WILDFLOWER 65 1 Gal. 4sf
- OVERSIZED GRAVEL & 12 BOULDERS
- COMMERCIAL GRADE STEEL EDGING

GRAVEL ACCENT DETAIL

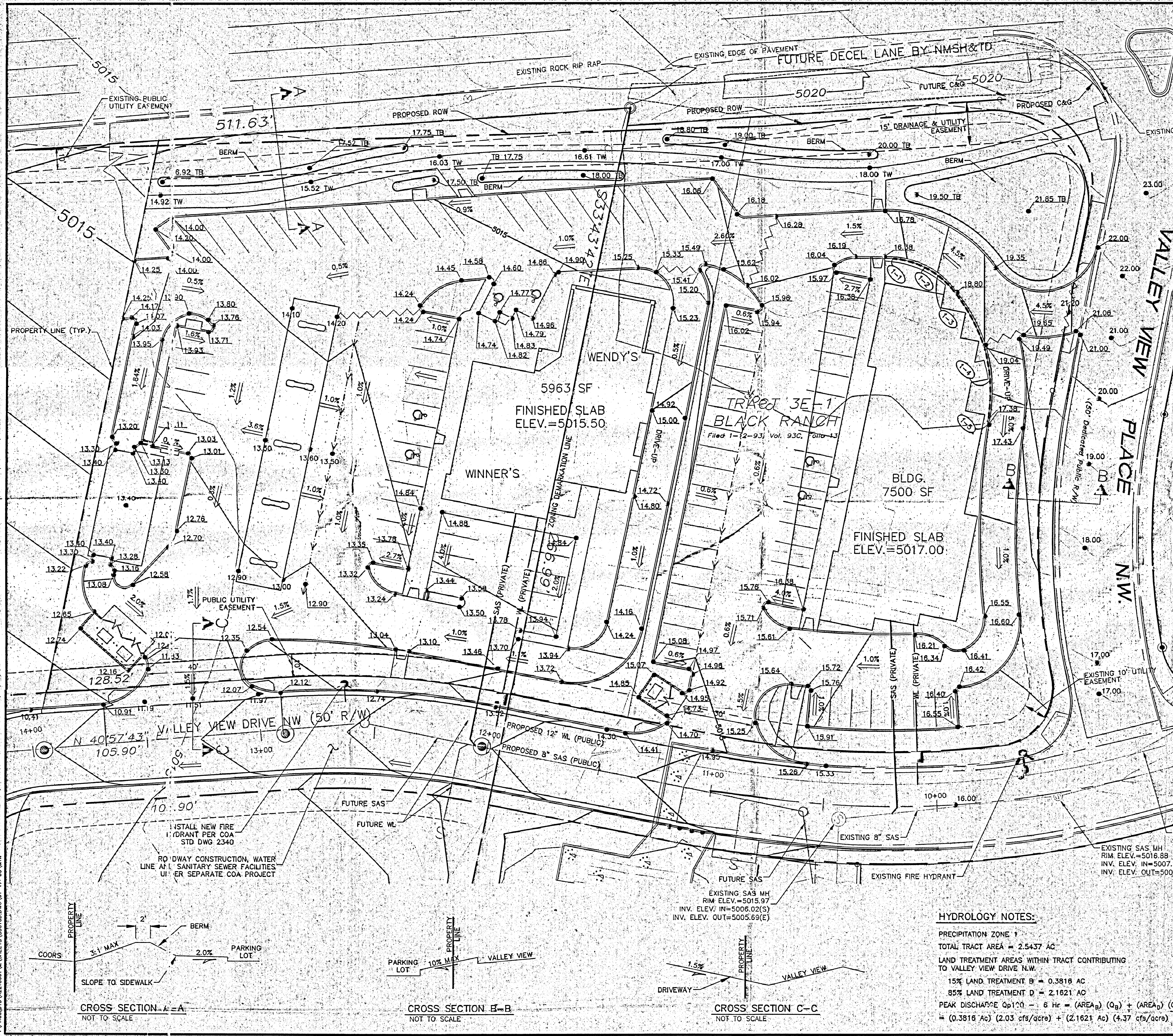


GRAPHIC SCALE



A Multiple Use Project
Coors Blvd & Valley View Place NW
Albuquerque - New Mexico 87114

DATE:	26 AUG 02
REVISED:	30 DEC 02
	16 JAN 03
PROJECT NO.:	00239
DATE:	3
DATE:	2

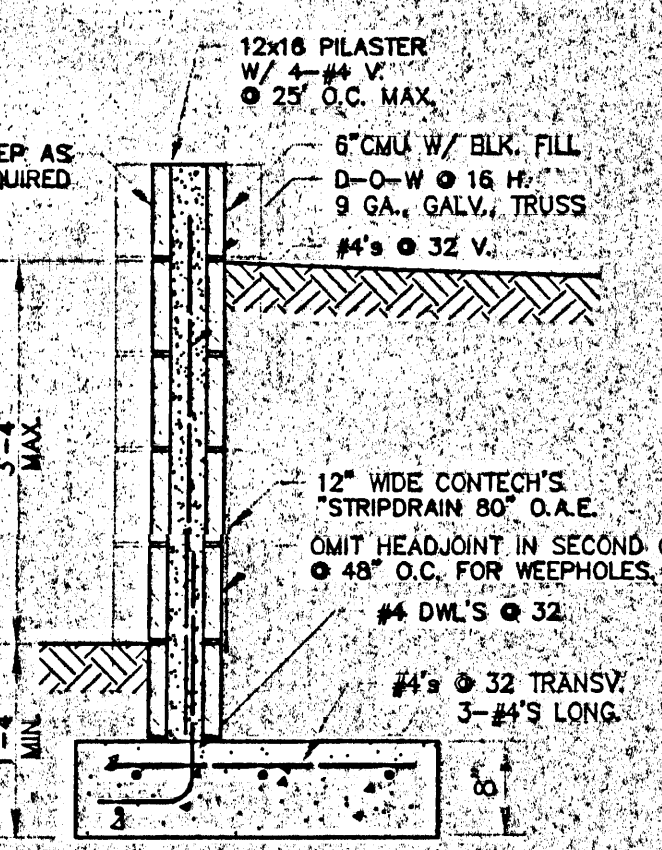


- LEGEND**
- ← FLOW DIRECTION ARROW
 - 5023.0 SPOT ELEVATION
 - WL WATER LINE
 - SAS SANITARY SEWER
 - BERM
 - RETAINING WALL
 - TB TOP OF BERM
 - TW TOP OF SIDEWALK
 - SWALE
 - WATER BLOCK
 - PROPOSED FIRE HYDRANT
 - RETAINING WALL POINT

