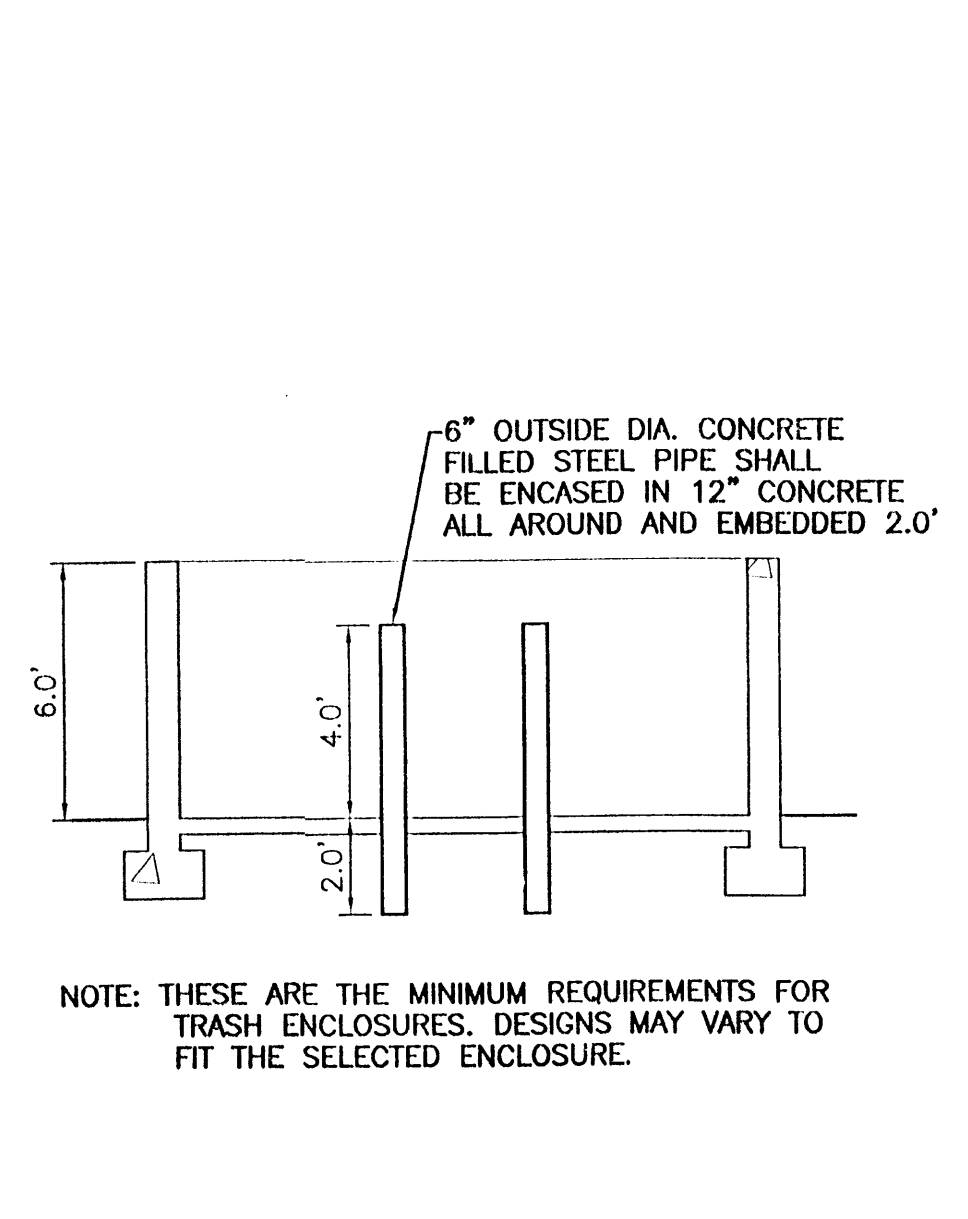
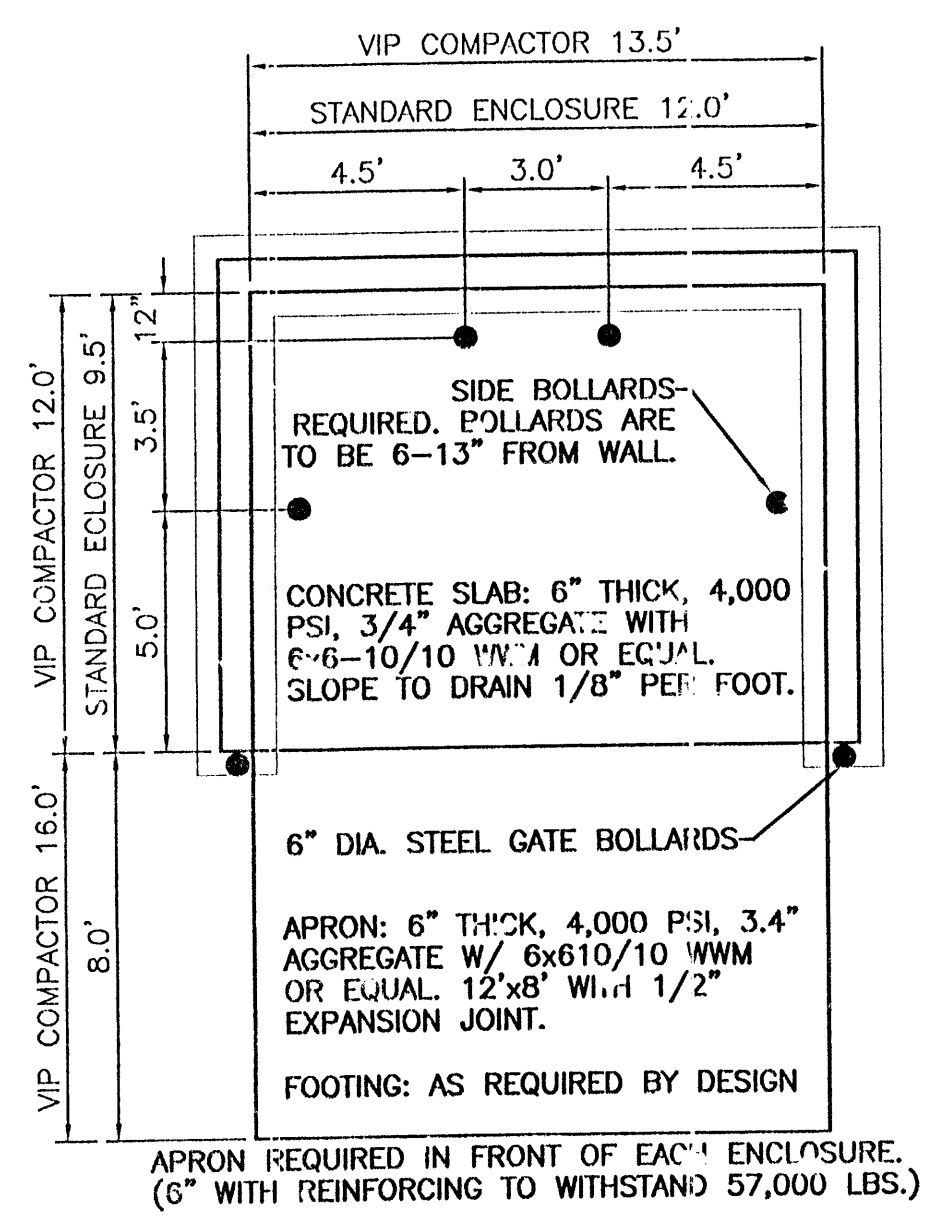


**LEGAL DESCRIPTION:**

TRACT 5-B-2-C-1-B-2-A RENAISSANCE CENTER

**GENERAL NOTES:**

- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PROPOSED WILL BE REQUIRED FOR THE PROPOSED TRACT 5 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF LOT OWNER TO INCLUDE THE PUBLIC RIGHT OF WAY ADJACENT TO THE LOT.
- RECIPROCAL PARKING, ACCESS AND DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 5-B-2-A, 5-B-2-B AND 5-B-2-C, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS FILED 1-8-97 BK. 97C, PG.12
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- ALL SIGNAGE WILL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN.
- LIGHT FIXTURES SHALL BE A MAXIMUM OF 25 FEET HIGH AND A MAXIMUM OF 16 FEET HIGH WITHIN 300 FEET OF RESIDENTIAL USE OR ZONE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL CUT OFF TYPE TO PREVENT FUGITIVE LIGHT; NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- CROSS ACCESS INGRESS/EGRESS AND PRIVATE UTILITY EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS 5-B-1, 5-B-2-C-1-B-1-A, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS FILED 1-8-97 BK. 97C, PG.12  
*Tract 5-B-2-C-1-B-2-A*
- REMOVE EXISTING ASPHALT CURB AT EAST AND WEST SIDES OF SITE. REPLACE EXISTING ASPHALT AS NEEDED PER GRADING AND DRAINAGE PLAN REFER TO SHEET 3 FOR TYPICAL SECTION.
- PG. 30 OF THE RENAISSANCE CENTER MASTER PLAN REQUIRES ARCHITECTURALLY COMPATIBLE SCREENING OF ALL ROOF MOUNTED EQUIPMENT AND APPARATUS FROM VIEW FROM ADJACENT STREETS, MONTANO & CULTURE STREETS.



