

PROJECT 1001209

BUILDING DESIGN

All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.

Building design and construction shall be used to create an attractive structure of quality materials. These materials must be applied to exterior walls on the front of the building and to the sides and rear of the building facing any public street. Finished quality building materials include the following: face brick, slump rock, stone, glass, masonry, stucco, dyvite or "EIFS" materials, tilt-up concrete, or their equivalent. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. The remaining exterior walls which do not require quality materials may be of masonry construction or its equivalent or better, or it may also include pre-engineered metal skins.

Design techniques which can be utilized to help overcome typical unattractive and monotonous facades are as follows:

- * Employ variety in structural forms that create visual character and interest.
- * Avoid long, unarticulated facades. Facades shall have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 2 foot minimum offset, fenestration, material change, etc.)
- * Entries to industrial structure should portray a quality office appearance by being architecturally tied into the overall mass and building composition.
- * Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- * Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- * The staging of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of facade.
- * Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces.

Design elements which are undesirable and should be avoided:

- * Exposed, untreated concrete block walls.
- * Metal used as the main architectural feature.
- * Attached mansard roofs on small portions of the roofline.
- * Materials with high maintenance requirement.

Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery. Barring in conjunction with landscaping can be used at building edge to soften structure mass and height along facade.

Loading areas shall not be located on the front exterior of the building. The loading areas shall be screened from view from streets adjacent to the site using screening methods and materials set forth in these Guidelines. Doors which are larger than that customary for pedestrian traffic, such as garage doors, shall not face the street.

Design for roofs shall be as follows:

- * No part of the roof may project above the parapet, if used.
- * Mansard roofs shall wrap around the front perimeter of the building as well as that part of the side that falls within the 100 foot set back from curb.
- * All rooftop equipment shall be screened from the public view.
- * The roof design should be considered an integral part of the overall architectural design theme.
- * Concertaina and/or barbed wire are not permitted on the roof.

All roof-mounted mechanical equipment, ductwork and ventilators are to be painted consistent with the color scheme of the building or screened from view. Gutters, downspouts, vents, louvers, exposed flashing, tanks, stacks, overhead doors, rolling doors and service doors are to be painted consistent with the color scheme of the building.

BUILDING SITE COVERAGE

Buildings constructed on a site shall contain at least ten percent (10%) and shall occupy no more than thirty percent (30%) of the total area of the site.

SETBACKS

Building and Parking Area front yard setbacks. Based on the defined street classification the minimum front yard setback lines and the minimum parking area setback lines, as measured from the back of curb, shall be as follows:

Building front yard setback lines:	20 feet	Parking area setback lines:	10 feet
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The front yard setback shall remain free of buildings and structures, trash bins, storage and loading area and fences or walls (other than retaining walls). The area between the curb and the property line shall be landscaped and shall be considered as part of the front yard setback. Sites which front on more than one street must satisfy the front yard setback for all such streets.

Side and Rear Yard Setbacks. To act as a buffer between uses, buildings shall be set back a minimum of ten (10) feet at both the side and rear yard locations. Unless the space in the side yard setback is used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like, all areas within the side yard setback, within 100 feet from the curb, shall be landscaped.

No buildings or structures, other than fences, cantilevered roofs and sun screens, paved access or parking areas, refuse containers, mechanical or utility equipment or the like, shall be permitted in the side yard setback. No building or structures, other than fences, paved access or parking areas, cantilevered roofs and sunscreens, refuse containers, mechanical equipment or the like, shall be permitted in the rear yard setback.

LANDSCAPE

The front yard setback of every site and the side yard setbacks within 100 feet from the curb shall be a landscaped area (the "Landscaped Area"). The entire front yard setback less the paved access ways and parking areas, shall be landscaped, and the side yard setbacks within 100 feet from the curb which are not used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment, or the like, shall be landscaped.

