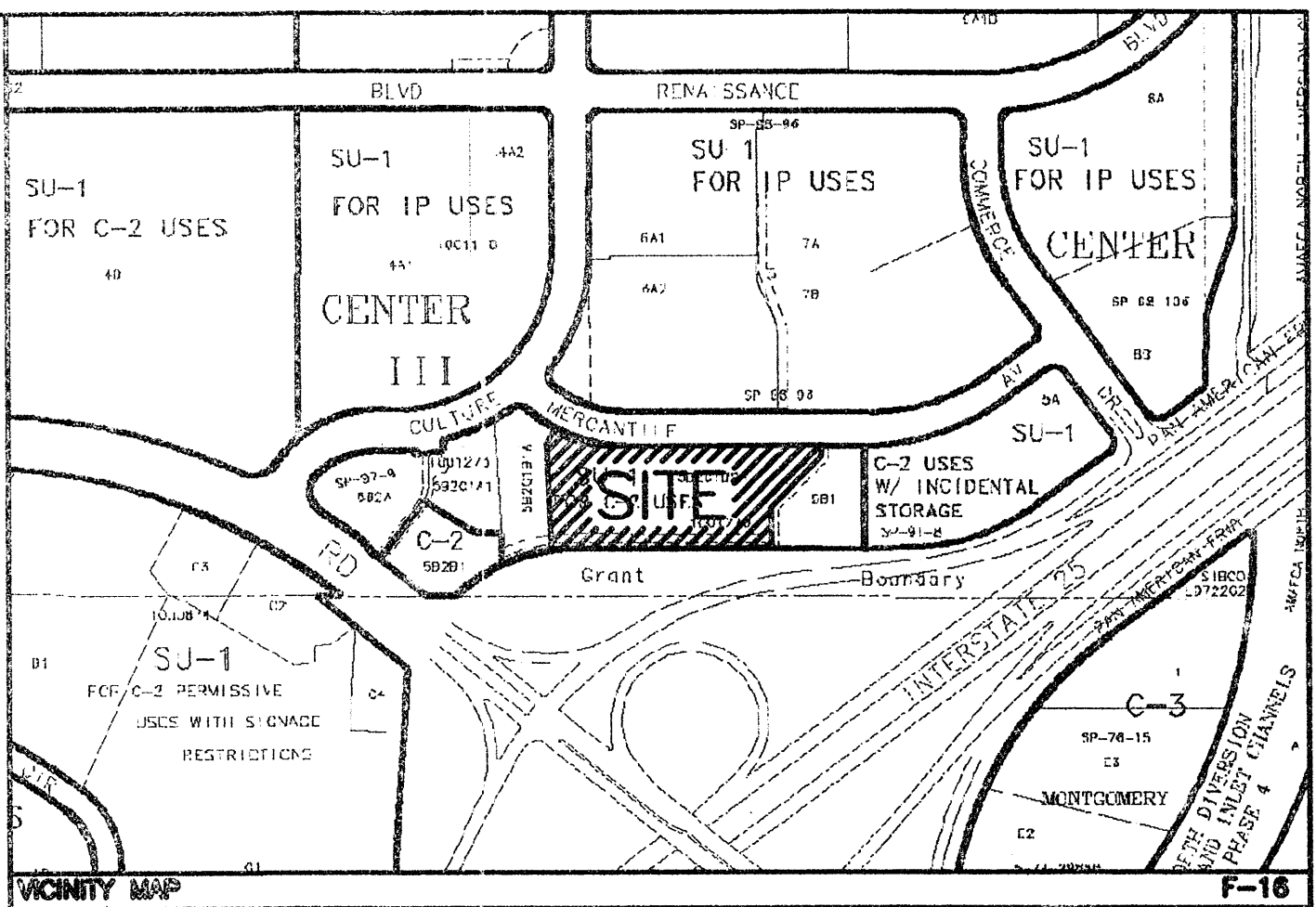


KEYED NOTES:

1. RETAINING WALL FOR TRUCK RAMP PER ARCHITECTURAL DRAWINGS.
2. CITY DUMPSTER PER DETAIL THIS SHEET, TO BE SCREENED WITH CMU WALL TO MATCH BUILDING COLORS.
3. ELECTRICAL TRANSFORMER PER PRIM REQUIREMENTS.
4. CART CORRAL LOCATIONS TO BE SPECIFIED BY ARCHITECT AND SHOWN ON ARCHITECTURAL PLANS.
5. "COMPACT" SPACE TYPICAL.
6. CURB AND GUTTER PER C.O.A. STD. DWG. # 2415A



LEGAL DESCRIPTION:

TRACT 5-B-2-C-1-B-2-A RENAISSANCE CENTER

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF LOT OWNER TO INCLUDE THE PUBLIC RIGHT OF WAY ADJACENT TO THE LOT.
3. RECIPROCAL PARKING, ACCESS AND DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 5-B-2-A, 5-B-2-B AND 5-B-2-C, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS FILED 1-8-97 BK. 97C, PG.12
4. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
5. ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN.
6. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25 FEET HIGH AND A MAXIMUM OF 18 FEET HIGH WITHIN 300 FEET OF RESIDENTIAL USE OR ZONE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL CUT OFF TYPE TO PREVENT FUGITIVE LIGHT; NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
7. CROSS ACCESS INGRESS/EGRESS AND PRIVATE UTILITY EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 5-B-1, 5-B-2-C-1-B-1-A, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS FILED 1-6-97 BK. 97C, PG.12
8. REMOVE EXISTING ASPHALT CURB AT EAST AND WEST SIDES OF SITE. REPLACE EXISTING ASPHALT AS NEEDED PER GRADING AND DRAINAGE PLAN REFER TO SHEET 3 FOR TYPICAL SECTION.
9. PG. 30 OF THE RENAISSANCE CENTER MASTER PLAN REQUIRES ARCHITECTURALLY COMPATIBLE SCREENING OF ALL ROOF MOUNTED EQUIPMENT AND APPARATUS FROM VIEW FROM ADJACENT STREETS, MONTANA & CULTURE STREETS.

LEGEND

- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- PROPOSED DOUBLE CLEAN OUT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- BOUNDARY LINE
- EASEMENT

SITE DATA

PROPOSED USAGE:	GENERAL RETAIL USE
LOT AREA:	131,393 SF (3.0164 ACRES)
BUILDING AREA:	30,300 SF
FAR:	.231
LANDSCAPE AREA PROVIDED:	20,727 SF ±
LANDSCAPING REQUIRED:	18,823 SF ±
PARKING PROVIDED:	153 SPACES (28 SMALL CARS)
PARKING REQUIRED: (INCLUDING EMPLOYEE)	152 SPACES
HC PARKING PROVIDED:	8 SPACES (INCLUDING 4 VAN ACCESSIBLE)
HC PARKING REQUIRED:	8 SPACES
BIKE SPACES PROVIDED:	10 SPACES
BIKE SPACES REQUIRED:	8 SPACES

PROJECT NUMBER: 1001273
APPLICATION NUMBER: 05288 00478

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted], and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

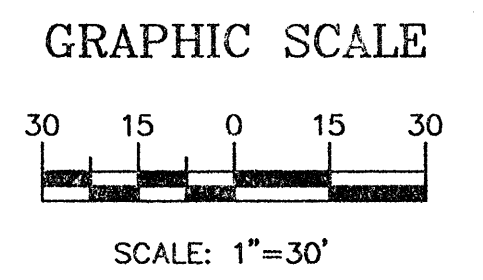
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	Date 4-10-05
<i>[Signature]</i> Utilities Development	Date 4-13-05
<i>[Signature]</i> Parks & Recreation Department	Date 4-13-05
<i>[Signature]</i> City Engineer	Date 4-13-05
<i>[Signature]</i> Environmental Health Department (conditional)	Date 4-13-05
<i>[Signature]</i> Solid Waste Management	Date 4-13-05
<i>[Signature]</i> DRB Chairperson, Planning Department	Date 4-13-05

* Environmental Health, if necessary 12/16/05

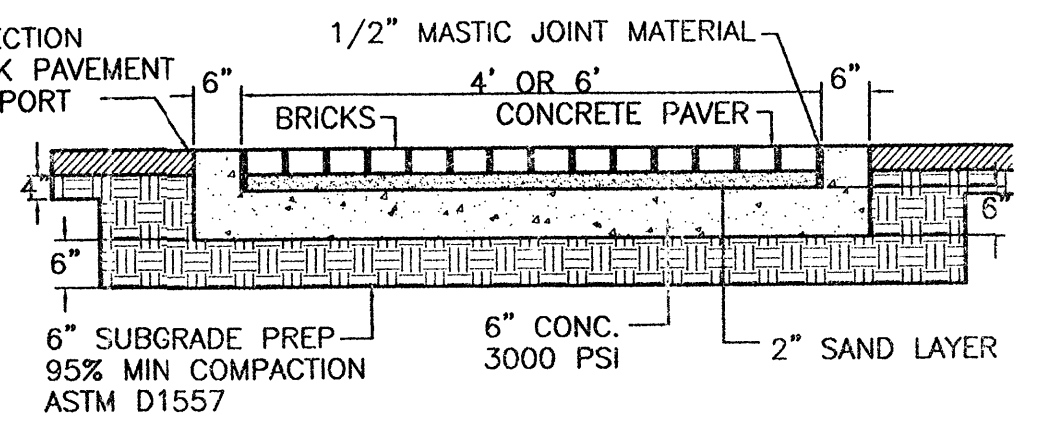
SHEET INDEX

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
4. UTILITY PLAN
- A1.2. BUILDING ELEVATIONS
- A4.0. CONCEPT ELEVATION
- A4.1. CONCEPT ELEVATION

