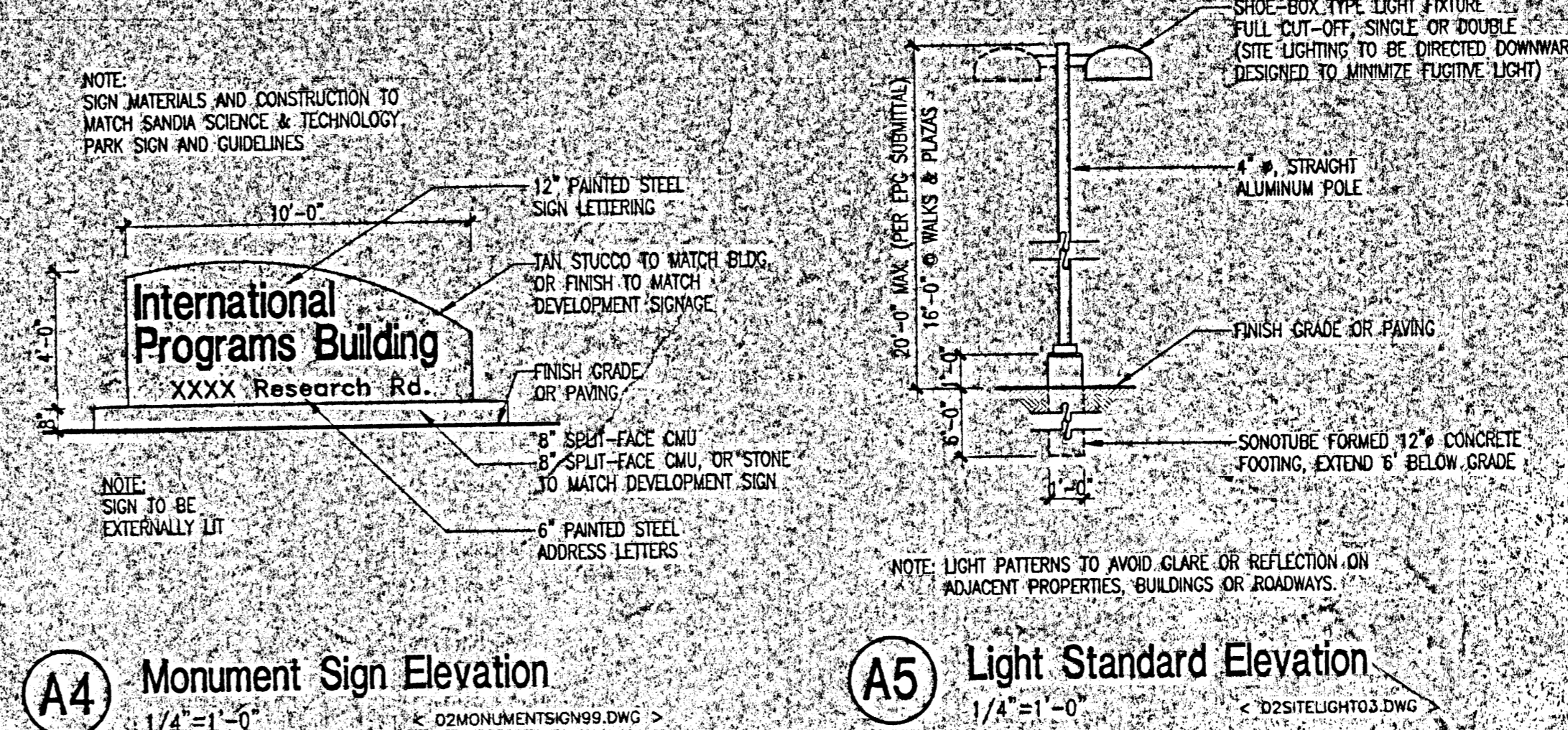


PROJ 1001253
Keyed Notes

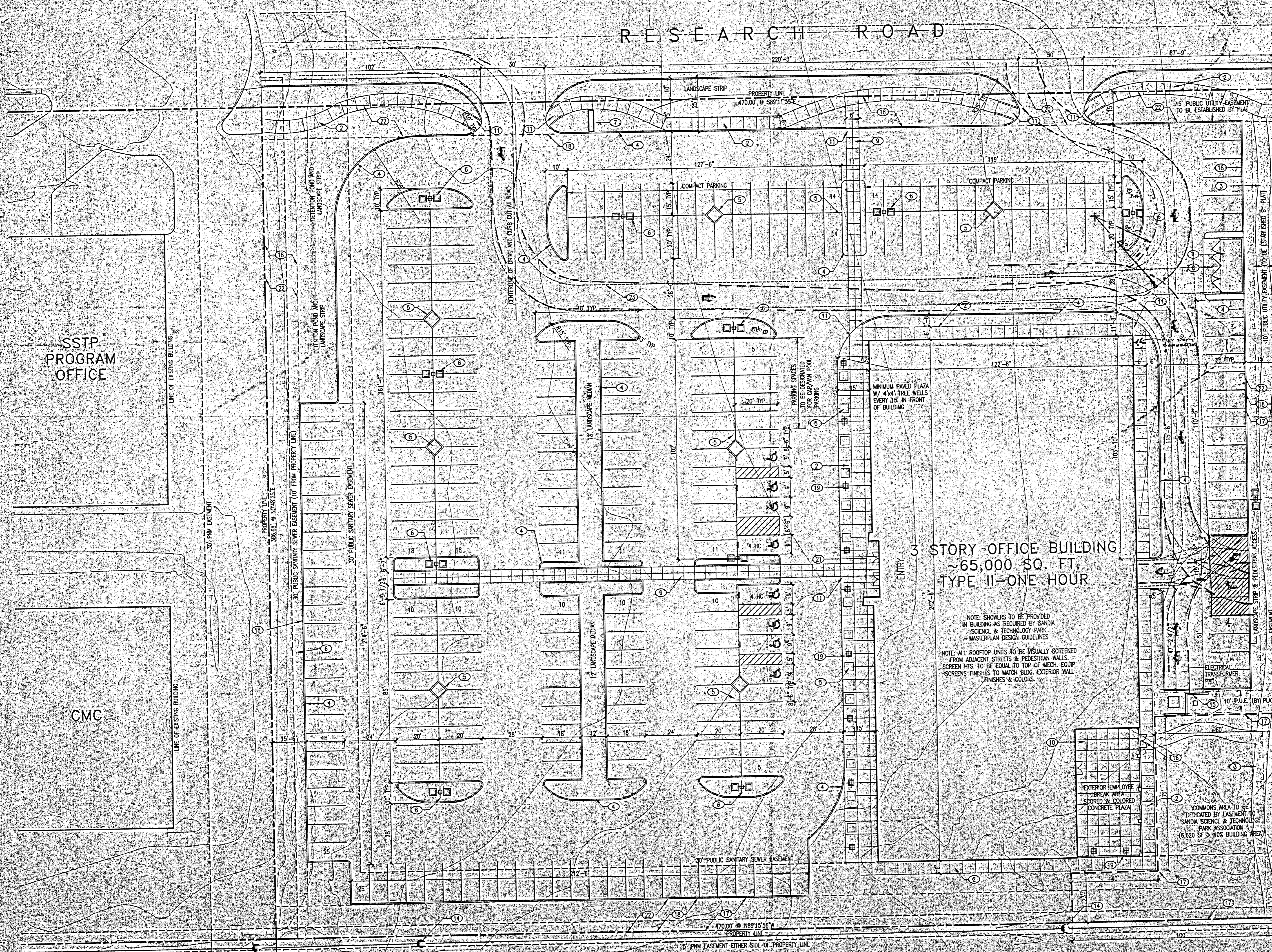
architecture
interiors
planning
engineering

