

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: The site now consists of 1 existing lot containing approximately 6.3519 acres.

PROPOSED USE: The zoning for the tract is SU-1 for C-1 Permissive Uses and Hotel not to exceed 2-Stories, and Restaurants w/Full Service Liquor. C-1 zones provide suitable sites for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas. SU-1 zones provide suitable sites for uses which are special because of infrequent occurrence, effect on surrounding property, safety, hazard, or other reasons, and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View drive and the future connection to Tract 12 to the east. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connection to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with these Design Guidelines (Sheet 2) and with the individual Site Plans for Building Permit. A pedestrian/bicycle access to the Corrales Main Canal shall be provided from Tract 2C.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the existing and proposed rights-of-way or access easements. Internal parking, drive aisle, and pedestrian facilities shall be in accordance with these Design Guidelines (Sheet 2) and pursuant to an approved Site Development Plan for Building Permit. Access agreement shall be provided.

BUILDING HEIGHTS AND SETBACKS: Pursuant to the Design Guidelines (Sheet 2).

MAXIMUM F.A.R.: Maximum F.A.R. shall be .35.

LANDSCAPE PLAN: A Conceptual Landscape Plan shall be developed in accordance with the Site Plan for Building Permit and consistent with the landscaping and screening requirements included in the Design Guidelines (Sheet 2).

PROJECT # 1001206 DRB 02500-00420
EPC 01128-00558

APPROVALS

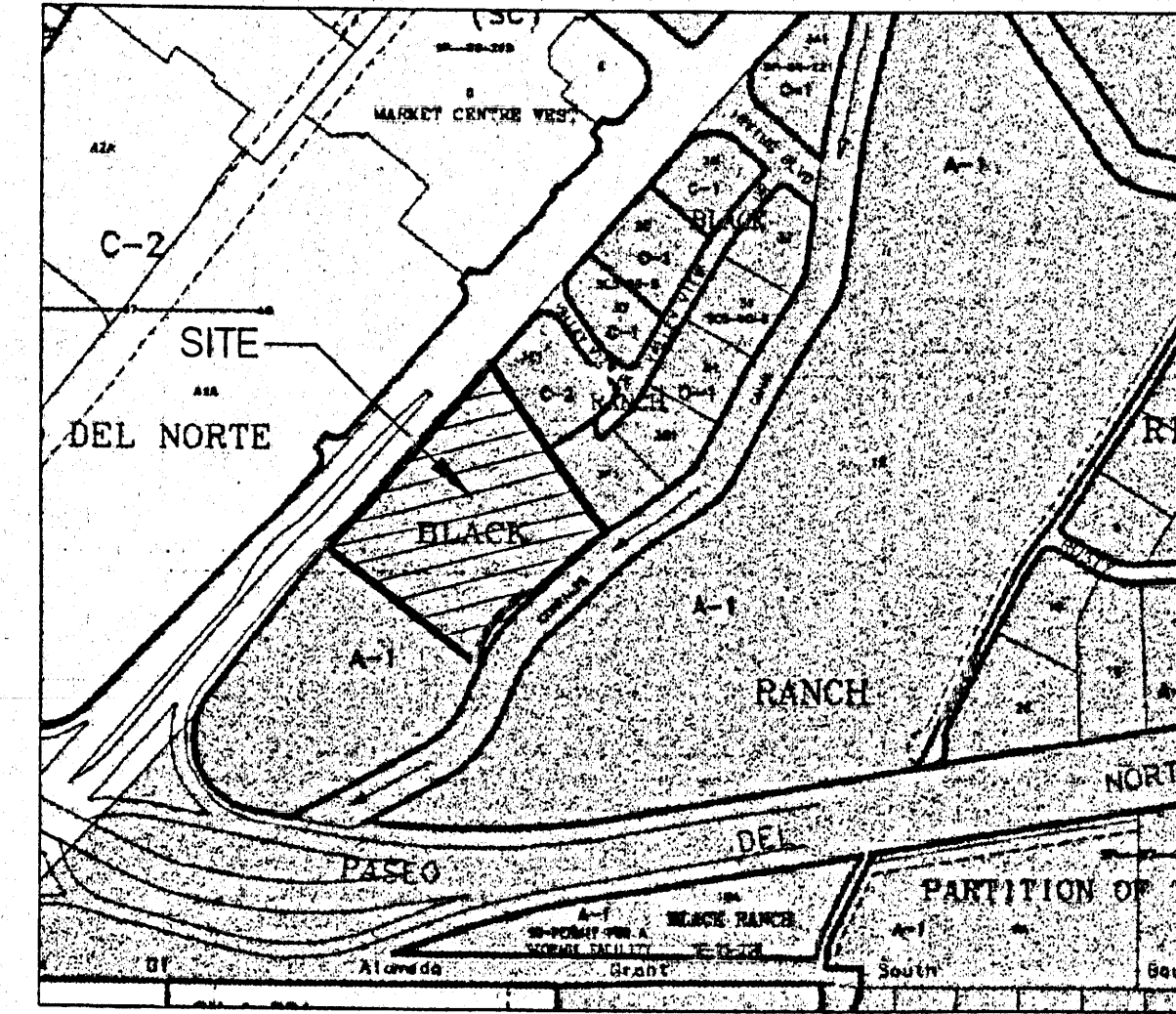
<i>[Signature]</i>	6/11/02
Planning Director	Date
<i>[Signature]</i>	6/7/02
Transportation Development	Date
<i>[Signature]</i>	4/3/02
City Engineer/AMAFCA	Date
<i>[Signature]</i>	6/11/02
Utility Development	Date
<i>[Signature]</i>	4/2/02
Parks and Recreation Department	Date

Amended
Site Plan for Subdivision
Tract 2A
BLACK RANCH

Prepared for:
Black Development Two, LLC
3813 NM State Road 528 NW
Albuquerque, NM 87114

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

SITE VICINITY



ZONE ALTAS C-13-Z

THE PLAZA AT PASEO DEL NORTE
COORS BOULEVARD N.W. (NEW MEXICO STATE HIGHWAY No. 448)
(150' R-O-W)

PASEO DEL NORTE N.W.

AMAFCA TRACT (NOT A PART)

TRACT 2-B
6.8009 Ac.
ZONED: RO-1

TRACT 2B
3.82 Ac.

TRACT 2-A
6.3519 Ac.
ZONED: SU-1 FOR C-1 PERMISSIVE USES AND HOTEL NOT TO EXCEED 2-STORIES, AND RESTAURANTS W/FULL SERVICE LIQUOR

TRACT 2A
1.52 Ac.

TRACT 2C
1.01 Ac.

TRACT 3E-1
1.3735 Ac.

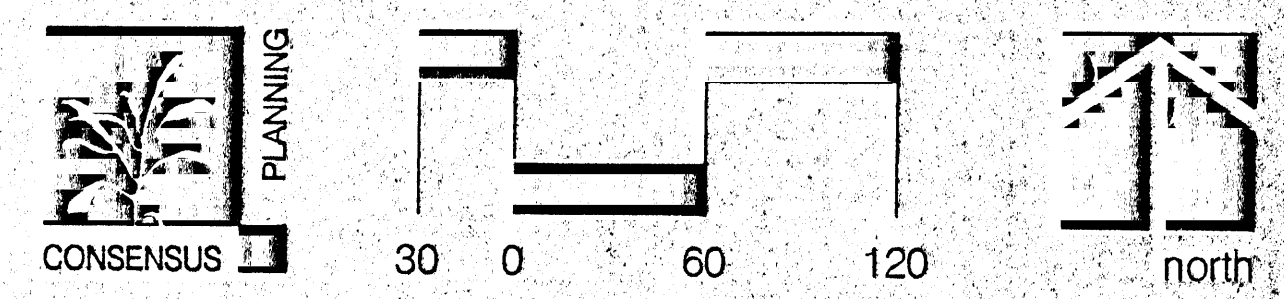
TRACT 3F-1
0.9660 Ac.
ZONED: O-1

TRACT 12
BLACK RANCH
EXISTING ZONING: COUNTY A-1

APPROVALS

Project #1001206	
EPC Application #02EPC-01341	
DRB Application #03DRB-00085	
<i>[Signature]</i>	1/29/03
Planning Department	Date
<i>[Signature]</i>	1/29/03
Transportation Development	Date
<i>[Signature]</i>	1/29/03
City Engineer	Date
<i>[Signature]</i>	1/29/03
Utility Development	Date
<i>[Signature]</i>	1/29/03
Parks & Recreation Department	Date

Scale 1" = 60'



March 25, 2002 / Revised June 3, 2002
Sheet 1 of 2

Amendment August 28, 2002

PROJECT 1001206

DESIGN GUIDELINES

INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the developers' goals and objectives for high quality development within Tracts 2A, 2B, and 2C. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

The design guidelines include the following elements:

- STREETScape
- LANDSCAPE
- SETBACKS
- SITE PLANNING/ARCHITECTURE
- SIGNAGE
- LIGHTING

These design guidelines are organized into two separate categories:

- 1) standards (those which are required); and 2) guidelines (those which are encouraged but not required).

STREETScape

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

Standards

- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with signage and contrasting textured paving material.

- A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring both visual and tactile attention to crosswalks for improved pedestrian safety (painted asphalt crosswalks are prohibited).

- Pedestrian pathways shall be provided to connect buildings on-site and to the adjacent streets. Trees shall be provided along pathways at an average spacing of 30 feet on center in 5-foot x 5-foot planters.

- Pedestrian pathways, at a minimum, shall be 10-feet wide where there is overlapping parking (2' overhang) on two sides; 8-feet wide where there is overlapping parking on one side; and 6-feet wide where there is no adjacent overlapping parking.

- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

Guidelines

- Parking provided adjacent to Coors Boulevard and Valley View Drive shall be screened by short walls (approximately 3-feet high) or buildings.

LANDSCAPE

The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards

Landscape Buffers

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial and the residential uses to the east. A minimum 10-foot landscaped buffer is required adjacent to the residential zoning. This buffer shall be accommodated on the commercial site.

- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 25 feet on center.