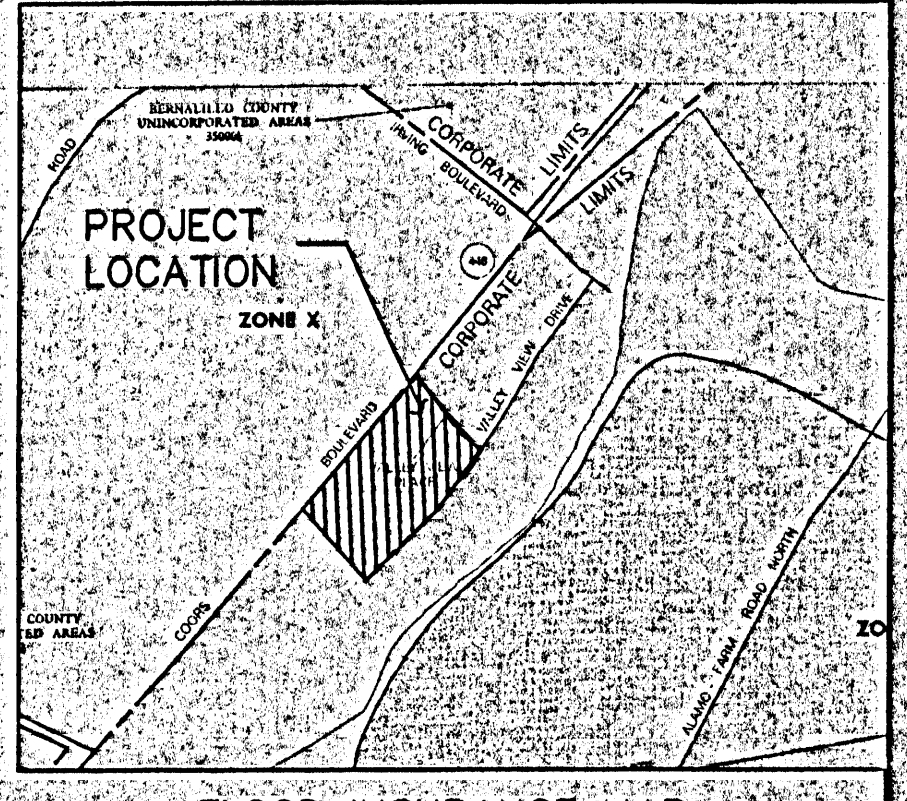
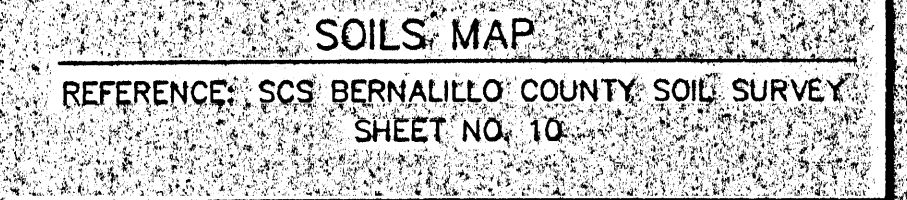
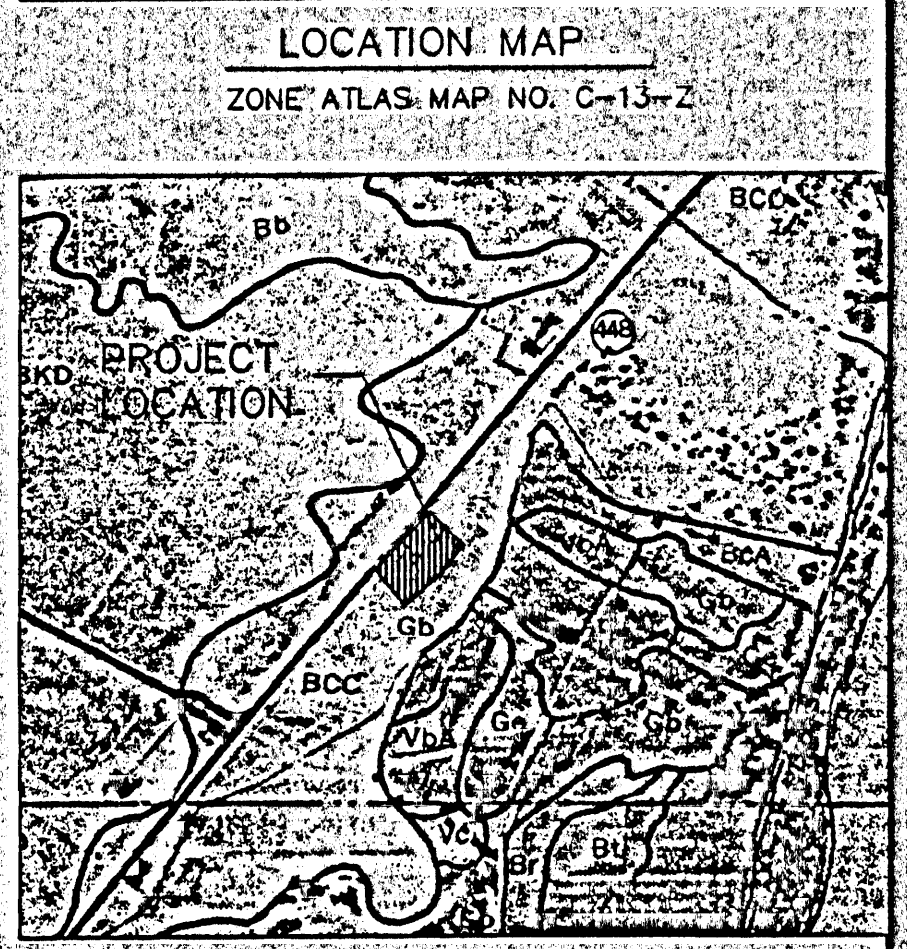
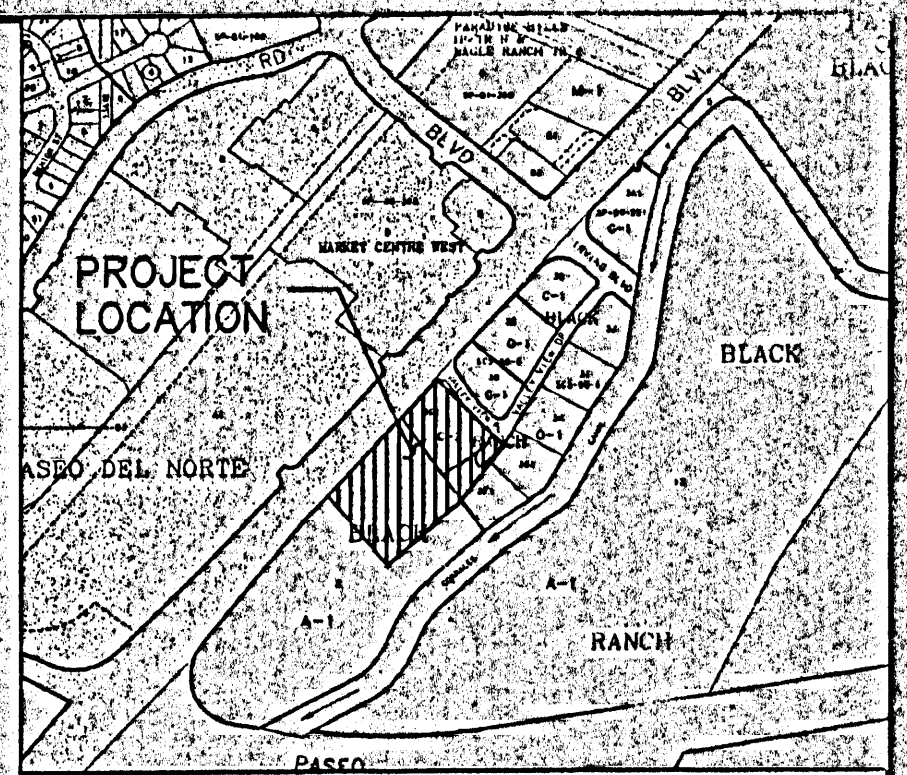
NOTE
 ALL SPOT ELEVATIONS ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTE.
 SLOPE ALL BERMS TO ADJACENT SIDEWALKS AND BACKS OF CURB.

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV.	TOP OF FOOTING ELEV.	WALL HEIGHT (FT)	APPROX WALL LENGTH (FT)
1-1	17.67	15.67	2.00	15.0
1-2	17.67/18.33	15.67	2.67	5.5
1-3	18.33/19.00	15.67	3.33	53.5
1-4	19.00/18.33	15.67	2.67-2.00	20.0
1-5	17.67	15.67	2.00	20.0



RETAINING WALL
 3/4" - 1'-0"



FLOOD INSURANCE MAP
 REFERENCE: FLOOD INSURANCE STUDY PANEL 116
 AFD PLANS CHECKING OFFICE
 024-3511
 APPROVED/DISAPPROVED
 JUNE 1, 2003
 SIGNATURE & DATE

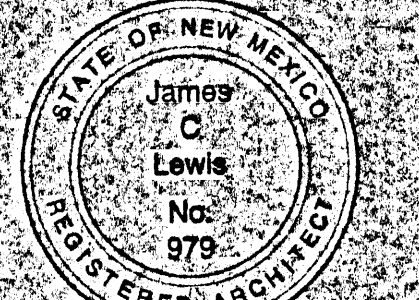
HYDROLOGY NOTES:
 PRECIPITATION ZONE 1
 TOTAL TRACT AREA = 2.5437 AC
 LAND TREATMENT AREAS WITHIN TRACT CONTRIBUTING TO VALLEY VIEW DRIVE N.W.
 15% LAND TREATMENT B = 0.3816 AC
 85% LAND TREATMENT D = 2.1621 AC
 PEAK DISCHARGE $Q_p(10) - 6 \text{ Hr} = (\text{AREA}_D)(Q_D) + (\text{AREA}_B)(Q_B) = (0.3816 \text{ Ac})(2.03 \text{ cfs/acre}) + (2.1621 \text{ Ac})(4.37 \text{ cfs/acre}) = 10.22 \text{ cfs}$

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO 87124-1100
 (505) 898-8021

WENDY'S GRADING, DRAINAGE & UTILITY PLAN

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	JDV	WCEA NO. X2218061	DATE: JAN 2003	
DRAWN	CM	PROJECT NO. N/A	SHEET NO. 1 OF 7	
CHECK	DSA			

T:\PROJECTS\2218061\W\SHEETS\8061ED.DWG(01-17-03)LPW



Consultant

James C. Lewis
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 246-6228
 FAX (505) 246-6201
 jcl@jclaw.com

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Multiple Use Project
 Coors Blvd & Valley View Place NW
 Albuquerque, New Mexico 87114

ISSUE DATE:
 29 AUG 02
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 21 DEC 02