Dekker Perich Sabatini

8001 California NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4272
www.dpsab.com



1. REFUSE ENCLOSE PER CITY OF ALBUQUERQUE STANDARDS. ENCLOSURE TO BE CONSTRUCTED OF MATERIALS, COLORS & TEXTURE THAT MATCH & THAT ARE COMPATIBLE W/ BUILDING EXTERIOR WALLS. ENCLOSURE GATE TO BE OPAQUE CONCRETE SIDEWALK, TYP.
2. CONSIDER THE PEDESTRIAN PATH & WALK
3. CONCRETE CURB, TYP.
4. 6" TREE-WELL
5. FINISHING LOT LIGHTING
6. MONUMENT SIGN, RE: A4/A001
7. CONCRETE DUMPSTER PAD
8. CONCRETE BENCHES - TEXTURED, PATTERNS
9. BICYCLE RACK (15 SPACES MAX), 200 SF OF SPACE IN SECURED/COVERED PATIO
10. H.C. ACCESSIBLE RAMP
11. H.C. ACCESSIBLE PARKING SPOT W/ PAINTED H.C. SYMBOL IN STALL ACCESS ASIDE AND SIGN MOUNTED AT HEAD OF STALL TYP.
12. H.C. ACCESSIBLE PARKING SPOT W/ PAINTED H.C. SYMBOL IN STALL ACCESS ASIDE AND SIGN MOUNTED AT HEAD OF STALL TYP.
13. H.C. VAN ACCESSIBLE PARKING SPOT W/ PAINTED H.C. SYMBOL IN STALL ACCESS ASIDE AND SIGN MOUNTED AT HEAD OF STALL TYP.
14. EXISTING ELECTRICAL POWER LINE & POLE ABOVE
15. CMU SCREENWALL FINISH TO MATCH BUILDING. HT. TO BE ABOVE EQUIP.
16. SECURED PAINT ACCESS GATE
17. COMMONS AREA TO BE DEDICATED TO SANDIA SCIENCE & TECHNOLOGY PARK ASSOCIATION (10% OF BLDG. AREA)
18. 15' PARKING SETBACK
19. WALKWAY AND ENTRY LIGHTING (16' MAX. HEIGHT)
20. 15' PUBLIC ACCESS EASEMENT TO BE GRANTED TO CITY OF ALBUQUERQUE AT ROAD FRONTAGE.
21. ENTRY LIGHTING TO BE PROVIDED BY WALKWAY LIGHTING AND EXTERIOR SPOT LIGHTING
22. 15' LANDSCAPE BUFFER
23. GARBAGE TRUCK AND SU-30 DELIVERY TRUCK TURNING RADIUS LAYOUT



Building, Site & Parking Data:

Legal Description:
4.17 ACRE PORTION OF SOUTHWEST CORNER OF TRACT A LANDS OF SHAW MITCHELL MALLORY PARTNERSHIP, JANUARY 22, 1999, MOBILE REC. FOLIO 14.

Neighborhood Zoning Code:
1. Lot Area: 181,599 sq. ft. (4,169 ac.)
2. Zone: IP - Industrial Park
3. Signage: One freestanding (monumental) sign, 75 sq. ft.
4. Provided: 10' x 4' x 40' of face
5. Structure Height:
a. Maximum allowed: 120' or less than 45' from property line
b. Actual height of building: 50' (outside of 45')
6. Lot size: no more than 50x buildings (27,370 / 181,599 = 15x < 50x)
7. Setbacks:
a. Front: 35'
b. Side/Rear: 15'
8. Parking:
a. Required:
1. 1st & 2nd = 24, 633 of net leasable area / 200 = 124 spaces
2. 3rd = 97% = 20,273 of net leasable area / 300 = 68 spaces
3. 4th = 80% = 15,116 of net leasable area / 300 = 51 spaces
b. Total # parking spaces required = 243
c. Minimum # parking spaces required = 243
d. Required parking spaces provided: 243 / 20 = 12
e. Provided: 269 total spaces (incl. B.M.C.)

Project Number: 1001253

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) on 5/11/01 and that the findings and conditions in the Official Notice of Decision have been complied with.

Application # 01410-00000-00663

Site Development Plan

Richard D. Dorn
Traffic Engineer, Transportation Division
Date: 2/28/01

William E. Landis
Police & Fire Department
Date: 3/19/01

Patricia A. Green
Public Works, Water Utilities Division
Date: 3/16/01

Bruce J. Bryan
City Engineer, Engineering Division / AMATCA
Date: 11/27/01

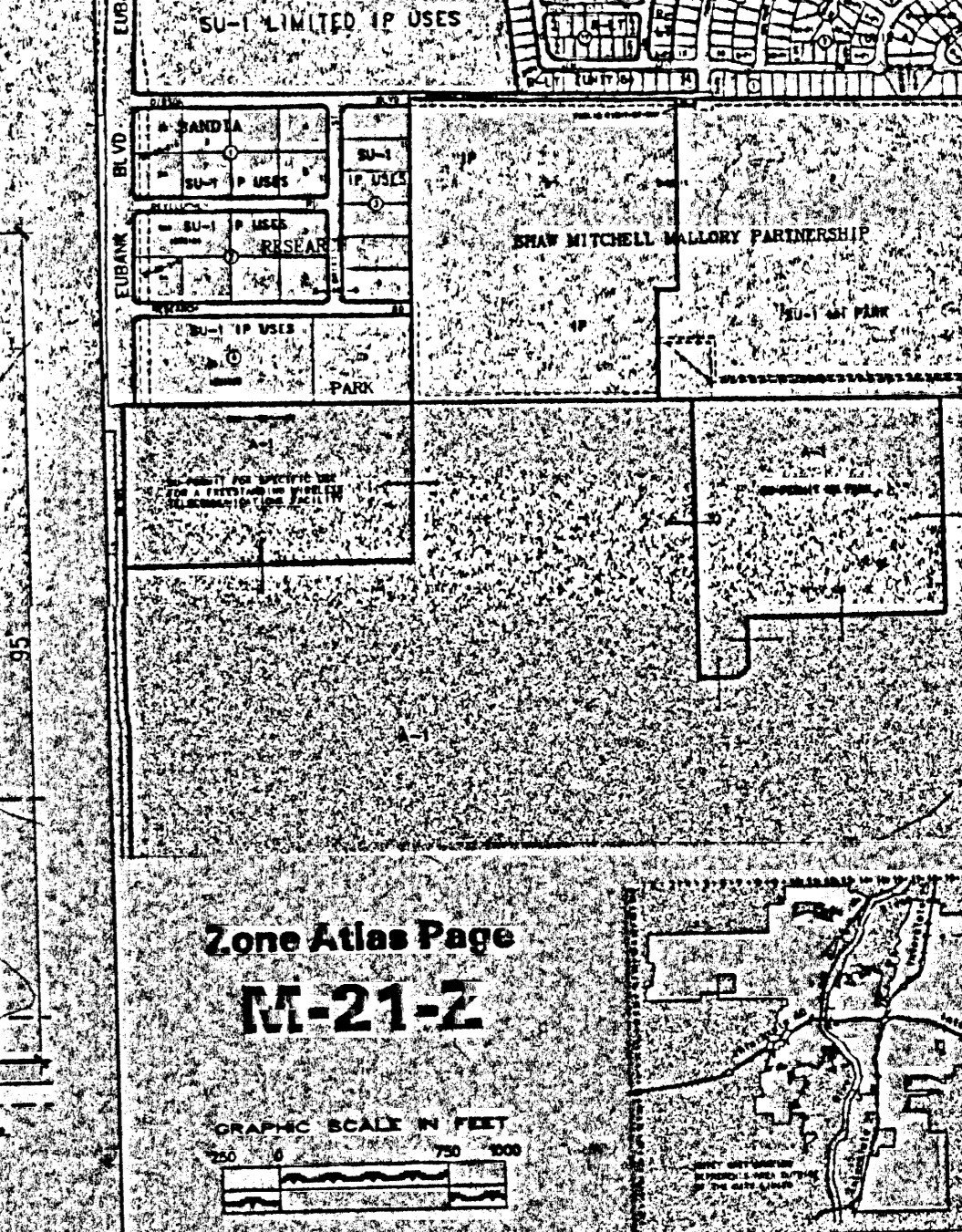
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Process Manual