Frequency of Plantings, Installation, and Size

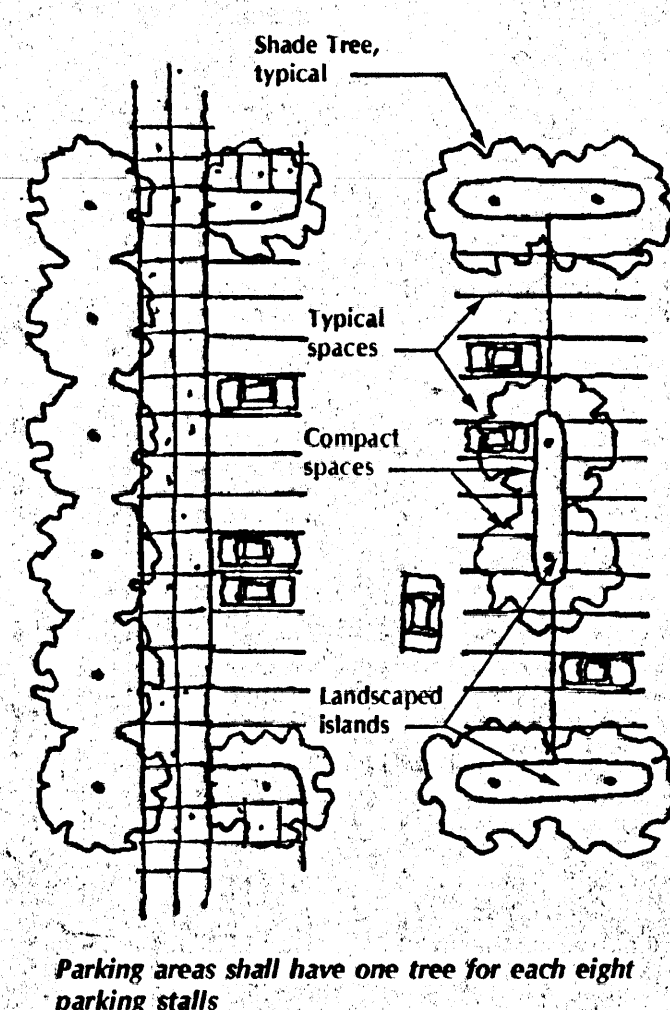
- Street trees in accordance with Albuquerque City Code section 6-6-2-5 shall be provided along Coors Boulevard.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.

- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.

- High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.



- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.
- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or steel construction, or other material compatible with the landscape concept.

Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Street Trees

Fraxinus spp.	Ash varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Prunus spp.	Flowering Plum varieties

General Use Plant Materials

Trees

Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cupressocyparis leylandii	Leyland Cypress
Forestiera neomexicana	New Mexico Olive
Fraxinus spp.	Ash varieties
Gleditsia spp.	Honey Locust varieties
Koeleruteria paniculata	Goldenrain Tree
Pinus edulis	Pinon Pine
Pinus nigra	Austrian Pine
Platanus acerifolia	London Planetree
Pyrus calleryana	Ornamental Pear
Vitex agnus-castus	Chaste Tree

Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia	Sand Sage
Artemisia tridentata	Big Leaf Sage
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Caryopteris clandonensis	Blue Mist
Chrysothamnus nauseosus	Western Virginibower
Clematis ligusticifolia	Cotoneaster varieties
Cotoneaster spp.	Dalea varieties
Dalea spp.	Red Yucca
Hesperaloe parviflora	Juniper varieties
Juniperus chinensis spp.	Juniper varieties
Juniperus horizontalis spp.	Juniper varieties
Juniperus sabinia spp.	Hall's Honeysuckle
Lonicera japonica 'Halliana'	Virginia Creeper
Parthenocissus inserta	Russian Sage
Perovskia atriplicifolia	Photinia
Photinia fraseri	Shrubby Cinquefoil
Potentilla fruticosa	India Hawthorn
Raphiolepis indica	Threeleaf Sumac
Rhus trilobata	Rosmary
Rosmarinus officinalis	Cherry Sage
Salvia greggii	

Ornamental Grasses

Miscanthus sinensis	Maiden Grass
Muhlenbergia spp.	Muhly Grass
Pennisetum spp.	Fountain Grass
Stipa tenuissima	Threadgrass

Lawn Grasses

Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

Standards

Building setbacks

- 10-feet from the right-of-way line of roadways
- 10-feet from the property line of an adjacent commercial or office zone

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10-feet from the right-of-way line of roadways
- All parking surfaces facing streets shall be screened with a minimum of a 30-inch wall or landscape berm so that parking grills and headlights are shielded from the right-of-way.

SITE PLANNING/ARCHITECTURE

Site Planning

In order to encourage a pedestrian-friendly environment within the development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structures and the street are clearly identified and inviting.

Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to pedestrian pathways.

- Sidewalks along the entry facade of all buildings shall be 15 feet wide with a minimum 6 foot wide clear path. Walkways shall be covered with portals, canopies and/or shade trees (25 foot average spacing in 5 foot by 5 foot planters).

- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.

- Parking areas shall be broken up through the use of convenient and logical pedestrian connections.

- Entryways shall be clearly defined and linked to the pedestrian pathways.

- Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berms. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

- There shall be a minimum 6-foot high, solid wall along the eastern edge of the subject site.

Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

Standards

- The following uses are prohibited: adult amusement establishments, night clubs, outdoor equipment and/or maintenance yards.

- Buildings and structures shall comply with all City Zoning and Building Codes.

- The maximum building height for commercial and office uses shall be 32-feet, however, building heights shall be in accordance with the Coors Corridor Plan view corridor restrictions.

- Building design and construction should be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.

- Businesses with drive-thru facilities shall provide canopies which are architecturally tied to the building.

- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of compatible design and materials.

- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be the same height or taller than all rooftop equipment.

- Pre-engineered metal buildings with masonry or equivalent skin applied to facades are prohibited.

- Design elements that are undesirable and prohibited include:

- Highly reflective surfaces
- Exposed, untreated precision block walls
- Chain link fencing, barbed wire, or concertina wire
- Attached mansard roofs on small portions of the roofline
- Corrugated metal (metal roofs are exempt)
- Plastic/vinyl facias or awnings
- Plastic/vinyl fencing

- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100-feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6-feet.

- Any cellular communication towers/facilities proposed for the site shall be architecturally integrated into the site.

- No outdoor loudspeakers and paging systems are allowed.

SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the development. They are to be used in conjunction with the City Comprehensive Zoning Ordinance, and the Coors Corridor Plan. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

Standards

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage of 100-feet or less. No more than two free-standing, two-sided signs are allowed for any one premise with street frontage of 100-feet or more. Free-standing signs are limited to a maximum sign face of 50 square feet and shall not

exceed 8-feet above adjacent finished grade.

- Facade mounted signs shall not exceed 6 percent of the facade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3-feet.

- No additional off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps. There is one existing off-premise sign located at the northwest corner of proposed Tract 2A.

- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.

- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.

- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.

- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

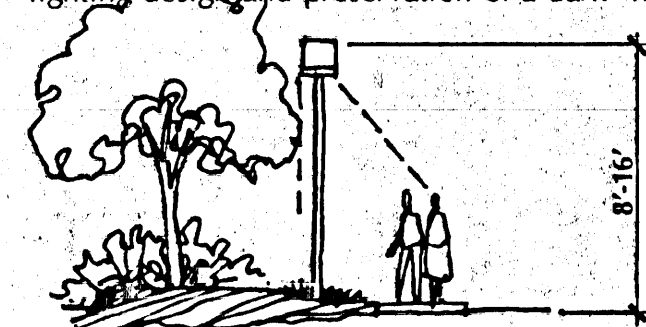
- No lighted signs shall be placed on east-facing buildings or in a location that is visible from residential areas east of this development.

Guidelines

- Free-standing monument style signs are encouraged, particularly for multi-tenant commercial/office development.

LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky".



Pedestrian Scale Lighting

Standards

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Search lights, spotlights, and floodlights are prohibited.

- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky" (additional shielding shall be provided on the east side of those fixtures on the eastern edge of the property) and equipped with automatic timing devices. Cobra and sodium lights are prohibited at this site.

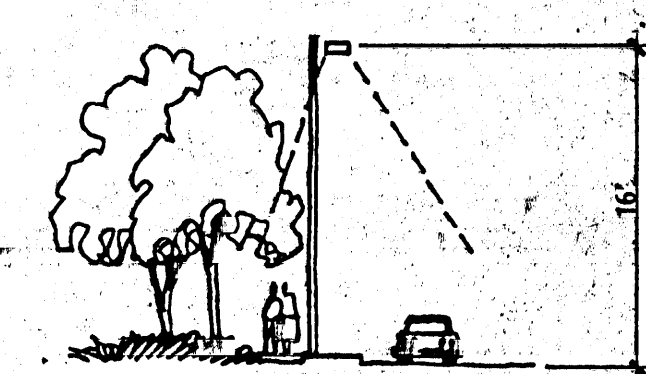
- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes (limited to 12-feet in height) or to illuminate walkways, driveways, equipment yards, and parking lots.

- Outdoor light poles shall not exceed 16 feet in height. Public streetlight poles are exempt from this height requirement.

- All lighting on the site shall be fully shielded, cut-off lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.

Guidelines

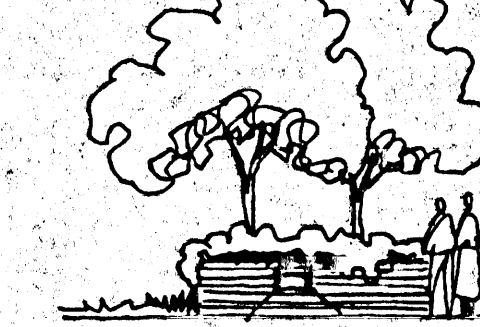
- Area lighting is encouraged to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.



Outdoor Light Poles



Bollard Lights



Wall Pocket Lights

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design.