**SITE DATA**

PROPOSED USAGE:	GENERAL RETAIL USE
LOT AREA:	131,393 SF (3.0164 ACRES)
BUILDING AREA:	30,300 SF
FAR:	.231
LANDSCAPE AREA PROVIDED:	20,727 SF ±
LANDSCAPING REQUIRED:	18,823 SF ±
PARKING PROVIDED:	153 SPACES (28 SMALL CARS)
PARKING REQUIRED:	152 SPACES (INCLUDING EMPLOYEE)
HC PARKING PROVIDED:	8 SPACES (INCLUDING 4 VAN ACCESSIBLE)
HC PARKING REQUIRED:	8 SPACES
BIKE SPACES PROVIDED:	10 SPACES
BIKE SPACES REQUIRED:	8 SPACES

**SHEET INDEX**

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- UTILITY PLAN
- BUILDING ELEVATIONS
- CONCEPT ELEVATION
- CONCEPT ELEVATION

**PROJECT NUMBER:** 1001293  
**APPLICATION NUMBER:** 04-01659

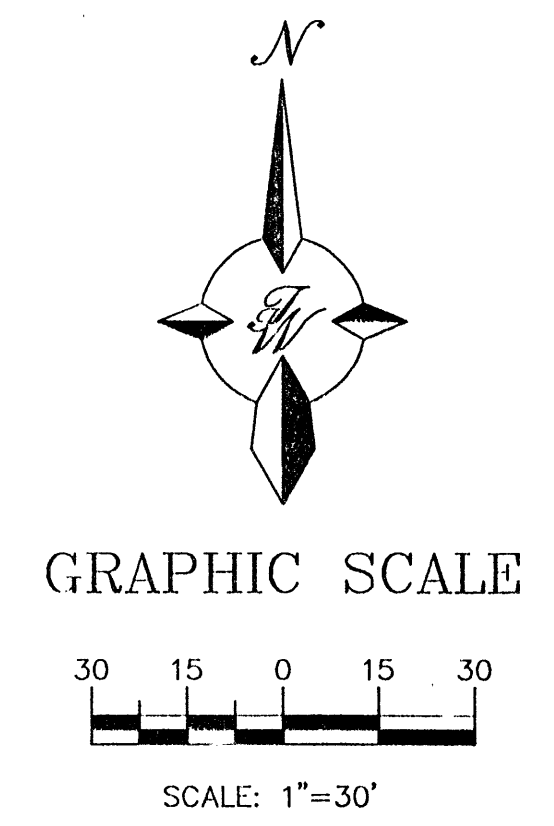
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i> Traffic Engineer, Transportation Division	12-7-04 Date
<i>[Signature]</i> Utilities Development	12-1-04 Date
<i>[Signature]</i> Parks & Recreation Department	12/1/04 Date
<i>[Signature]</i> Beady L. Bunker City Engineer	2/15/05 Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	12/1/04 Date

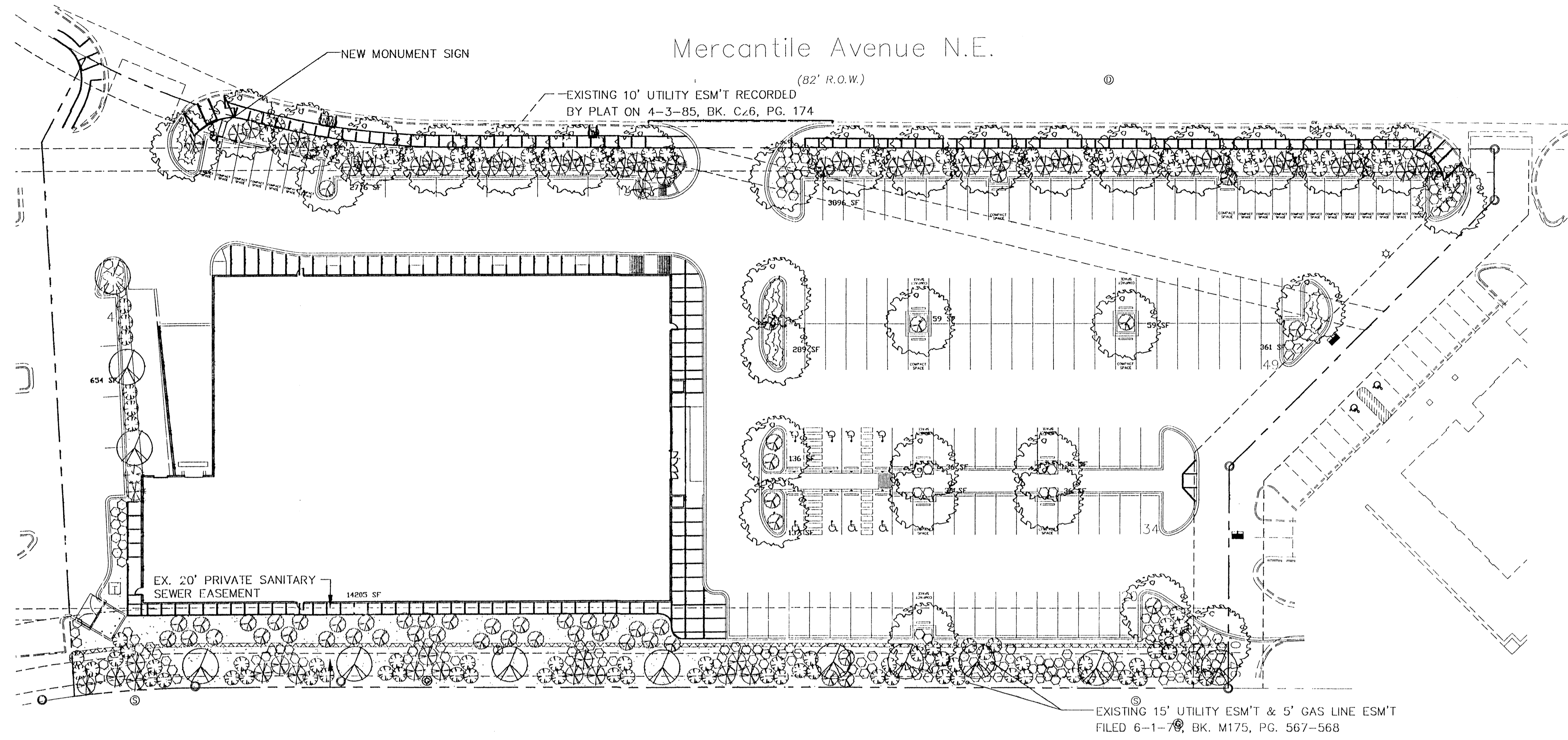
\* Environmental Health, if necessary  
12/16/03



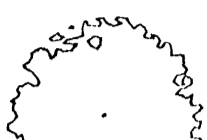



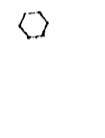

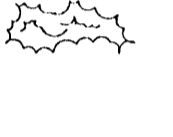

ENGINEER'S SEAL <i>[Signature]</i> RONALD R. BOHANNAN P.E. #7868	<b>SITE PLAN FOR BUILDING PERMIT</b>	DRAWN BY BDG
	<b>RENAISSANCE TRACT 5-B-2-C-1-B-2-A</b>	DATE 11/29/04
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # 1
		JOB # 24017