John S.
Planner, Albuquerque / Bannock
Date: 11/28/01

Michael Heller
Solid Waste, with compliance, with final approval
Date: 7/25/01

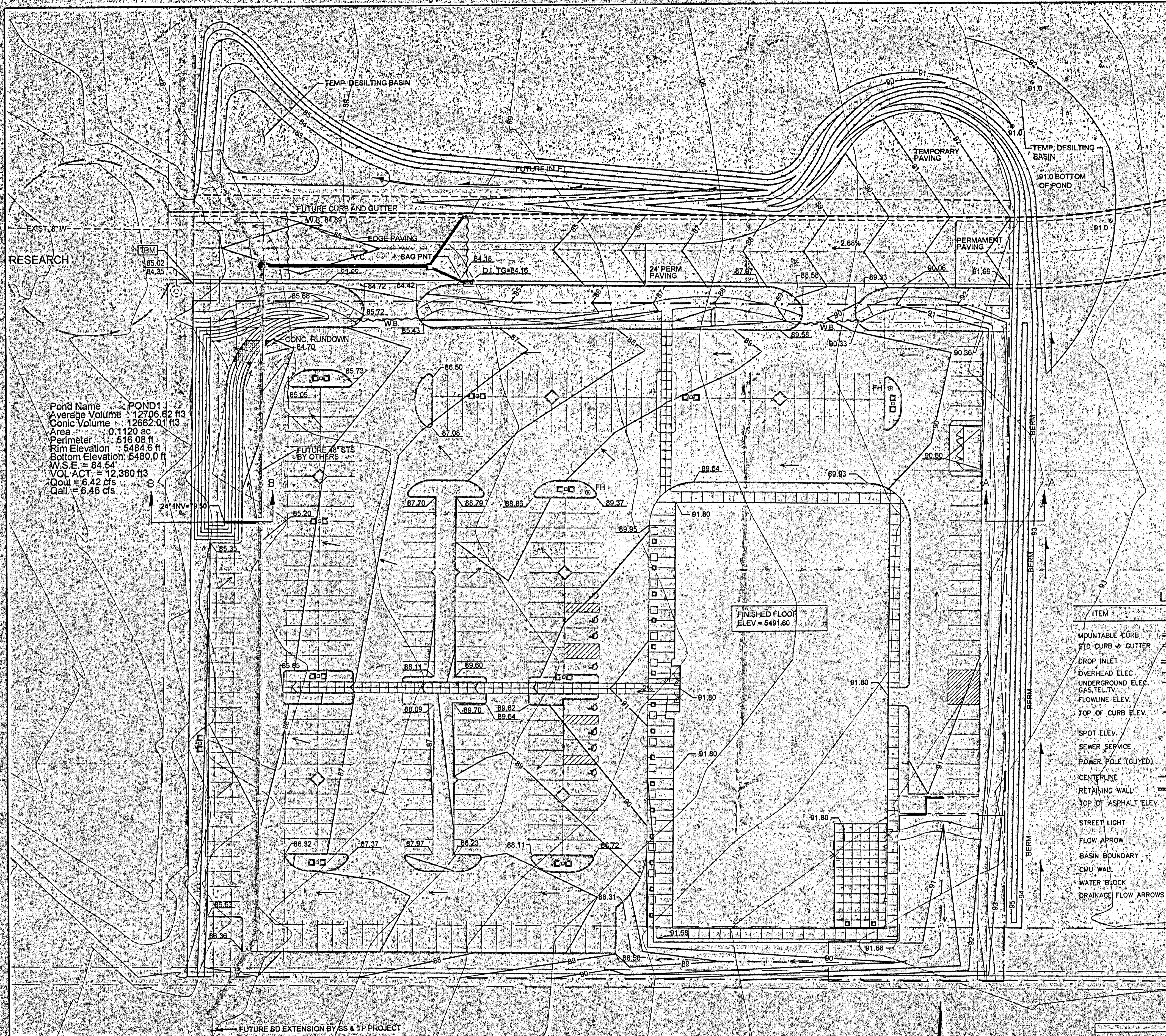
AFO PLANS CHECKING OFFICE
621 2611
APPROVED/DISAPPROVED
Date: 7/25/01
SIGNATURE & DATE