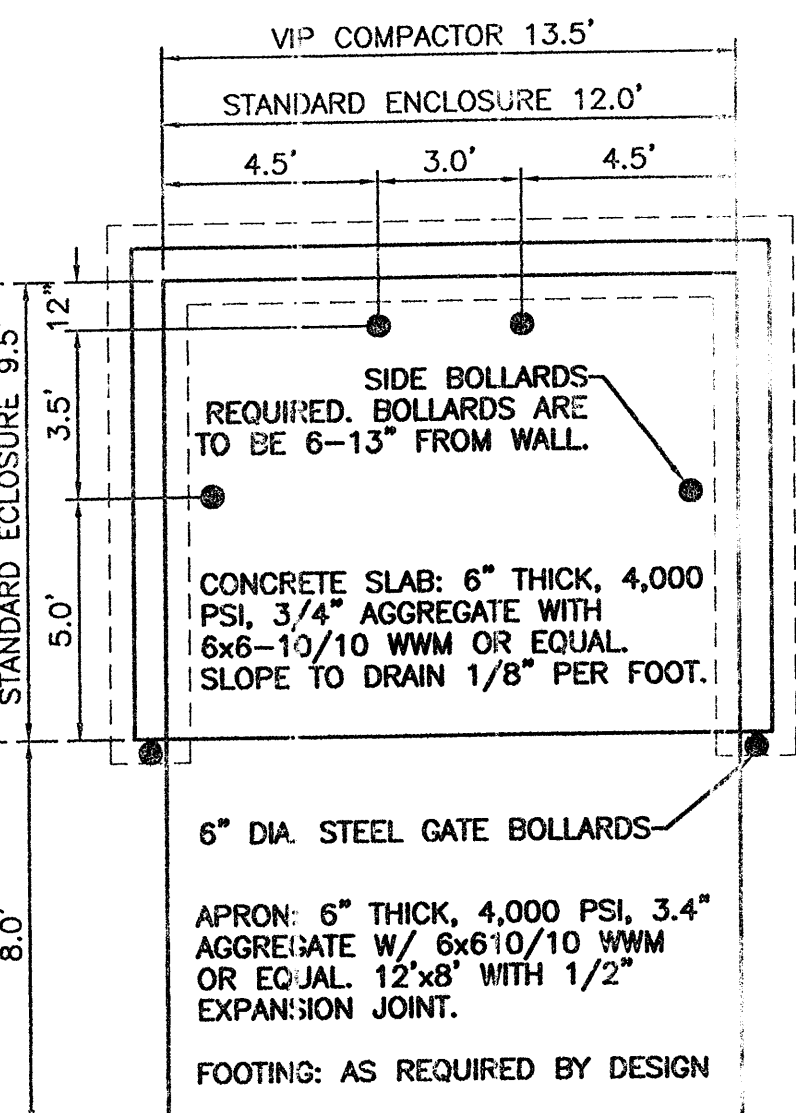


ENGINEER'S SEAL	SITE PLAN FOR BUILDING PERMIT	DRAWN BY EMT
	RENAISSANCE TRACT 5-B-2-C-1-B-2-A	DATE 03-15-05
RONALD R. BOHANNAN P.E. #7885	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 1
		JOB # 24017

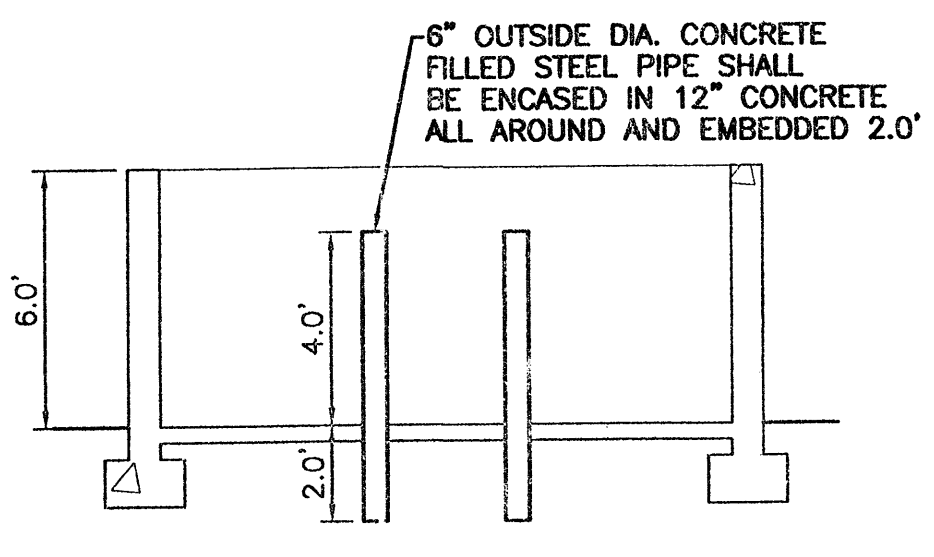
MATCH THE PAVEMENT SECTION ON BOTH SIDES OF BRICK PAVEMENT PER APPROVED SOILS REPORT



