

original

**EXHIBIT A (REVISED 5/10/99)
TO SUBDIVISION IMPROVEMENT AGREEMENT
DEVELOPMENT REVIEW BOARD
REQUIRED INFRASTRUCTURE LISTING
(LEGAL DESCRIPTION OF SUBDIVISION)**

AVALON, UNIT 2
NAME and UNIT OF SUBDIVISION

PROJ 1001250

DRB Case No.: 98-50
DRC Project No.: _____
Prelim. Plat Approved: 5-26-98
Prelim. Plat Expires: 6-5-26-00
Site Plan Approved: _____
Date Submitted: _____

*supercedes Infrastructure list DATED/Approved 6-16-98
A revision 8/5/99*

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
A. STREETS				
24 F-E (1)	Collector Street (west side)	90th St	Bluewater Rd	South PL Park Site
36 F-F (2)	Residential Street	Skiff Dr	Bluewater Rd	Halyard Rd
28 F-F (2)	Residential Street	Halyard Rd	Ketch Dr	Leeward Dr
28 F-F (2)	Residential Street	Harbor Rd	Leeward Dr	End of Cul de Sac
28 F-F (2)	Residential Street	Jetty Ct	Ketch Dr	End of Cul de Sac
28 F-F (2)	Residential Street	Ketch Dr	Jetty Ct	Halyard Rd
28 F-F (2)	Residential Street	Leeward Dr	Starboard Dr	Halyard Rd
36 F-F (2)	Residential Street	Starboard Rd	Leeward Dr	90th St
28 F-F (2)	Residential Street	Starboard Rd	Ketch Dr	Leeward Dr
N/A	Residential Street Lights per DPM			



~~N/A Lane striping and related traffic improvements at Central/Unser Blvd intersection per approved TIS~~

~~N/A Lane striping and related traffic improvements at Unser Blvd/I-40 Westbound Off-ramp intersection per approved TIS~~

other improvement will be req'd with future Devs

SIZE IMPROVEMENT LOCATION FROM TO

B. WATER

12"	Waterline	Bluewater Rd.	Skiff Dr	90th St
6"	Waterline	Skiff Dr	Bluewater Rd	Halyard Rd
6"	Waterline	Halyard Rd	Ketch Dr	Leeward Dr
6"	Waterline	Harbor Rd	Leeward Dr	End of Cul de Sac
6"	Waterline	Jetty Ct	Ketch Dr	End of Cul de Sac
6"	Waterline	Leeward Dr	Starboard Dr	Halyard Rd
6"	Waterline	Starboard Rd	Ketch Dr	90th St
6"	Waterline	Ketch Dr	Jetty Ct.	Halyard Rd
10"	Waterline relocation*	Ketch Dr	20' WL Easement	Bluewater Rd

• This existing 10" waterline must be located from 94th St (vacated) to Ketch Dr

6" WATERLINE 20' EASEMENT JETTY CT STARBOARD RD PL 5-26-99

C. SANITARY SEWER

8"	Sanitary Sewer	Halyard Rd	Ketch Dr	Leeward Dr
8"	Sanitary Sewer	Harbor Rd	Leeward Dr	End of Cul de Sac
8"	Sanitary Sewer	Jetty Ct	Ketch Dr	End of Cul de Sac
8"	Sanitary Sewer	20' WL Easement	Jetty Ct	Starboard Rd
8"	Sanitary Sewer	Ketch Dr	Jetty Ct	Halyard Rd
8"	Sanitary Sewer	Leeward Dr	Starboard Dr	Halyard Rd
8"	Sanitary Sewer	Starboard Rd	Ketch Dr	90th St

D. STORM DRAINAGE

24"	Storm Sewer	20' SD Easement within Park	Jetty Ct	Interim Retention Pond
30"	Storm Sewer	20' SD Easement within Park	Starboard Rd	Interim Retention Pond
30"	Storm Sewer	Interim Retention Pond	Interim Retention Pond	90th St.
30"	Storm Sewer	Leeward Dr	Starboard Rd	75 feet North
30"	Storm Sewer	Starboard Rd	Leeward Dr	90th St

2
 { 24" ~~STORM SEWER~~ ← JETTY CT WEST PL
 10' CONC CHANNEL AVALON SUBN UNIT 2
 IN 20' R/W WEST PL AVALON 2

PL 5-26-99
~~END OF CUL-DE-SAC~~
 Page 2 of 4
 JETTY CT

D. STORM DRAINAGE (CONT)

5.2 af Interim Retention Pond @ Park

1.0 af Future Detention Pond to be located @ Park.