Site Vicinity Map

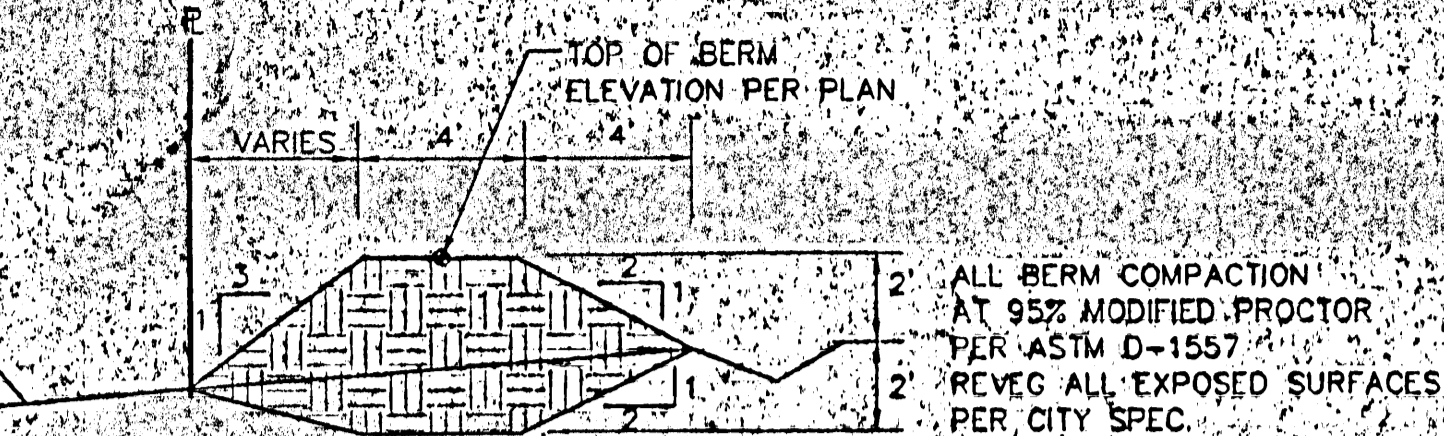


DRB SUBMITTAL

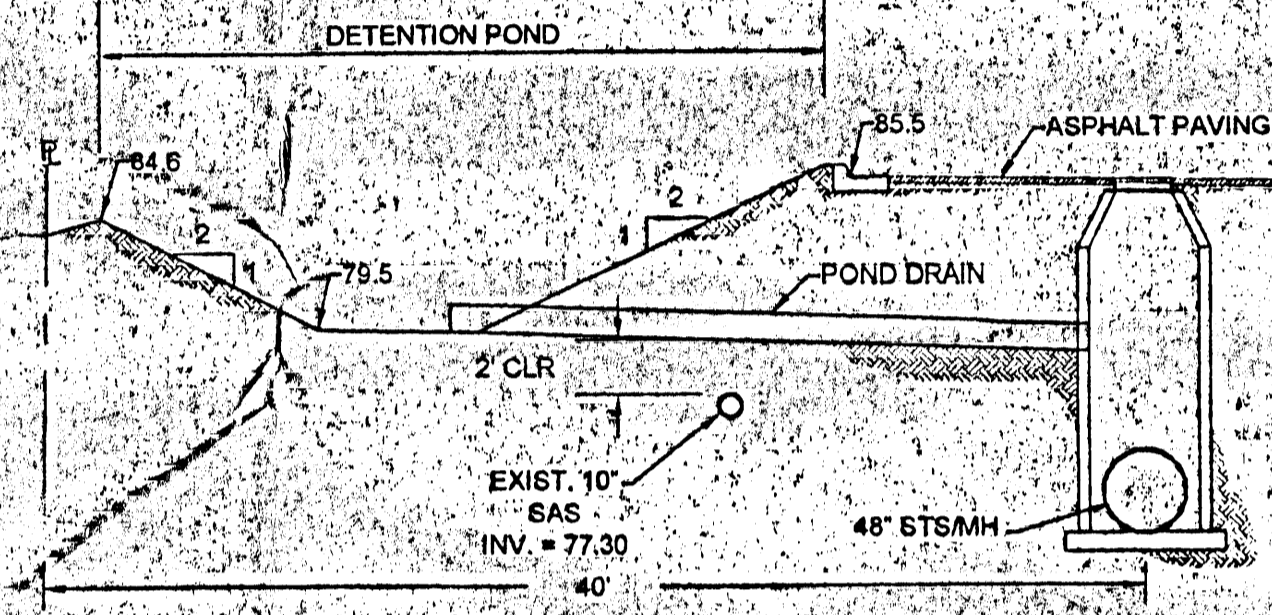
International Programs Building
Research Blvd.
Albuquerque, New Mexico



Pond Name: POND1
Average Volume: 12706.62 ft³
Conic Volume: 12662.01 ft³
Area: 0.1120 ac
Perimeter: 516.08 ft
Rim Elevation: 5484.6 ft
Bottom Elevation: 5480.0 ft
W.S.E.: 54.54
VOL. ACT.: 12,380 ft³
Qout: 6.42 cfs
Qall: 6.46 cfs



BERM SECTION



DETENTION POND SECTION

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB		
STD CURB & GUTTER		
DROP INLET		
OVERHEAD ELEC.	OHE	
UNDERGROUND ELEC. GAS, TEL, TV	UGT	
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	16.7	16.7
SEWER SERVICE		
POWER POLE (GUYED)	PP	
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT		
FLOW ARROW		
BASEIN BOUNDARY		
CHIU WALL		
WATER BLOCK		
DRAINAGE FLOW ARROWS		

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structure design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

PROJECT DATA:

LEGAL DESCRIPTION:
 TRACT A2 - LANDS OF SHAW MITCHELL MALLOY PARTNERSHIP
ADDRESS:
 10600 RESEARCH RD SE
BENCHMARK:
 TBM, "X" CHISEL IN CONCRETE TOP OF CURB, EAST END
 OF RESEARCH ROAD
 ELEV=5485.02
SURVEY:
 TOPOGRAPHY BY PRECISION SURVEYS, INC.
 1997



PROJECT HYDROLOGY	
INTERNATIONAL PROGRAMS	
ZONE	3
Precip	2.60
Depth	4.80
UNDEVELOPED	
BASIN	AREA (ac) A (sq) B (sq) C (sq) D (sq) E (sq) Q (cfs) VOL (ac ft)
SITE	4.12 4.12 0.00 0.00 0.00 0.66 7.70 0.227
DEVELOPED (PROPOSED)	
BASIN	AREA (ac) A (sq) B (sq) C (sq) D (sq) E (sq) Q (cfs) VOL (ac ft)
SITE	4.12 0.00 0.10 0.91 3.11 2.09 19.82 0.717

BRASHER & LORENZ CONSULTING ENGINEERS
 2201 San Pedro NE, Building #1 Suite 220
 Albuquerque, New Mexico 87110
 PH: 805-888-8088 FAX: 805-888-8188

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP
INTERNATIONAL PROGRAMS GRADING & DRAINAGE PLAN

TITLE: INTERNATIONAL PROGRAMS GRADING & DRAINAGE PLAN **C101**

Design Review Committee: City Engineer Approval

NO.	DATE	REVISIONS	BY

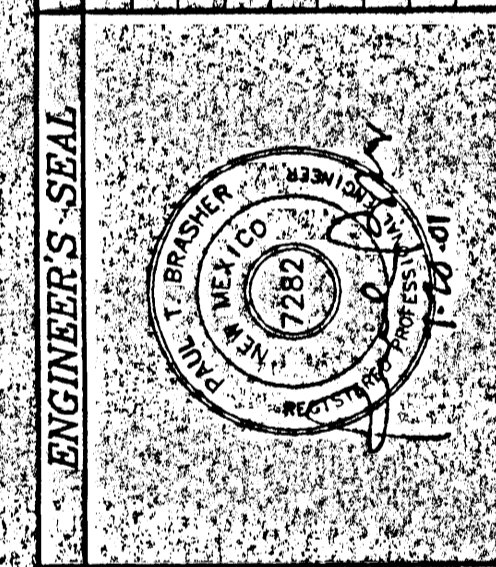
DESIGNED BY: PFB DATE: 05/01
 DRAWN BY: LAN DATE: 05/01
 CHECKED BY: PFB DATE: 05/01