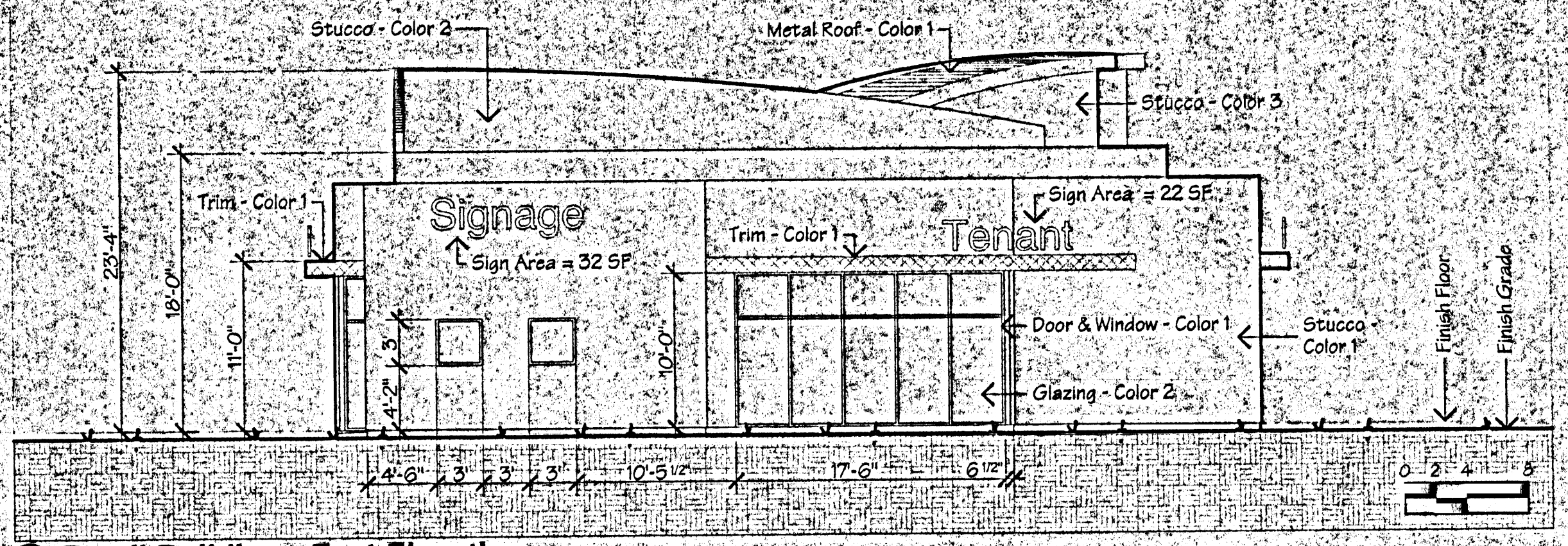
Site Development Plan

PROJECT 0209
 SHEET 3
SDP-6
 OF 9

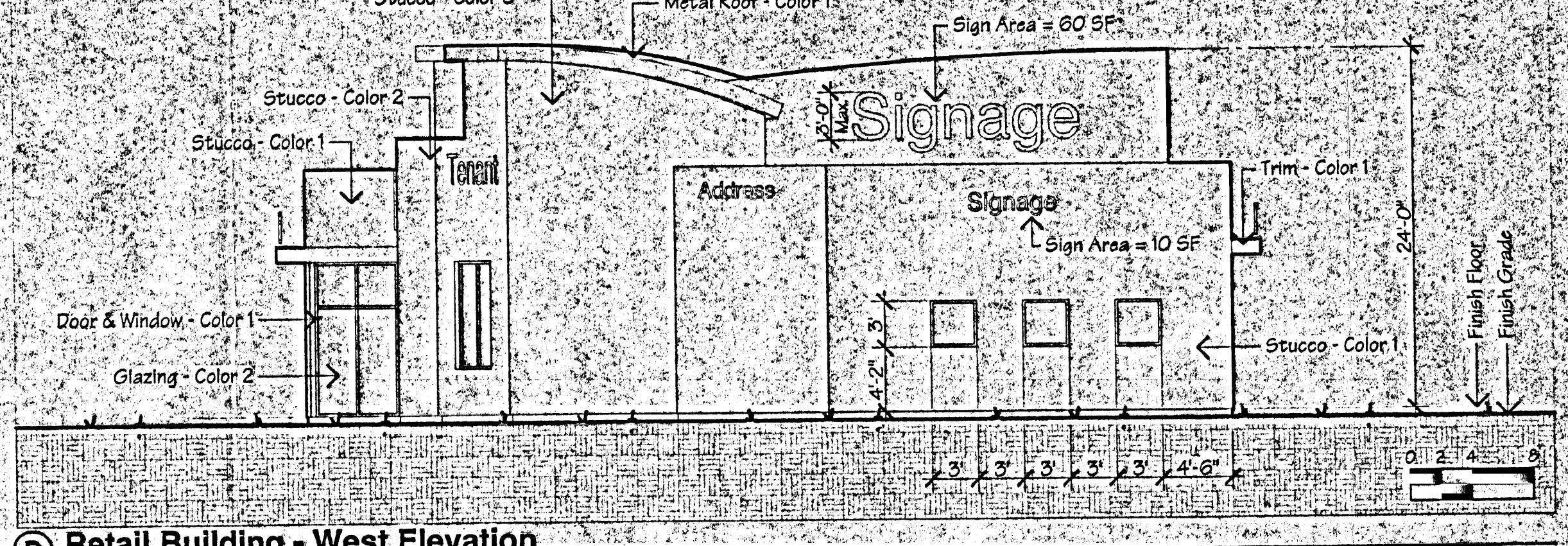
Total sign SF is 54 which is less than 6% of the total facade.

Signage Not Lit On This Facade.

Total sign SF is 70 which is less than 6% of the total facade.

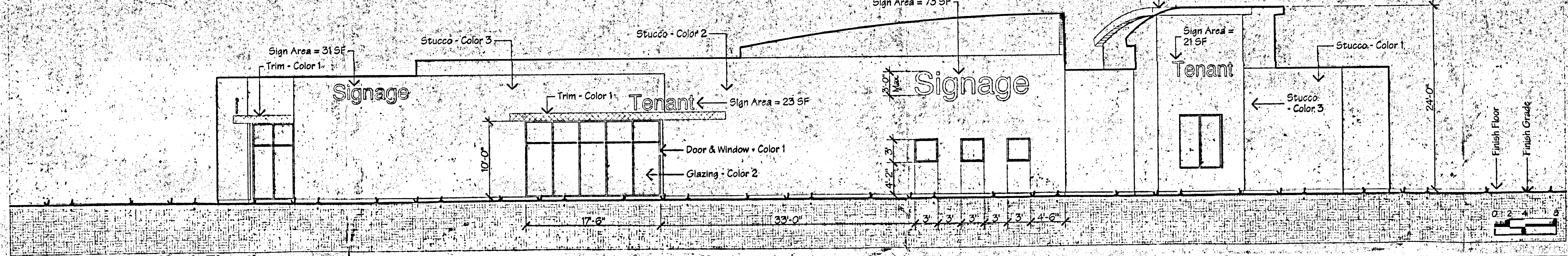


A Retail Building - East Elevation



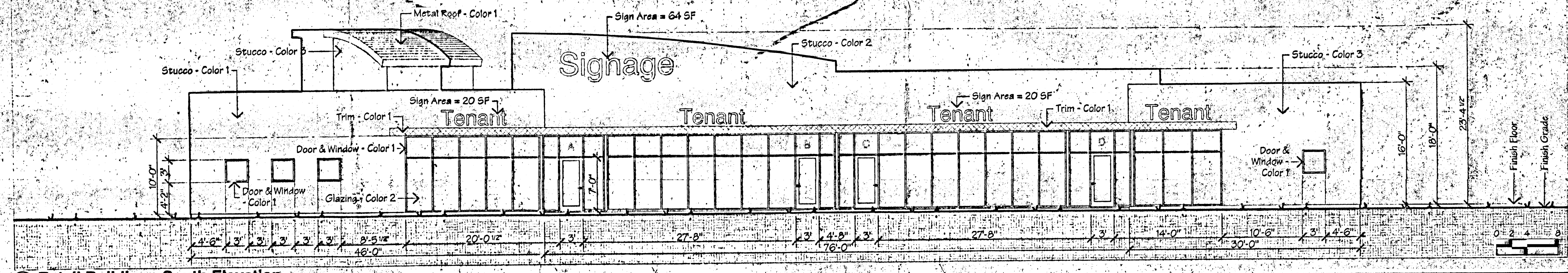
D Retail Building - West Elevation

Total sign SF is 149 which is less than 6% of the total facade.