PROJECT 1001293





**PLANT LEGEND**

-  ASH (H) OR HONEY LOCUST (M) 34  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
4" Cal.
-  BRADFORD PEAR (M+) 12  
Pyrus calleryana  
4" Cal.
-  SILVER VERBENA (M) 69  
Elaeagnus pungens  
5 Gal. 100sf
-  ROSEMARY (M) 121  
Rosmarinus officinalis  
5 Gal. 9sf
-  AUTUMN SAGE (M) 174  
Salvia greggii  
5 Gal. 9sf
-  HONEYSUCKLE (M) 51  
Lonicera sempervirens  
5 Gal. 200sf  
Unstaked-Groundcover
-  GREYLEAF COTONEASTER (M) 12  
Cotoneaster buxifolius  
Symbol indicates 3 plants  
5 Gal. 81sf
-  SANTA FE BROWN GRAVEL

Interstate 25 Frontage Road  
(PAN AMERICAN FREEWAY)

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

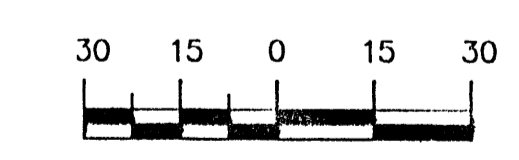
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	165,092	square feet
TOTAL BUILDINGS AREA	30,300	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	125,487	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	18,823	square feet
TOTAL BED PROVIDED	22716 (17.7%)	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	17037	square feet
TOTAL GROUNDCOVER PROVIDED	20727 (93%)	square feet

**GRAPHIC SCALE**



SCALE: 1"=30'

**The Hilltop**

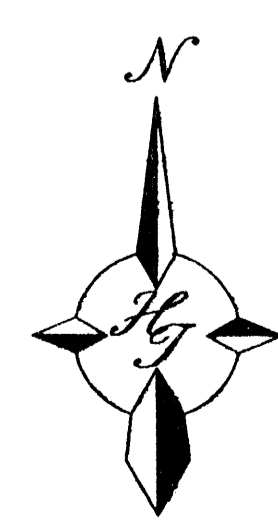
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.

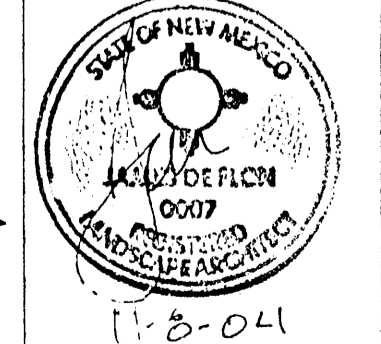
**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Required #	Provided #
	20	20

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



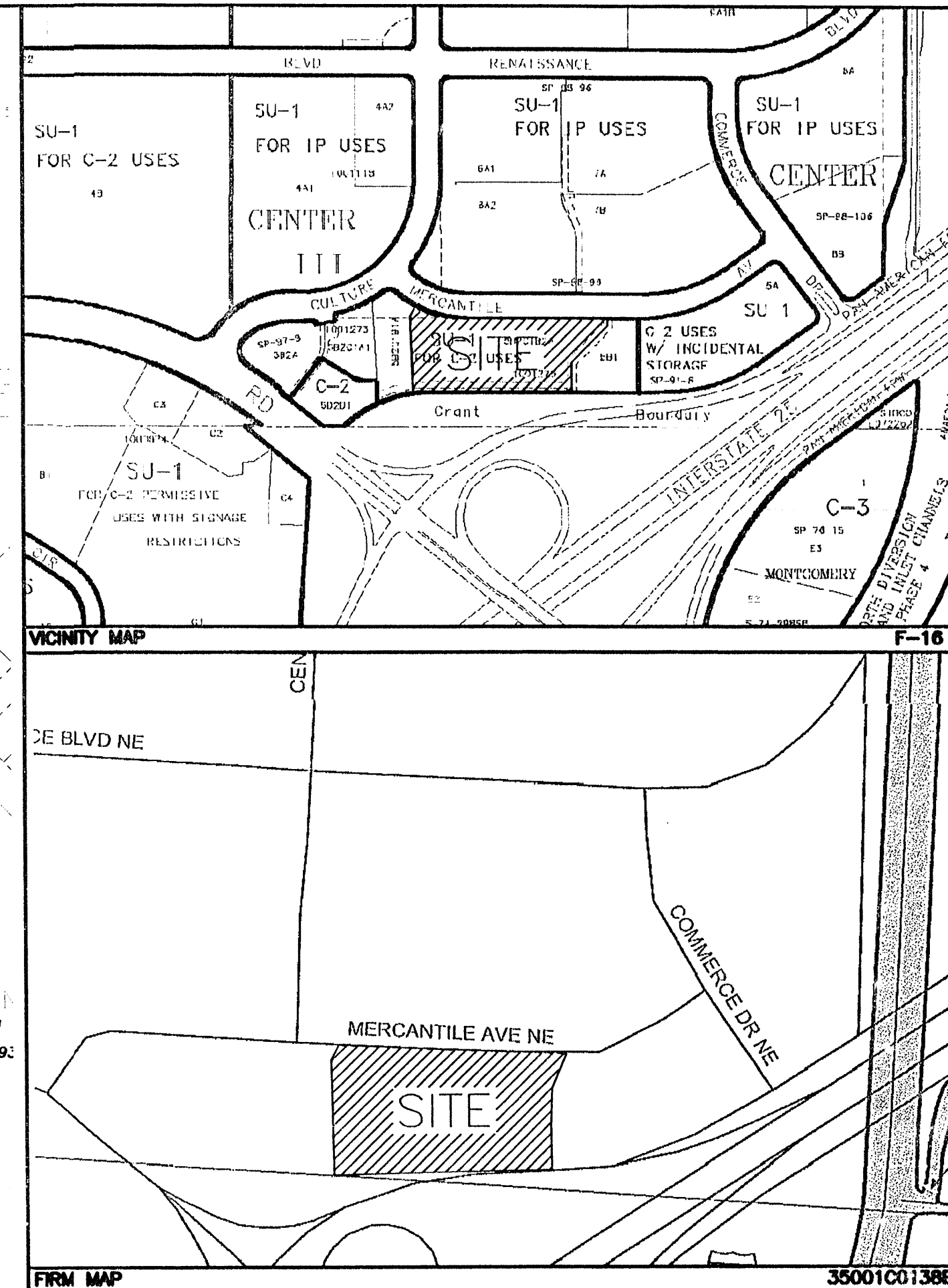
ENGINEER'S SEAL  
  
RONALD R. BOHANNAN  
P.E. #7868

**PETSMART RENAISSANCE CENTER**  
**LANDSCAPE PLAN**  
**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 858-3100

DRAWN BY	DRR
DATE	10-25-04
REV # 1	DRR
11-05-04	
SHEET #	2
JOB #	240024



Mercantile Avenue N.E.  
(82' R.O.W.)



FRM MAP 35001C0138E

**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▤ PROPOSED SIDEWALK
- ▤ EXISTING SIDEWALK
- ▤ PROPOSED RETAINING WALL
- PONDING LIMITS