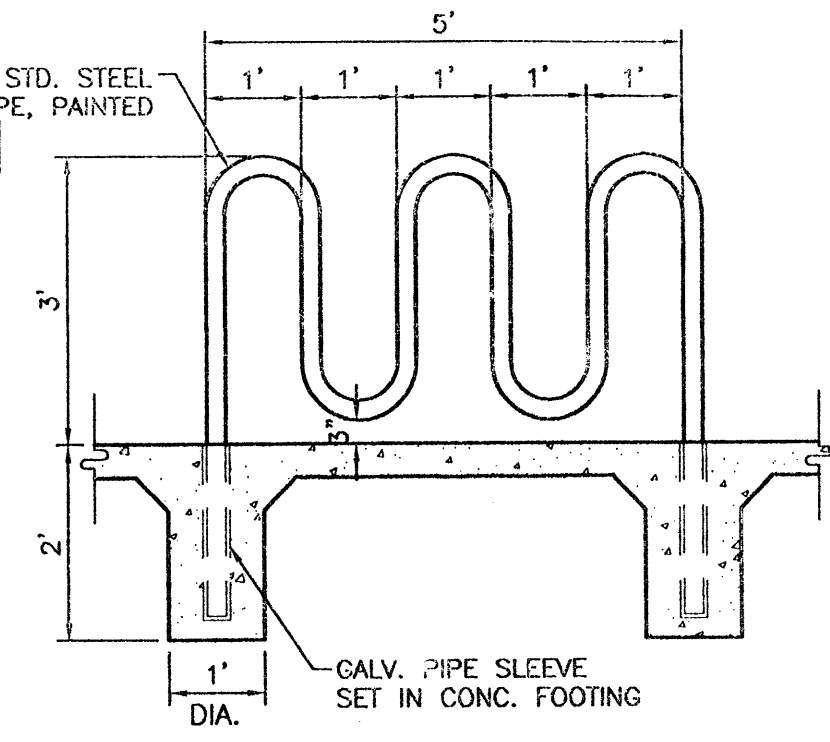
BRICK PAVER DETAIL
NTS



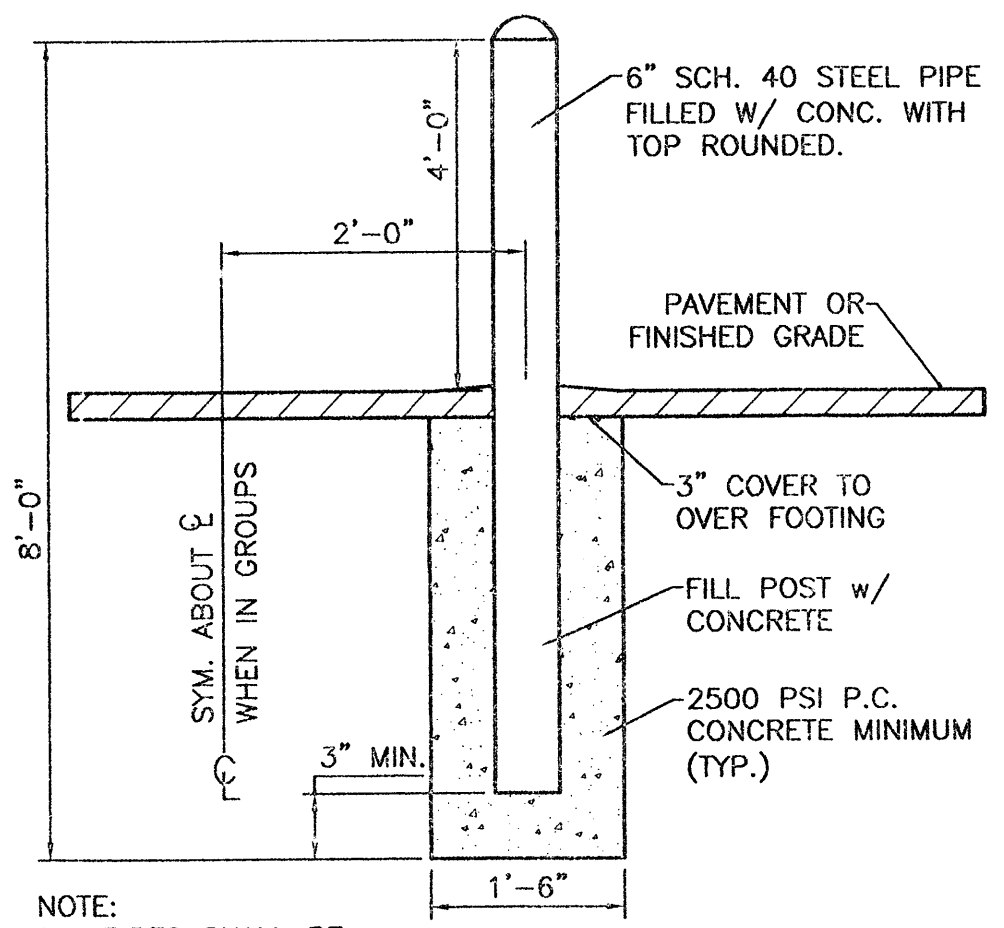
DUMPSTER ENCLOSURE DETAIL
NTS



LIGHT POLE DETAIL
NTS

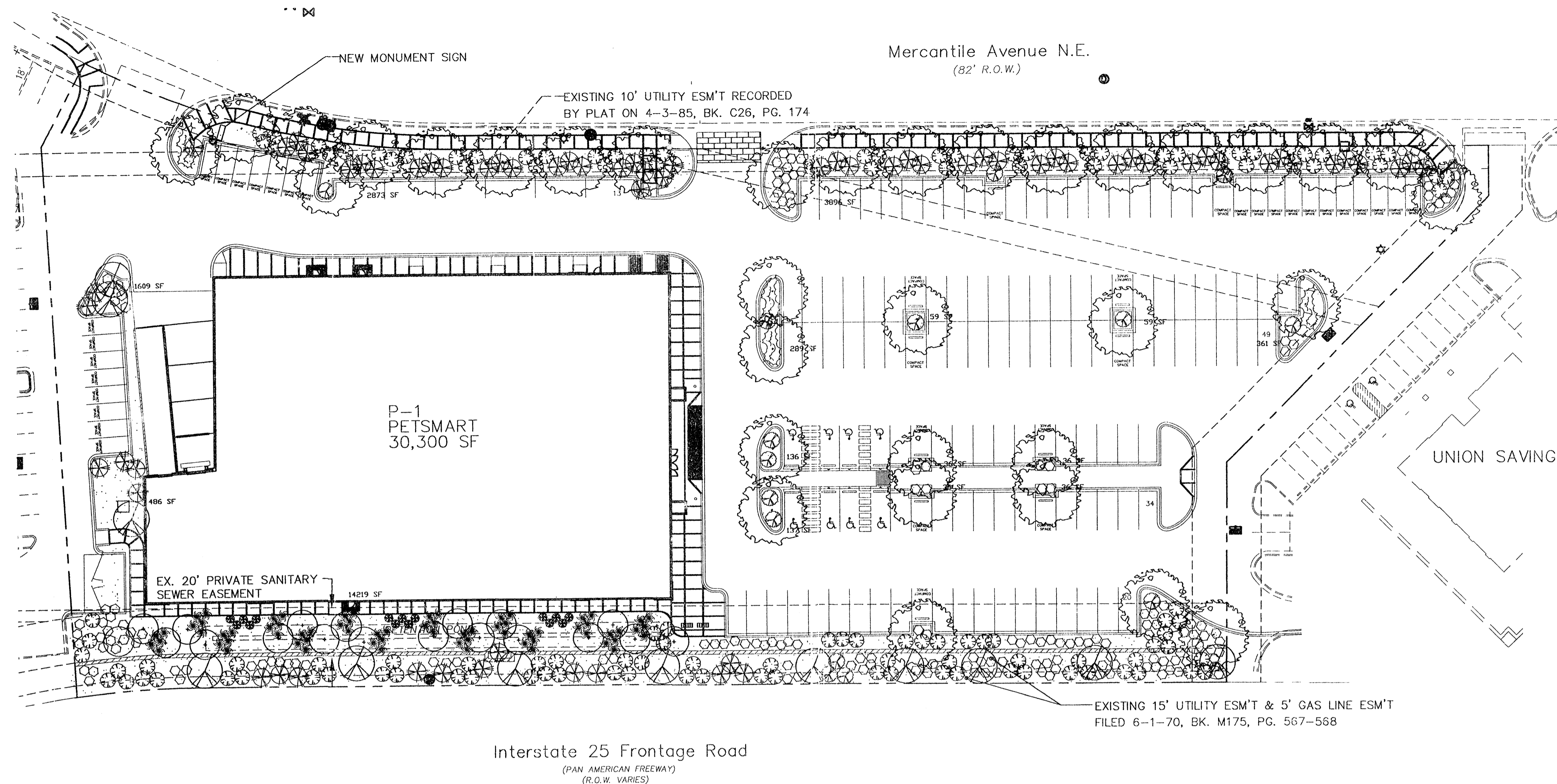


BIKE RACK DETAIL
SCALE: 1/2"=1'



BOLLARD DETAIL
SCALE: NTS

PROJ# 1001273



PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 34
Fraxinus pennsylvanica
Gleditsia triacanthos
4" Cal.
- BRADFORD PEAR (M+) 12
Pyrus calleryana
4" Cal.
- NEW MEXICO OLIVE (L)
Forestiera neomexicana
15 Gal. 225sf
- SILVERBERRY (M) 69
Elaeagnus pungens
5 Gal. 100sf
- MAIDENGRASS (M)
Miscanthus sinensis
5 Gal. 36sf
- REGAL MIST (M)
Muhlenbergia capillaris
5 Gal. 16sf
- ROSEMARY (M) 121
Rosmarinus officinalis
5 Gal. 9sf
- AUTUMN SAGE (M) 174
Salvia greggii
5 Gal. 9sf
- HONEYSUCKLE (M) 51
Lonicera sempervirens
5 Gal. 200sf
Unstaked-Groundcover
- GREYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius
Symbol indicates 3 plants
5 Gal. 81sf
- SANTA FE BROWN GRAVEL

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

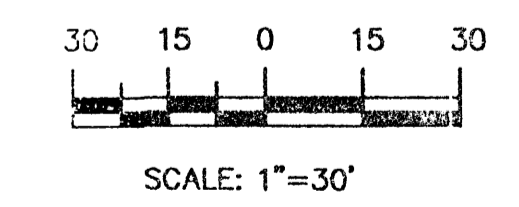
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	165,092	square feet
TOTAL BUILDINGS AREA	30,300	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	134,792	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	20218	square feet
TOTAL BED PROVIDED	24,268 (18%)	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	18,201	square feet
TOTAL GROUNDCOVER PROVIDED	20,727 (85%)	square feet

GRAPHIC SCALE



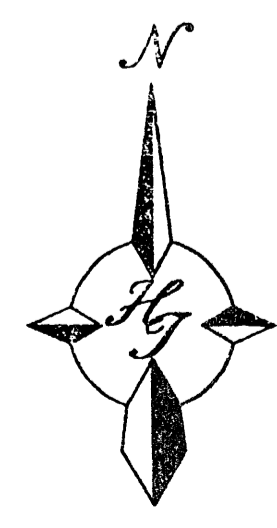
LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmd@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be copied or copied unless applicable fees have been paid or job order placed.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Required #	Provided #
	20	20

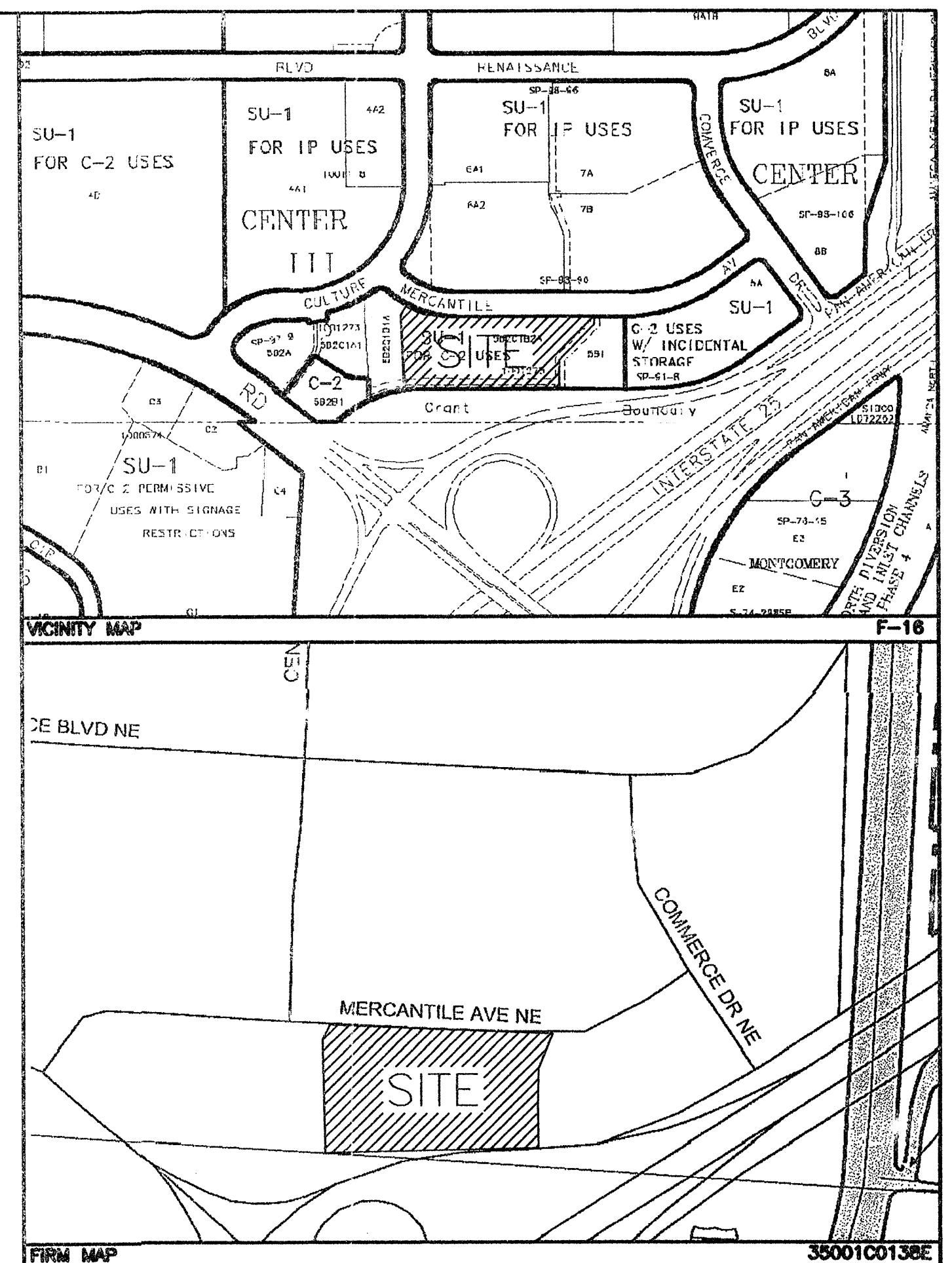
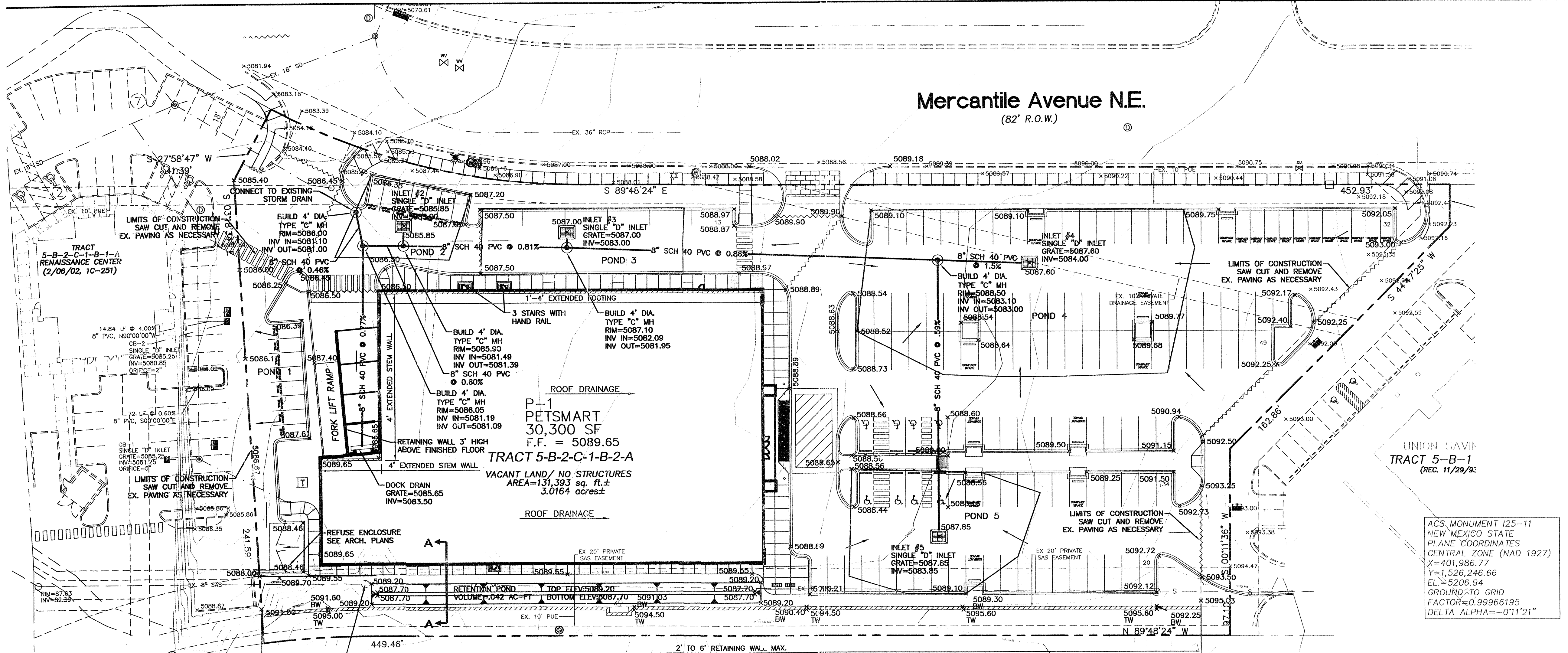
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	PETSMART RENAISSANCE CENTER	DRAWN BY DRR
	LANDSCAPE PLAN	DATE 10-25-04
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	REV # 1 11-05-04 DRR
RONALD R. BOHANNAN P.E. #7868		SHEET # 2
		JOB # 240024

