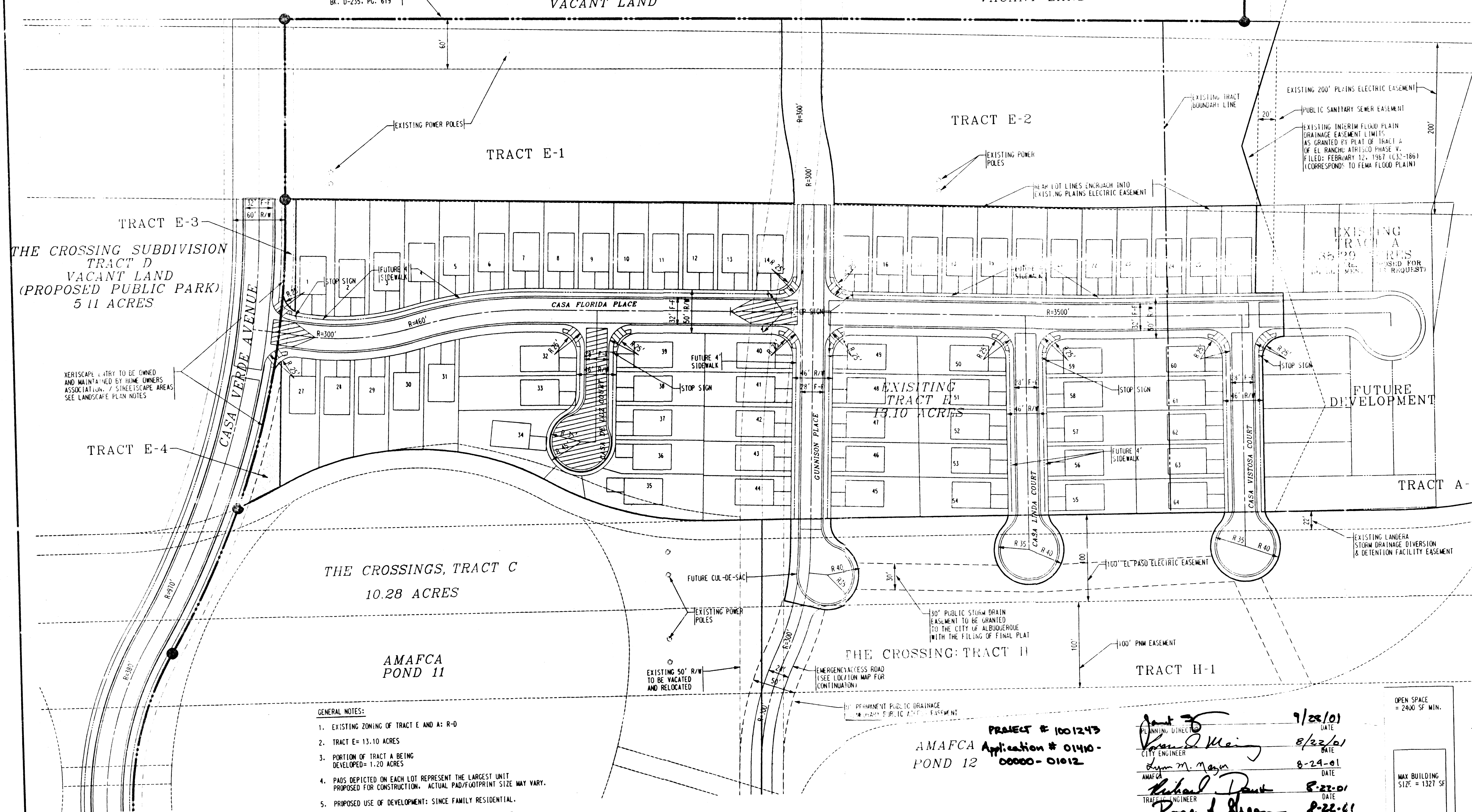


LA S LOMITAS (UNIT 2B)
ZONED R-D
DEVELOPED SINGLE FAMILY
RESIDENTIAL

UNIT 2 OF
THE CROSSING SUBDIVISION-TRACT 2
ZONED R-D
VACANT LAND

UNIT 1 OF
THE CROSSING SUBDIVISION
ZONED R-D
VACANT LAND



OPEN SPACE CALCULATION CHART

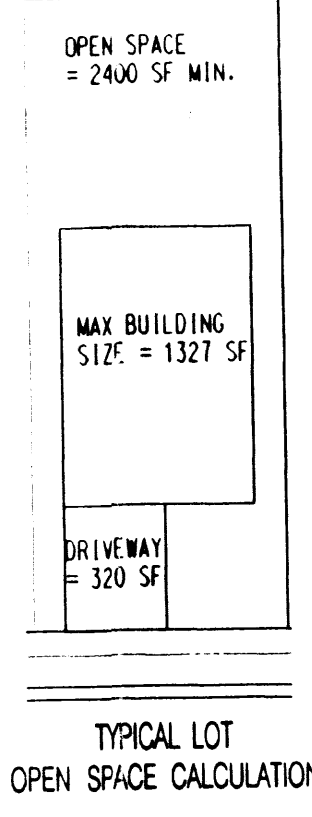
Lot Number	Lot Size (SF)	Building & Driveway Area (SF)	Provided Open Space (SF) (2,400 SF Required)	Remaining Open Space Requirement (SF)
1	5981.72	1647.00	4334.72	none
2	5349.55	1647.00	3702.55	none
3	5132.68	1647.00	3485.68	none
4	4711.71	1647.00	3064.71	none
5	4339.91	1647.00	2692.91	none
6	4107.40	1647.00	2460.40	none
7	4056.98	1647.00	2409.98	none
8	4048.04	1647.00	2401.04	none
9	4048.04	1647.00	2401.04	none
10	4048.05	1647.00	2401.05	none
11	4048.06	1647.00	2401.06	none
12	4048.06	1647.00	2401.06	none
13	4048.07	1647.00	2401.07	none
14	4622.31	1647.00	2975.31	none
15	4622.27	1647.00	2975.27	none
16	4048.09	1647.00	2401.09	none
17	4048.10	1647.00	2401.10	none
18	4048.40	1647.00	2401.40	none
19	4048.11	1647.00	2401.11	none
20	4048.11	1647.00	2401.11	none
21	4048.22	1647.00	2401.22	none
22	4048.79	1647.00	2401.79	none
23	4049.81	1647.00	2402.81	none
24	4050.09	1647.00	2403.09	none
25	4050.09	1647.00	2403.09	none