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

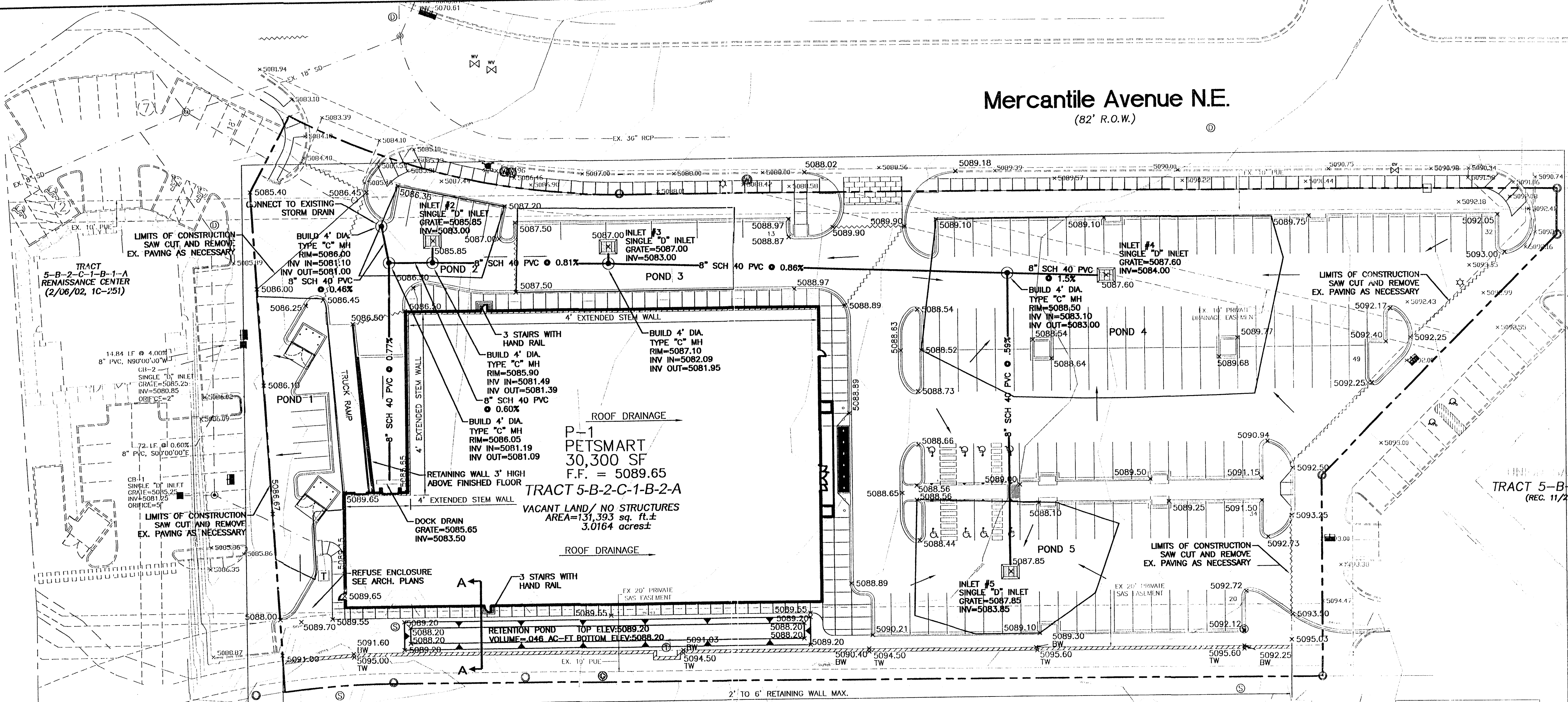
ENGINEER'S SEAL

**PRELIMINARY GRADING AND DRAINAGE PLAN**

**RENAISSANCE TRACT 5-B**

TERRA WEST, L.L.C.  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

DRAWN BY PUG  
DATE 11/11/04  
2417-GRB-10-12-04.dwg  
SHEET # 3  
JOB # 24017



Interstate 25 Frontage Road  
(PAN AMERICAN FREEWAY)  
(R.O.W. VARIES)

ACS MONUMENT 125-11  
NEW MEXICO STATE  
PLANE COORDINATES  
CENTRAL ZONE (NAD-1927)  
X=401,946.77  
Y=1,526,246.66  
EL=5206.94  
GROUND TO GRID  
FACTOR=0.99966195  
DELTA ALPHA=-0.1121"

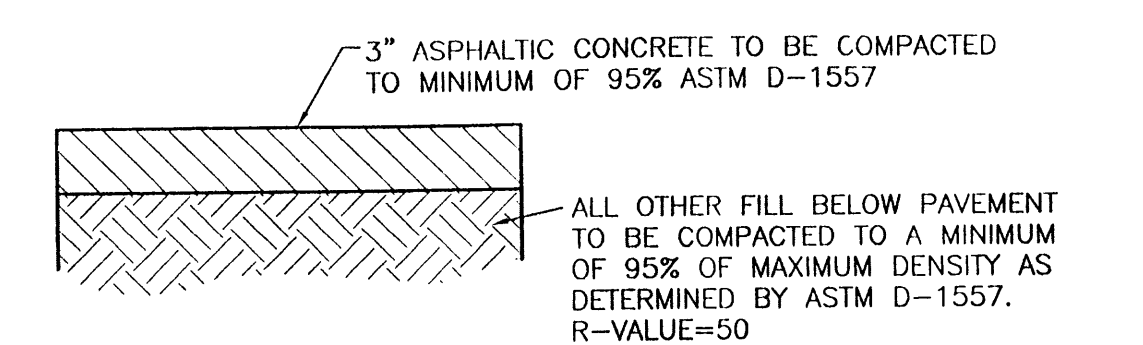
**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	X	A	B	T	Y-BARS	X-BARS
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	3'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

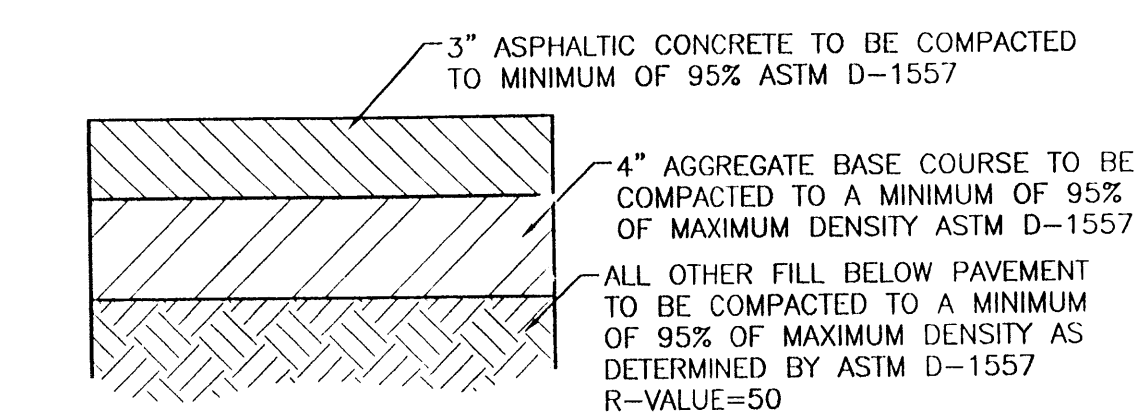
**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	X	A	B	T	Y-BARS	X-BARS
5'-4"	4'-6"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6' 0"
  - USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PLASTERS EVERY 16'
  - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
  - #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
  - X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
  - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



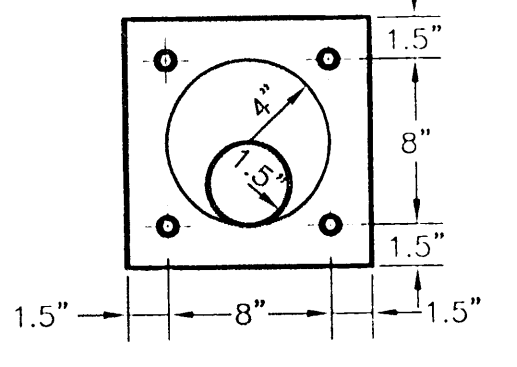
**AUTOMOBILE PARKING TYPICAL PAVING SECTION**



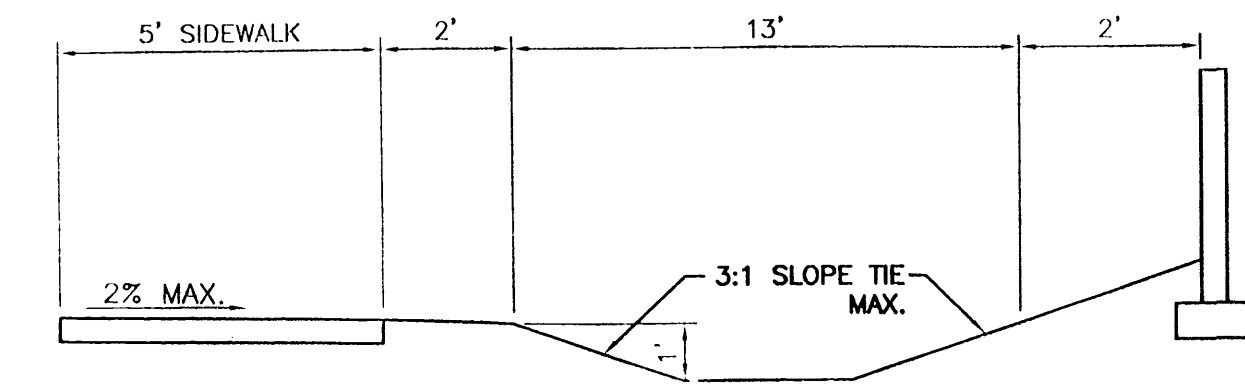
**AUTOMOBILE DRIVEWAYS TYPICAL PAVING SECTION**