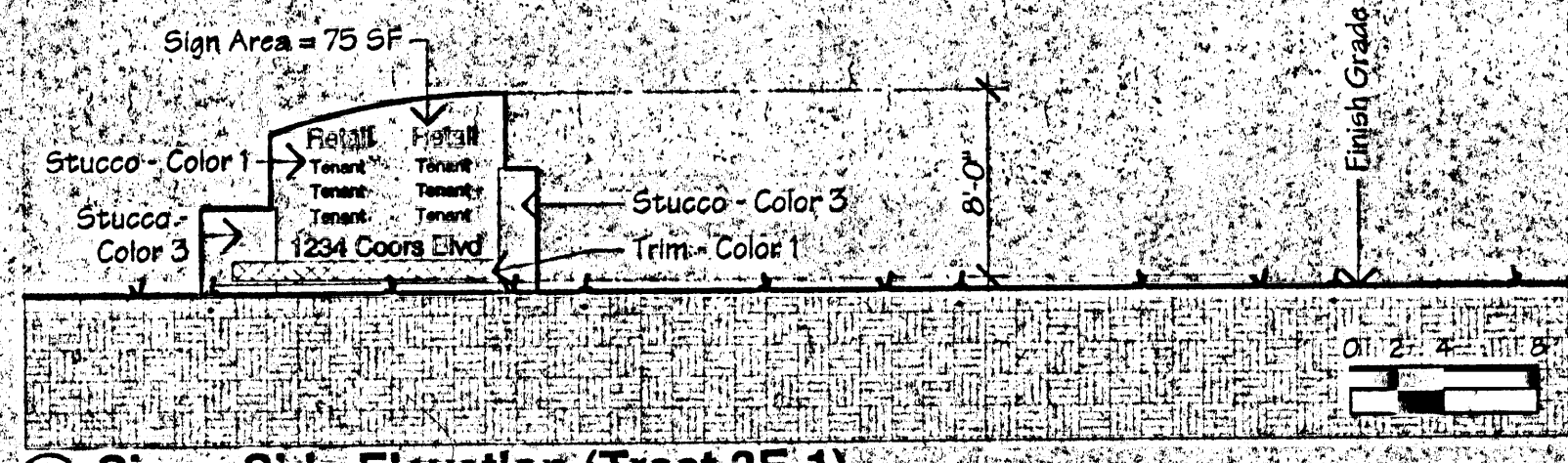
C Retail Building - North Elevation

Total sign SF is 144 which is less than 6% of the total facade.

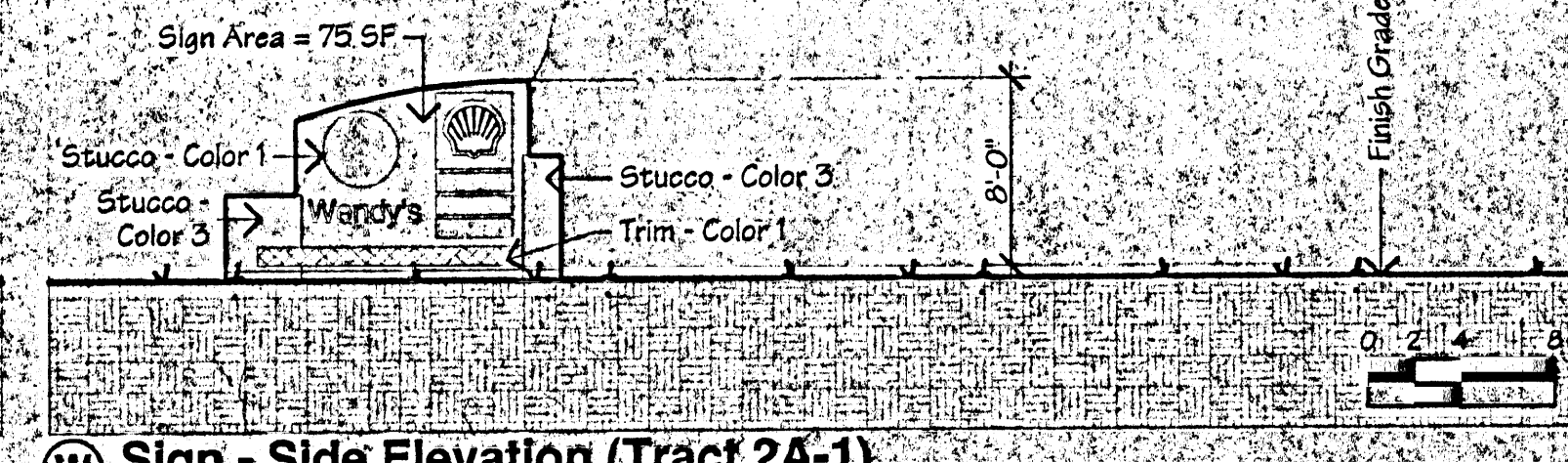


N Retail Building - South Elevation

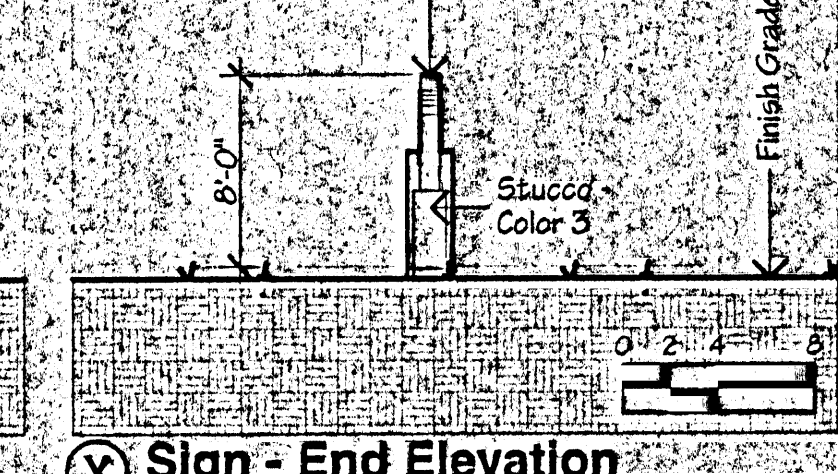
Detail Not Used



U Sign - Side Elevation (Tract 3E-1)



W Sign - Side Elevation (Tract 2A-1)



V Sign - End Elevation

Z Colors & Finishes

Key

STUCCO

- Color 1 Light Beige
- Color 2 Medium Tan
- Color 3 Coral

PAINTED TRIM

- Color 1 Aqua
- Color 2 Red
- Color 3 White

MASONRY

- Color 1 Tan Split Block

DOOR & WINDOW FRAME

- Color 1 Bronze
- Color 2 Red

GLAZING

- Color 1 Clear
- Color 2 Tinted

METAL ROOF

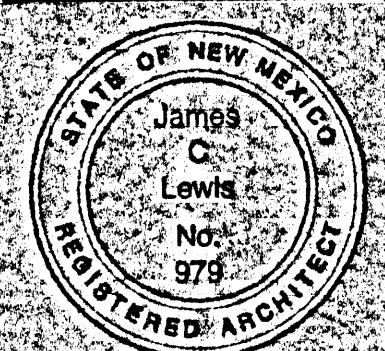
- Color 1 Light Gray Galvalume

CANOPY

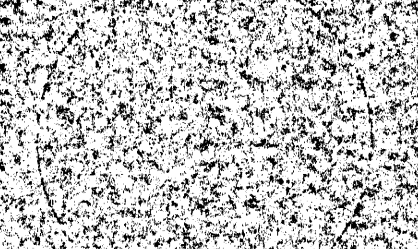
- Color 1 Illuminated Plastic Yellow Band
- Color 2 Illuminated Red Plastic Band
- Color 3 Red Individual Plastic Letter

Signage

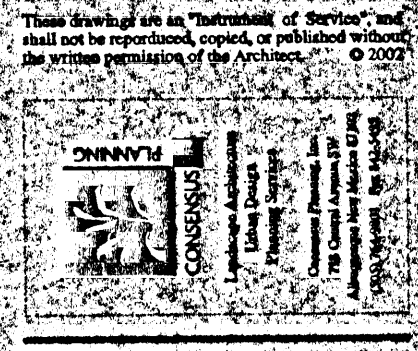
- Typical Illuminated Plastic Channel Letters



Consultant



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FAX (505) 245-6001
gallegos.com



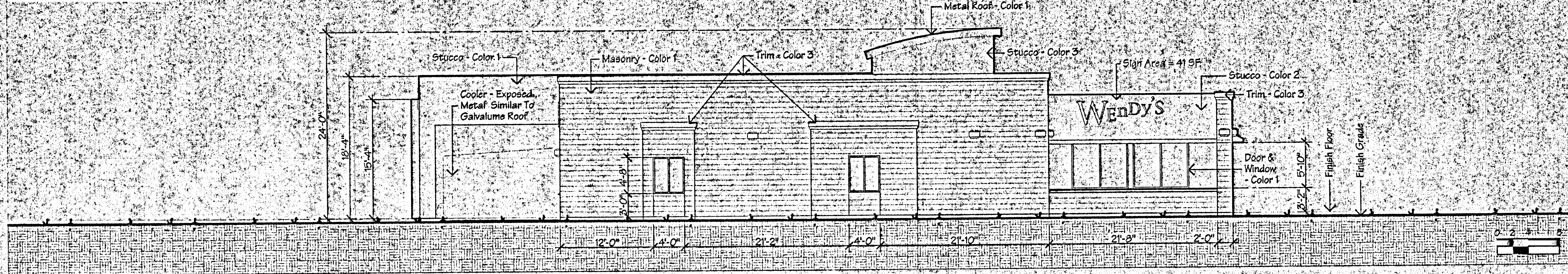
A Multiple Use Project
Coors Blvd & Valley View Place NW
Albuquerque, New Mexico 87114