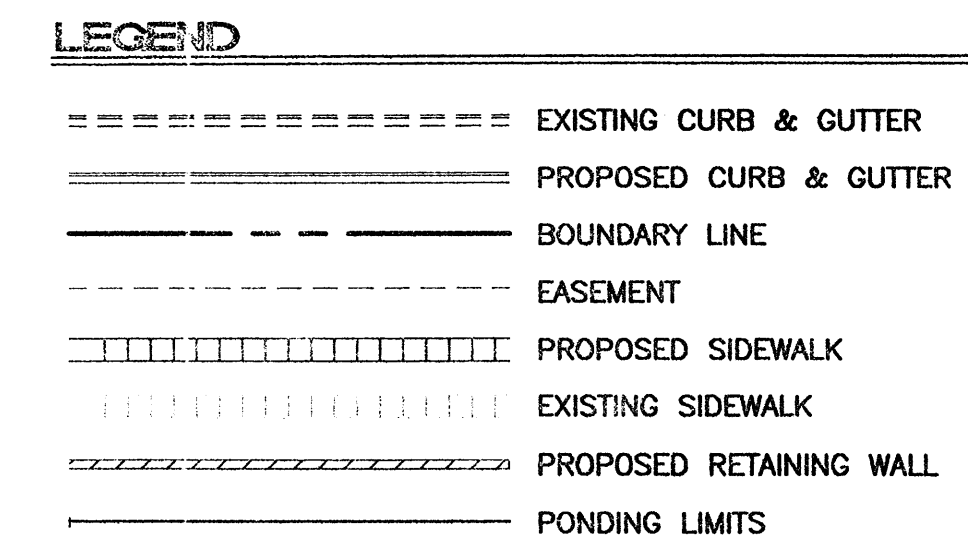
3-15-05 cmd
 3-11-05 drr
 12-02-04 drr

Mercantile Avenue N.E.
(82' R.O.W.)



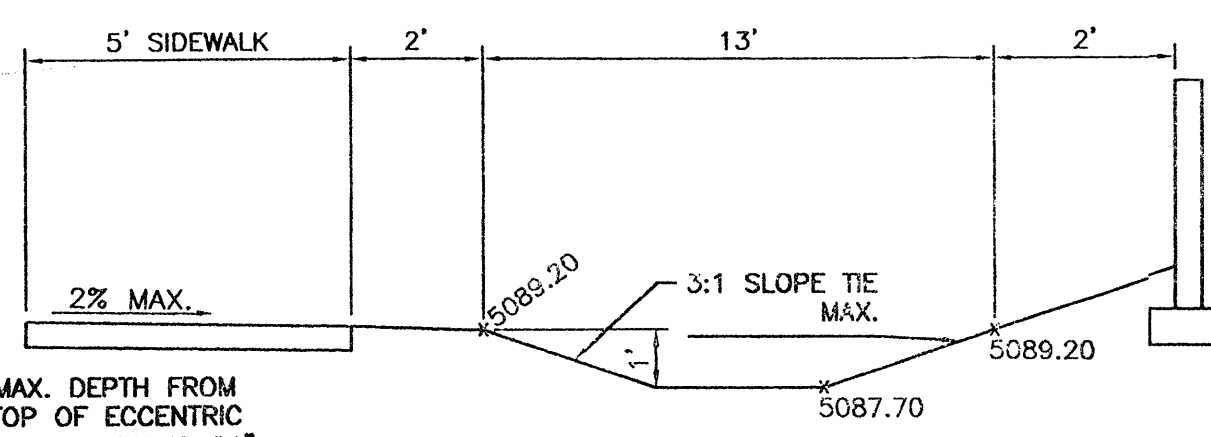
ACS MONUMENT 125-11
NEW MEXICO STATE
PLANE COORDINATES
CENTRAL ZONE (NAD 1927)
X=401,986.77
Y=1,526,246.66
EL.=5206.94
GROUND TO GRID
FACTOR=0.99966195
DELTA ALPHA=-0.1121"

NOTES
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



Interstate 25 Frontage Road
(PAN AMERICAN FREEWAY)
(R.O.W. VARIES)

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



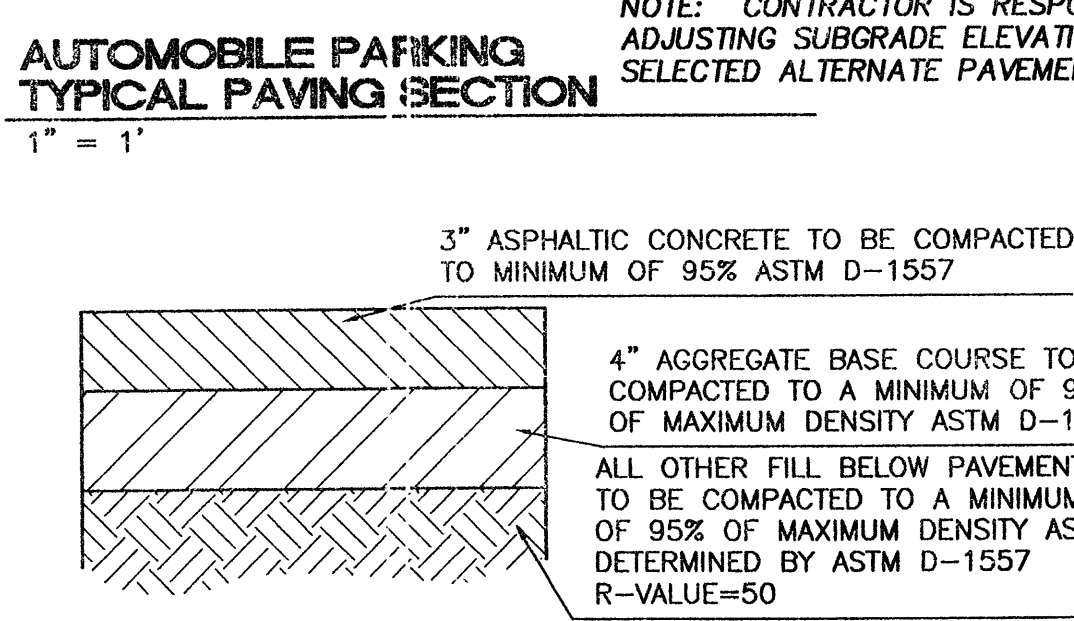
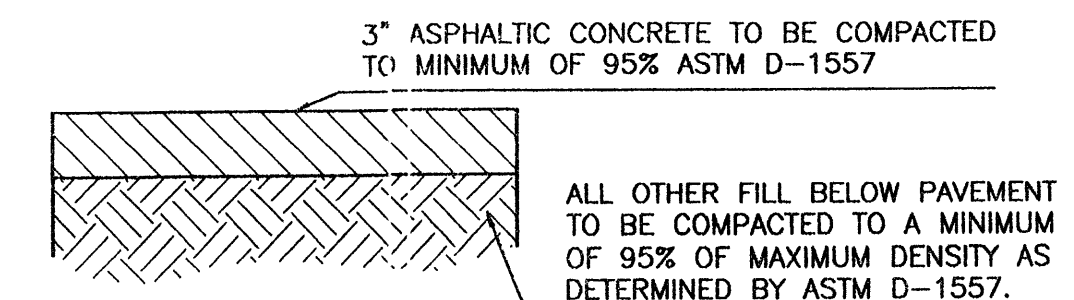
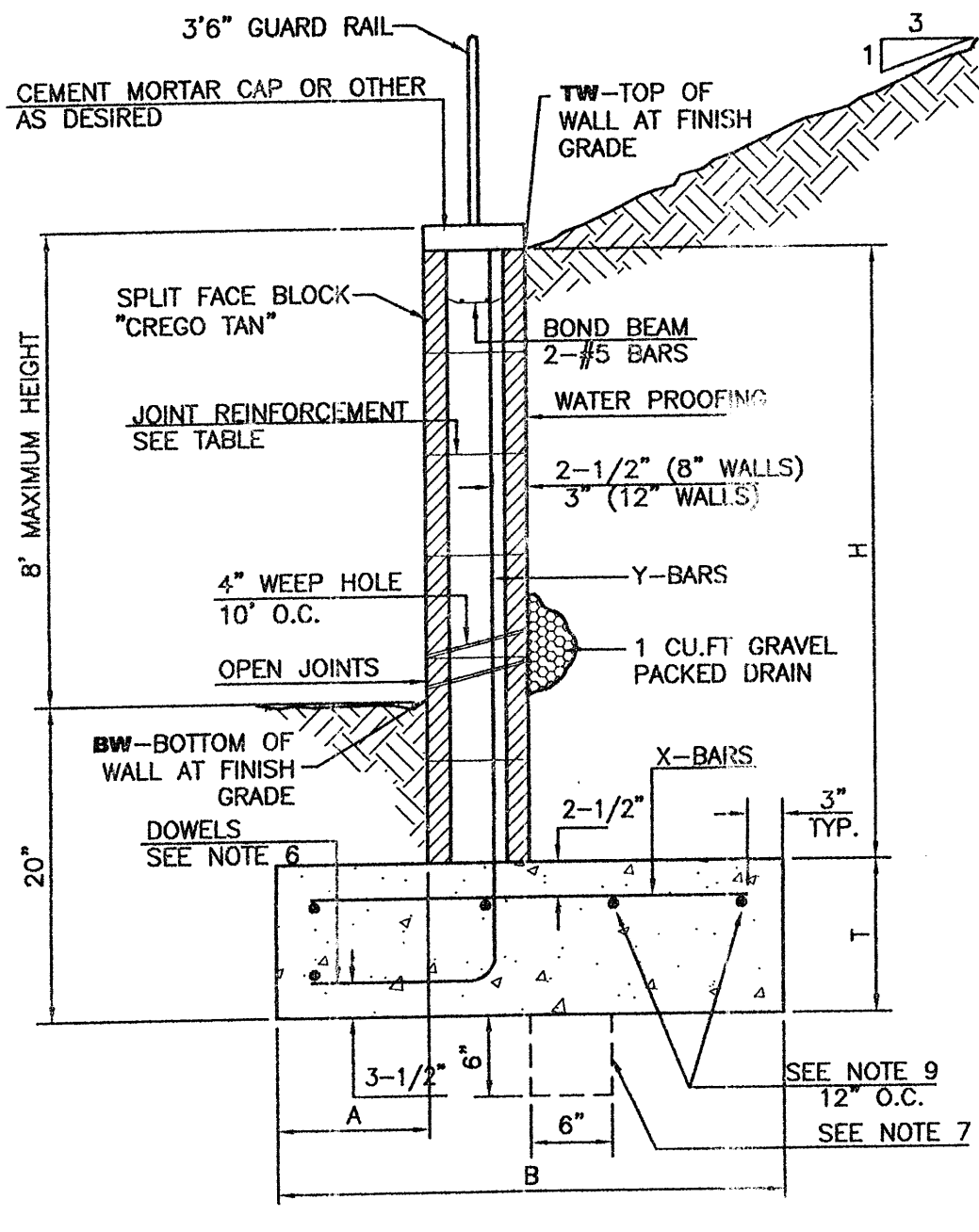
8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-8"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#5 @21" O.C.