Tract 2-A Black Ranch

Prepared by:
Black Development Two, LLC
3613 NM State Road 528 NW, Suite H
Albuquerque, NM 87114

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



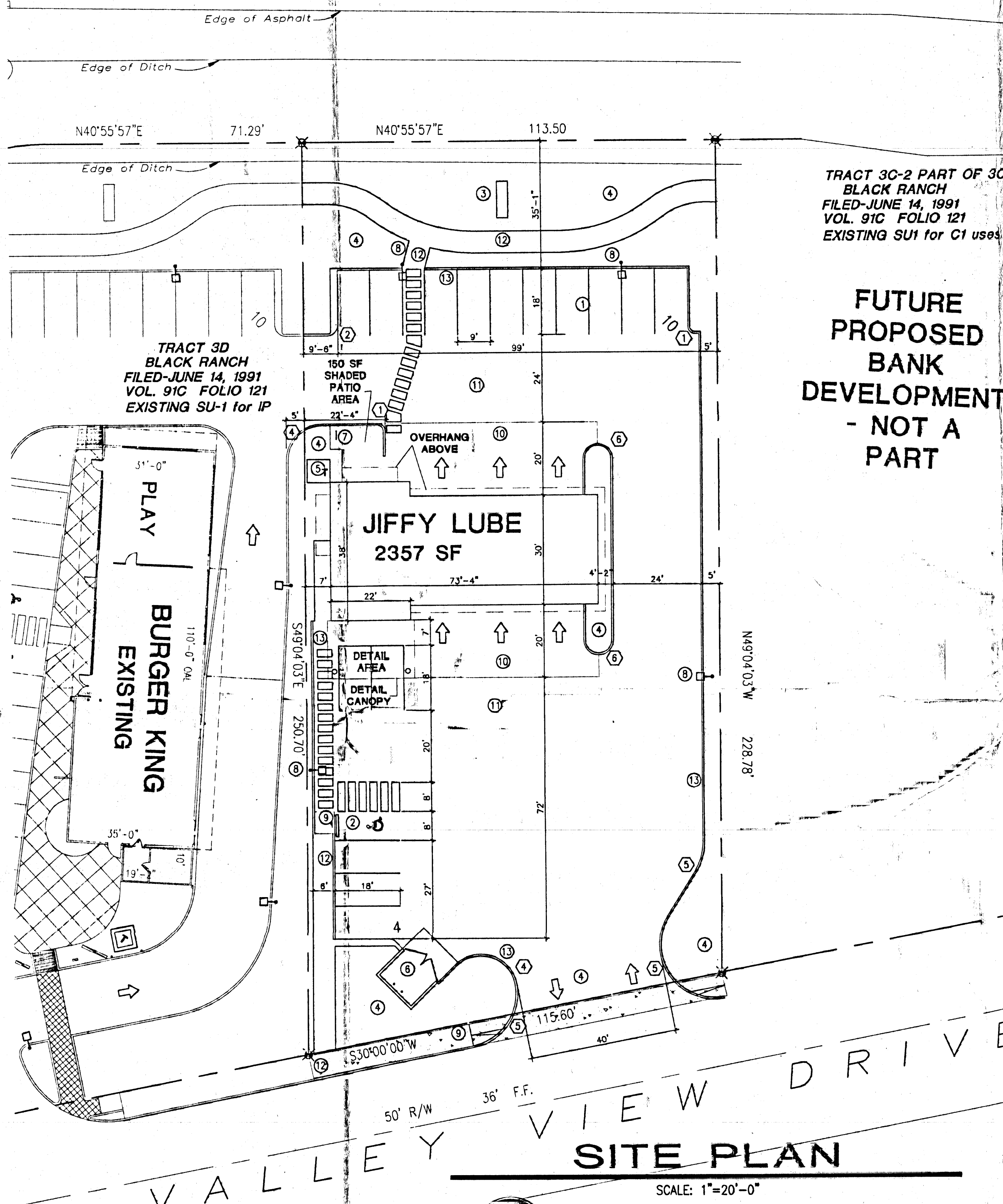
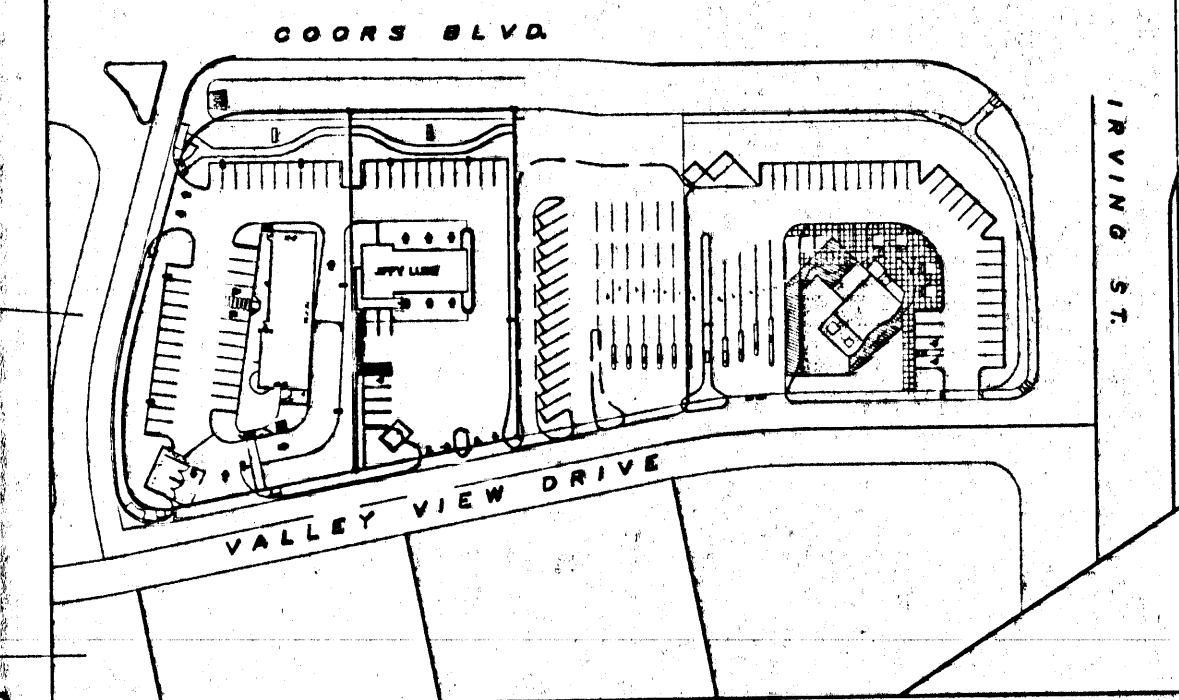
March 25, 2002

COORS BLVD.

EXISTING C2

153' R/W F.F. VARIES (110' +/-)

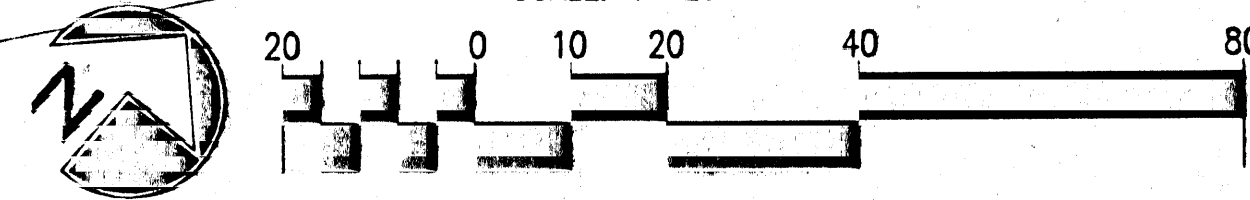
KEYED MAP 1:1600



FUTURE PROPOSED BANK DEVELOPMENT - NOT A PART

SITE PLAN

SCALE: 1"=20'-0"



LIST OF DRAWINGS:

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING + DRAINAGE / UTILITY PLAN
- BUILDING ELEVATIONS

KEYNOTES:

- PARKING. (SEE PARKING NOTES BELOW)
- ACCESSIBLE PARKING VAN SPACE. (SEE DETAILS 5,6,7)
- MONUMENT SIGN. SEE DETAIL 8.
- LANDSCAPE BUFFER.
- TRANSFORMER
- COA APPROVED DUMPSTER ENCLOSURE. (SEE DETAIL 4)
- BIKE RACK. (SEE DETAIL 3)
- LIGHT POLE. (SEE DETAIL 2)
- ACCESSIBLE RAMP. (SEE DETAIL 1)
- BLACK CONCRETE PAVING.
- ASPHALTIC CONCRETE PAVING.
- NEW 6" CONCRETE SIDEWALK
- CONCRETE STANDING CURB PER COA STD. DETAILS.

LEGAL DESCRIPTION

TRACT 30-2 PART OF 30 OF BLACK RANCH FILED JUNE 14, 1991 VOLUME 91C, FOLIO 121

CURRENT ZONING: SU-1 FOR C1
TOTAL ACREAGE: 0.6245 AC OR 27,203 SF
ZONE ATLAS: A-13-2 & A-14-2

BUILDING AREA & PARKING CALCULATIONS:

BUILDING AREA	
JIFFY LUBE	2,357 SF. BUILDING
PARKING NOTES:	
TYPICAL STANDARD SPACES ARE	9'-0" x 18'-0"
TYPICAL HANDICAP SPACES ARE WITH A 8' WIDE ACCESS AISLE	8'-0" x 18'-0"
PARKING SPACES REQUIRED = 2357 SF / 200 = 12 SPACES	
TOTAL STANDARD PARKING SPACES PROVIDED	13 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 1 VAN SPACES)	1 SPACE
TOTAL PARKING SPACES PROVIDED	14 SPACES
BICYCLE SPACES REQUIRED = 1 / 20 CARS PROVIDED = 1	
BICYCLE PARKING SPACES PROVIDED = 2	

RADII:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 4'-0"

EPC 0123 - 01750 PROJECT # 1001206
02DRB - 00172

APPROVALS

<i>Janet 35</i> Planning Director	3/21/02	Date
<i>Paul Dan</i> Transportation Development	2-30-02	Date
<i>Beards D. Buihan</i> City Engineer/AMAFCA	2-13-02	Date
<i>Ronald A. ...</i> Utility Development	2-13-02	Date
<i>Adriana E. ...</i> Parks and Recreation Department	2/12/02	Date
<i>Joe Wilson</i> Solid Waste	2-5-02	Date

GENERAL NOTES

Note: A reciprocal access assessment between lots 3C-1 and 3D shall be provided.

SITE LIGHTING

ALL LIGHT FIXTURES SHALL BE FULLY HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

BUILDING FINISHES

CUSTOMER AREA: LIGHT TAN STUCCO ABOVE MEDIUM TAN SPLIFACE WAINSCOT WITH 8" RED ACCENT STRIPE AND GALVANIZED METAL ROOFING ON RED TUBE STEEL FRAME AWNINGS AND DETAIL CANOPY.
BAYS AREA: RED STUCCO SIGN BAND ABOVE MEDIUM TAN PAINTED SPLIFACE CMU WAINSCOT WITH 8" RED ACCENT STRIPE.
STOREFRONT AND OVERHEAD DOORS FINISH IS NATURAL ANODIZED ALUMINUM.

LOUDSPEAKERS

NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS ARE PERMITTED.