Retaining walls as detailed on the approved Grading Plan.

Agreement and Covenant for interim ponds and berms.

Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty

LOMR required prior to release of Financial Guaranty

DEFERRED IMPROVEMENTS

SIZE	IMPROVEMENT	LOCATION	FROM	TO
24 F-E(1)	Collector Street (south side)	Bluewater Rd	94 th St	90th St
12"	Waterline	Bluewater Rd.	94th St	90th St SKIFF DR. ^{DL 5-26-99}
8"	Sanitary Sewer	Bluewater Rd.	94th St	90th St
42"	Storm Sewer	Bluewater Rd	94th St	880 feet east
48"	Storm Sewer	Bluewater Rd	90 th St	250 feet west
4'	Sidewalks to be deferred along the fronts of all lots until the construction of homes on a lot by lot basis.			
10'	Asphalt Trail (7)	Park	W. PL Public Park	90th Street
10'	Asphalt Trail (7)	Pedestrian Access Easement	Jetty Ct	W. PL Public Park
10'	Asphalt Trail (7)	Pedestrian Access Easement	W. PL Avalon Subdivision	Jetty Ct.

~~3 25' F-E COMMERCIAL PAVING - 90th STREET H. PLAYS VOLCANO Rd. South P.L.s 220' North of Volcano Rd.
 CURB & GUTTER,
 SIDEWALKS 4' (WEST SIDE ONLY)
 20' PERMANENT, 5' TEMPORARY PAVEMENT~~

~~3 48" RCP STORM SEWER BLUEWATER Road 660' FROM W.P.L. CENTERLINE 94th STREET~~

~~3 60" RCP STORM SEWER 90th STREET Volcano Rd. 220' North of Volcano Rd.~~

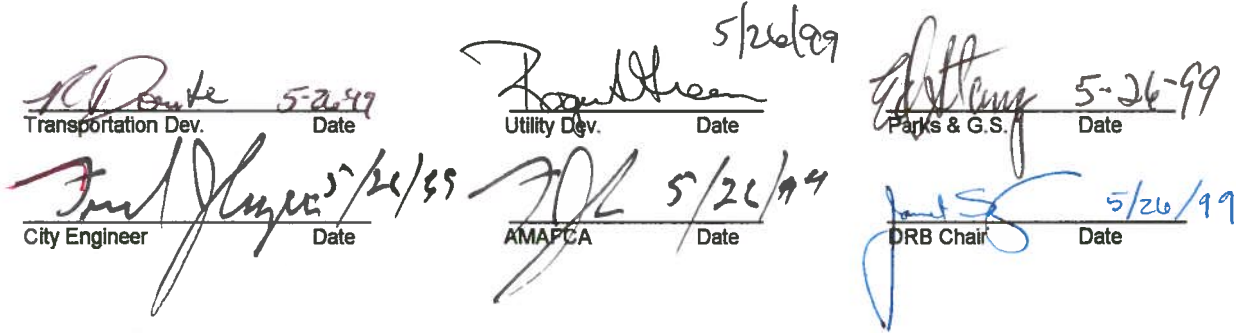
4 DELETES 3 ITEMS

- Notes: (1) Collector streets include collector pavement, standard C&G, 4' sidewalk, one-side only.
 (2) Residential streets include residential pavement, mountable or standard curb & gutter, 4' sidewalk, both sides (sidewalk to be deferred along the fronts of the developable lots).
 (3) Collector streets include collector pavement, standard C&G, 4' sidewalk, both sides
 (4) All waterlines include valves, fittings, services & hydrants per DRC
 (5) All Sanitary sewer lines to include manholes and services per DRC
 (6) All Storm Sewers to include manholes, lateral pipes and inlets per DRC
 (7) City will begin maintenance of the trail 3 years after the filing of the Unit One final plat, but not before the completion of Unit Two improvements.