ISSUE DATE:
29 AUG 02
REVISIONS:
05 SEPT 02
13 NOV 02

Site Development Plan

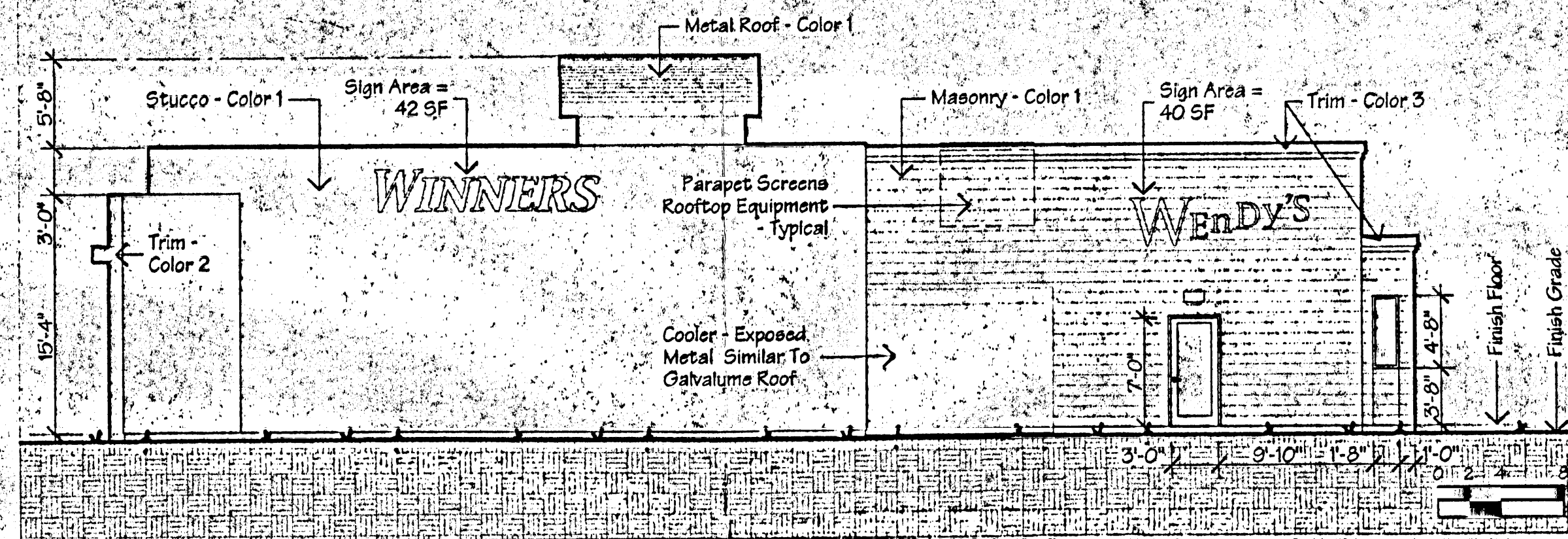
PROJECT: 022609 SHEET: 50P-7 OF 7

Total sign SF is 41 which is less than 6% of the total facade.



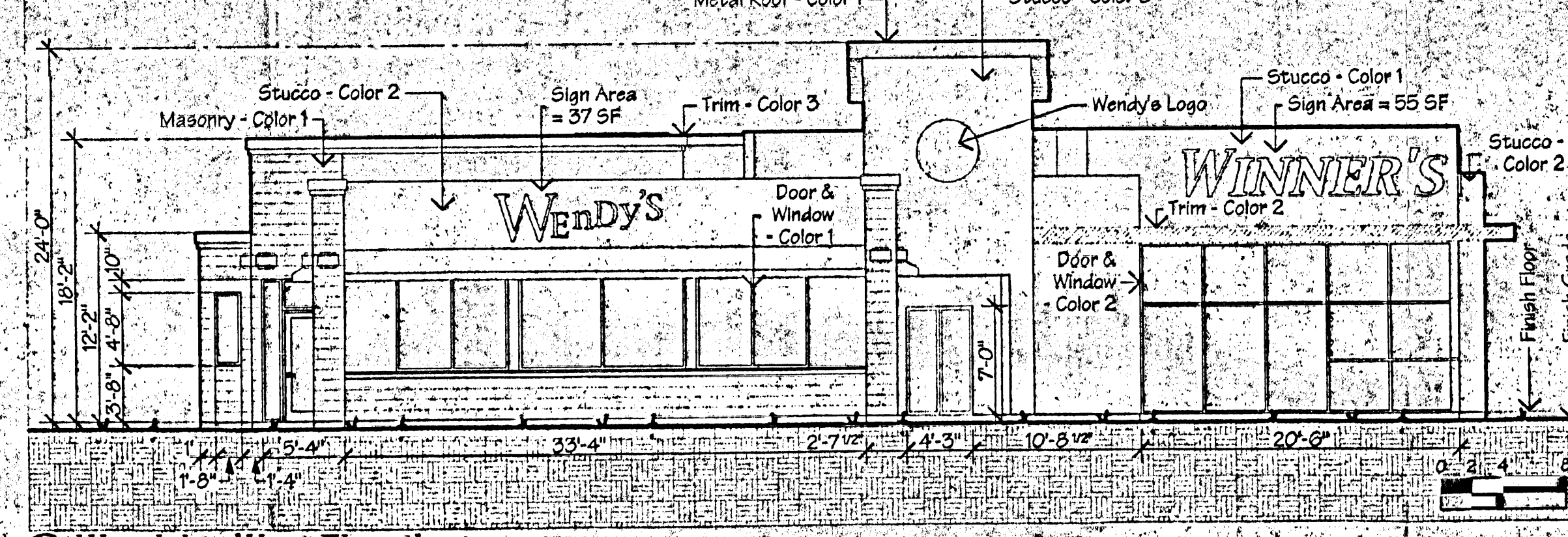
A Wendy's - North Elevation

Total sign SF is 82 which is less than 6% of the total facade.



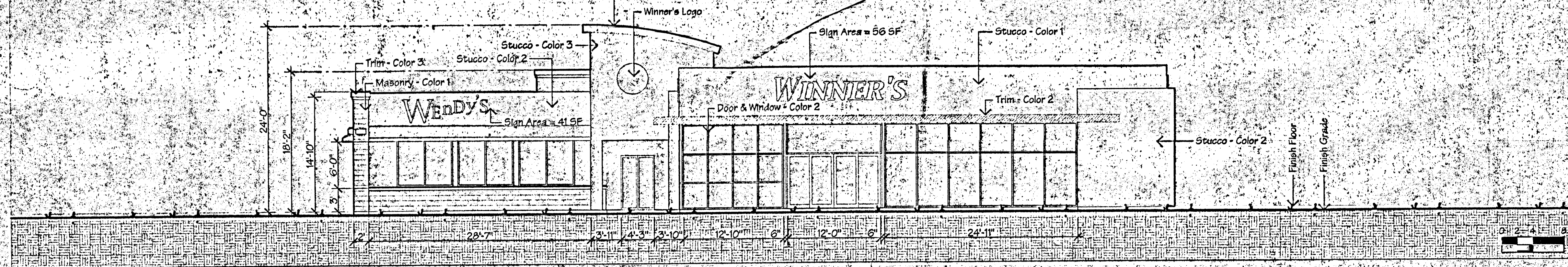
B Wendy's - East Elevation

Total sign SF is 92 which is less than 6% of the total facade.