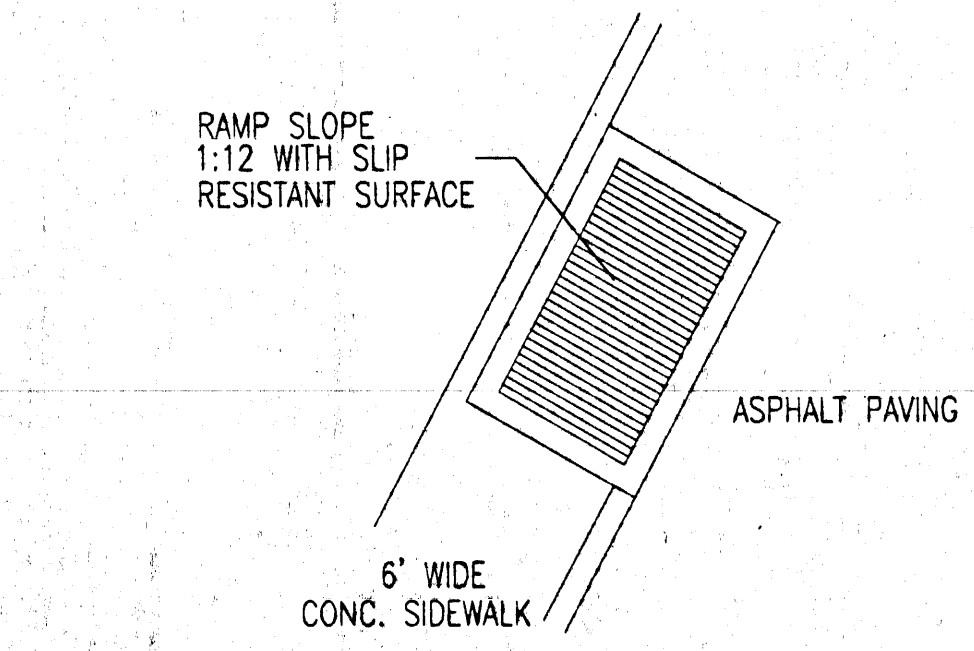
SIGNAGE

FREE STANDING SIGNS SHALL BE NO HIGHER THAN 8 FT. ABOVE GRADE WITH A MAXIMUM SIGN FACE SIZE OF 75 SF.

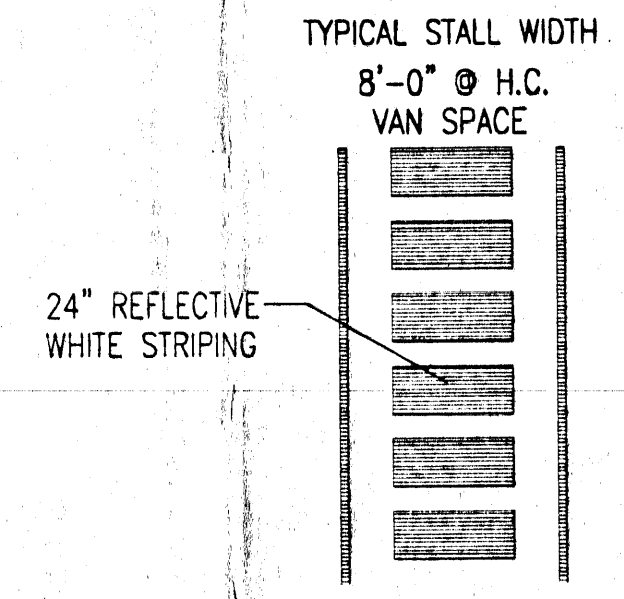
FAÇADE MOUNTED SIGNS SHALL NOT EXCEED 6% OF THE FAÇADE AREA TO WHICH IT IS ATTACHED AND THE MAXIMUM HEIGHT FOR INDIVIDUAL LETTERS IS 3 FT. NO LIGHTED SIGNS SHALL BE PLACED ON EAST FACING BUILDINGS OR IN A LOCATION THAT IS VISIBLE FROM RESIDENTIAL AREAS EAST OF THIS DEVELOPMENT.

MECHANICAL EQUIPMENT SCREENING

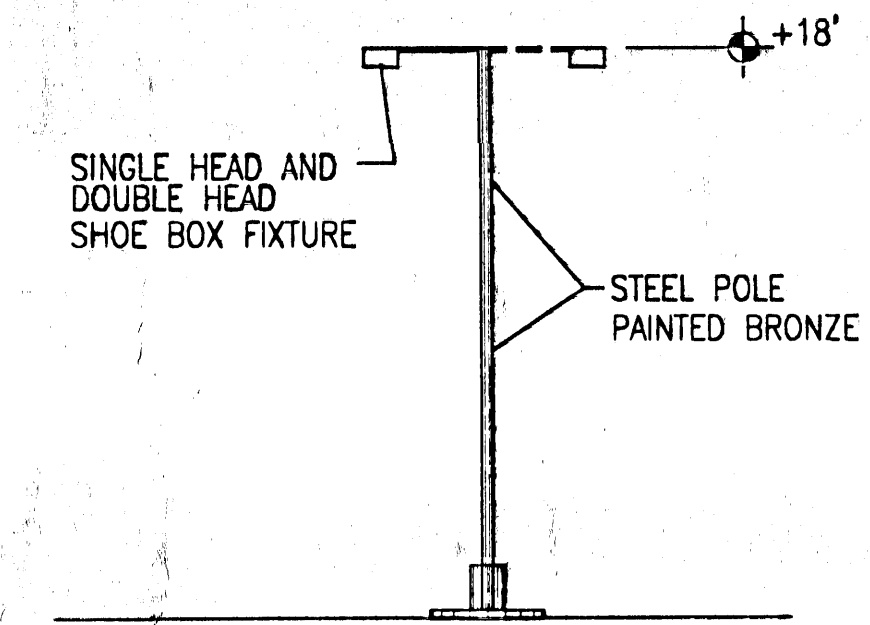
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED BY WALLS PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR SO AS TO BE AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF THE WALLS.



1 HC Ramp
NOT TO SCALE

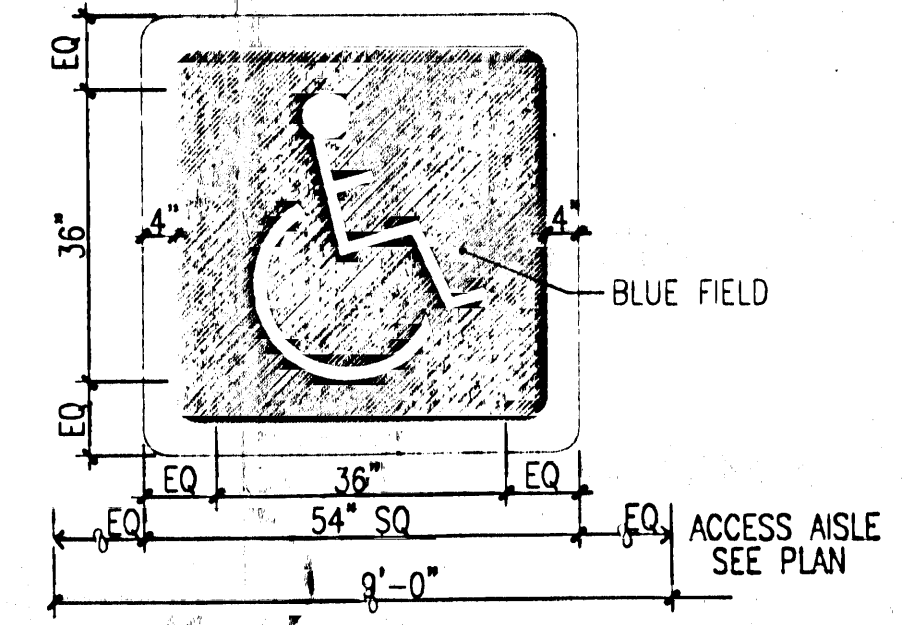


5 HC Parking Striping
NOT TO SCALE

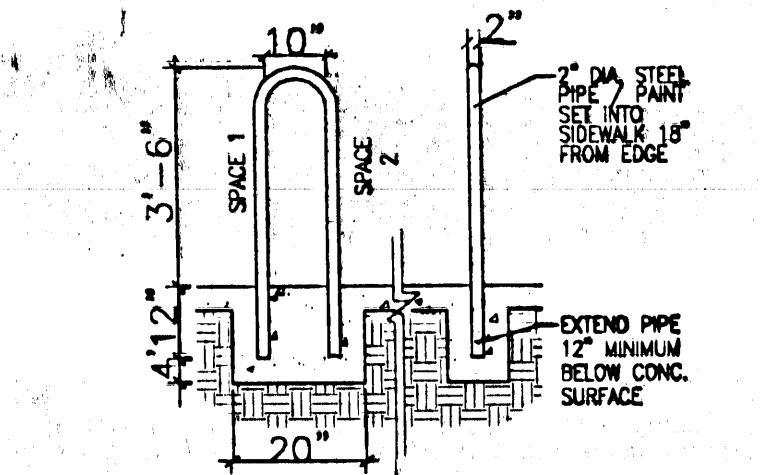


NOTE: SIGHT LIGHTING PROVIDED ON THE BUILDING FAÇADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.

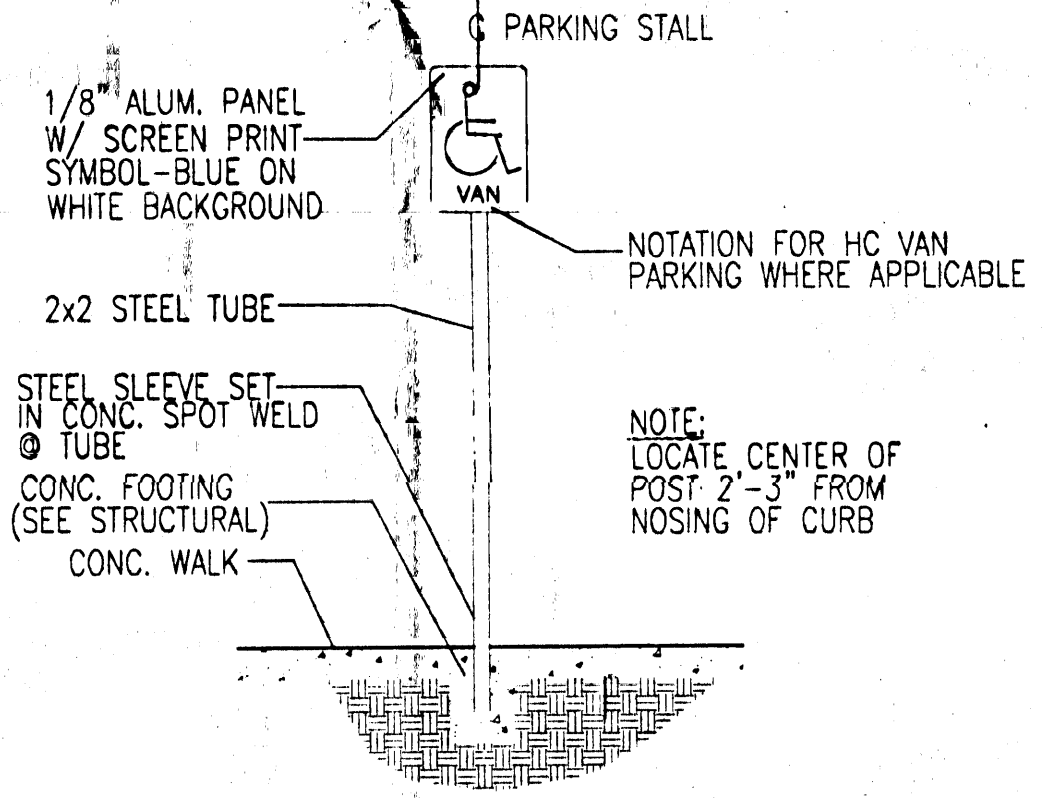
2 Site Lighting Detail
Scale: Not to Scale