- * On every site on which a building shall have been placed, the Landscaped Area and any other portion of the front yard(s), which is not paved parking and vehicular access, shall be landscaped in accordance with the following guidelines and thereafter shall be maintained in a well-kept condition.
 - * A minimum of eighteen percent (18%) of the net lot area shall be devoted to landscape with an emphasis placed on areas with street side exposure.
 - * Seventy-five percent (75%) of the required Landscape Area shall be covered with living vegetative materials. The area and the percentage is calculated based on the mature canopy size of all plant materials.
 - * A minimum of twenty (20%) of the provided Landscape Area shall be covered turf grasses. Areas of turf should be located at the most prominent visual points, such as, streetscapes and vehicular entries to the site. The area of turf help to create visual corridors into specific sites.
 - * All Landscape Areas not covered with turf shall have a ground topping of crushed rock, bark chips, river rock or similar material which extends completely around the plant material. Colors allowed shall be earth tone ranges, including pale shades of red.
 - * Headers shall be used to separate the turf and ground cover zones.
 - * The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form.
 - * One tree is required for each thirty (30) linear feet of roadway; they may be informally clustered with no more than fifty footgap between groups.
 - * In addition to street trees, one tree for every eighty (80) linear feet of the remaining site perimeter is required along the perimeter. The location of these trees shall be in the front, sides or rear setback areas. They may be clustered and should include a mix of deciduous & evergreen trees.
 - * Off-street parking areas shall have one tree for each ten (10) parking stalls with no stall being more than 100 feet from a tree.
 - * The minimum plant sized at time of installation shall be as follows: Trees shall have a 2" caliper, measured two feet above the ground, twenty-five percent (25%) of the shrubs and ground cover shall be in five gallon containers, and the balance shall be in one gallon containers.
 - * Turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
 - * All plant materials shall be maintained, by the owner, in a living, attractive condition. All areas shall be maintained free of weeds.
 - * All areas which are planted with turf, shrubs and trees shall be irrigated by an underground system.
 - * All undeveloped sites, and all unpaved areas of developed sites shall be kept in a weed-free condition. All unpaved areas of developed sites shall be screened from view from the public right of way, or in the alternative, unpaved areas may be landscaped with natural grasses. Screening shall be through the use of a three (3) foot wall of acceptable materials. (Chain link fences are not permitted.)

Plant Materials: See the approved City of Albuquerque plant list.

SERVICE AND REFUSE COLLECTION AREAS

Outdoor storage areas are prohibited. Service yards and refuse collection areas shall be limited to the rear of the lots and screened from view from streets adjacent to the site through the use of an opaque visual barrier, at least six (6) feet in height. Where screening is required, it should be a combination of masonry pillars or short solid wall segments. The use of chain link fencing is not acceptable. The use of barbed wire or concertina is not permitted on the top of fences or walls.

PARKING AREAS

For those sites which front on Unser Boulevard, the parking area shall be screened from Unser Boulevard with a combination of plant materials and earthen berming. Such screening, utilizing an earthen berm, shall have a minimum height of 3 feet. To add interest and diversity to the screening function, the berm may be broken up occasionally with breaks in the design of the berm. At all times the Owner of each site shall maintain on that site the number of parking spaces required by the City of Albuquerque. At all times the off-street parking provided on each site, shall adequately accommodate the parking needs for all employees, customers, visitors, and company vehicles for that site. All off-street parking and access drives and all loading areas must be paved with a year-round surface of asphalt or concrete and properly graded to assure proper drainage.

LOADING AREAS SHALL BE SCREENED FROM VIEW OF THE PUBLIC ROWS

DUFFER UNDER FROM TRUCKING AREA WITH A BERM AND LANDSCAPE

DRAINAGE

All construction or alterations to any site shall conform to the requirements contained in the Master Drainage Report for that site. Approval of a Master Grading & Drainage Plan for the entire site shall be obtained from City Hydrology prior to final Site Development Plan signoff at DRB.

PEDESTRIAN WALKWAYS/BIKEWAYS

Properties adjacent to Unser Boulevard shall have a 6 foot sidewalk with a minimum landscaped area of 6 feet between the back of curb and the sidewalk. All other collector or local streets, where sidewalks are required, shall have a 4 foot wide sidewalk. A pedestrian circulation system from the Unser Boulevard trail, guest parking areas and employee parking areas to the building(s), consistent with City standards shall be provided with the site. In order to accommodate the bike trail system along Unser, bike racks shall be provided on each site.

SIGN STANDARDS

Signs shall be integrated with the architectural design of the buildings, in appropriate proportion with the scale of the buildings. All elements of a sign shall be maintained in a visually appealing manner. Facia signs shall not protrude above the parapet. The only signs allowed in the Landscaped Area will be one identification sign (per site) and signs necessary for the regulation or direction of traffic flows. All signs shall conform to the requirements of the C-1 zone. Internal lighting of individual letters (only) and face lighting of signs are permitted.

UTILITIES

All utility lines and associated facilities furnishing service to the Property shall be installed and maintained underground. Transformers, utility pads and telephone boxes shall be appropriately screened with walls or landscaping when viewed from the public right-of-way.