**ORIFICE PLATE TABLE**

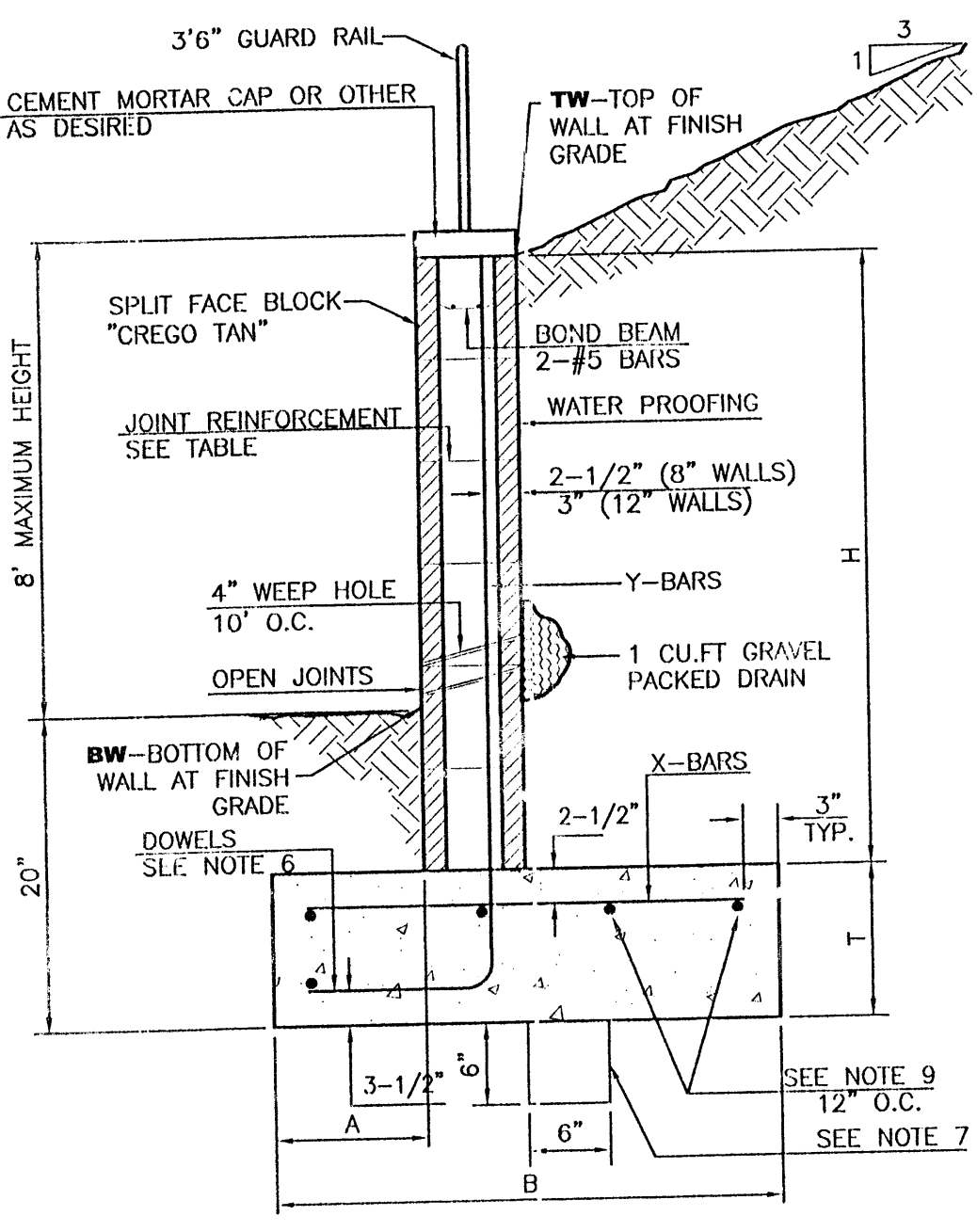
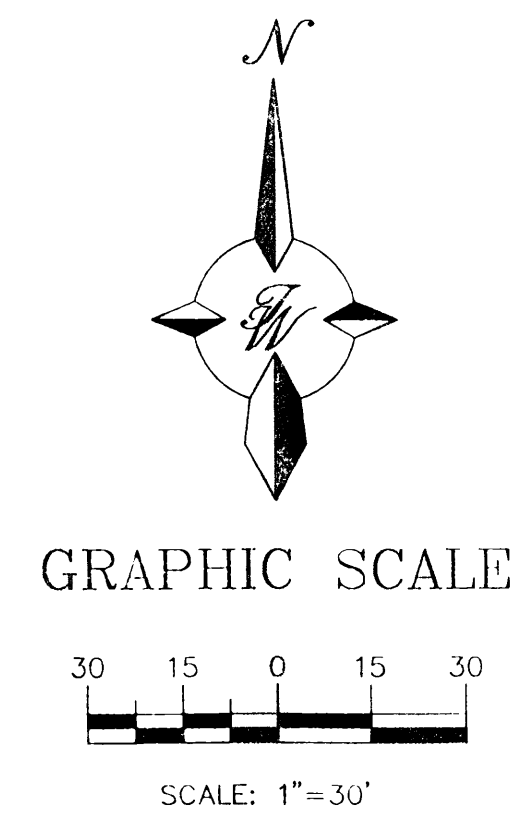
INLET #	ORIFICE SIZE
1	1.00"
2	0.75"
3	1.00"
4	1.25"
5	1.00"