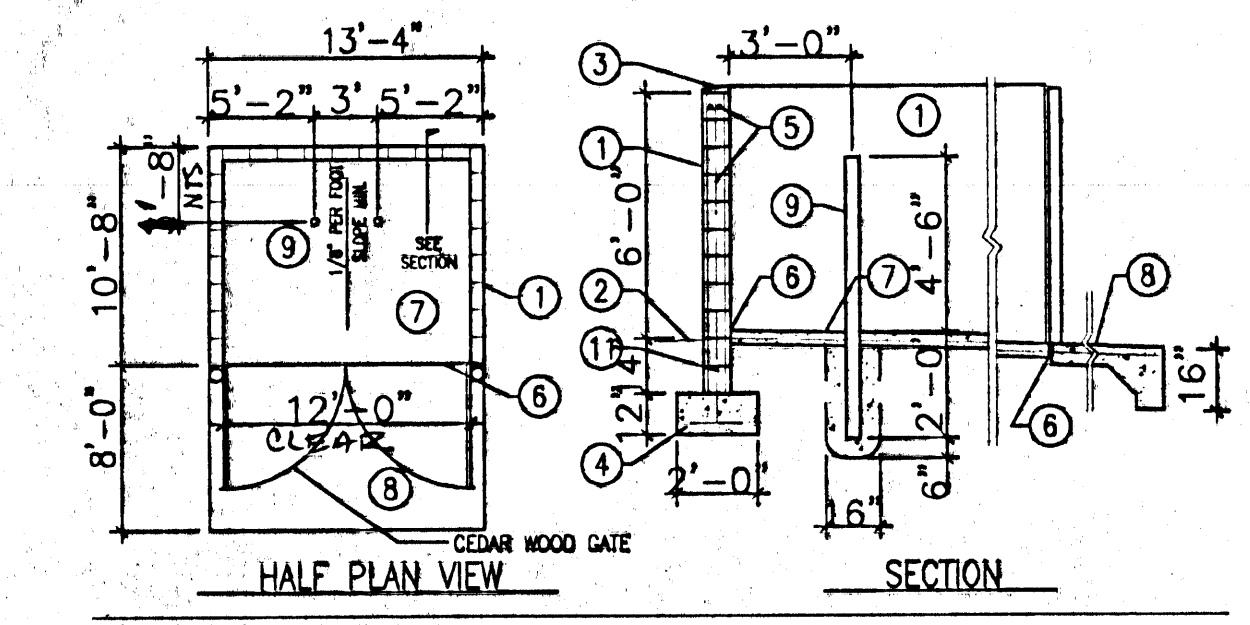
6 HC/Pavement Sign
NOT TO SCALE



3 Bike Rack Detail
Scale: Not to Scale

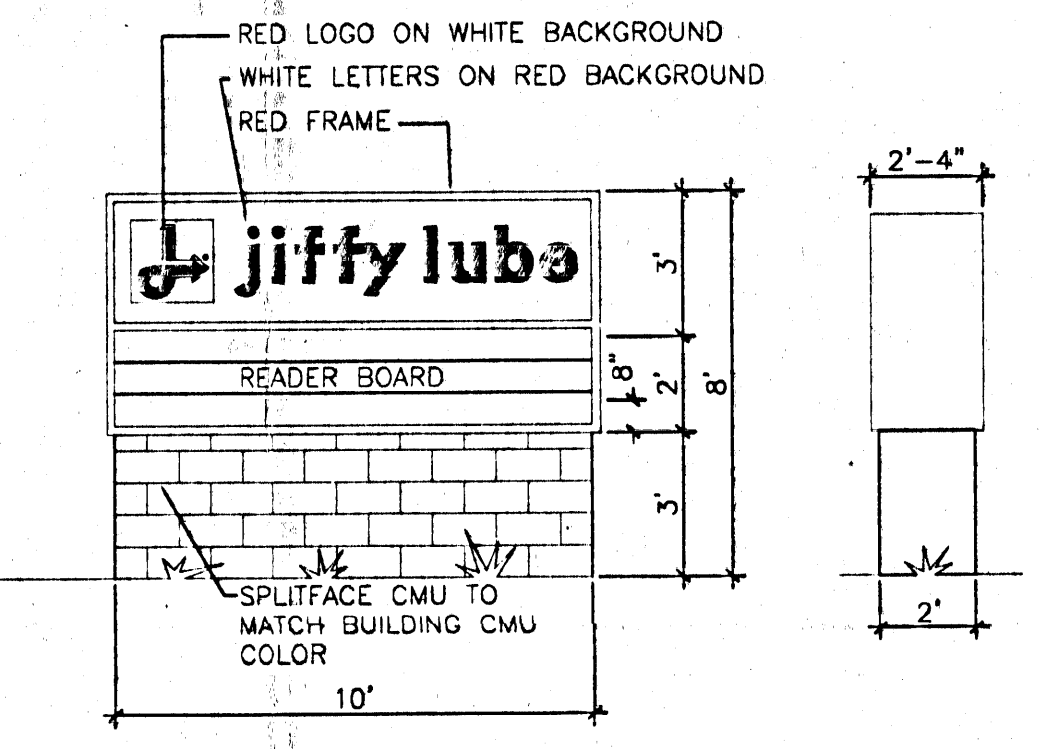


7 HC Parking Sign
NOT TO SCALE



OKEYED NOTES

- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT. FINISH GRADE.
- SLOPE STUCCO CAP.
- 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
- 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
- ASPHALT PAVING
- GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



8 MONUMENT SIGN
Scale: 1/4" = 1'-0"

REVISION

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			

GEORGE RANHART, ARCHITECT AND ASSOCIATES P.C.
2925 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-3110 FAX (505) 837-9877

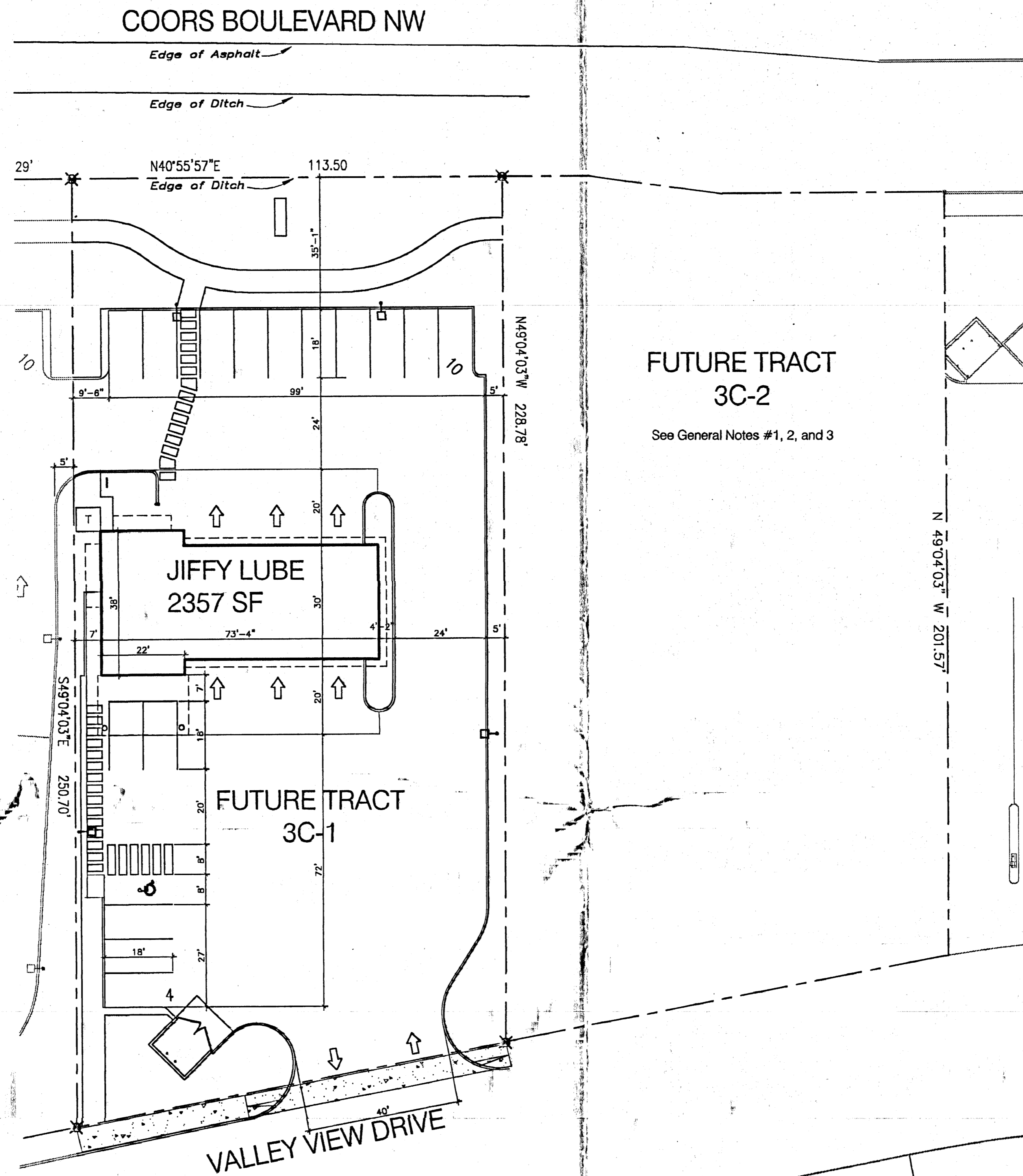
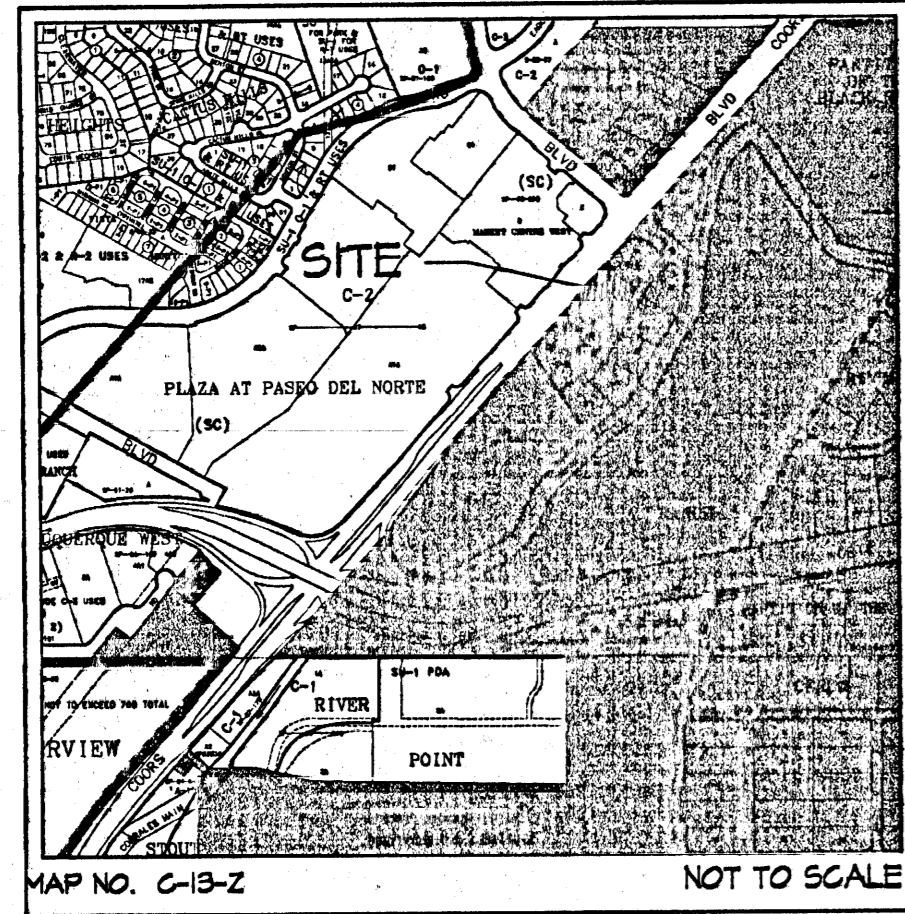
JIFFY LUBE
Coors Blvd. + Valley View Drive
Albuquerque, NM