26	4050.09	1647.00	2403.09	none
27	6275.84	1647.00	4628.84	none
28	4083.95	1647.00	2436.95	none
29	4922.71	1647.00	3275.71	none
30	4602.04	1647.00	2955.04	none
31	5048.27	1647.00	3401.27	none
32	5519.72	1647.00	3872.72	none
33	5390.14	1647.00	3743.14	none
34	6937.17	1647.00	5290.17	none
35	6101.95	1647.00	4454.95	none
36	4105.48	1647.00	2458.48	none
37	4048.00	1647.00	2401.00	none
38	4048.00	1647.00	2401.00	none
39	4419.87	1647.00	2772.87	none
40	4401.81	1647.00	2754.81	none
41	4082.40	1647.00	2435.40	none
42	4082.40	1647.00	2435.40	none
43	4082.40	1647.00	2435.40	none
44	5139.68	1647.00	3492.68	none
45	5053.85	1647.00	3406.85	none
46	4172.01	1647.00	2525.01	none
47	4122.10	1647.00	2475.10	none
48	4072.18	1647.00	2425.18	none
49	4386.02	1647.00	2739.02	none
50	4404.52	1647.00	2757.52	none
51	4049.97	1647.00	2402.97	none
52	4049.97	1647.00	2402.97	none
53	4049.97	1647.00	2402.97	none
54	4514.37	1647.00	2867.37	none
55	4047.64	1647.00	2400.64	none
56	4048.00	1647.00	2401.00	none
57	4048.00	1647.00	2401.00	none
58	4048.00	1647.00	2401.00	none
59	4472.39	1647.00	2825.39	none
60	4419.89	1647.00	2772.89	none
61	4048.00	1647.00	2401.00	none
62	4048.00	1647.00	2401.00	none
63	4048.00	1647.00	2401.00	none
64	4047.23	1647.00	2400.23	none