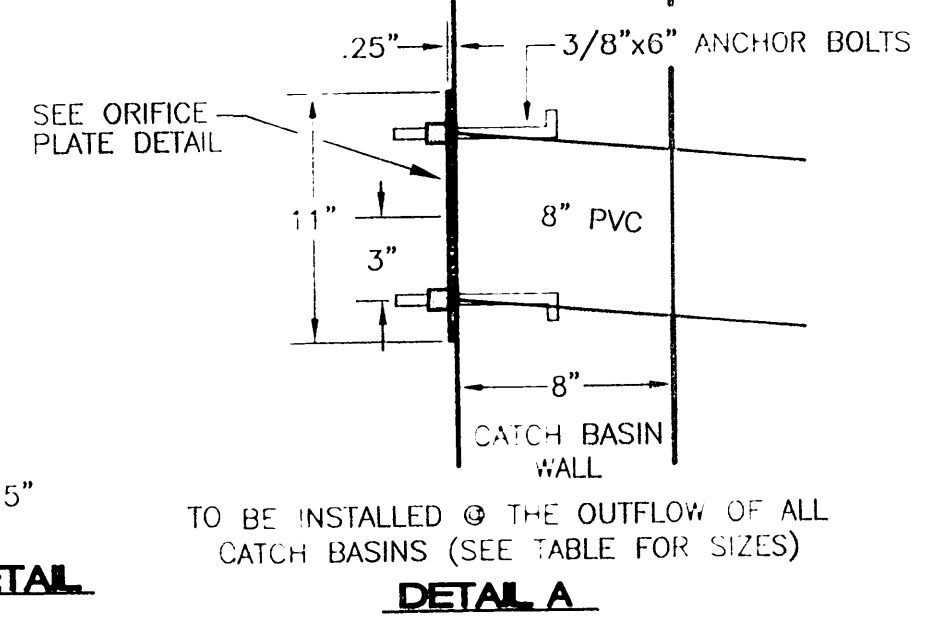
**TYP. ORIFICE PLATE DETAIL**



**SECTION A-A**

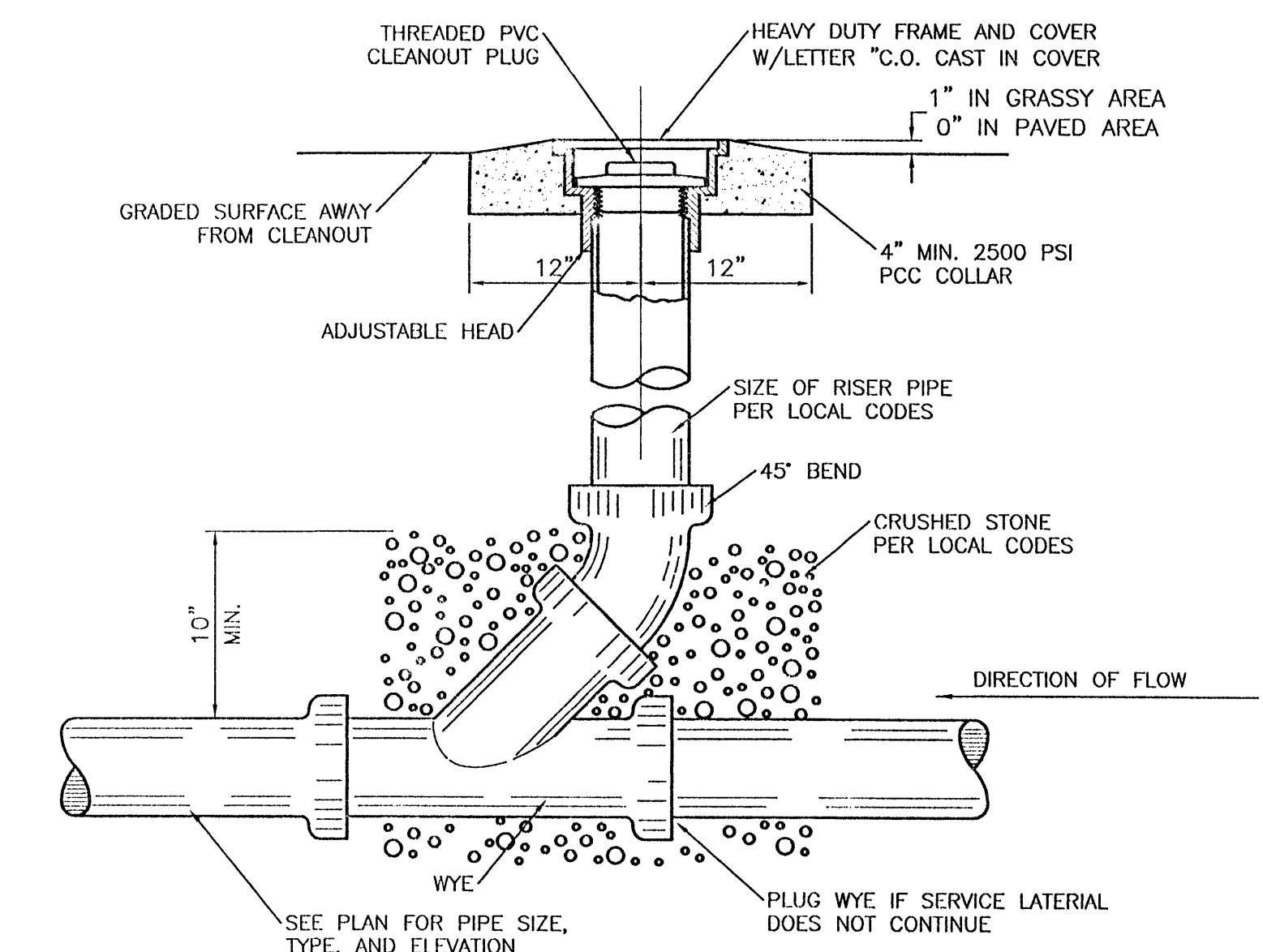
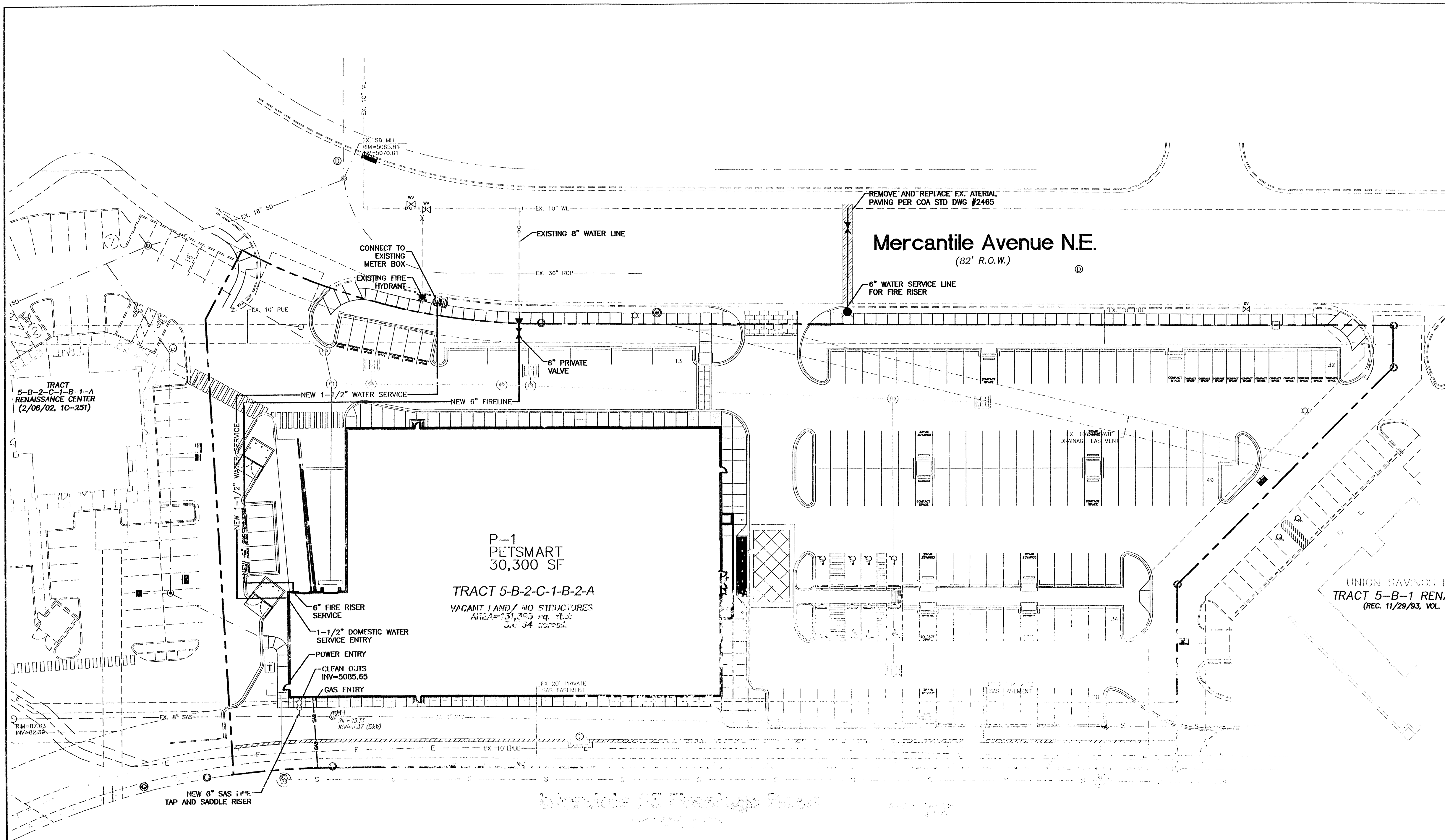


**RETAINING WALL DETAIL**

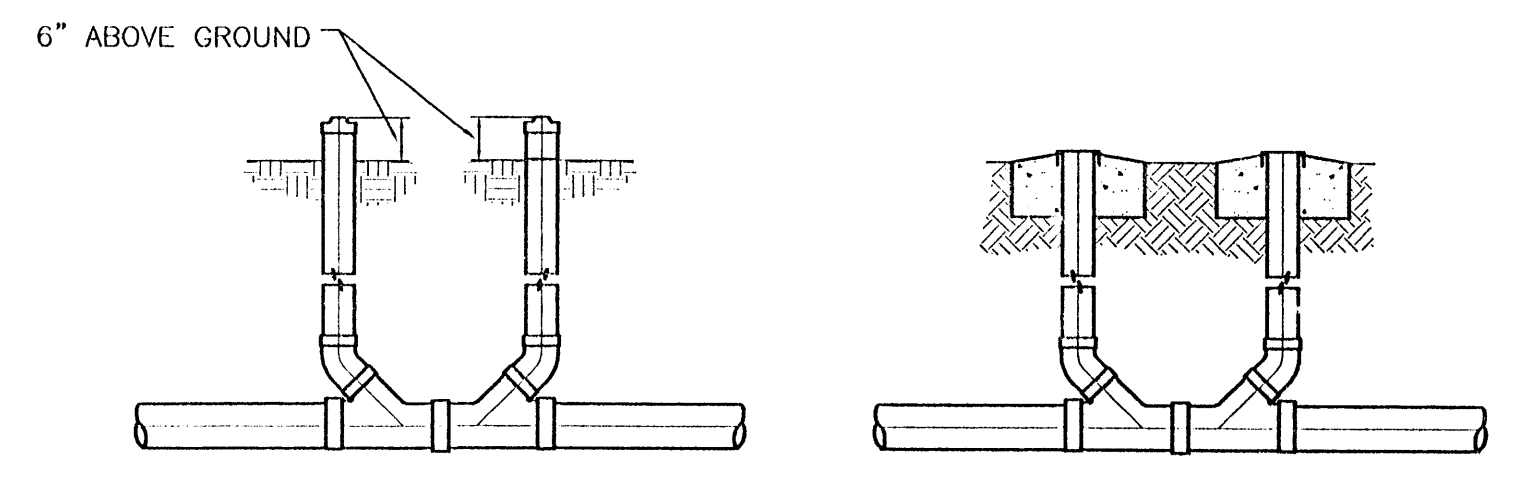


**DETAIL A**





**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

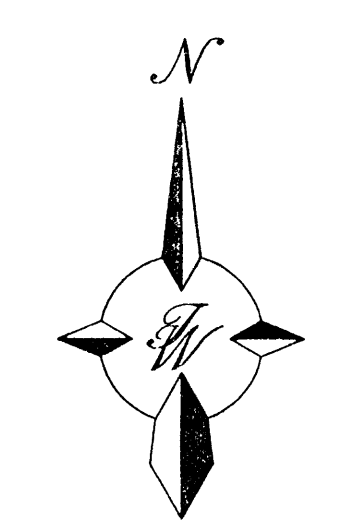
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