PROJECT MANAGER Joe Johnson
DRAWN BY CU

SHEET TITLE Site Plan - Building Permit

DATE 11/29/01
SCALE AS NOTED

VICINITY MAP



SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION

THE SITE: The site consists of Tract 3C, Black Ranch and is 1.2 acres. This subdivision will create two tracts, Tract 3C-1 and 3C-2, that are 0.6245 and 0.5754 acres respectively. It is anticipated that Tract 3C-2 will be combined with the existing Tract 3B.

PROPOSED USE: The zoning for all tracts shall be SU-1 for C-1 uses.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Pedestrian and vehicular ingress and egress shall be on Valley View Drive. No direct vehicular access shall be permitted from Coors Boulevard pursuant to the Coors Corridor Plan. Pedestrian connections to Coors Boulevard and the new sidewalk on Valley View Drive shall be determined in accordance with the individual Site Plans for Building Permit.

INTERNAL CIRCULATION REQUIREMENTS: There shall be shared access between Tracts 3D and 3C-1, as well as between 3C-2 and 3B. There shall be no shared access between Tracts 3C-1 and 3C-2.

BUILDING HEIGHTS AND SETBACKS: Building height shall be limited to 18' unless otherwise controlled by the View Preservation section of the Coors Corridor Plan. Setbacks shall be a minimum of 10-feet from the right-of-way line of roadways, and 5-feet from the property line of an adjacent commercial or office zone.

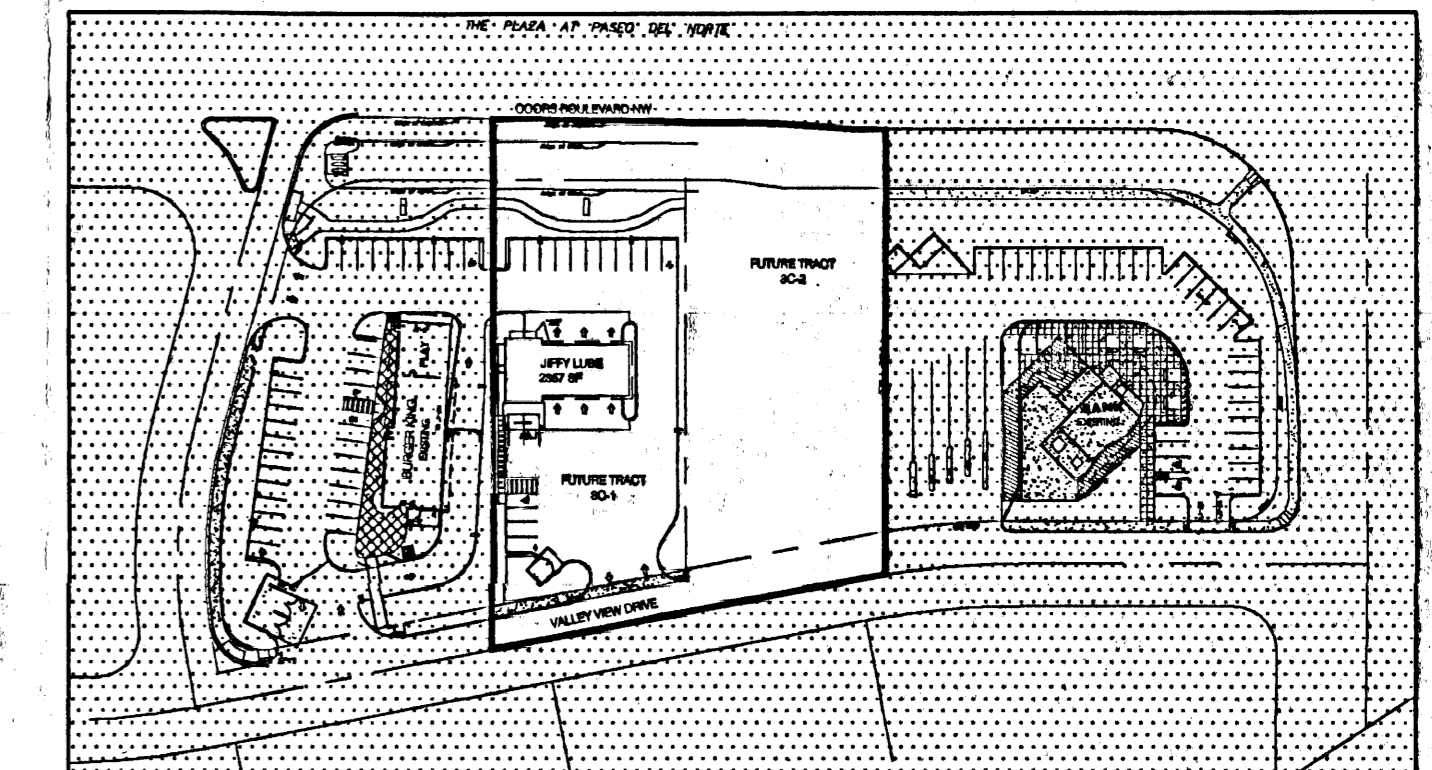
MAXIMUM F.A.R.: Maximum F.A.R. shall be .20.

LANDSCAPE PLAN: Conceptual Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit.

GENERAL NOTES:

1. A Traffic Impact Study shall be provided by Wells Fargo Bank (Tract 3C-2) for the expansion of the drive-up facilities prior to their site plan submittal for review by the DRB.
2. The Site Plan for Building Permit for Tract 3C-2 shall be delegated to the DRB provided that the development plans are for parking and drive-up facilities only.
3. A detailed layout for Tract 3C-2 will be reviewed by the DRB as a part of the required Site Plan for Building Permit.
4. A reciprocal access easement between lots 3C-1 and 3D shall be provided.

KEYED MAP



SITE PLAN FOR SUBDIVISION
JIFFY LUBE

Prepared for:
Presbyterian Health Care Services
1224 Central Ave. S.E.
Albuquerque, N.M. 87102

Prepared by:

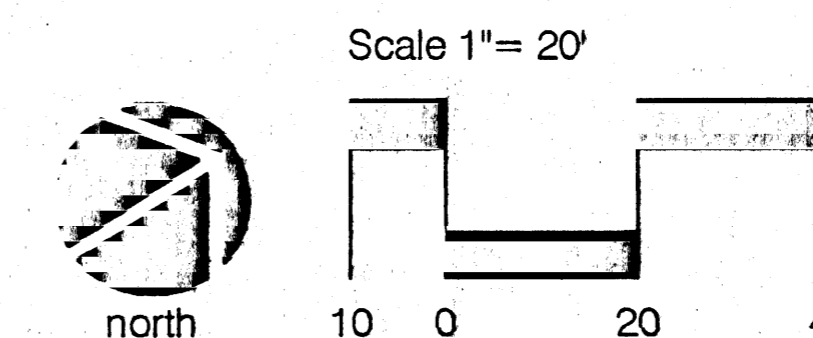
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