Agent/Owner: Dennis A. Lorenz, PE

Firm: Brasher & Lorenz, Inc.

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS



DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
1	8-05-99			
2	10-15-99			
3	6-4-01			
4	7-23-02			

ORIGINAL

D.R.B. Case No. 98-50
D.R.C. Project No. _____
Date Submitted 6-9-98
Prelim. Plat Approved _____
Prelim. Plat Expires _____

Figure 12
EXHIBIT "A"
To Subdivision Improvements Agreement
DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING
for **AVALON SUBDIVISION, UNIT 2 PLAT**

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
A. STREETS				
24 F-E (1)	Collector Street (west side)	90th St	Bluewater Rd	South Prop Line
48 F-F (3)	Collector Street	Bluewater Rd	94th St	East PL Tract "C"
24 F-E (1)	Collector Street (south side)	Bluewater Rd	East PL Tract "C"	90th St
24 F-E (1)	Collector Street (east side)	94th St	Bluewater Rd	North PL Tract "C"
36 F-F (2)	Residential Street	Skiff Dr	Bluewater Rd	Halyard Rd
28 F-F (2)	Residential Street	Skiff Dr	Halyard Rd	Harbor Rd
28 F-F (2)	Residential Street	Halyard Rd	Ketch Dr	Leeward Dr
28 F-F (2)	Residential Street	Harbor Rd	Ketch Dr	Leeward Dr
28 F-F (2)	Residential Street	Jetty Ct	Ketch Dr	End of Cul de Sac
28 F-F (2)	Residential Street	Ketch Dr	Jetty Ct	Halyard Rd
28 F-F (2)	Residential Street	Leeward Dr	Starboard Dr	Halyard Rd

36 F-F (2)	Residential Street	Starboard Rd	Leeward Dr	90th St
28 F-F (2)	Residential Street	Starboard Rd	Ketch Dr	Leeward Dr
N/A	Residential Street Lights per DPM			
N/A	Lane striping and related traffic improvements at Central/Unser Blvd intersection per approved TIS			
N/A	Lane striping and related traffic improvements at Unser Blvd/I-40 Westbound Off-ramp intersection per approved TIS			

B. WATER

12"	Waterline	Bluewater Rd.	94th St	90th St
6"	Waterline	Skiff Dr	Bluewater Rd	Harbor Rd
6"	Waterline	Halyard Rd	Ketch Dr	Leeward Dr
6"	Waterline	Harbor Rd	Skiff Dr	Leeward Dr
6"	Waterline	Jetty Ct	Ketch Dr	End of Cul de Sac
6"	Waterline	Ketch Dr	Jetty Ct	Halyard Rd
6"	Waterline	Leeward Dr	Starboard Dr	Halyard Rd
6"	Waterline	Starboard Rd	Ketch Dr	90th St
12"	Waterline relocation*	94th St	Bluewater Rd	Avalon Rd

* This existing 12" waterline must be located in a corridor which is acceptable to Utility Development, which may or may not require relocation

C. SANITARY SEWER

8"	Sanitary Sewer	Bluewater Rd.	94th St	90th St
8"	Sanitary Sewer	Skiff Dr	Halyard Dr	Harbor Rd
8"	Sanitary Sewer	Halyard Rd	Ketch Dr	Leeward Dr
8"	Sanitary Sewer	Harbor Rd	Skiff Dr	Leeward Dr
8"	Sanitary Sewer	Jetty Ct	Ketch Dr	End of Cul de Sac
8"	Sanitary Sewer	Ketch Dr	Jetty Ct	Halyard Rd

8"	Sanitary Sewer	Leeward Dr	Starboard Dr	Halyard Rd
8"	Sanitary Sewer	Starboard Rd	Ketch Dr	90th St