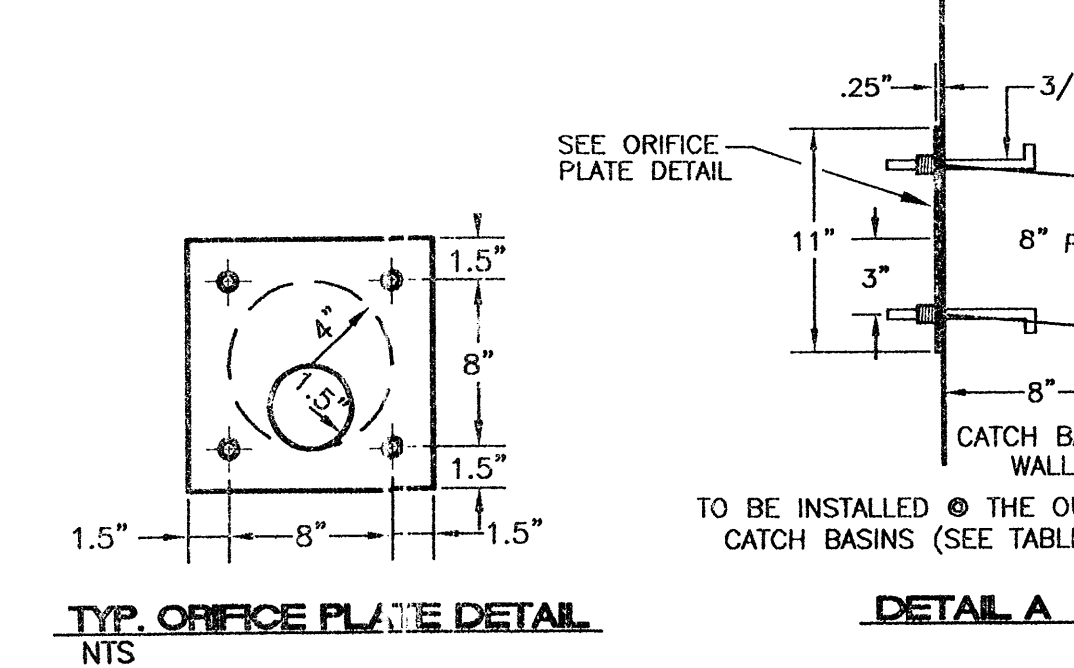
12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.3%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DWR-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTER EVERY 16'.
 - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8" X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
 - BOND BEAM, 1-#4 BARS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

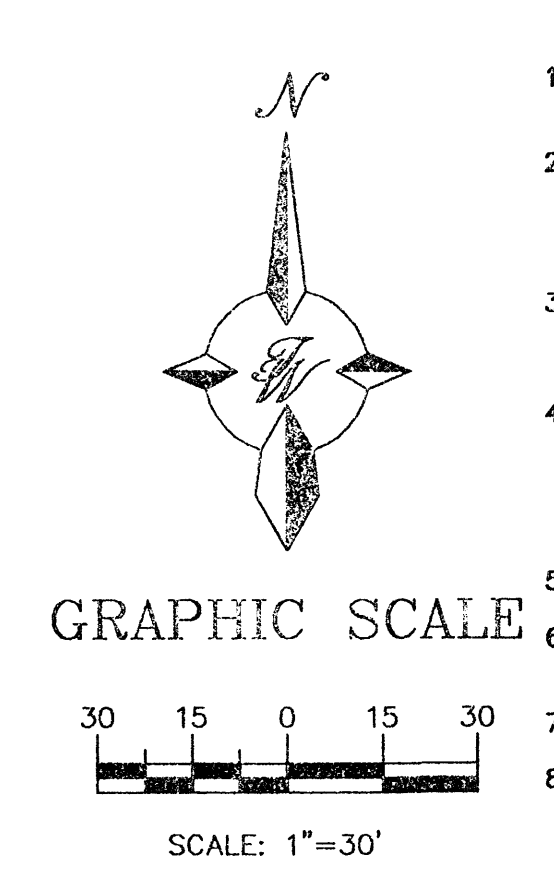
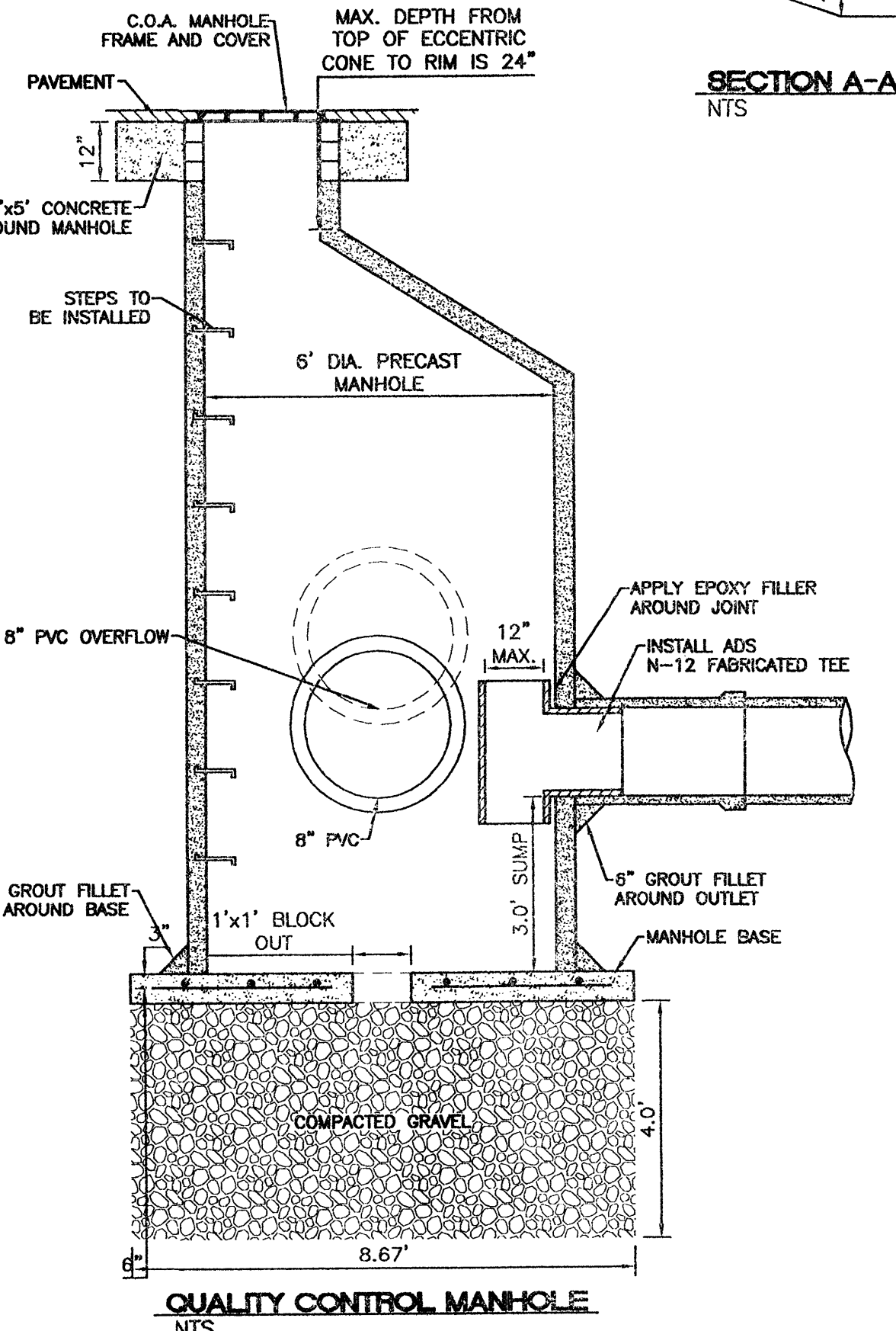


AUTOMOBILE DRIVEWAYS TYPICAL PAVING SECTION
1" = 1"



ORIFICE PLATE TABLE

INLET #	ORIFICE SIZE
2	0.75"
3	1.00"
4	1.25"
5	1.00"