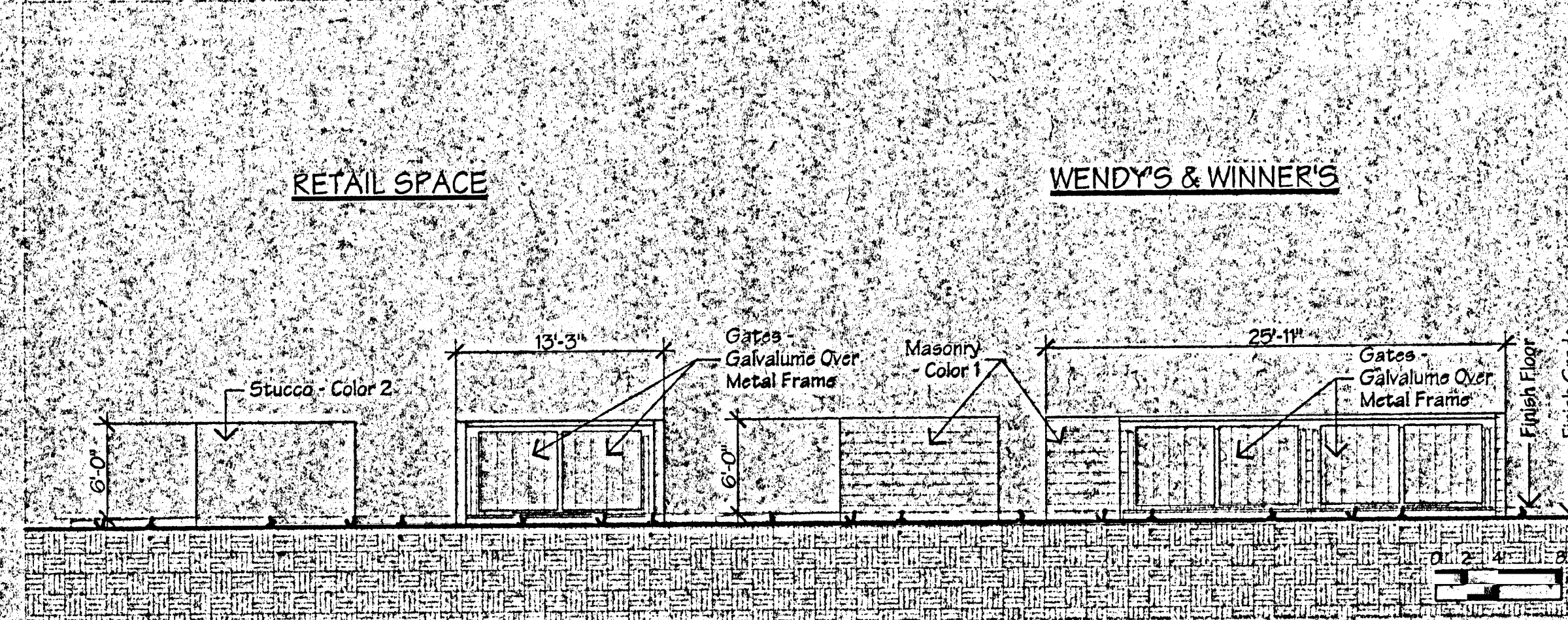


J Wendy's - West Elevation

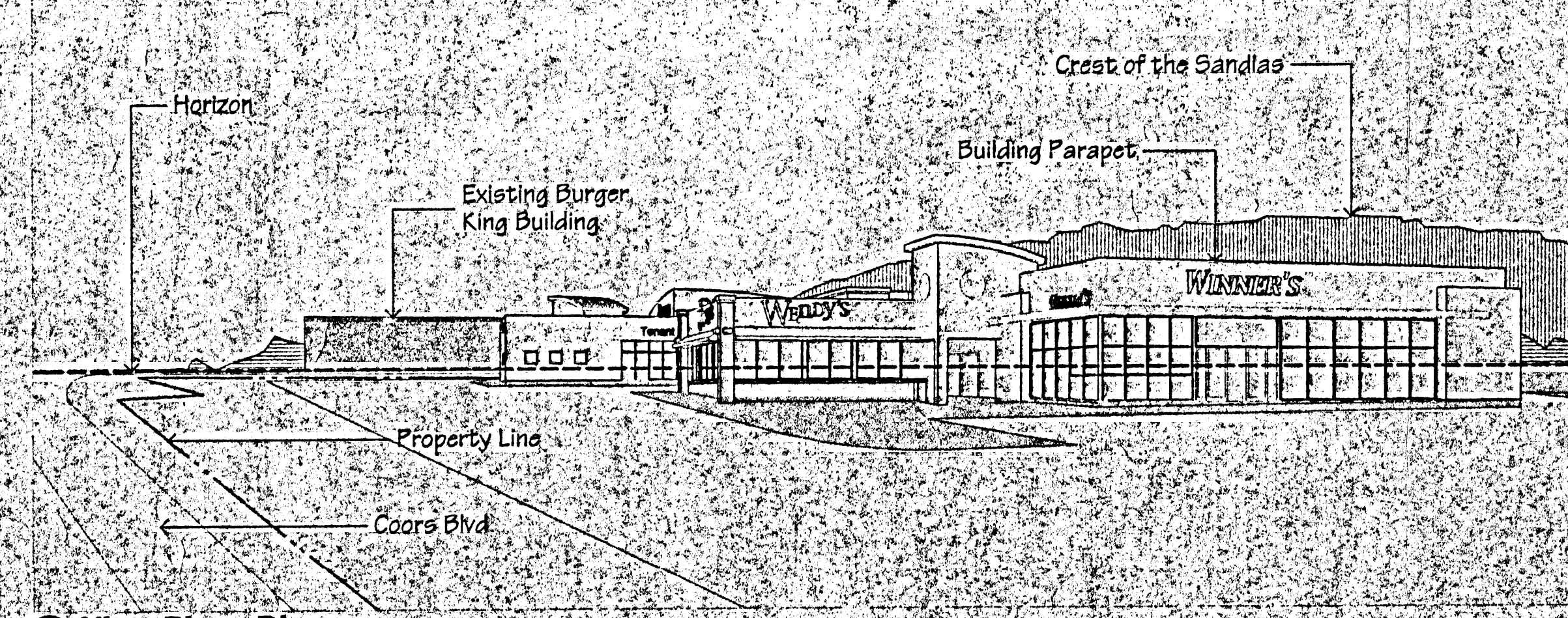
Total sign SF is 97 which is less than 6% of the total facade.



N Wendy's - South Elevation



T Trash Enclosure Elevations

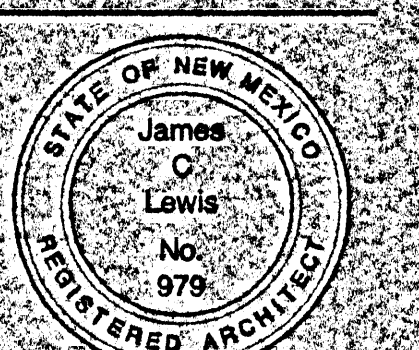


W View Plane Diagram

Key

STUCCO	Color 1: Light Beige
	Color 2: Medium Tan
	Color 3: Coral
PAINTED TRIM	Color 1: Aqua
	Color 2: Red
	Color 3: White
MASONRY	Color 1: Tan Split Block
DOOR & WINDOW FRAME	Color 1: Bronze
	Color 2: Red
GLAZING	Color 1: Clear
	Color 2: Tinted
METAL ROOF	Color 1: Light Gray Galvalume
CANOPY	Color 1: Illuminated Plastic Yellow Band
	Color 2: Illuminated Red Plastic Band
	Color 3: Red Individual Plastic Letter
Signage	Typical: Illuminated Plastic Channel Letters

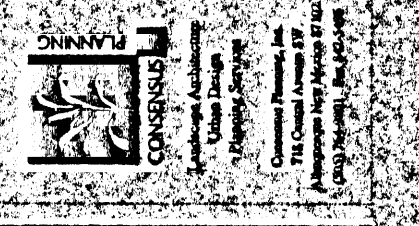
Colors & Finishes



Consultant

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guidance.com

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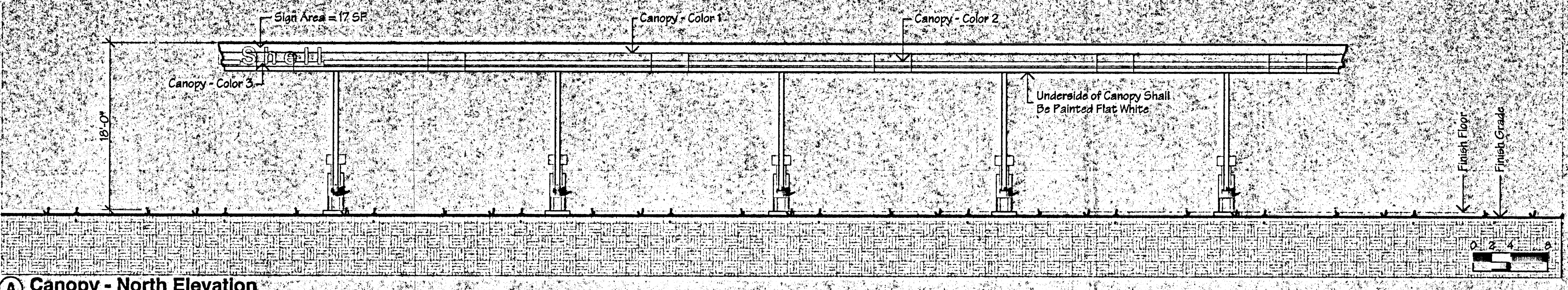
A Multiple Use Project
Thomas P. Davis, P.E., J. J. Hrusak, Licensed Engineer
Coors Blvd & Valley View Place NW
Albuquerque, New Mexico 87114