D. STORM DRAINAGE

18"	Storm Sewer	Easement	West Prop Line	Jetty Ct
18"	Storm Sewer	Jetty Ct	Ketch Dr	End of Cul de Sac
24"	Storm Sewer	Easement	Jetty Ct	Interim Retention Pond
42"	Storm Sewer	Bluewater Rd	94th St	90th St
42"	Storm Sewer	94th St	Bluewater	North PL Tract "C" "A"
30"	Storm Sewer	Starboard Rd	Leeward Dr	90th St

4.69af Interim Retention Pond @ Park

1.27af Future Detention Pond to be located @ Park.

Retaining walls as detailed on the approved Grading Plan.

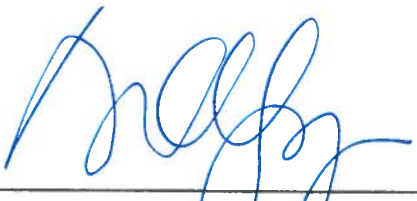
Agreement and Covenant for interim ponds and berms.

Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty
LOMR required prior to release of Financial Guaranty

DEFERRED IMPROVEMENTS


4'	Sidewalks to be deferred along the fronts of all lots until the construction of homes on a lot by lot basis.			
10'	Asphalt Trail (7)	Avalon Easement	W. PL Public Park	90th Street
10'	Asphalt Trail (7)	Pedestrian Access Easement	Jetty Ct	W. PL Public Park
10'	Asphalt Trail (7)	Pedestrian Access Easement	W. PL Avalon Subdivision	Jetty Ct.

- Notes:
- (1) Collector streets include collector pavement, standard C&G, 4' sidewalk, one-side only
 - (2) Residential streets include residential pavement, mountable or standard curb & gutter, 4' sidewalk, both sides (sidewalk to be deferred along the fronts of the developable lots).
 - (3) Collector streets include collector pavement, standard C&G, 4' sidewalk, both sides
 - (4) All waterlines include valves, fittings, services & hydrants per DRC
 - (5) All Sanitary sewer lines to include manholes and services per DRC
 - (6) All Storm Sewers to include manholes, lateral pipes and inlets per DRC
 - (7) City will begin maintenance of the trail 3 years after the filing of the Unit One final plat, but not before the completion of Unit Two improvements.

Prepared By: 

Print Name: Dennis A. Lorenz, PE
 Firm: Brasher & Lorenz, Inc.

Development Review Board Member Approval

 6/16/98
 Planning

 6/16/98
 Utility Development

 6.16.98
 Design & Development, CIP

 6/16/98
 City Engineer/AMAFA

 6-16-98
 Transportation Development

Original

D.R.B. Case No. 98-50
D.R.C. Project No. _____
Date Submitted 4-7-98
Prelim. Plat Approved 4/7/98
Prelim. Plat Expires 4/22/99

Figure 12
EXHIBIT "A"

To Subdivision Improvements Agreement
DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING
for AVALON SUBDIVISION, UNIT 1 PLAT

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
PHASE ONE				
A. STREETS				
24 F-E (1)	Collector Street (east side)	90th St.	Bluewater Rd	South Prop Line
24 F-E (1)	Collector Street (south side)	Bluewater Rd.	90th St	East Prop Line
24 F-E	Temp Pavement	Bluewater Rd	East Prop Line	1350 feet east to existing pavement
36 F-F (2)	Residential Street	Jib Dr	Bluewater Rd	Port Rd
28 F-F (2)	Residential Street	Port Rd	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street	Seaside Rd	Mainsail Dr	Spinnaker Dr
36 F-F (2)	Residential Street	Starboard Dr	90th St	Mainsail Dr
28 F-F (2)	Residential Street	Starboard Dr	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street	Schooner Rd	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street	Mainsail Dr	Schooner Rd	Port Rd