City Project No. _____ Zone Map No. _____ Sheet 1 of 1

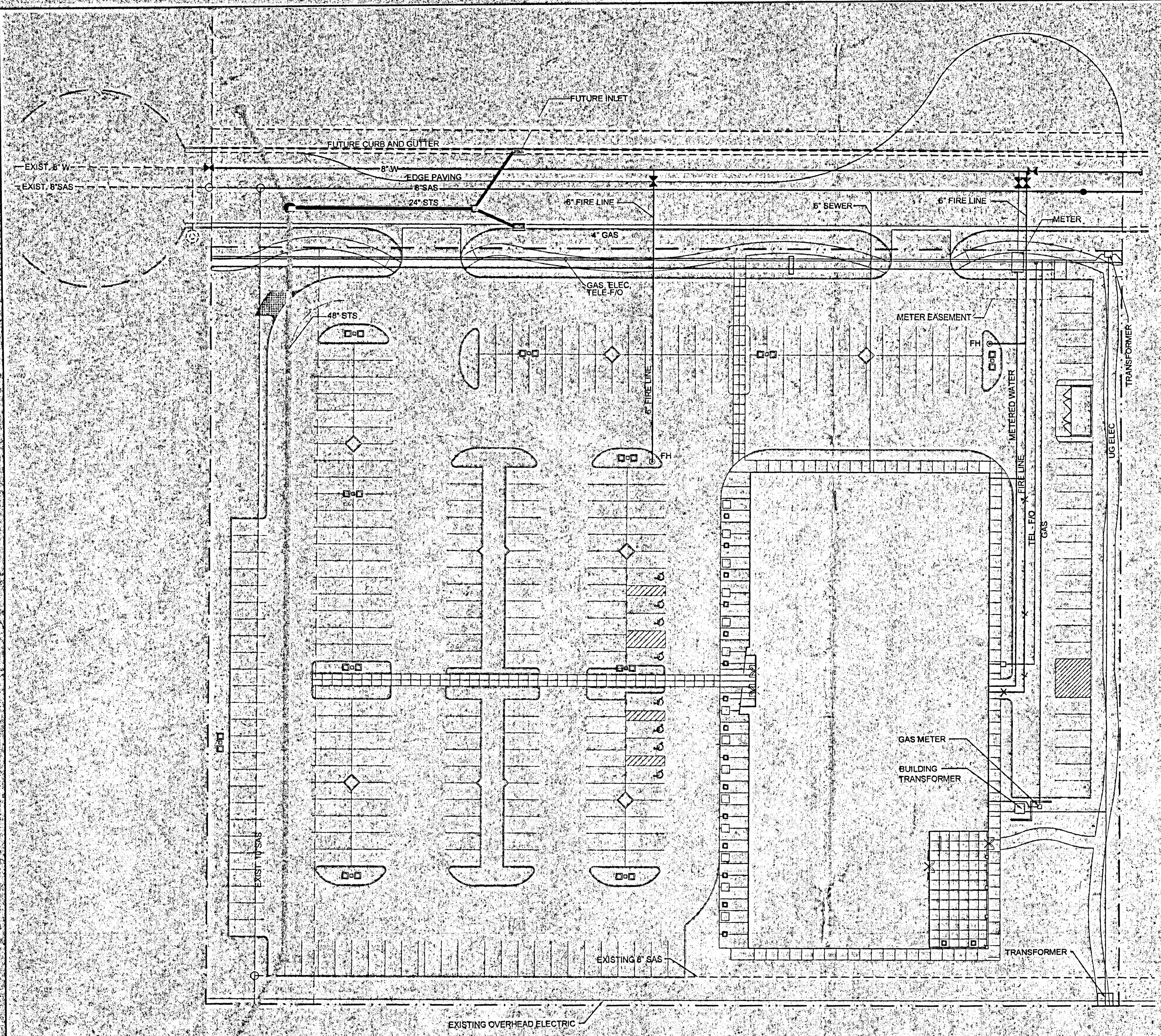
AS-BUILT INFORMATION	
CONTRACT NO.	DATE
STAFF NO.	DATE
APPROVED BY	DATE
CHECKED BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE

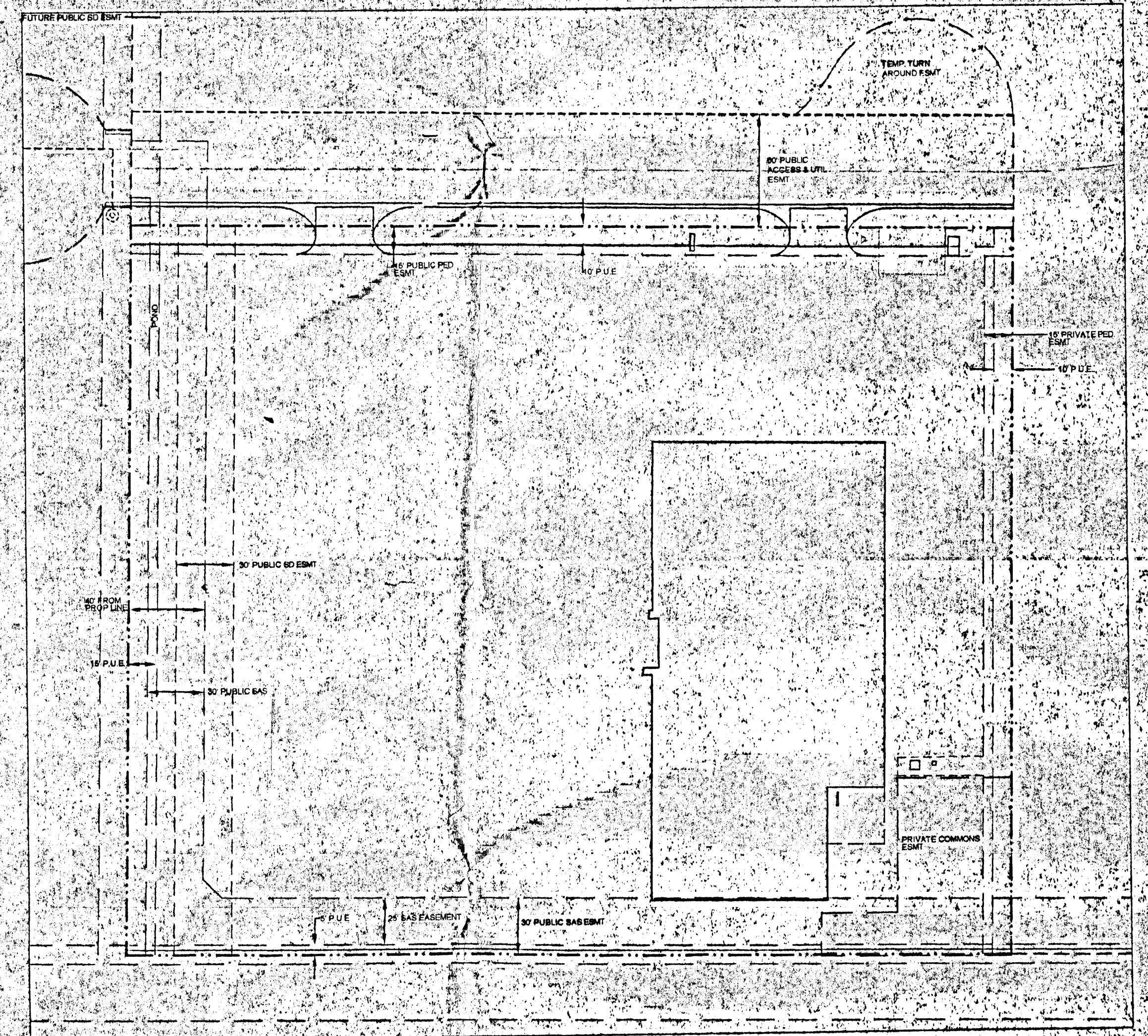


ENGINEER'S SEAL	
NO.	DATE



PROJECT DATA:
 LEGAL DESCRIPTION: TRACT A2, LANDS OF SHAW, MITCHELL, MALLORY PARTNERSHIP
 ADDRESS: 10600 RESEARCH RD SE
 BENCHMARK: 7.5" CHISELED IN CONCRETE TOP OF CURB, EAST END OF RESEARCH ROAD
 ELEV=5485.02
 SURVEY: TOPOGRAPHY, BY PRECISION SURVEYS, INC. 1997

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	---
STD CURB & GUTTER	---	---
DROP INLET	---	---
OVERHEAD ELEC	OHU	---
UNDERGROUND ELEC	UGT	---
GAS, TEL TV	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	16.7	16.7
SEWER SERVICE	---	---
POWER POLE (GUYED)	PP	---
CENTERLINE	---	---
RETAINING WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT	---	---
FLOW ARROW	---	---
BASIN BOUNDARY	---	---
CMU WALL	---	---
WATER BLOCK	---	---
DRAINAGE FLOW ARROWS	---	---