**NOTICE TO CONTRACTORS**

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- SEE ELECTRICAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- SEE GRADING AND DRAINAGE PLAN FOR STORM SEWER INFORMATION.

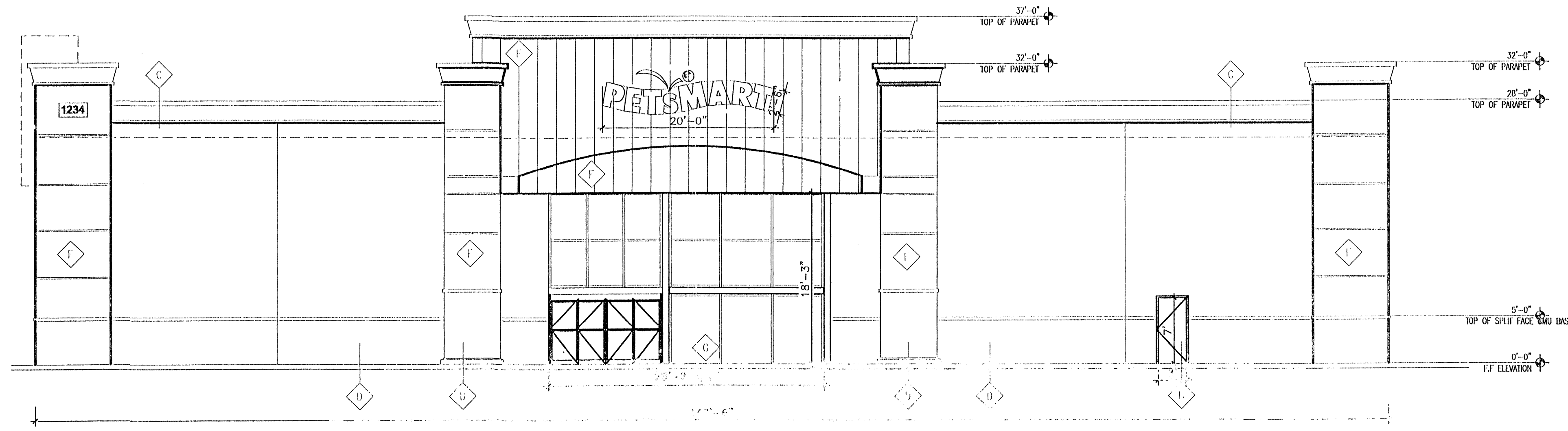


GRAPHIC SCALE  
SCALE: 1"=30'

**LEGEND**

- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING METER
- ⊙ EXISTING VALVE W/BOX
- ⊙ EXISTING FIRE HYDRANT
- PROPOSED CLEAN OUT
- ⊙ PROPOSED DOUBLE CLEAN OUT
- EX. 8" SWS — EXISTING SANITARY SEWER LINE
- EX. 16" WL — EXISTING WATER LINE
- EX. 42" RSP — EXISTING STORM SEWER LINE
- — EXISTING CURB & GUTTER
- 4" SD — PROPOSED STORM SEWER LINE
- 8" SAS — PROPOSED SANITARY SEWER LINE
- 8" WL — PROPOSED WATERLINE
- — BOUNDARY LINE
- - - - EASEMENT

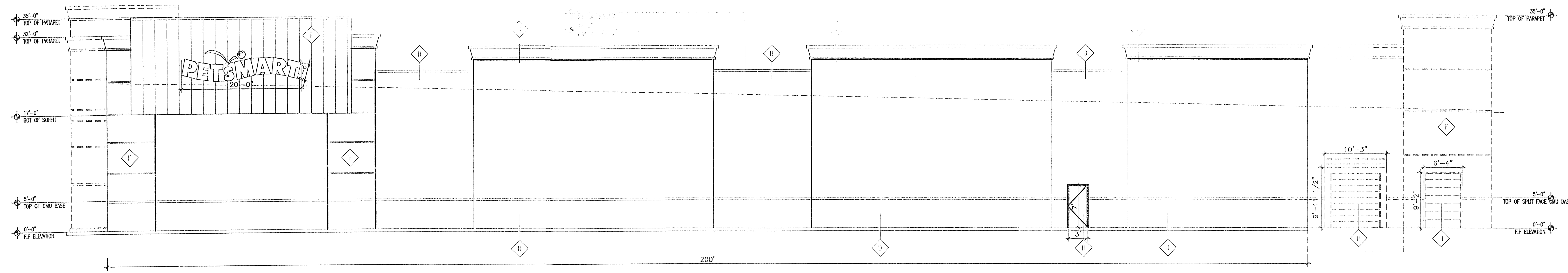
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7968	<b>PRELIMINARY MASTER UTILITY PLAN</b> <b>RENAISSANCE TRACT 5-B</b>	DRAWN BY: BDG DATE: 11/29/04 2417-MUB-10-20-04.dwg
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4</b>



**PETS MART** = 50 SF  
 TOTAL PROVIDED SIGNAGE = 50 SF  
 TOTAL MAX ALLOWABLE SIGNAGE AREA = 272 SF TOTAL

Keyed Color / Material Schedule	
◆ A	STUCCO SYSTEM 2 COAT STUCCO SYSTEM (FIBER REINFORCED BASE COAT W/ SYNTHETIC FINISH COAT) OVER 1/2" GA. METAL LATH OVER 2 LAYERS OF GRADE "D" FILL OVER 5/8" OSB SHEATHING OVER 2 X 6 WOOD STUDS @ 16" O.C.
◆ B	BURNISHED BRICK LIPASO BUFF (LIGHT BROWN COLOR)
◆ C	SPLIT FACE BRICK CHICO TAN (DARK BROWN COLOR)
◆ D	SPLIT FACE BRICK PEDRO BRACK (DARK GRAY COLOR)
◆ E	METAL PANNING VERT. PROFILE SILVER COLOR
◆ F	METAL PANNING HORIZONTAL PROFILE GRAY COLOR
◆ G	BRUSHED ALUMINUM STRUCTURE SILVER COLOR, 1" INSULATED CLEAR GLAZING
◆ H	HOLLOW METAL CURB MATCH ADJACENT CMU BRICK COLOR

**1 EAST ELEV.**  
 Scale: 1/8"=1'-0"



**PETS MART** = 50 SF  
 TOTAL PROVIDED SIGNAGE = 50 SF  
 TOTAL MAX ALLOWABLE SIGNAGE AREA = 420.64 SF TOTAL

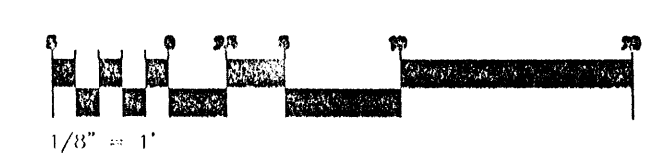
**2 NORTH ELEV. (FRONTING MERCANTILE AVE. N.W.)**  
 Scale: 1/8"=1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