VOID
10/10/98

28 F-F (2) Residential Street Spinnaker Dr Schooner Rd Port Rd

N/A Residential Street Lights per DPM

B. WATER

12"	Waterline	Bluewater Rd.	90th St	East Prop Line
6"	Waterline	Jib Dr	Bluewater Rd	Port Rd
6"	Waterline	Port Rd	Mainsail Dr	Spinnaker Dr
6"	Waterline	Seaside Rd	Mainsail Dr	Spinnaker Dr
6"	Waterline	Starboard Dr	90th St	Spinnaker Dr
6"	Waterline	Schooner Rd	Mainsail Dr	Spinnaker Dr
6"	Waterline	Mainsail Dr	Schooner Rd	Port Rd
6"	Waterline	Spinnaker Dr	Schooner Rd	Port Rd
20"	Waterline	Easement	Bluewater Rd	Existing 12" waterline

C. SANITARY SEWER

8"	Sanitary Sewer	Bluewater Rd.	90th St	East Prop Line
8"	Sanitary Sewer	Bluewater Rd	East Prop Line	1350 ft east to exist MH
8"	Sanitary Sewer	Port Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Seaside Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Starboard Dr	90th St	Spinnaker Dr
8"	Sanitary Sewer	Schooner Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Mainsail Dr	Schooner Rd	Port Rd
8"	Sanitary Sewer	Spinnaker Dr	Schooner Rd	Port Rd
8"	Sanitary Sewer	Easement	Port Rd	Bluewater Rd

D. STORM DRAINAGE

30"	Storm Sewer	Bluewater Rd	Unser Diversion	200 feet west
30"	Storm Sewer	Spinnaker Dr	Spinnaker Dr	Easement

24"	Storm Sewer	Spinnaker Dr	Spinnaker Dr	Easement
36"	Storm Sewer	Easement	Spinnaker Dr	Detention Pond
54"	Storm Sewer	90th St	Bluewater Rd	South Prop Line
36"	Storm Sewer	90th St	Drop inlets @ south end 90th	Interim retention pond on Phase Two
1.26af	Detention Pond	Excess User Diversion Easement		

0.88af Interim retention pond and erosion control berms located on Phase Two to retain undeveloped Phase Two flows

N/A	Interim trainer dike	North side of Bluewater	94th St	User Diversion
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PHASE TWO

A. STREETS *DAL 4-7-98*

24 F-E (1)	Collector Street (west side)	90th St	Bluewater Rd	South Prop Line
48 F-F (3)	Collector Street	Bluewater Rd	94th St	East PL Tract "A"
24 F-E (1)	Collector Street (south side)	Bluewater Rd	East PL Tract "A"	90th St
24 F-E (1)	Collector Street (east side)	94th St	Bluewater Rd	North PL Tract "A"
36 F-F (2)	Residential Street	Skiff Dr	Bluewater Rd	Halyard Rd
28 F-F (2)	Residential Street	Skiff Dr	Halyard Rd	Harbor Rd
28 F-F (2)	Residential Street	Halyard Rd	Ketch Dr	Leeward Dr
28 F-F (2)	Residential Street	Harbor Rd	Ketch Dr	Leeward Dr
28 F-F (2)	Residential Street	Jetty Ct	Ketch Dr	End of Cul de Sac
28 F-F (2)	Residential Street	Ketch Dr	Jetty Ct	Halyard Rd
28 F-F (2)	Residential Street	Leeward Dr	Starboard Dr	Halyard Rd
36 F-F (2)	Residential Street	Starboard Rd	Leeward Dr	90th St
28 F-F (2)	Residential Street	Starboard Rd	Ketch Dr	Leeward Dr
N/A	Residential Street Lights per DPM			

N/A Lane striping and related traffic improvements at Central/Unser Blvd intersection per approved TIS

N/A Lane striping and related traffic improvements at Unser Blvd/I-40 Westbound Off-ramp intersection per approved TIS