EASEMENT DETAIL
 SCALE: 1"=50'



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro N.E., Building 1 Suite 220
 Albuquerque, New Mexico 87110
 Ph: 505-883-0268 Fax: 505-883-2188

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE: INTERNATIONAL PROGRAMS
 WATER AND SEWER LAYOUT **C301**

DESIGNED BY: FTB	DATE: 05/01/03
DRAWN BY: PLAN	DATE: 05/01/03
CHECKED BY: FTB	DATE: 05/20/03

Design Review Committee: _____ City Engineer Approval: _____
 City Project No. _____ Zone Map No. _____ Sheet **6** OF **5**

- PLANT LEGEND**
- SYMBOL QTY
- 27 SHADE TREE 2" CAL
ASH, SYCAMORE, LOCUST
 - 44 ORNAMENTAL TREE 1 1/2" CAL
FLWG, PEAR, DESERT WILLOW, HAWTHORN
 - 6 EVERGREEN TREE 18" HT
AUSTRIAN PINE, PINON PINE
 - 105 LARGE SHRUB 1 GAL-5 GAL
SILVERBERRY, CHAMISA, APACHE PLUME,
BUTTERFLY BUSH, SPANISH BROOM, MAIDEN GRASS
 - 238 SMALL SHRUB 1 GAL-5 GAL
ROSEMARY, RAPHALEPIS, MUCHO PINE
BLUE MIST, CHERRY SAGE, BUFFALO JUNIPER
 - 115 PERENNIALS 1 GAL
JUPITER'S BEARD, LAVENDER, CATMINT,
PENSTEMON, ANGELITA DAISY, VERBENA
 - MATVE GRASS SEED (4430 SF)/SPRAY IRRIGATION
 - BLUEGRASS SOD LAWN SPRAY IRRIGATION

SITE DATA

GROSS LOT AREA	181,599 SF
LESS BUILDING	27,370 SF
NET LOT AREA	154,229 SF
REQUIRED LANDSCAPE	23,134 SF
15% OF NET LOT AREA	23,134 SF
PROPOSED LANDSCAPE	34,374 SF
PERCENT OF NET LOT AREA	22%
HIGH WATER USE TURF	
MAX. 20% OF LANDSCAPE AREA	
PROPOSED HIGH WATER USE TURF	3170 SF
PERCENT OF LANDSCAPE AREA	9%
LAWN AREAS	
MIN. 20% / MAX. 40% OF LANDSCAPE AREA	
PROPOSED LAWN AREAS	7670 SF
PERCENT OF LANDSCAPE AREA	22%
REQUIRED STREET TREES	
ONE TREE PER 30 L.F. OF STREET FRONTAGE	
14 TREES PROVIDED	
REQUIRED PARKING LOT TREES	
ONE TREE PER 6 PARKING SPACES	
269 SPACES/6=45 TREES PROVIDED	
TOTAL REQUIRED TREES	
MIN. 1 PER 2000 SF OF LANDSCAPE AREA	
34,374 SF OF LANDSCAPE AREA / 2000 SF = 17 TREES MINIMUM	
TOTAL TREES PROVIDED MINIMUM = 59	

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM

LAWN TO BE WATERED BY AUTO SPRAY IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

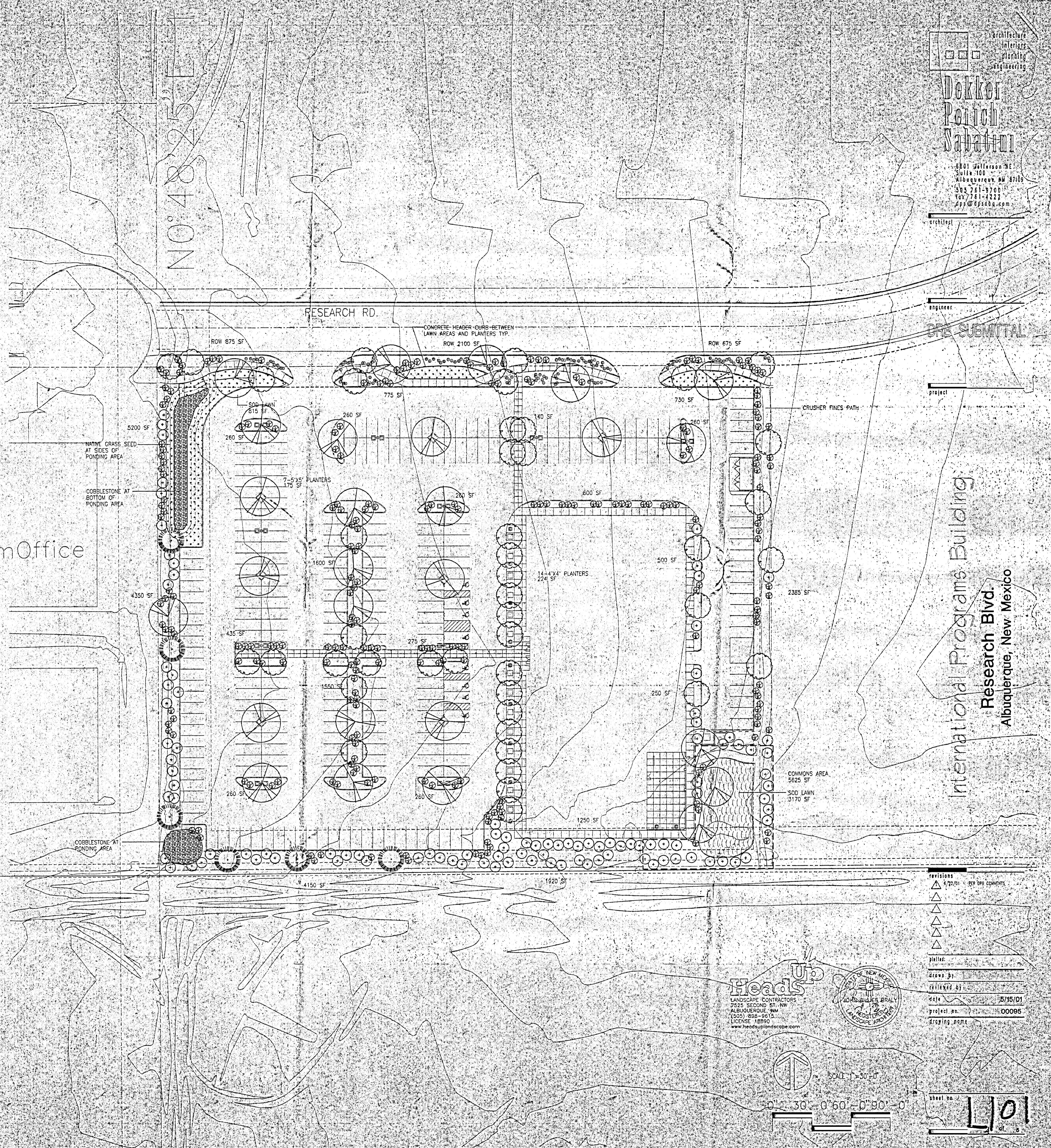
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

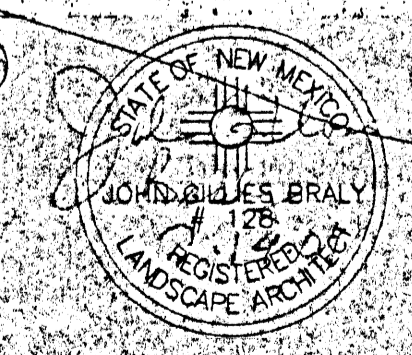
NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE