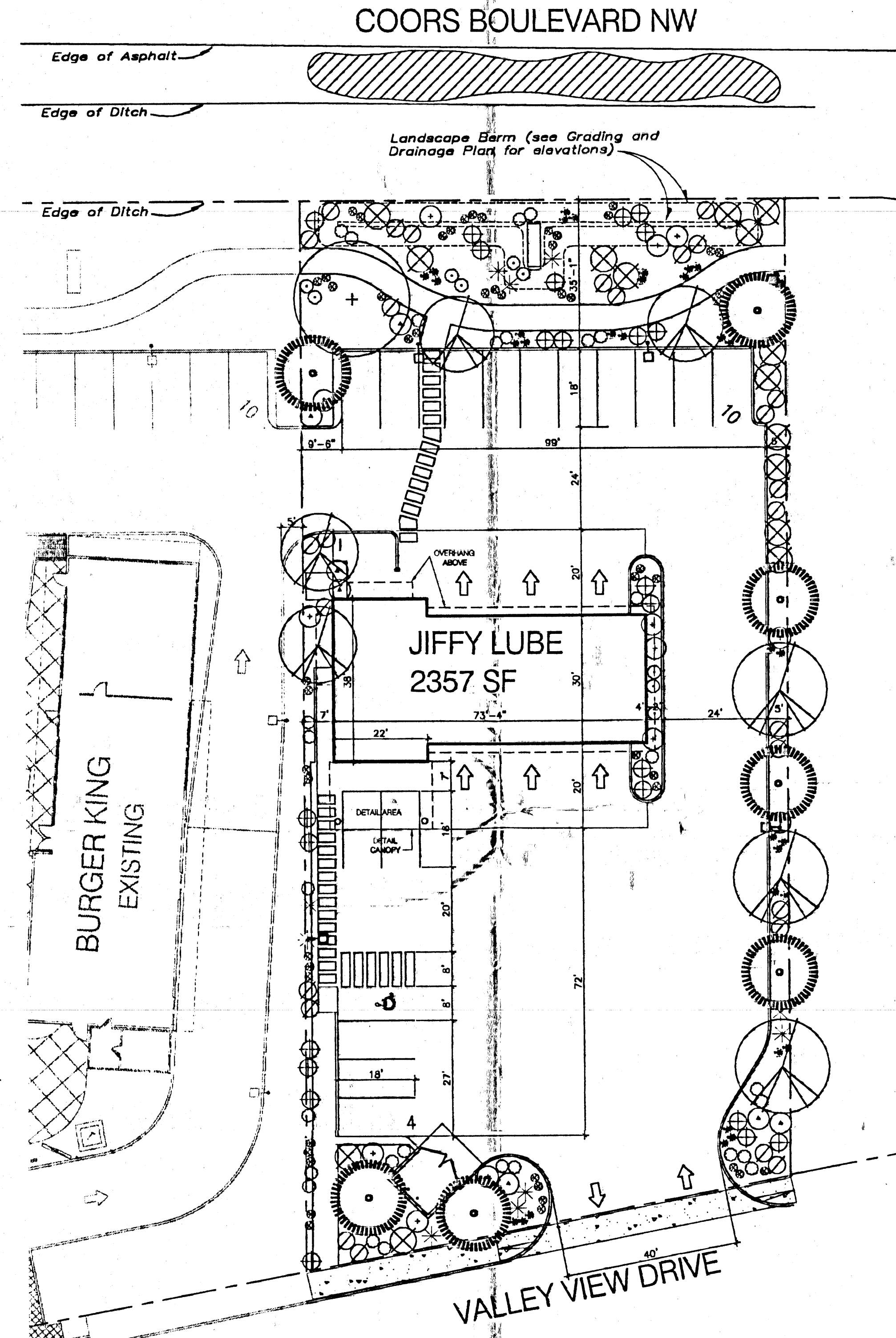
PROJECT # 1001206
EPC 01129 - 01749
02.DRB - 00171

APPROVALS

	3/21/02	Date
	3-20-02	Date
	2-13-02	Date
	2-13-02	Date
	2/13/02	Date

Note: Approval of the Site Plan for Building Permit for Tract 3C-2 shall be delegated to the D.R.B. Per the PRT meeting, a TIS will be required at the time of the Site Plan for Building Permit submittal for Tract 3C-2 (when the drive through facility exceeds six lanes).





GENERAL

The design and provision of landscaping features within Jiffy Lube Site will utilize water conservation, environmentally sound landscape principles in addition to providing an aesthetically pleasing environment for residents and visitors.

PLANT PALETTE

- Deciduous Trees (1 1/2" Caliper Min.)**
 - Chinese Pistache/*Pistacia chinensis*
 - Modesto Ash/*Fraxinus velutina 'Modesto'*
- Chaste Tree/*Vitex agnus castus***
 - Desert Willow/*Chilopsis linearis*
- Evergreen Trees (8' Min. Height)**
 - Austrian Pine/*Pinus nigra*
 - Scotch Pine/*Pinus sylvestris*
- Shrub Mix 1 (1 & 5 Gallon)**
 - Blue Mist/*Caryopteris clandestinis*
 - Buffalo Juniper/*Juniperus sabina*
 - Cherry Sage/*Salvia greggii*
 - Turpentine Bush/*Ericamena laricifolia*
 - Powis Castle Sage/*Artemisia Powis Castle'*
 - Red Yucca/*Hesperaloe parviflora*
- Shrub Mix 2 (1 & 5 Gallon)**
 - Chamisa/*Chrysothamnus nauseosus*
 - Big Leaf Sage/*Artemisia tridentata*
 - Bird of Paradise/*Caesalpinia gilliesii*
 - Russian Sage/*Perovskia atriplicifolia*
- Native Grass Areas**
(A temporary irrigation system will be provided until these native grass areas are established)
 - Blue Grama/*Bouteloua gracilis*
 - Sideoats Grama/*Bouteloua curtipendula*
 - Galleta/*Hilaria jamesii*

Mulches
3/4" Santa Ana Tan Rock Mulch (to be provided at all planting beds)

IRRIGATION SYSTEM

A fully automated drip irrigation system will be utilized to irrigate tree, shrub, and groundcover planting areas. single outlet and multi-outlet drip emitters will irrigate plant materials.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

LANDSCAPE AREA REQUIREMENTS

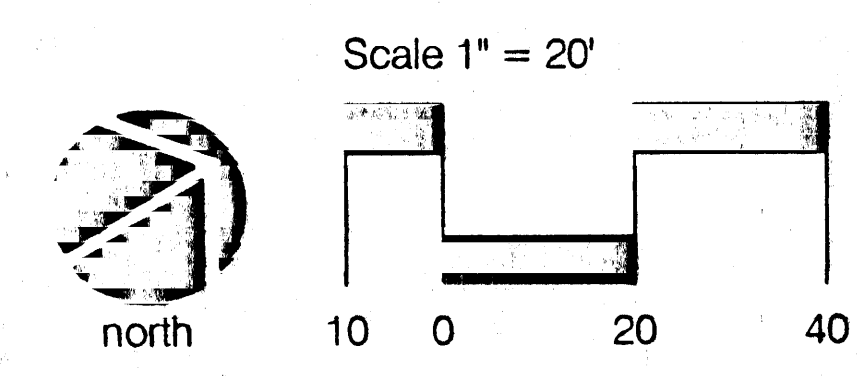
Site Area	27,203 s.f. (0.6245 acres)
Building Area	2,369 s.f.
Public R.O.W.	1,460 s.f.
Total	23,374 s.f.
Landscape Area Required (15%)	3,506 s.f.
Landscape Area Provided	4,630 s.f.

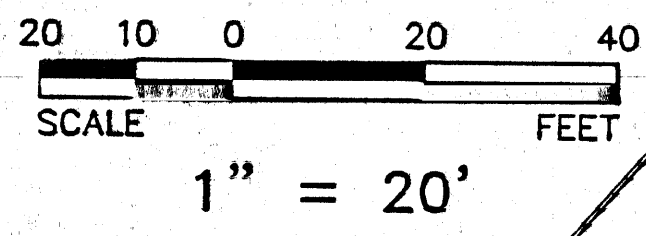
Note: The design and provision of landscape features within Tract 3C will be in conformance with the City of Albuquerque zoning code, street tree ordinance, pollen ordinance, and the water conservation landscaping and water waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

LANDSCAPE PLAN
JIFFY LUBE

Prepared for:
Presbyterian Health Care Services
1224 Central Ave. S.E.
Albuquerque, N.M. 87102

Prepared by:
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com





COORS BOULEVARD N.W.
NEW MEXICO STATE HIGHWAY NO. 448
 (15' DEDICATED PUBLIC R.W.)
 (PAVEMENT WIDTH VARIES, 110' F-F + 7')

PROJECT BENCHMARK
 3-1/2" aluminum monument
 Elevation = 5021.35 feet

BENCH MARK
 N.M.S.H.C./A.C.S. Control Monument "NM-448-N10"
 New Mexico State Plane Coordinates, Central Zone
 (NAD 27) as published: Y = 1,524,161.52 X = 377,788.84
 Combined ground to grid factor = 0.99967575
 Delta Alpha = -00'14"09" Elev. = 5045.51

TRACT 3E-1
BLACK RANCH
 -93, Vol. 93C, Folio 13

TRACT 3D
BLACK RANCH
 Filed 6-14-91, Vol. 91C, Folio 121

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-9021

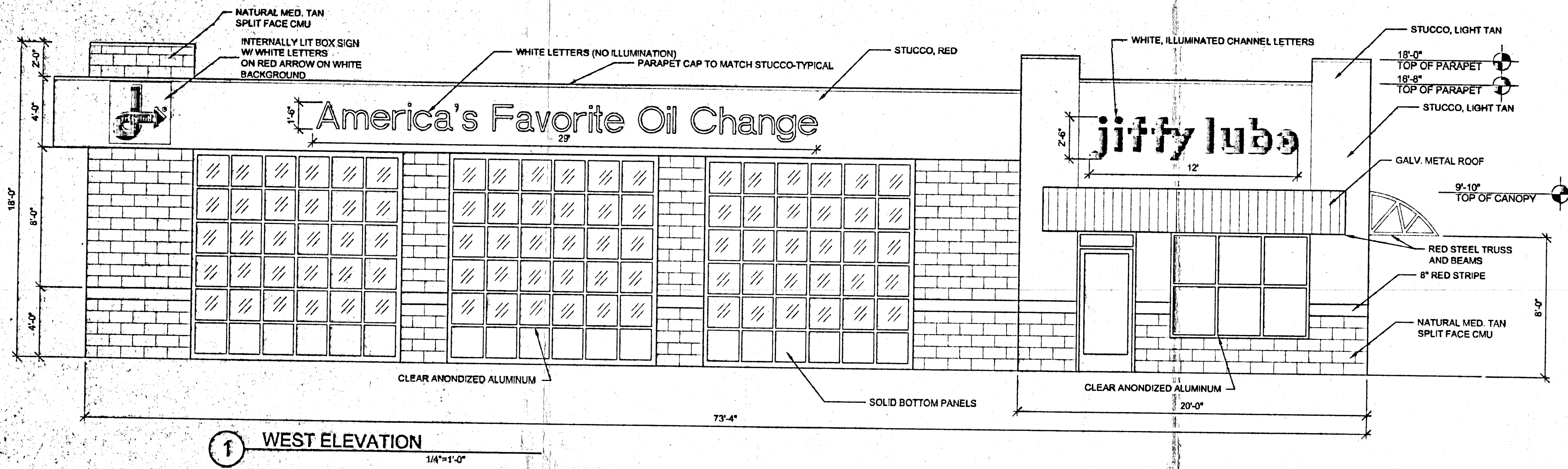
JIFFY LUBE
CONSTRUCTION GRADING PLAN
COORS BLVD. & VALLEY VIEW DR.



Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	
X	C-13	3	

WCEA #X1218064
 01-02

02-05-02



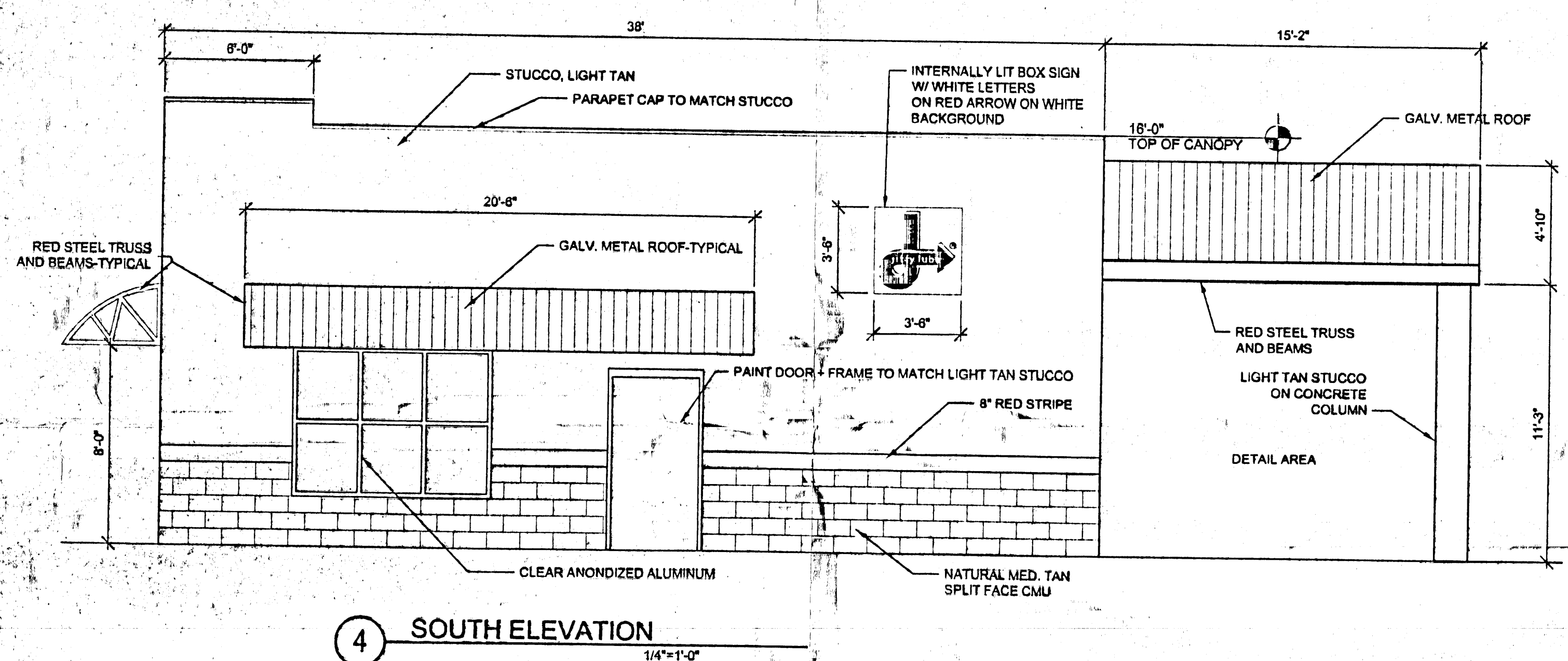
1 WEST ELEVATION
1/4"=1'-0"

SIGN AREA SUMMARY

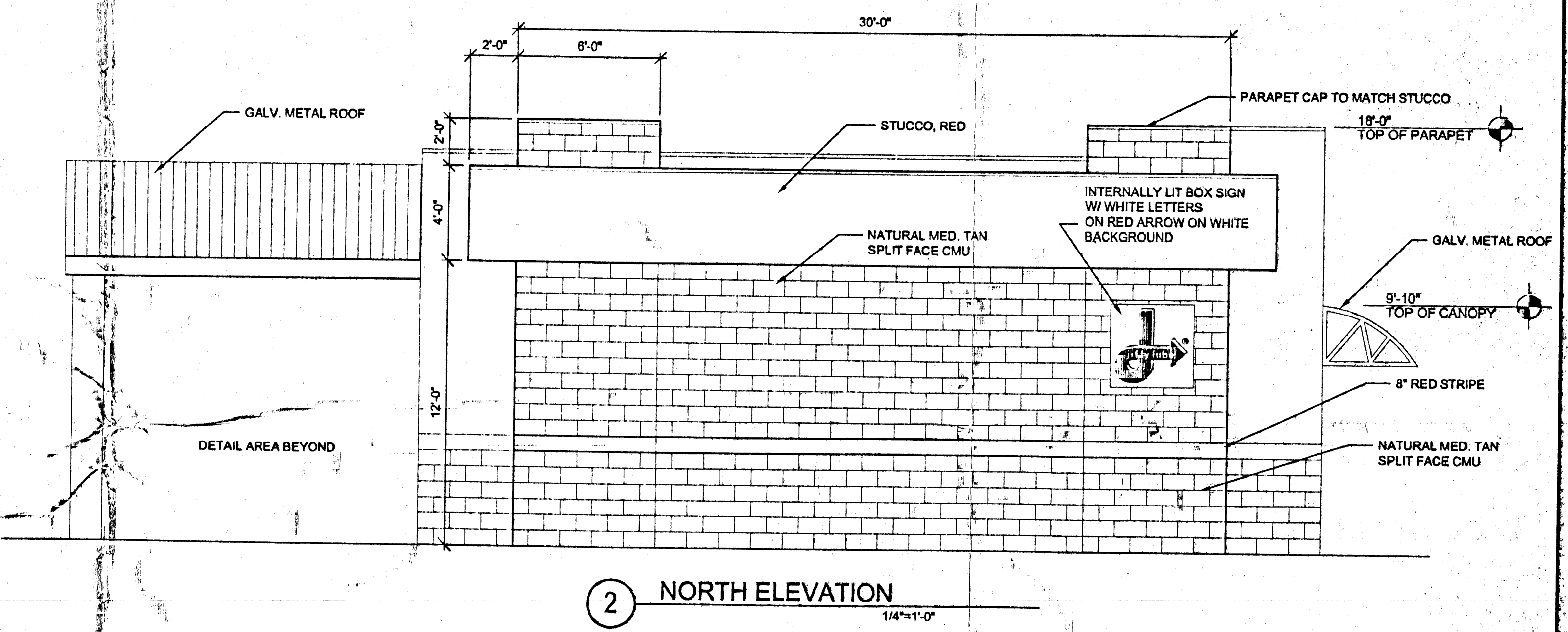
WEST ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
"America's Favorite Oil Change" LETTERS	36.62 SF
SMALL "JIFFY LUBE" ILLUMINATED SIGN	19.65 SF
	68.52 SF
NORTH ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
EAST ELEVATION	
NONE	0.00 SF
SOUTH ELEVATION	
3'-6" X 3'-6" JIFFY LUBE BOX SIGN	12.25 SF
TOTAL BUILDING SIGNAGE	93.02 SF

SIGNAGE % OF WEST ELEVATION (1214 SF) = 5.84%
 SIGNAGE % OF EAST ELEVATION (1203 SF) = 0.00%
 SIGNAGE % OF NORTH ELEVATION (650 SF) = 1.88%
 SIGNAGE % OF SOUTH ELEVATION (520 SF) = 2.36%
 SIGNAGE % OF ALL ELEVATIONS (3587 SF) = 2.59%

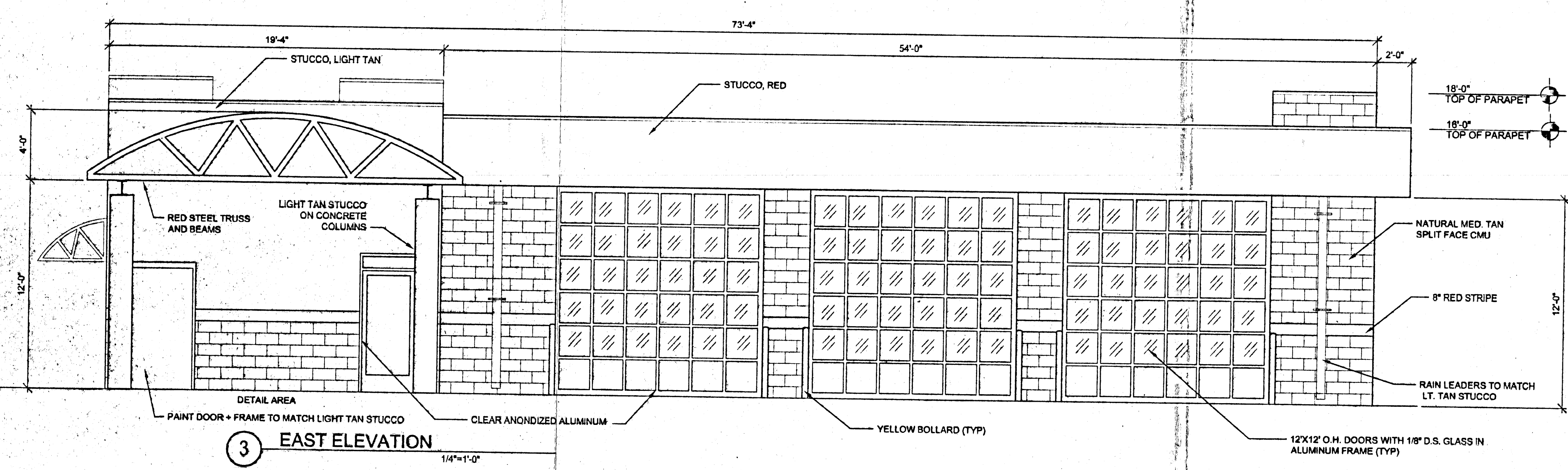
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



4 SOUTH ELEVATION
1/4"=1'-0"



2 NORTH ELEVATION
1/4"=1'-0"



3 EAST ELEVATION
1/4"=1'-0"

GEORGE RAINWART, ARCHITECT AND ASSOCIATES P.C.
 2326 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-8877

PROJECT TITLE
JIFFY LUBE
 Valley View Drive
 Albuquerque, NM
 PROJECT MANAGER
 JOB NO.
 0125
 DRAWN BY
 BU
 SHEET TITLE
Building Elevations

DATE
 11/29/01
 SCALE
 1/4"=1'-0"
 SHEET NO.
4
 OF