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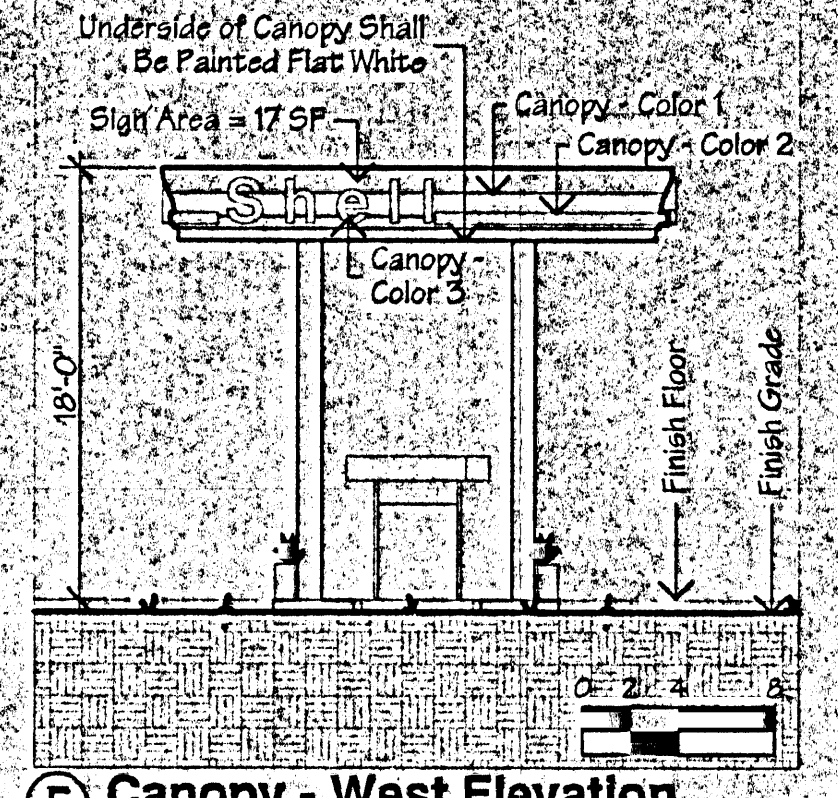
PROJECT SHEET
SDP-8
OF 7

Total sign SF is 51 which is less than 6% of the total canopy facade SF.



A Canopy - North Elevation

All Canopy Lights Shall Be Recessed & Shielded Such That No Light Shall Spill Off To Sides, Typical Of All Canopy Light Fixtures.



F Canopy - West Elevation

Key

STUCCO
Color 1 Light Beige
Color 2 Medium Tan
Color 3 Coral

PAINTED TRIM
Color 1 Aqua
Color 2 Red
Color 3 White

MASONRY
Color 1 Tan Split Block

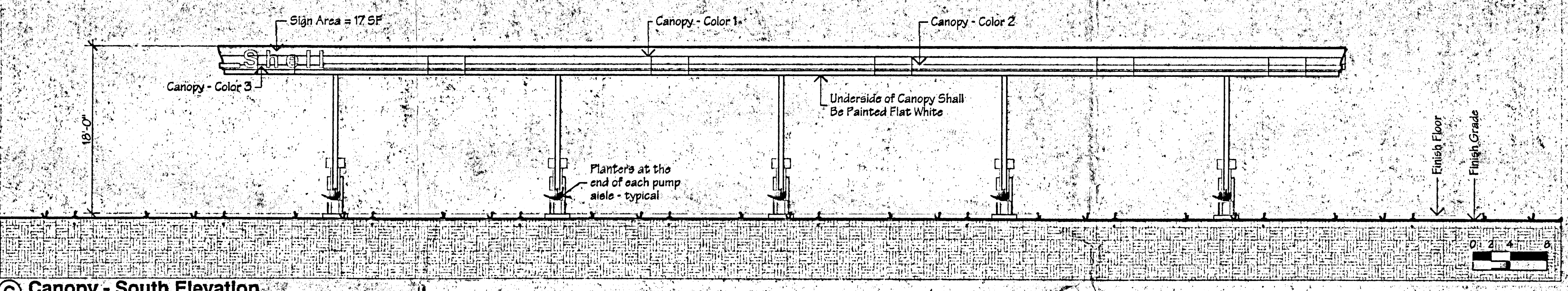
DOOR & WINDOW FRAME
Color 1 Bronze
Color 2 Red

GLAZING
Color 1 Clear
Color 2 Tinted

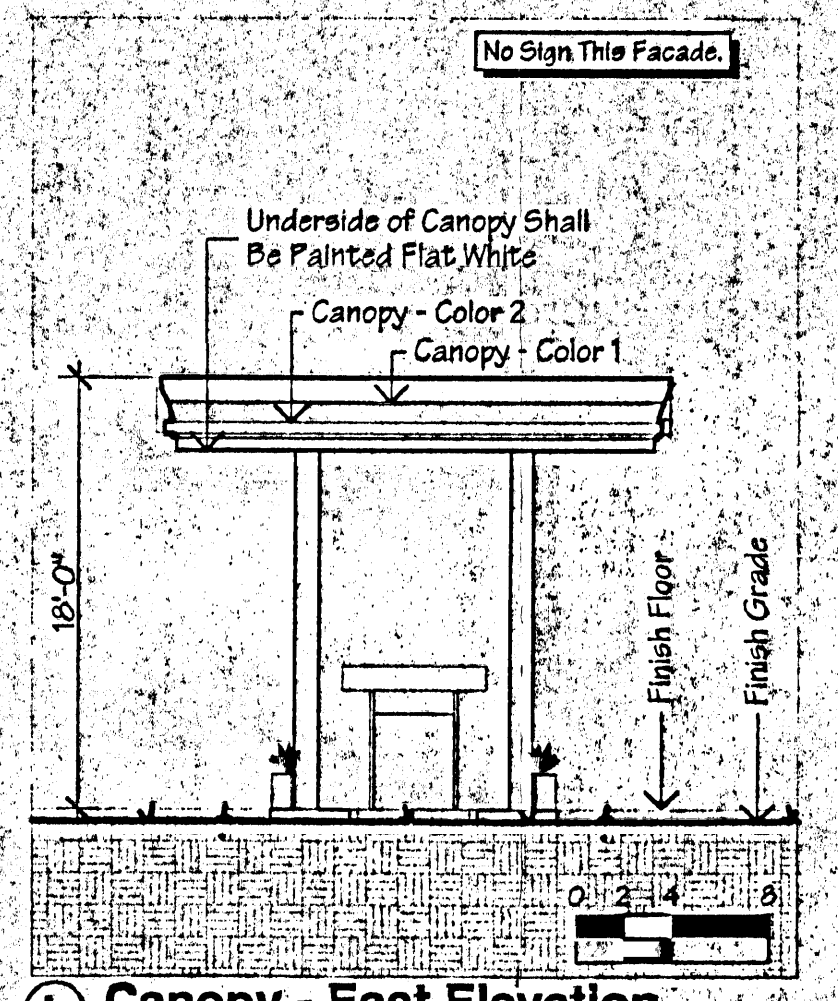
METAL ROOF
Color 1 Light Gray Galvalume

CANOPY
Color 1 Illuminated Plastic Yellow Band
Color 2 Illuminated Red Plastic Band
Color 3 Red Individual Plastic Letter