DRG SUBMITTAL

International Programs Building
Research Blvd.
Albuquerque, New Mexico

HeadUp
LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 888-9478
LICENSE 18890
www.headuplandscape.com



Revisions

1	6/22/01	PER DDP COMMENTS
2		
3		
4		
5		

plotted

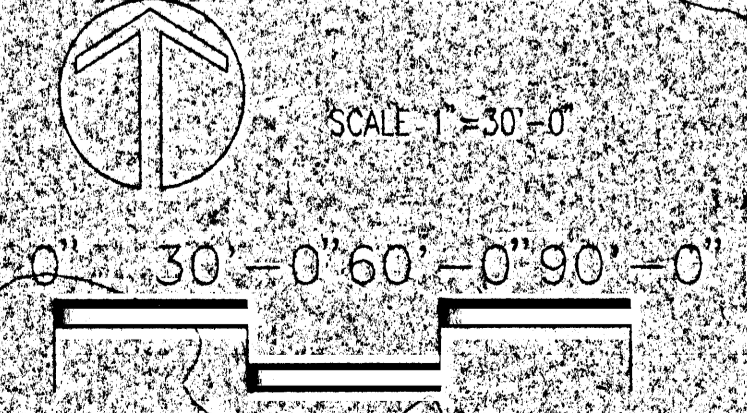
drawn by

checked by

date 5/16/01

project no. 00095

drawing name



sheet no. **L101**

Elevations Notes

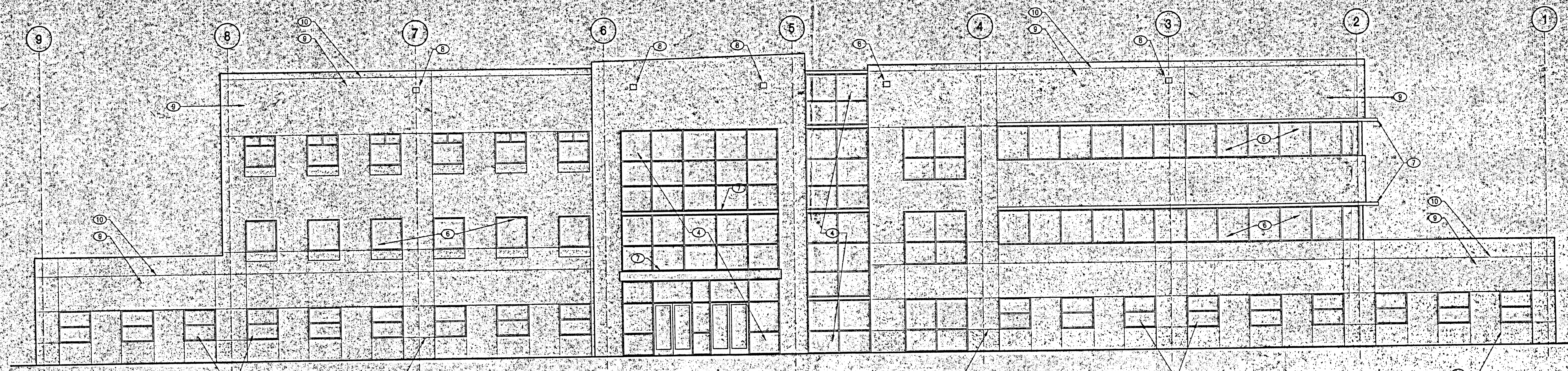
- BUILDING ELEVATION STEPS DOWN AT STREET SIDE & AT SIDES FACING COMMONS AREA
- ALL WINDOW FRAMES TO BE CLEAR ANODIZED ALUMINUM FINISH UNO
- ALL PROJECTED AWNINGS TO OVERHANG 3'-0" UNO
- ALL EIFS TO BE FINISHED WITH INTERIOR COLORED SYNTHETIC STUCCO UNO

Keyed Notes

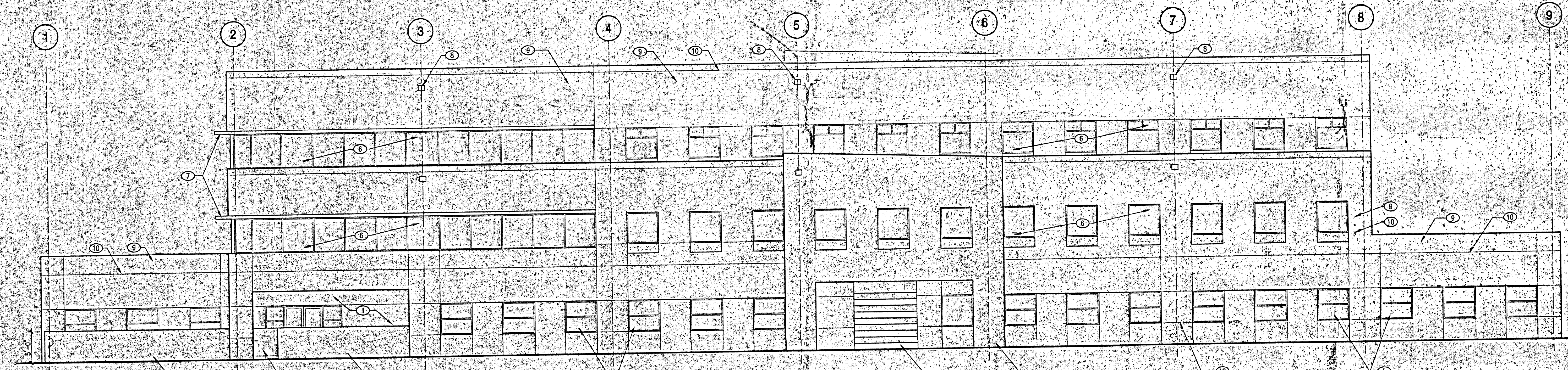
- OPEN PORCH AND BREAK AREA ENCLOSURE
- OVERHEAD DOOR, PAINT TO MATCH ADJACENT EIFS COLOR
- PORCH GATE, PAINT TO MATCH ADJACENT EIFS
- GLAZED CURTAIN-WALL W/ BLUE/GREEN REFLECTIVE GLASS IN CLEAR ANODIZED ALUMINUM FRAME
- CLEAR ANODIZED ALUMINUM STOREFRONT W/ BLUE/GREEN REFLECTIVE GLAZING
- TINTED BLUE/GREEN GLASS IN CLEAR ANODIZED ALUMINUM FRAME WINDOW
- PAINTED METAL SWAGE DEVICE
- OVERFLOW DRAIN CANALES
- EIFS W/ SYNTHETIC STUCCO FINISH
- 3/4" DEEP x 1/2" WIDE EDGELS W/ CHAMFERED EDGE