B. WATER

12"	Waterline	Bluewater Rd.	94th St	90th St
6"	Waterline	Skiff Dr	Bluewater Rd	Harbor Rd
6"	Waterline	Halyard Rd	Ketch Dr	Leeward Dr
6"	Waterline	Harbor Rd	Skiff Dr	Leeward Dr
6"	Waterline	Jetty Ct	Ketch Dr	End of Cul de Sac
6"	Waterline	Ketch Dr	Jetty Ct	Halyard Rd
6"	Waterline	Leeward Dr	Starboard Dr	Halyard Rd
6"	Waterline	Starboard Rd	Ketch Dr	90th St
12"	Waterline relocation *	94th St	Bluewater Rd	Avalon Rd

DAL
4.7.98

* This existing 12" waterline must be located in a corridor which is acceptable to Utility Development, which may or may not require relocation

C. SANITARY SEWER

8"	Sanitary Sewer	Bluewater Rd.	94th St	90th St
8"	Sanitary Sewer	Skiff Dr	Halyard Dr	Harbor Rd
8"	Sanitary Sewer	Halyard Rd	Ketch Dr	Leeward Dr
8"	Sanitary Sewer	Harbor Rd	Skiff Dr	Leeward Dr
8"	Sanitary Sewer	Jetty Ct	Ketch Dr	End of Cul de Sac
8"	Sanitary Sewer	Ketch Dr	Jetty Ct	Halyard Rd
8"	Sanitary Sewer	Leeward Dr	Starboard Dr	Halyard Rd
8"	Sanitary Sewer	Starboard Rd	Ketch Dr	90th St

D. STORM DRAINAGE

18"	Storm Sewer	Easement	West Prop Line	Jetty Ct	DAK 4.7.98
18"	Storm Sewer	Jetty Ct	Ketch Dr	End of Cul de Sac	
24"	Storm Sewer	Easement	Jetty Ct	Interim Retention Pond	
42"	Storm Sewer	Bluewater Rd	94th St	90th St	
42"	Storm Sewer	94th St	Bluewater	North PL Tract "A"	
30"	Storm Sewer	Starboard Rd	Leeward Dr	90th St	

4.69af Interim Retention Pond @ Park

1.27af Future Detention Pond to be located @ Park.

Retaining walls as detailed on the approved Grading Plan.

Agreement and Covenant for interim ponds and berms required for each phase.

Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty for each phase.

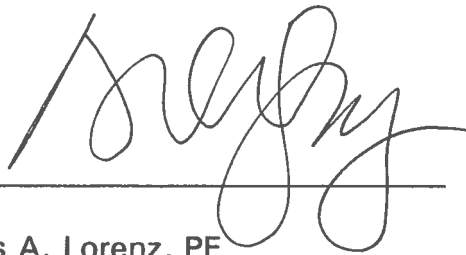
LOMR required prior to release of Financial Guaranty for Phase Two

DEFERRED IMPROVEMENTS

- 10' Asphalt Trail (7)
- 10' ASPHALT TRAIL (7)
- EASEMENT
- UNSER DIVERSION EASEMENT
- 90th Street
- 90th Street
- UNSER DIVERSION
- AVALON
- Unser Diversion
- BLUEWATER
- DAK 4.7.98
- 4' Sidewalks to be deferred along the fronts of all lots until the construction of homes on a lot by lot basis.


- Notes:
- (1) Collector streets include collector pavement, standard C&G, 4' sidewalk, one-side only
 - (2) Residential streets include residential pavement, mountable or standard curb & gutter, 4' sidewalk, both sides (sidewalk to be deferred along the fronts of the developable lots)
 - (3) Collector streets include collector pavement, standard C&G, 4' sidewalk, both sides
 - (4) All waterlines include valves, fittings, services & hydrants per DRC
 - (5) All Sanitary sewer lines to include manholes and services per DRC
 - (6) All Storm Sewers to include manholes, lateral pipes and inlets per DRC
 - (7) City will begin maintenance of the trail 3 years after the filing of the Phase One Final Plat, but not before the completion of Phase Two improvements.

Prepared By: _____



Print Name: Dennis A. Lorenz, PE
Firm: Brasher & Lorenz, Inc.