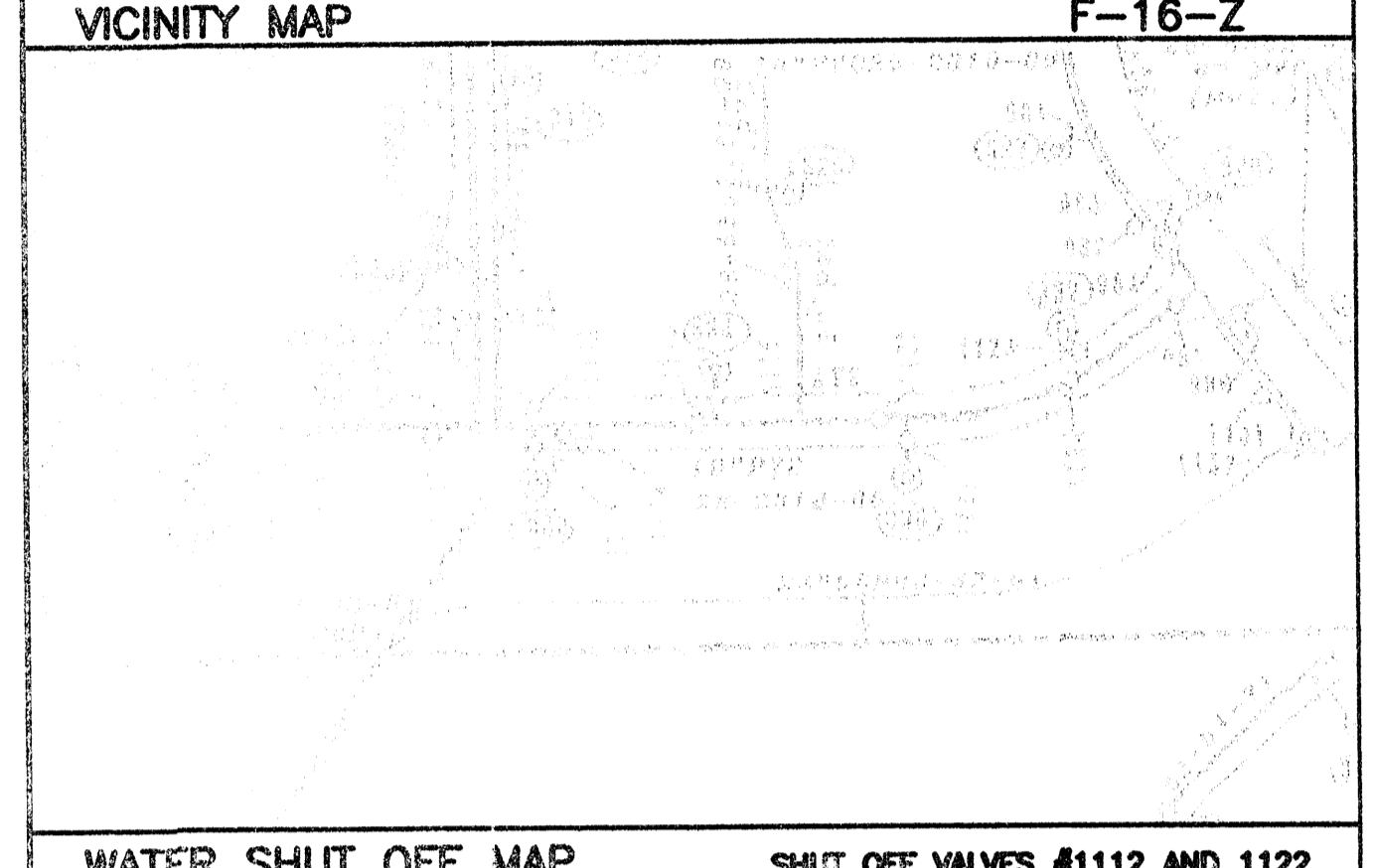
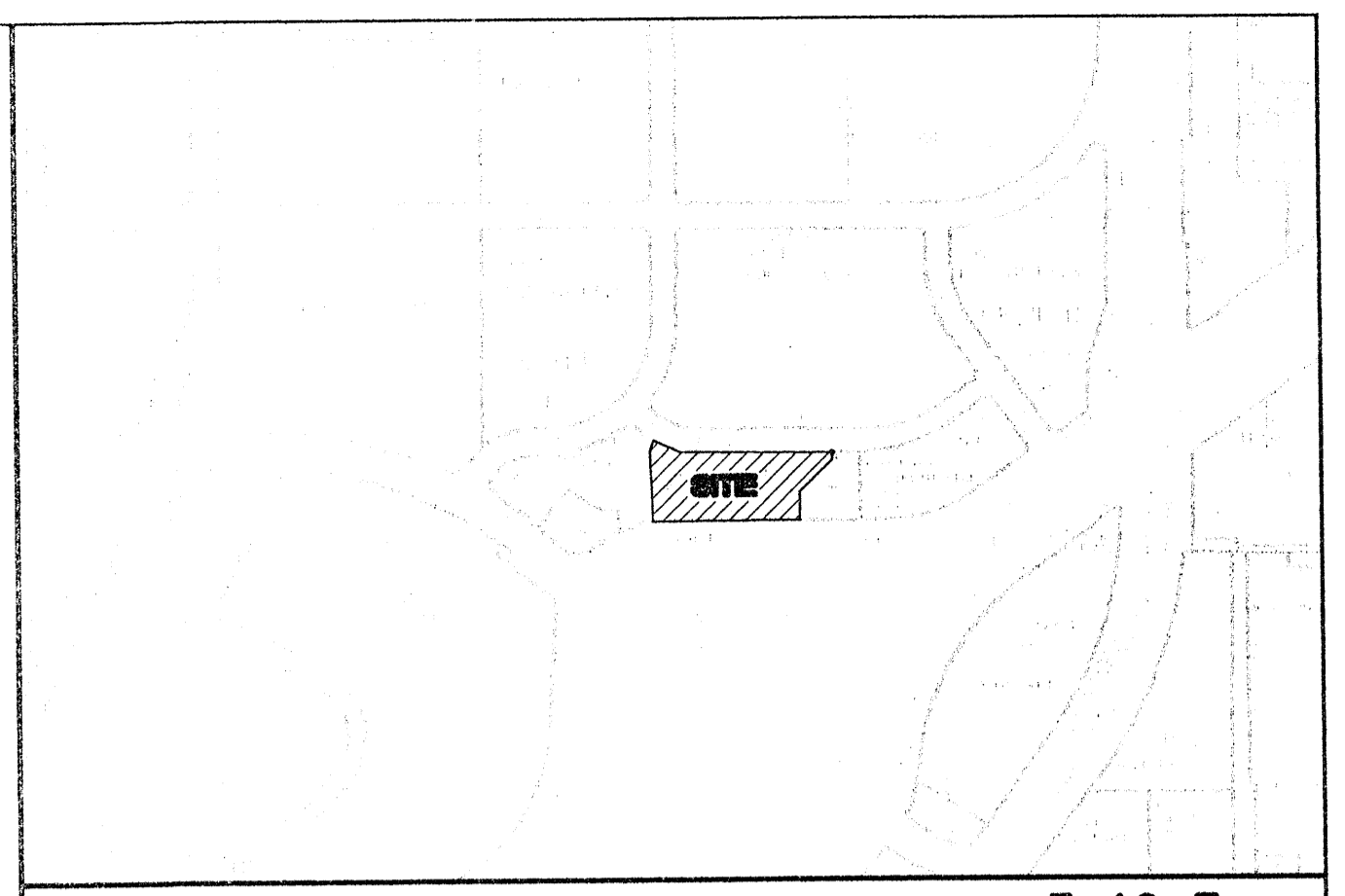
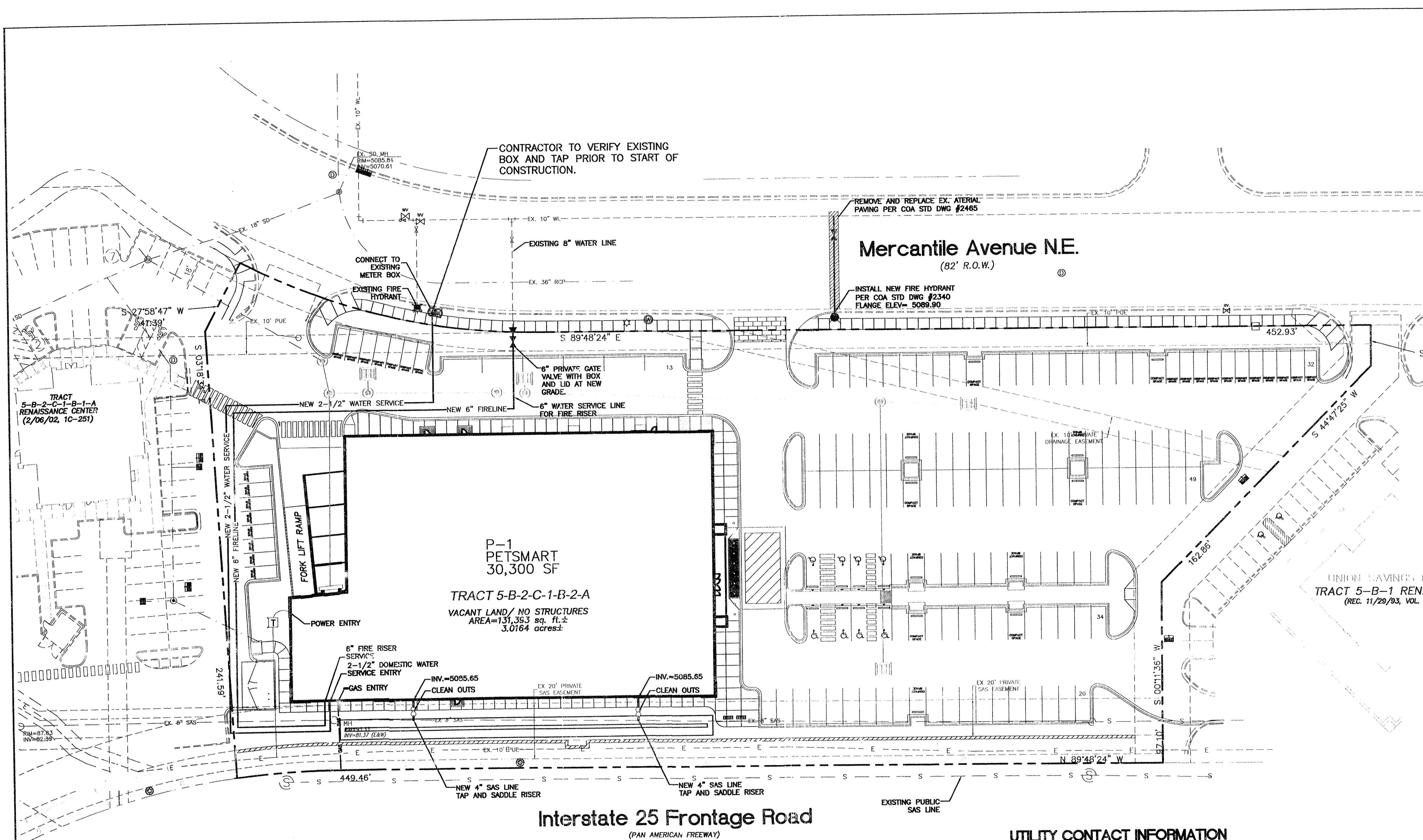


- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 775-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 - AT EACH INLET CONSTRUCT ORIFICE PLATE PER DETAIL ON THIS SHEET.

APPROVAL	NAME	DATE
INSPECTOR		

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

PRELIMINARY GRADING AND DRAINAGE PLAN
RENAISSANCE TRACT 5-B
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100
DRAWN BY EMT
DATE 03-15-05
2417-GRB-02-21-05.dwg
SHEET # 3
JOB # 24017



- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - SEE ELECTRICAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 - SEE GRADING AND DRAINAGE PLAN FOR STORM SEWER INFORMATION.