EIFS Color Legend

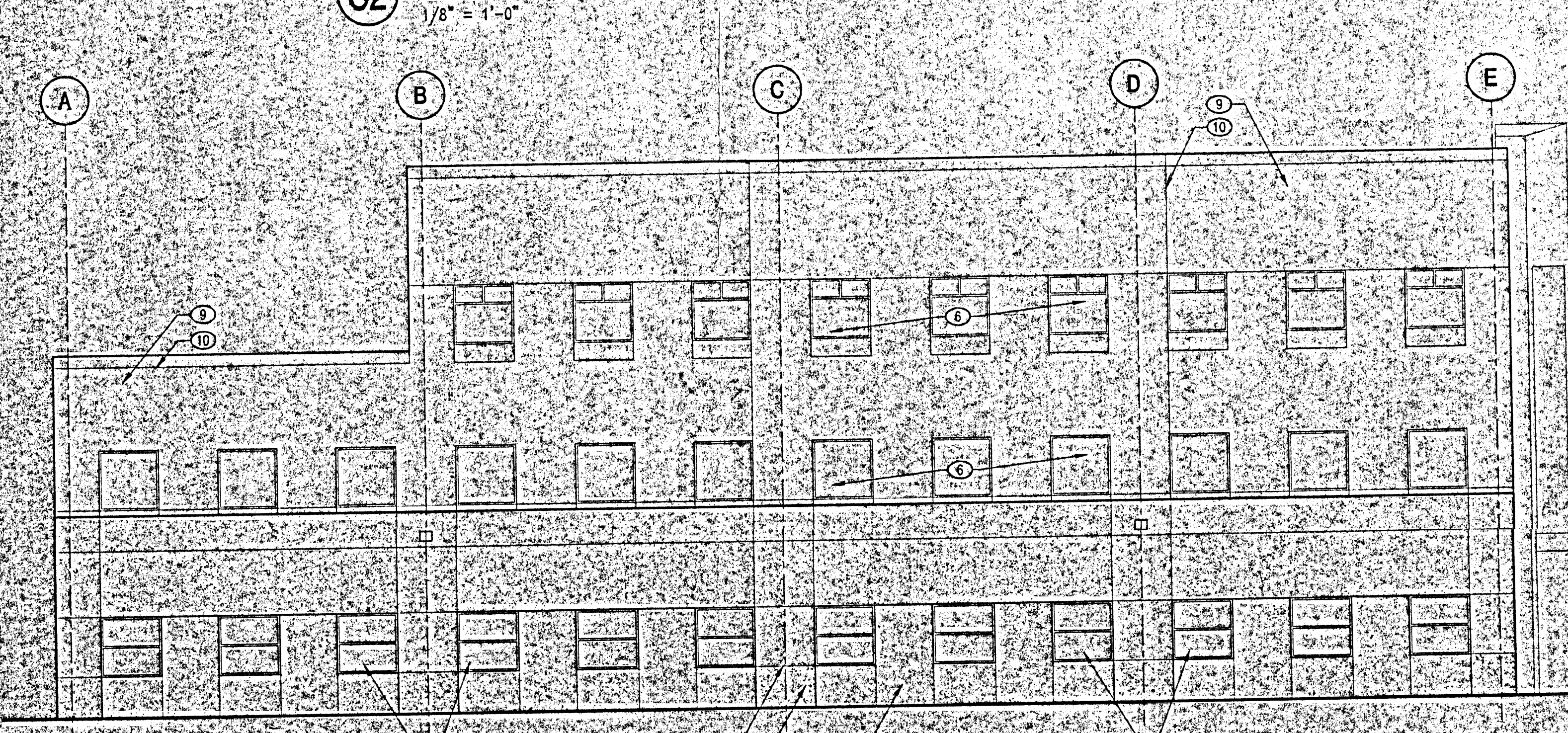
- EIFS COLOR: BLUE ACCENT
- EIFS COLOR: BURNT LAMBER
- EIFS COLOR: LIGHT TAN



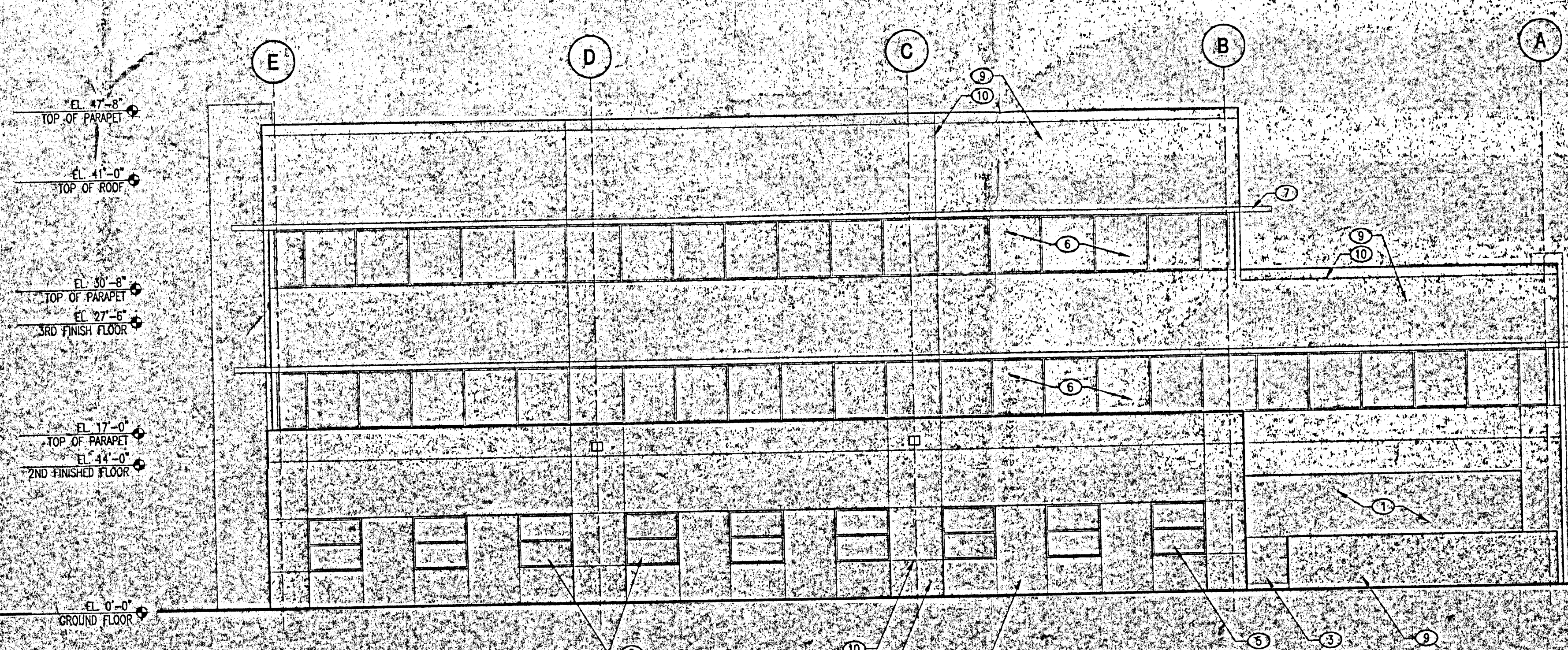
A2 West Elevation
1/8" = 1'-0"



C2 East Elevation
1/8" = 1'-0"



E1 North Elevation
1/8" = 1'-0"



E4 South Elevation
1/8" = 1'-0"

International Programs Building
Research Blvd.
Albuquerque, New Mexico

Revisions:
 1/22/01 - SEE DIS COMMENTS
 2/14/01 - SEE DIS COMMENTS
 3/14/01 - SEE DIS COMMENTS
 4/14/01 - SEE DIS COMMENTS
 5/14/01 - SEE DIS COMMENTS
 6/15/01 - SEE DIS COMMENTS

Drawn by: ERH
 Reviewed by: JMC
 Date: 6/15/01
 Project No.: 00095
 Drawing Name: East & South Exterior Building Elevations for Building Permit