Signage
Typical Illuminated Plastic Channel Letters

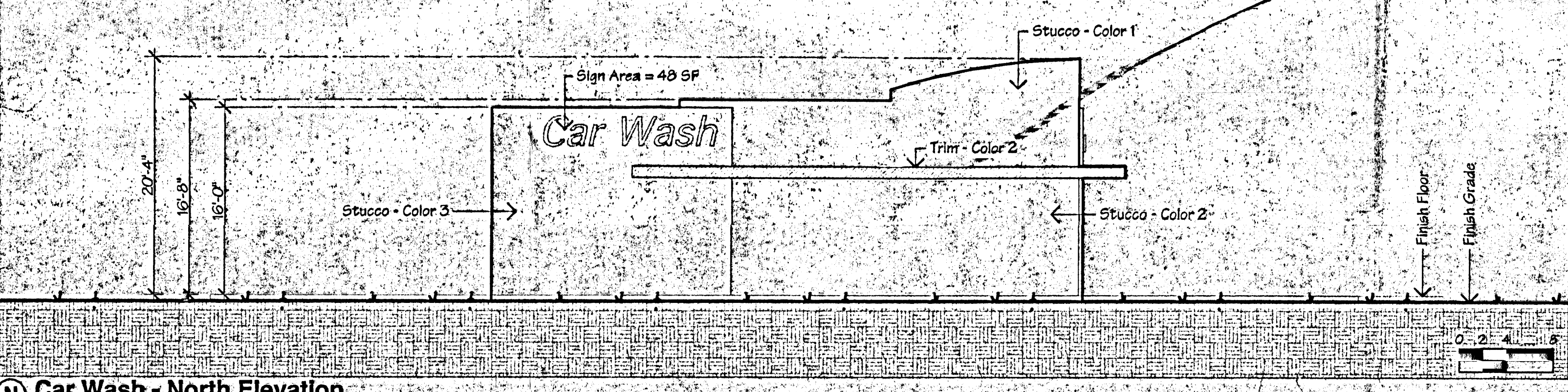


G Canopy - South Elevation

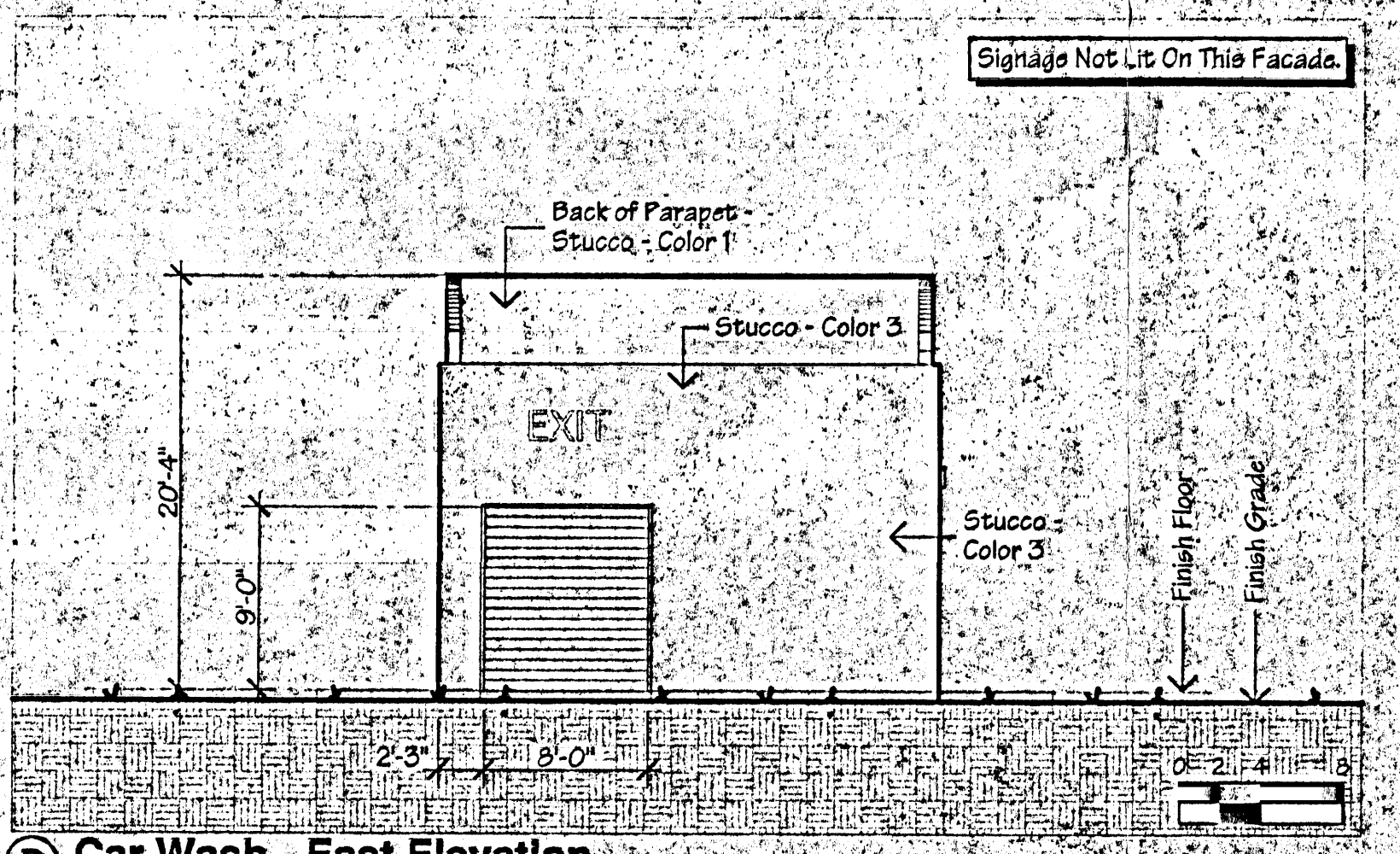


L Canopy - East Elevation

Total sign SF is 48 which is less than 6% of the total facade.



N Car Wash - North Elevation



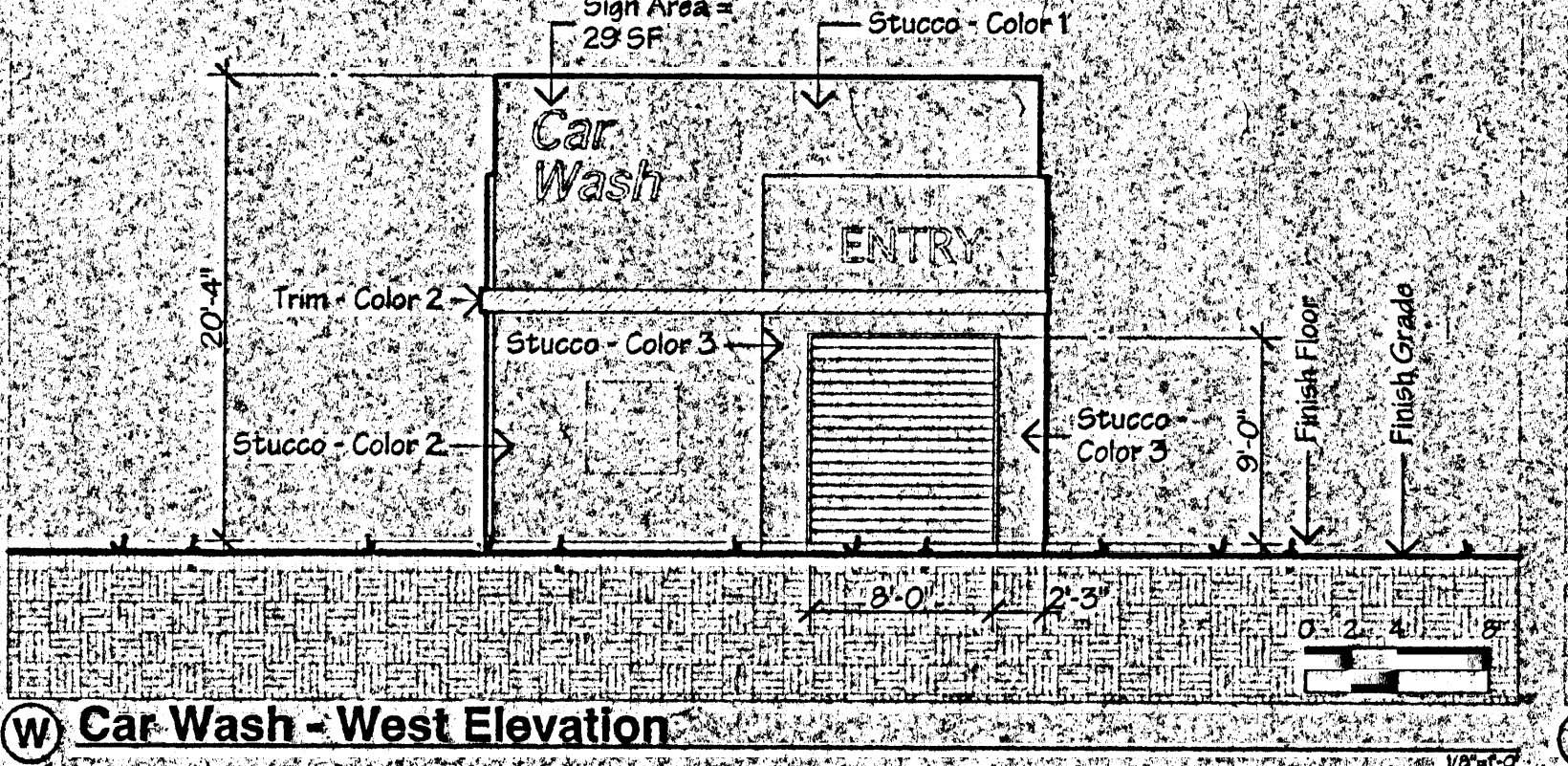
R Car Wash - East Elevation

Total sign SF is 48 which is less than 6% of the total facade.



T Car Wash - South Elevation

Total sign SF is 29 which is less than 6% of the total facade.



W Car Wash - West Elevation

Z Colors & Finishes