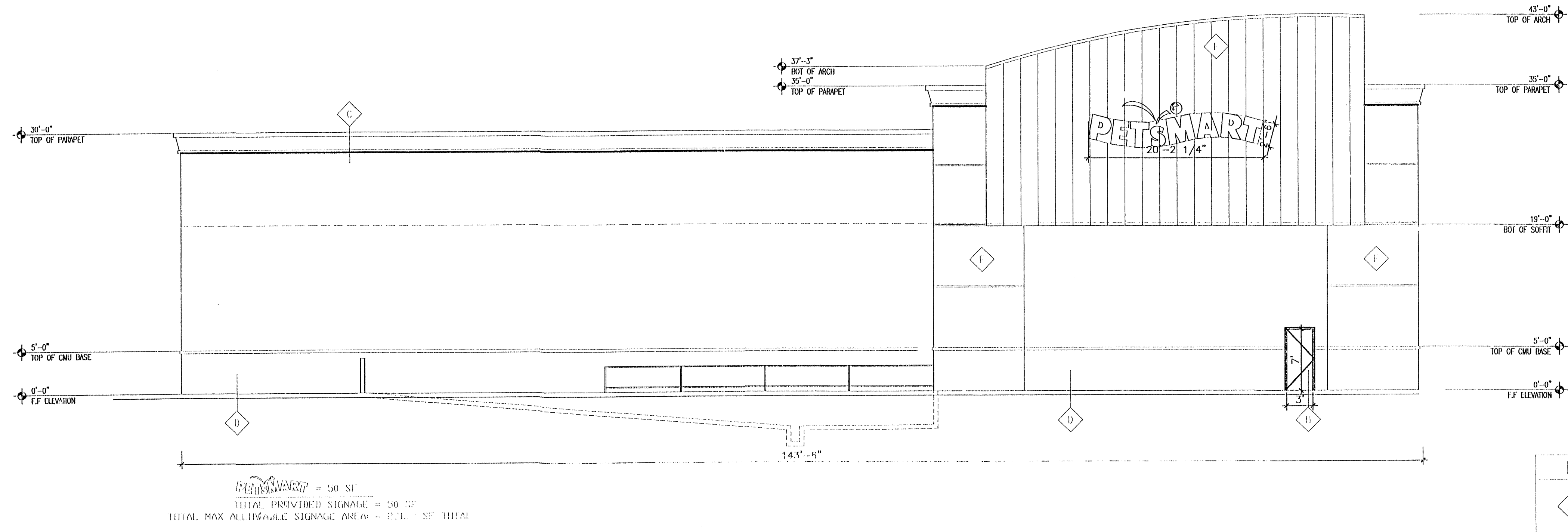
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-8377

PROJECT TITLE  
**PETS MART**  
 MERCANTILE INT NEW MEXICO  
 ALBUQUERQUE  
 PROJECT MANAGER  
 STEPHEN DUNBAR  
 JOB NO.  
 DRAWN BY  
 SD  
 SHEET TITLE  
**ELEVATIONS**

DATE: 10/10/04  
 SCALE: 1/8"=1'-0"  
 sheet -  
**A4.0**  
 of -



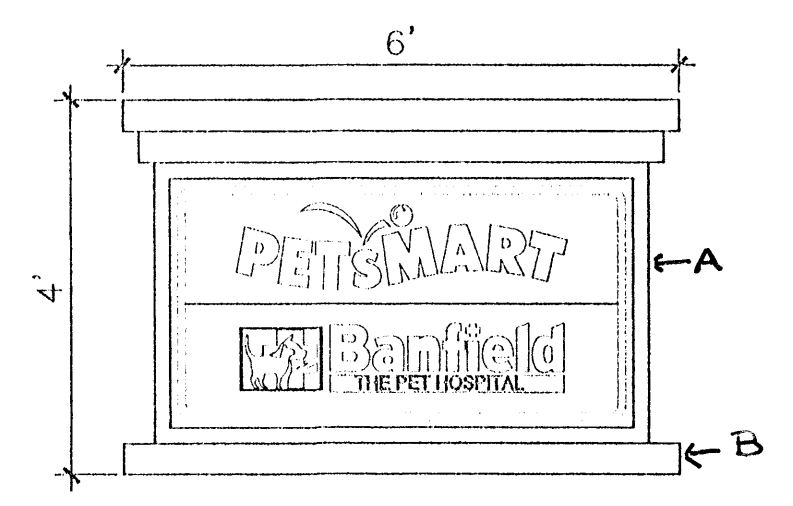




PETSMART = 50 SF  
 TOTAL PROVIDED SIGNAGE = 50 SF  
 TOTAL MAX ALLOWABLE SIGNAGE AREA = 2.11 SF TOTAL

1 WEST ELEV  
 Scale: 1/8"=1'-0"

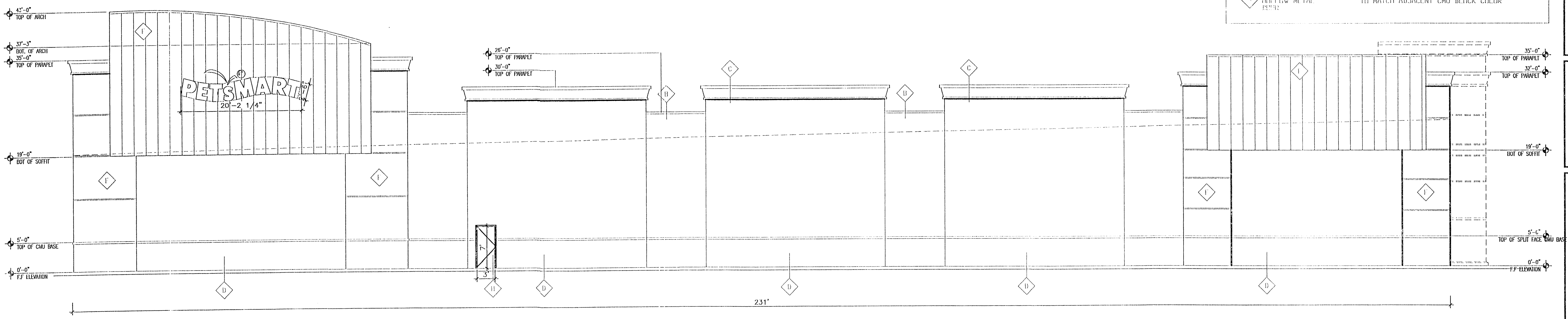
MONUMENT SIGN - Key Color & Material  
 A) Brushed Aluminum Sign Cabinet/Cornice  
 B) Split Face Block - Petro Black (Dark Gray)  
 C) Petsmart and Banfield lettering will be Blue and Red on White Lexan Panels



4 24 SF MONUMENT SIGN  
 Scale: 1/2"=1'-0"

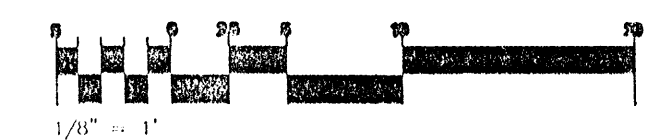
Keyed Color / Material Schedule

A	STUCCO SYSTEM	2 COAT STUCCO SYSTEM (FIBER REINFORCED BASE COAT W/ SYNTHETIC FIBER COAT) OVER 1/2" MESH LATH OVER 2 LAYERS OF GRADE 70 FILL OVER 5/8" OSB SHEATHING OVER 2 X 6 WOOD STUDS @ 16" O.C.
B	BURNISHED BRICK	LIPSO PAINT (DARK BROWN COLOR)
C	SPLIT FACE BRICK	CRIGO ICM (DARK BROWN COLOR)
D	SPLIT FACE BRICK	PETRO BLACK (DARK GRAY COLOR)
E	METAL PANELING VERT. PANELS	SILVER COLOR
F	METAL PANELING HORIZONTAL PANELS	GRAY COLOR
G	BRUSHED ALUMINUM SIGNS/LETTERS	SILVER COLOR, 1" INSULATED CLEAR GLAZING
H	BRICK/METAL FINISH	FIN MATCH ADJACENT CMU BRICK COLOR



PETSMART = 50 SF  
 TOTAL PROVIDED SIGNAGE = 50 SF  
 TOTAL MAX ALLOWABLE SIGNAGE AREA = 2.72 SF TOTAL

2 SOUTH ELEV.(FRONTING INTERSTATE 25)  
 Scale: 1/8"=1'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-8777

PROJECT TITLE  
**PETSMART**  
 MERCANTILE UNIT #5  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
**STEPHEN DUNEAR**  
 DRAWN BY  
**SD**  
 SHEET TITLE  
**ELEVATIONS**

DATE: 10/10/04  
 SCALE: 1/8"=1'-0"  
 sheet - A4.1  
 of -