Development Review Board Member Approval

 4/7/98

Planning

 4-7-98

Utility Development

 4-7-98

Design & Development

 4-7-98

City Engineer/AMA/CA

 4-07-98

Transportation Development

Original

D.R.B. Case No. 98-50
 D.R.C. Project No. _____
 Date Submitted 10-6-98
 Prelim. Plat Approved 4/7/98
 Prelim. Plat Expires 4/22/99

Figure 12
 EXHIBIT "A"

*(This is an amended IL
 which divided Unit 1 into
 Unit 1A + 1B)*

To Subdivision Improvements Agreement
 DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING
 for **AVALON SUBDIVISION, UNIT 1-A, PLAT**

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
A. STREETS				
24 F-E (1)	Collector Street (east side)	90th St.	Bluewater Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A
24 F-E (1)	Collector Street (south side)	Bluewater Rd.	90th St	East Prop Line Unit 1-A
24 E-E	Temp Pavement	Bluewater Rd	East Prop Line	1350 feet east to existing pavement
36 F-F (2)	Residential Street	Jib Dr	Bluewater Rd	Port Rd
28 F-F (2)	Residential Street	Port Rd	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street	Seaside Rd	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street w/TEMP TURNAROUND	Mainsail Dr	Port Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A
28 F-F (2)	Residential Street w/TEMP TURNAROUND	Spinnaker Dr	Port rd	Schooner Rd
N/A	Residential Street Lights per DPM			

B. WATER

12"	Waterline	Bluewater Rd	90th St	East Prop Line Unit 1-A
6"	Waterline	Jib Dr	Bluewater Rd	Port Rd
6"	Waterline	Port Rd	Mainsail Dr	Spinnaker Dr
6"	Waterline	Seaside Rd	Mainsail Dr	Spinnaker Dr
20"	Waterline	Easement	Bluewater Rd	Existing 12" waterline
6"	Waterline	Mainsail Dr	Port Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A
6"	Waterline	Spinnaker Dr	Port Rd	Schooner Dr

C. SANITARY SEWER

8"	Sanitary Sewer	Bluewater Rd.	90th St	East Prop Line
8"	Sanitary Sewer	Bluewater Rd	East Prop Line	1350 ft east to exist Manhole
8"	Sanitary Sewer	Port Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Seaside Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Spinnaker Dr	Schooner Rd	Port Rd
8"	Sanitary Sewer	Easement	Port Rd	Bluewater Rd
8"	Sanitary Sewer	Mainsail Dr	Port Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A

D. STORM DRAINAGE

18"	Storm Sewer	Bluewater Rd	Unser Diversion	100 feet west
30"	Storm Sewer	Bluewater Rd	Unser Diversion	200 feet west
30"	Storm Sewer	Spinnaker Dr	Spinnaker Dr	Easement
42"	Storm Sewer	Easement	Spinnaker Dr	Detention Pond

54"	Storm Sewer	90th St	Bluewater Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A
N/A	Interim trainer dike	North side of Bluewater	94th St	Unser Diversion
1.26af	Detention Pond	Excess Unser Diversion Easement		
0.88af	Interim retention pond and erosion control berms located on Unit 2 to retain undeveloped Unit 2 flows			

Retaining walls as detailed on the approved Grading Plan.

Agreement and Covenant for interim ponds and berms.

Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty.

DEFERRED IMPROVEMENTS

10'	Asphalt Trail (6)	Easement	90th Street	Unser Diversion
10'	Asphalt Trail (6)	Unser Diversion Easement	Avalon	Bluewater Rd
4'	Sidewalks to be deferred along the fronts of all lots until the construction of homes on a lot by lot basis.			

- Notes:
- (1) Collector streets include collector pavement, standard C&G, 4' sidewalk, one-side only
 - (2) Residential streets include residential pavement, mountable or standard curb & gutter, 4' sidewalk, both sides (sidewalk to be deferred along the fronts of the developable lots)
 - (3) All waterlines include valves, fittings, services & hydrants per DRC
 - (4) All Sanitary sewer lines to include manholes and services per DRC
 - (5) All Storm Sewers to include manholes, lateral pipes and inlets per DRC
 - (6) City will begin maintenance of the trail 3 years after the filing of the Phase One Final Plat, but not before the completion of Phase Two improvements.