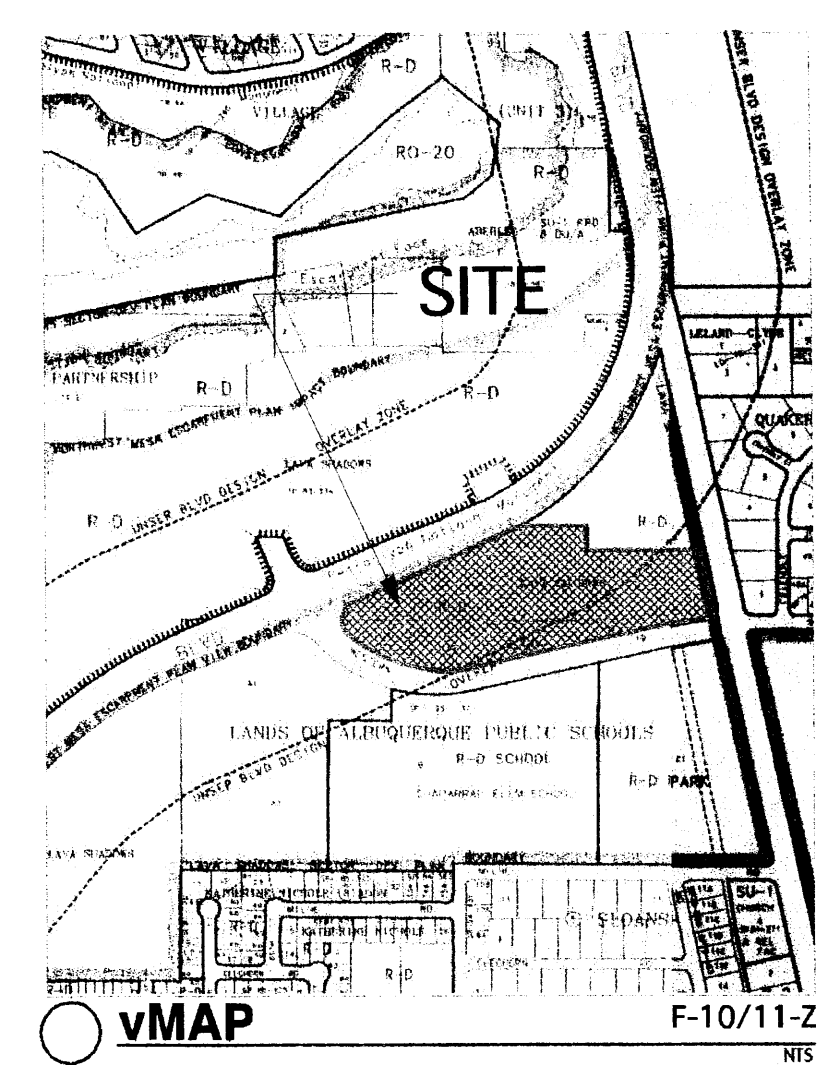
LIGHTING

Parking lot fixtures are to have an overall maximum height of sixteen (16) feet. Walkway lighting fixtures are to have an overall maximum height of twelve (12) feet. Security lighting fixtures are not to project above the fascia or roof line of the building and are to be shielded. Individual site lighting standards should blend with the architectural character of the building and other site fixtures. Sharp cut-off fixtures shall be used.

MAINTENANCE

Each undeveloped site, and the grounds, buildings and improvements of each developed site shall be kept in a safe, clean, wholesome condition, and all unpaved areas shall be maintained in a weed-free condition. Each owner or tenant shall remove at his own expense any rubbish or trash which may collect on his site. Such trash shall not be disposed of on the premises by burning in open fires or incinerators.

THESE GUIDELINES APPLY ONLY TO THE COMMERCIAL PORTIONS OF THIS SITE.



dmng
MARK GOODMAN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
1500 BOONVILLE AVENUE, NEW MEXICO 87106
(505) 833-2200 FAX (505) 971-4459
ENGINEER