LEGEND

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/E/X
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT

UTILITY CONTACT INFORMATION

WATER COMPANY
 CITY OF ALBUQUERQUE
 P.O. BOX 1293
 ALBUQUERQUE, N.M. 87103
 (505) 924-3862
 ROGER GREEN

GAS & ELECTRIC COMPANY
 PNM-ELECTRIC AND GAS
 4201 EDITH BLVD. N.E.
 ALBUQUERQUE, N.M. 87107
 (505) 259-8462

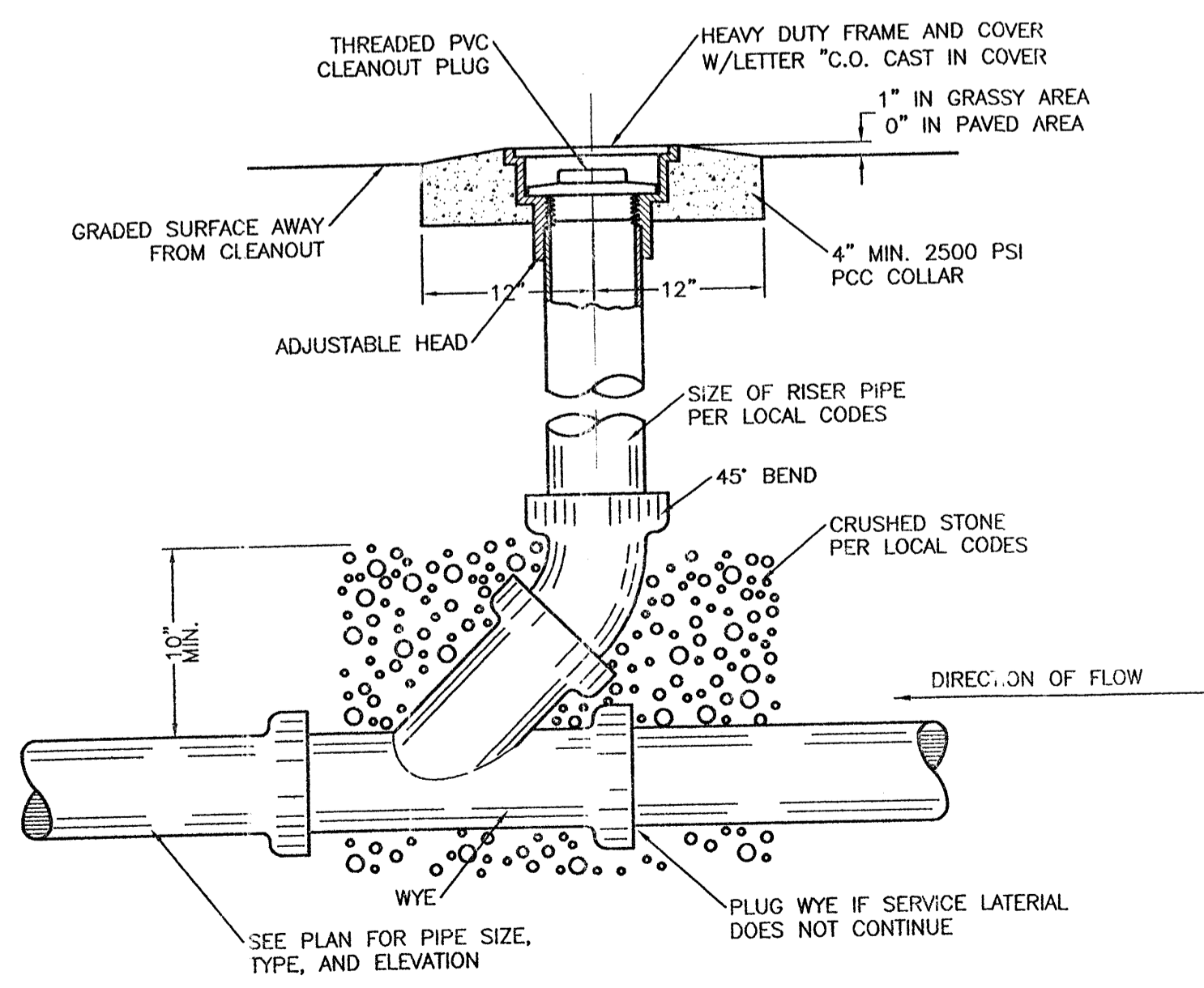
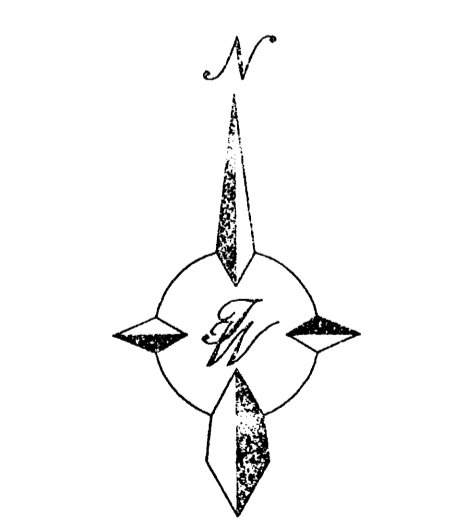
CABLE
 COMCAST
 4611 MONTBEL LOOP N.E.
 ALBUQUERQUE, N.M. 87107
 (505) 761-6221
 RITA ERICKSON

SANITARY SEWER
 CITY OF ALBUQUERQUE
 P.O. BOX 1293
 ALBUQUERQUE, N.M. 87103
 (505) 924-3862
 ROGER GREEN

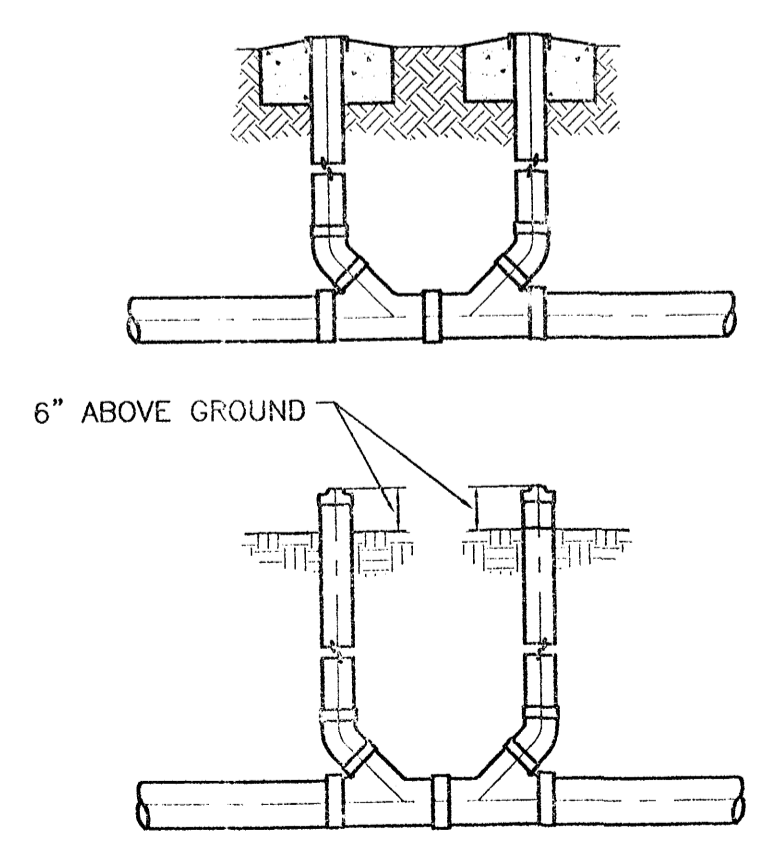
TELEPHONE COMPANY
 QWEST COMMUNICATIONS
 400 TIJERAS, SUITE-710
 ALBUQUERQUE, N.M. 87102
 (505) 245-8706
 MARK KANTZ

NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



SANITARY SEWER CLEAN-OUT
 NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
 NTS

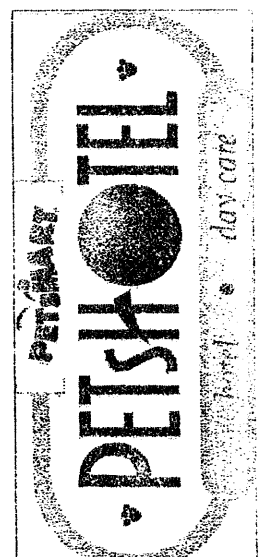
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	PRELIMINARY MASTER UTILITY PLAN RENAISSANCE TRACT 5-B	DRAWN BY EMT DATE 03-15-05 2417-MUB-02-21-05.dwg
	SHEET # 4 JOB # 24017	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100



1. BUILDING ADDRESS EXAMPLE, REVERSE PAN CHANNELS ON FRONT ELEVATION. MINIMUM 12" HIGH ADDRESS NUMBERS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR AT THE FRONT ENTRANCE AND BEFORE ENTRANCE OF THE STORE PER LOCAL REQUIREMENTS. FINISH DETERMINATION ON SIZE, COLOR AND EXACT LOCATION MAY BE ENFORCED BY LOCAL GOVERNMENTAL AUTHORITIES.
2. 3/8" GALVANIZED EYEBOLTS FOR SIGNER ATTACHMENT. G.C. TO PURCHASE TEMPORARY BANNERS @ START OF CONSTRUCTION. INSTALL BANNERS AS SOON AS POSSIBLE.
3. SIGNAGE PACKAGE UNDER SEPARATE CONTRACT BY PETSMART, G.C. TO COORDINATE LOCATION OF ALL REQUIRED POWER AND J-BOXES, EXACT SIZE AND CONFIGURATION BY SIGNAGE CONTRACTOR, FINAL CONNECTION TO SIGN BY G.C.
4. PANEL JOINT REF: DETAIL 7 & 8 A11
5. CONCRETE CURB SEE DETAIL 4A10
6. ALUMINUM BREAK METAL OVER STEEL TUBE FRAMING AT STOREFRONT - COLOR TO MATCH SF-1
7. PUSH BUTTON FOR BUZZER RECESSED IN DOOR JAMB MOUNTED AT 44" A.F.G.
8. ROOF LINE BEYOND
9. NOT USED
10. LIGHT FIXTURE
11. NOT USED
12. TRASH CONTAINERS BY OTHERS, VERIFY REQ'D CLEARANCE
13. GAS METER
14. RECESSED HOSE BIBB AT 28" A.F.G.
15. RECESSED PUSH BUTTON FOR BUZZER AT 44" A.F.G.
16. RECESSED TRUCK DOCK BEYOND
17. NOT USED
18. NOT USED
19. FENCE ON TOP OF RETAINING WALL
20. ELECTRIC METER