- GENERAL NOTES:
- EXISTING ZONING OF TRACT E AND A: R-D
 - TRACT E= 13.10 ACRES
 - PORTION OF TRACT A BEING DEVELOPED= 1.20 ACRES
 - PADS DEPICTED ON EACH LOT REPRESENT THE LARGEST UNIT PROPOSED FOR CONSTRUCTION. ACTUAL PAD/FOOTPRINT SIZE MAY VARY.
 - PROPOSED USE OF DEVELOPMENT: SINGLE FAMILY RESIDENTIAL.
 - PRIVACY WALLS WILL BE CONSTRUCTED ALONG REAR AND SIDE PROPERTY LINES CONSISTING OF CMU BLOCK AND/OR WOOD PICKET/RAIL FENCING (6' HIGH MAXIMUM).
 - ALL LOTS= 40'x100' MINIMUM
 - SIDEWALKS TO BE CONSTRUCTED BY HOME BUILDER. A SIDEWALK VARIANCE WILL BE REQUESTED AS A PART OF THE PLANNING ACTION

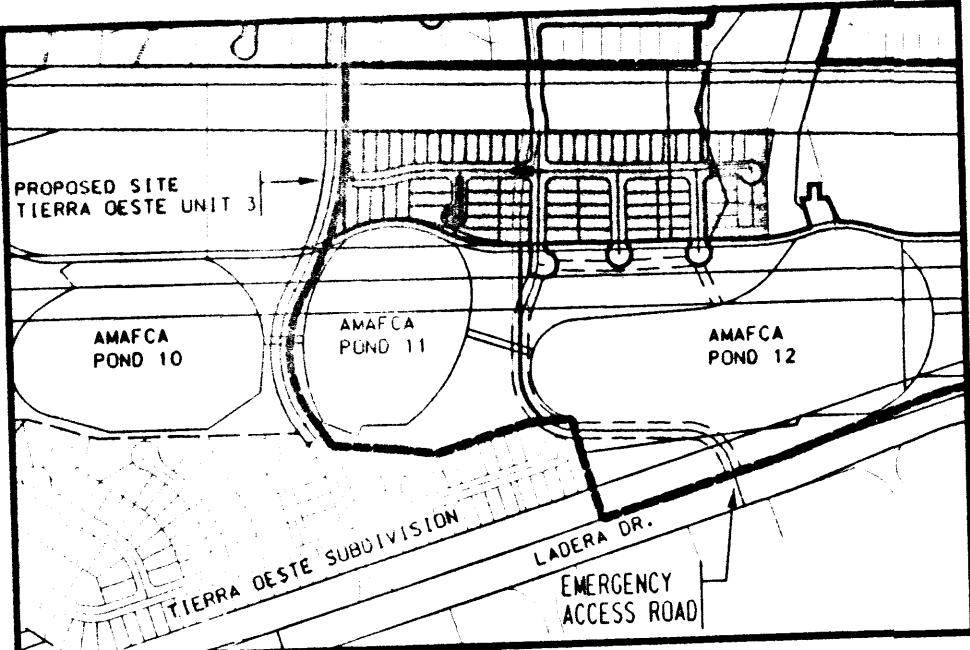
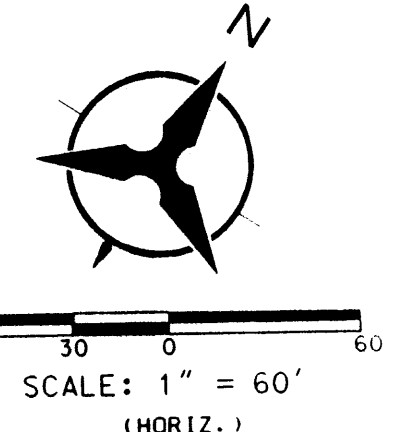
PROJECT # 1001243
AMAFCA Application # 01410-00000-01012
POND 12

9/28/01 DATE
8/22/01 DATE
8-24-01 DATE
8-22-01 DATE
8-22-01 DATE
8/22/01 DATE

PLANNING DIRECTOR
CITY ENGINEER
AMAFCA
TRAFFIC ENGINEER
UTILITY DEVELOPMENT DEPARTMENT
PARKS AND GENERAL SERVICE DEPARTMENT



- LANDSCAPE PLAN NOTES:
- XERISCAPE ENTRY / STREETSCAPE TO BE OWNED & MAINTAINED BY HOMEOWNERS ASSOCIATION. PLANT MATERIAL AND PER FUTURE PLAN
 - ALL ON-SITE LANDSCAPING OTHER THAN THAT INDICATED ON THIS PLAN WILL BE PROVIDED AND MAINTAINED BY THE LOT OWNER
 - SEE GRADING PLAN FOR AREAS TO BE PRE-SEEDED w/ NATURAL VEGETATION.



SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT TIERRA OESTE UNIT 3 TRACTS A, C, E & H OF THE CROSSINGS

Bohannon & Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

PROS 1001243