LEGAL DESCRIPTION

(Vacant Land)
Lands of Ben T. Traub

(Vacant Land)
Lands of Raymond R. Van Wye

Tract A-2
Tract C-2
Lands of Albuquerque Public Schools

SUBDIVISION DATA

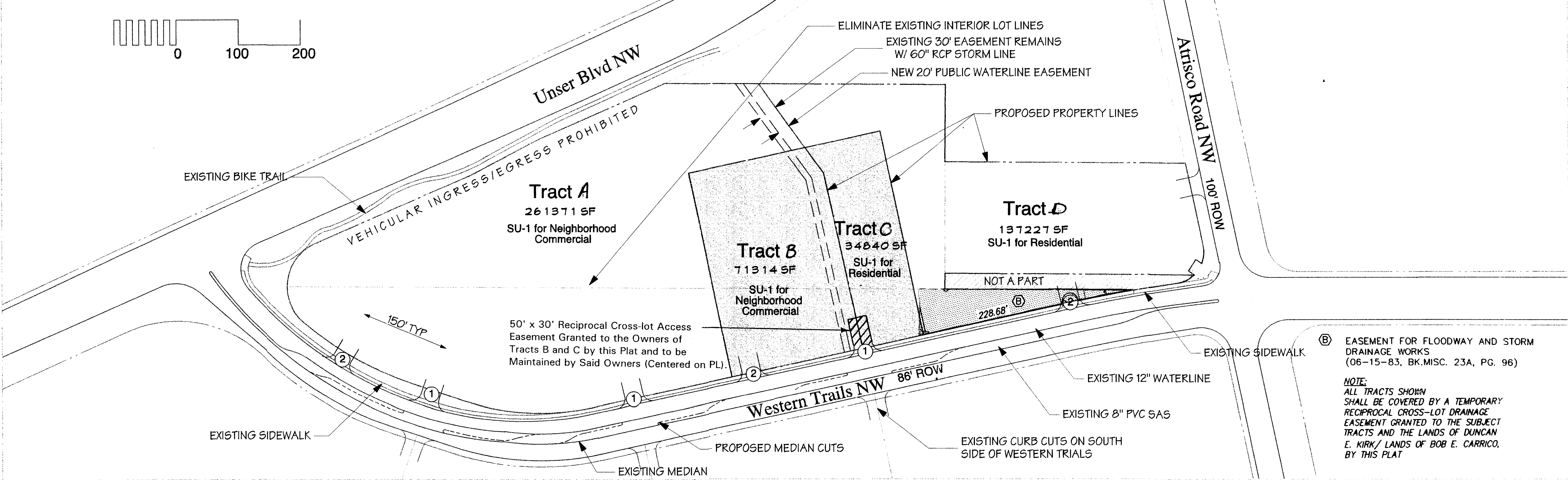
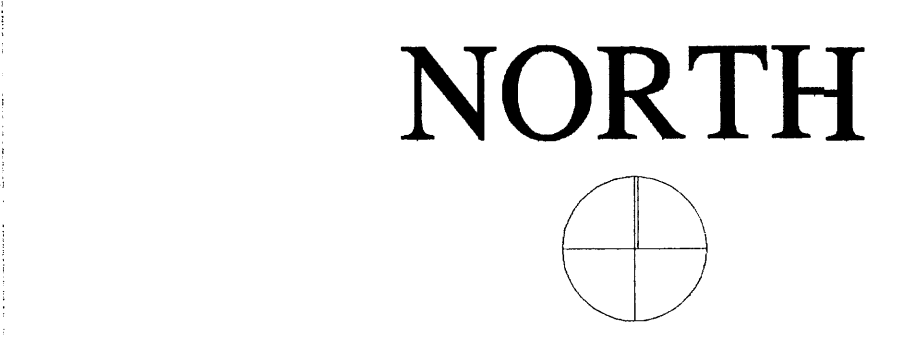
NO OF EXISTING TRACTS	4 TRACTS
NO OF LOTS CREATED	4 TRACTS
GROSS AREA	10.6218 AC +/-

1620 Central Ave. SE
Albuquerque NM 87106
(505) 247-1529
(505) 243-6701
gdl@mac.com

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G GUIDELINES

M LEGAL



SU-1 FOR NEIGHBORHOOD COMMERCIAL @ 30% FAR

SU-1 FOR RESIDENTIAL @ 12-14 DU/AC

EACH INDIVIDUAL LOTS WITHIN TRACTS 1 AND 2 SHALL BE REQUIRED TO SUBMIT A "SITE DEVELOPMENT PLAN FOR BUILDING PERMIT" IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED HEREIN.

KEYED NOTES:

- POTENTIAL FULL INGRESS/EGRESS POINTS
- POTENTIAL RIGHT IN/OUT ONLY

S ZONING

PROJECT No. 1001209
Case No.: 02500-00126

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on EPC- and DRB- and that the findings and conditions in the Official Notice; Notification of Decision have been comply

Alfred... 4/2/02
Traffic Engineer, Transportation Division Date

William E. Andolina 3/6/02
Public Works General Services Dept - Recreation Div. Date

Robert... 3/6/02
Public Works Water Utilities Division Date

Brady L. Bynlan
City Engineer, Engineering Div./AMA/CA Date

NA
Solid Waste Department Date

APPROVAL AND CONDITIONAL ACCEPTANCE:
As specified by the Development Process Manual.

... 4/17/02
City Planner ALBUQUERQUE PLANNING DEPARTMENT Date

S SIGNATURES

T SITE PLAN

Z SIGNATURES

The Lava Trails Site
Unser Blvd & Western Trails NW
Albuquerque New Mexico 87120

ISSUE DATE:
25 AUG 01

REVISIONS:

03 MAY 01
23 MAY 01
04 JUNE 01
17 SEP 01
5 NOV 01
1 FEB 02
4 MAR 02

SITE PLAN

SHEET
SDP-1
OF

PROJECT 1001209