EXTERIOR ELEVATIONS

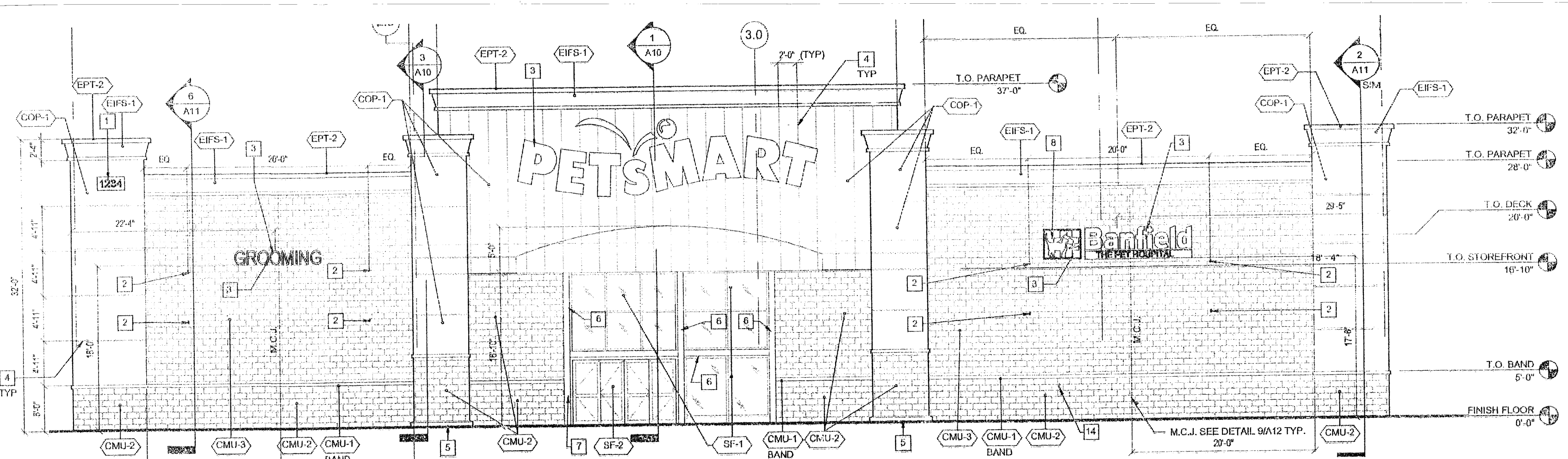
STORE NO. 1489
 RENAISSANCE CENTER
 ALBUQUERQUE, NEW MEXICO



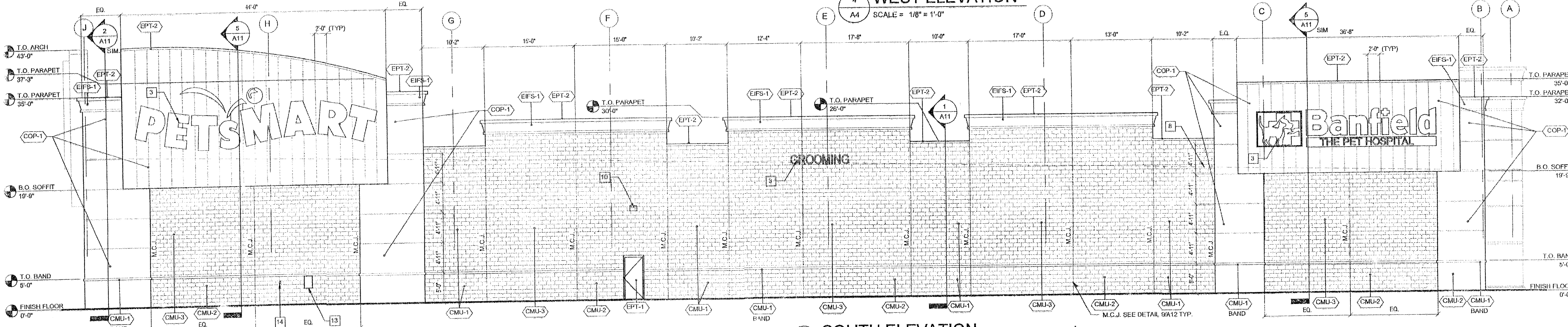
COLOR/MATERIAL SCHEDULE

EIFS-1	EIFS	PAINT TO MATCH CMU-1
CMU-1	BURNISHED BLOCK	INTEGRALLY COLOR ELPASSO BUFF (LIGHT BROWN COLOR) - RINKER MATERIALS 505-345-4451
CMU-2	SPLIT FACE BLOCK	INTEGRALLY COLOR PETRO BLACK (DARK GRAY COLOR) - RINKER MATERIALS 505-345-4451
CMU-3	SPLIT FACE BLOCK	INTEGRALLY COLOR CREGO TAN (DARK BROWN COLOR) - RINKER MATERIALS 505-345-4451
COP-1	COMPOSITE PANEL	PANEL COLOR TO MATCH CADET GRAY
SF-1	STOREFRONT	PREFINISHED ANODIZED ALUMINUM FRAMING TO MATCH COP-1 FINISH W/ 1" TEMPERED VIRACON SOLARSREEN LOW-E INSULATING GLASS, VEI-86 (CLEAR) UP TO HORIZONTAL TUBE @ TOP OF DOOR & 1" HEAT STRENGTHENED VIRACON SOLARSREEN LOW-E INSULATING GLASS, VEI-85 (CLEAR) ABOVE HORIZONTAL TUBE @ TOP OF DOOR
SF-2	AUTOMATIC SLIDING ENTRANCE DOOR	PREFINISHED ANODIZED ALUMINUM FRAMING TO MATCH COP-1 FINISH W/ 1/4" CLEAR TEMPERED GLASS
EPT-1	DOORS & FRAMES	PAINT GRIP GALVANIZED TO MATCH CMU-2
EPT-2	COPING	PAINT GRIP GALVANIZED TO MATCH EIFS-1
EPT-3	3'-0" x 2'-0" LOWERED ACCESS DOOR	PREFINISHED BLACK
EPT-4	3'-0" HIGH CHAIN LINK FENCE	PREFINISHED GALVANIZED
EPT-5	DOORS & FRAMES	PAINT GRIP GALVANIZED TO MATCH COP-1

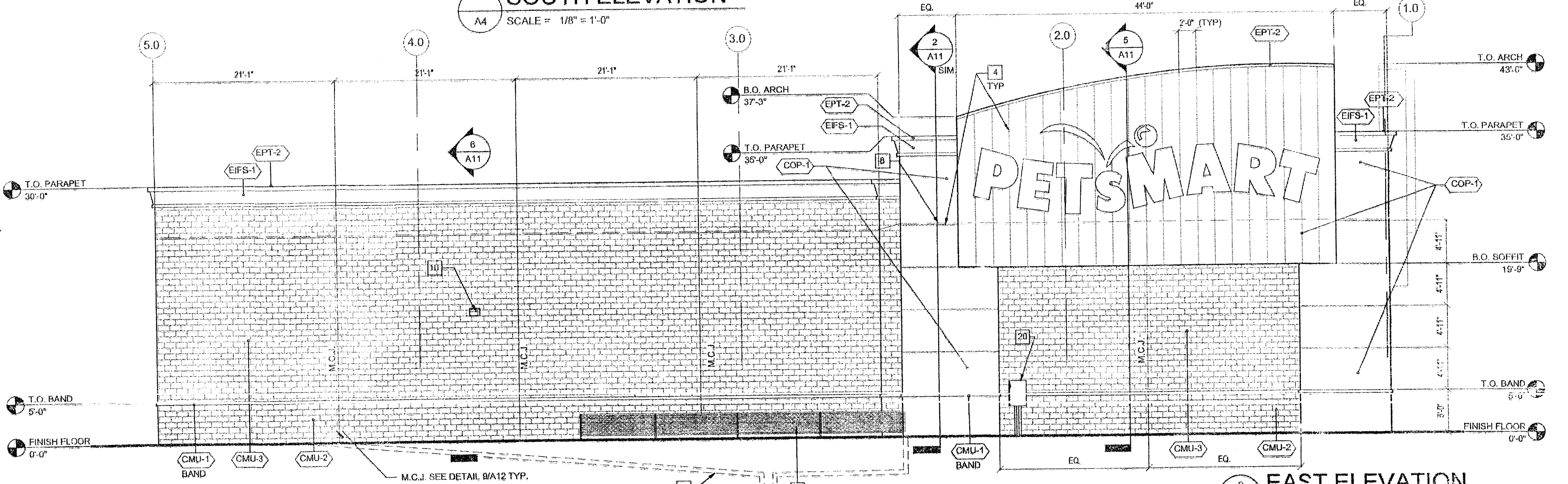
NOTE: EXTERIOR 6" PIPE BOLLARD PAINTED TRAFFIC YELLOW



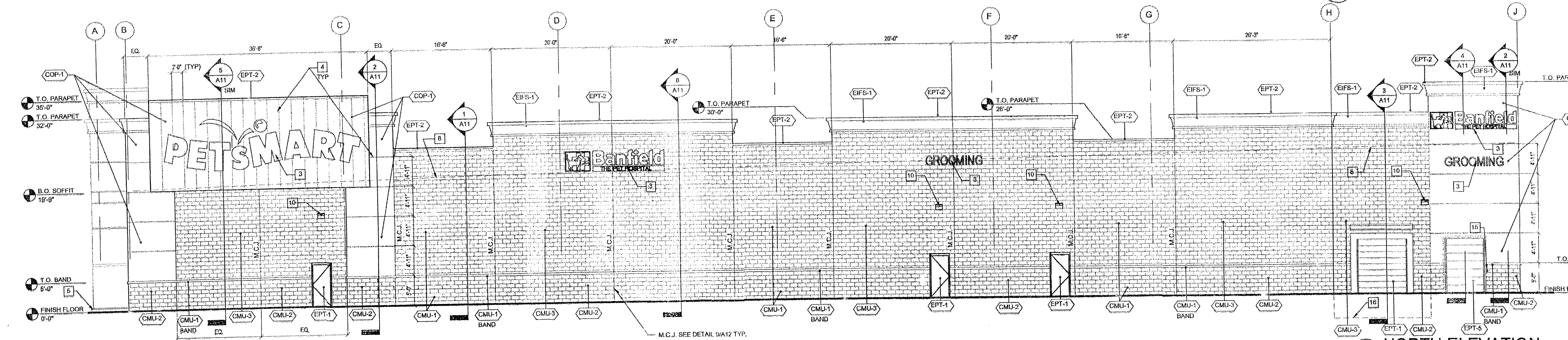
WEST ELEVATION
 SCALE = 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE = 1/8" = 1'-0"



EAST ELEVATION
 SCALE = 1/8" = 1'-0"



NORTH ELEVATION
 SCALE = 1/8" = 1'-0"

DATE:	07/27/2005
ISSUE:	SCHEDULE ISSUE
NO.:	001/17/2005
	ISSUE FOR PERMIT

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	C&B 292661.030	Issue Date:	02/16/2005
		Scale:	As Indicated
		Drawn:	ACS
		Checked:	MAH