ALL "1P" DESIGNATED LOTS ARE "P.1"

Figure 12
EXHIBIT "A"
To Subdivision Improvements Agreement
DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING
for **AVALON SUBDIVISION, UNIT 1-B, PLAT**

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

SIZE	IMPROVEMENT	LOCATION	FROM	TO
A. STREETS				
24 F-E (1)	Collector Street (east side)	90th St.	South prop Line Unit 1-B	South Prop Line Lot 2-1P, Blk A, Unit 1-A
36 F-F (2)	Residential Street	Starboard Dr	90th St	Mainsail Dr
28 F-F (2)	Residential Street	Starboard Dr	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street	Schooner Rd	Mainsail Dr	Spinnaker Dr
28 F-F (2)	Residential Street (east side)	Mainsail Dr	Schooner Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A
N/A	Residential Street Lights per DPM			
B. WATER				
6"	Waterline	Starboard Dr	90th St	Spinnaker Dr
6"	Waterline	Schooner Rd	Mainsail Dr	Spinnaker Dr
6"	Waterline	Mainsail Dr	Schooner Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A

C. SANITARY SEWER

8"	Sanitary Sewer	Starboard Dr	90th St	Spinnaker Dr
8"	Sanitary Sewer	Schooner Rd	Mainsail Dr	Spinnaker Dr
8"	Sanitary Sewer	Mainsail Dr	Schooner Rd	South Prop Line Lot 2-1P, Blk A, Unit 1-A

D. STORM DRAINAGE

54"	Storm Sewer	90th St	South Prop Line Lot 2-1P, Blk A, Unit 1-A	South Prop Line Unit 1-B
30"	Storm Sewer	90th St	90th Street	Interim retention pond on Unit 2

Retaining walls as detailed on the approved Grading Plan.

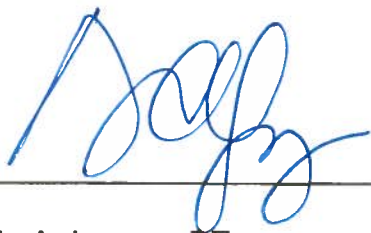
Engineer's Certification of Grading and Drainage required prior to release of Financial Guaranty.

DEFERRED IMPROVEMENTS

4' Sidewalks to be deferred along the fronts of all lots until the construction of homes on a lot by lot basis.

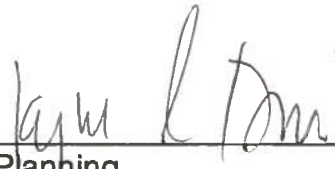
- Notes:
- (1) Collector streets include collector pavement, standard C&G, 4' sidewalk, one-side only
 - (2) Residential streets include residential pavement, mountable or standard curb & gutter, 4' sidewalk, both sides (sidewalk to be deferred along the fronts of the developable lots)
 - (3) All waterlines include valves, fittings, services & hydrants per DRC
 - (4) All Sanitary sewer lines to include manholes and services per DRC
 - (5) All Storm Sewers to include manholes, lateral pipes and inlets per DRC

ALL "IP" DESIGNATED LOTS ARE "P-1"

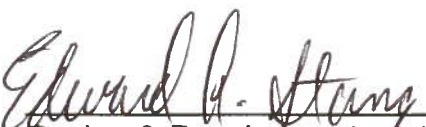
Prepared By: 

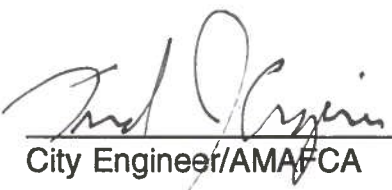
Print Name: Dennis A. Lorenz, PE
Firm: Brasher & Lorenz, Inc.

Development Review Board Member Approval

 10/6/98
Planning

 10/6/98
Utility Development

 10-6-98
Design & Development, CIP

 10-6-98
City Engineer/AMA/CA

 10-06-98
Transportation Development

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
1	8-05-99			
2				