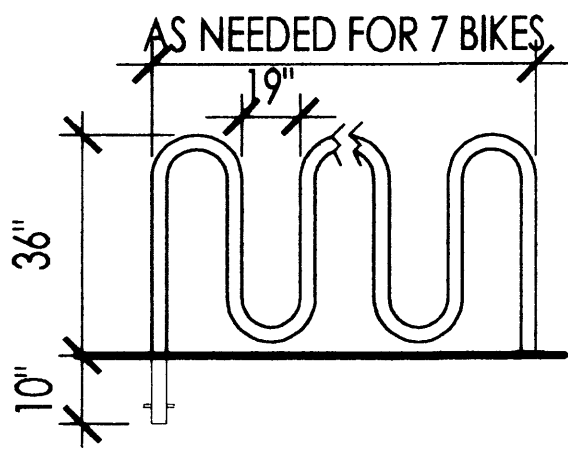


BICYCLE RACK LIGHT POLE



LOADING AND TRASH ENCLOSURE ELEVATIONS ARE SHOWN ON SHEET 4. SCREENING OF THESE AREAS HAS BEEN INTEGRATED INTO THE BUILDING STRUCTURE WHEN POSSIBLE.

GENERAL DESCRIPTION: Each EMCO EcoLume is a sharp cutoff luminaire for high intensity discharge lamps. Internal components are totally enclosed, tamper-resistant, and corrosion resistant. No wiring of the optical system or electrical components is required or permitted. Lamping requires no lifting or reworking of the luminaire housing, detaching wiring or exposing unshielded live parts.

HOUSING: The housing wrapper is one-piece die-cast aluminum. The housing has an integral ventilating grille and no welds or joints. Silicone seals provide a weather-tight seal at all points of material transition.

LENS: A milled, anodized aluminum door frame retains the optically clear, heat and impact resistant tempered lens glass in a sealed manner using hollow section, high compliance, memory retentive extruded silicone gaskets. A non-yellowing drop acrylic lens is provided standard on 14" and 18" vertical lamps and a sag glass lens is provided on 25" vertical lamp luminaires. A single built-in 1/4 turn captive fastener permits easy access to the luminaire.

ELECTRICAL SYSTEMS: The segmented reflector system consists of two levels of highly specular aluminum facets precisely aligned to achieve specified photometric distributions. The entire optical system is held rigidly in place by 90° increments. The position-oriented mogul base socket is gasketed porcelain with a nickel plated screw shell. A lamp stabilizer is standard on 34" and 42" 420W MH units.

ELECTRICAL: Each high power factor ballast is the separate component type, capable of providing reliable lamp starting down to 20° F. The ballast is mounted on a unlabeled tray and secured within the luminaire, above the reflector system. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher.

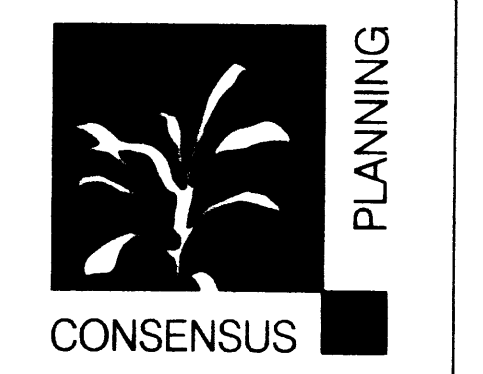
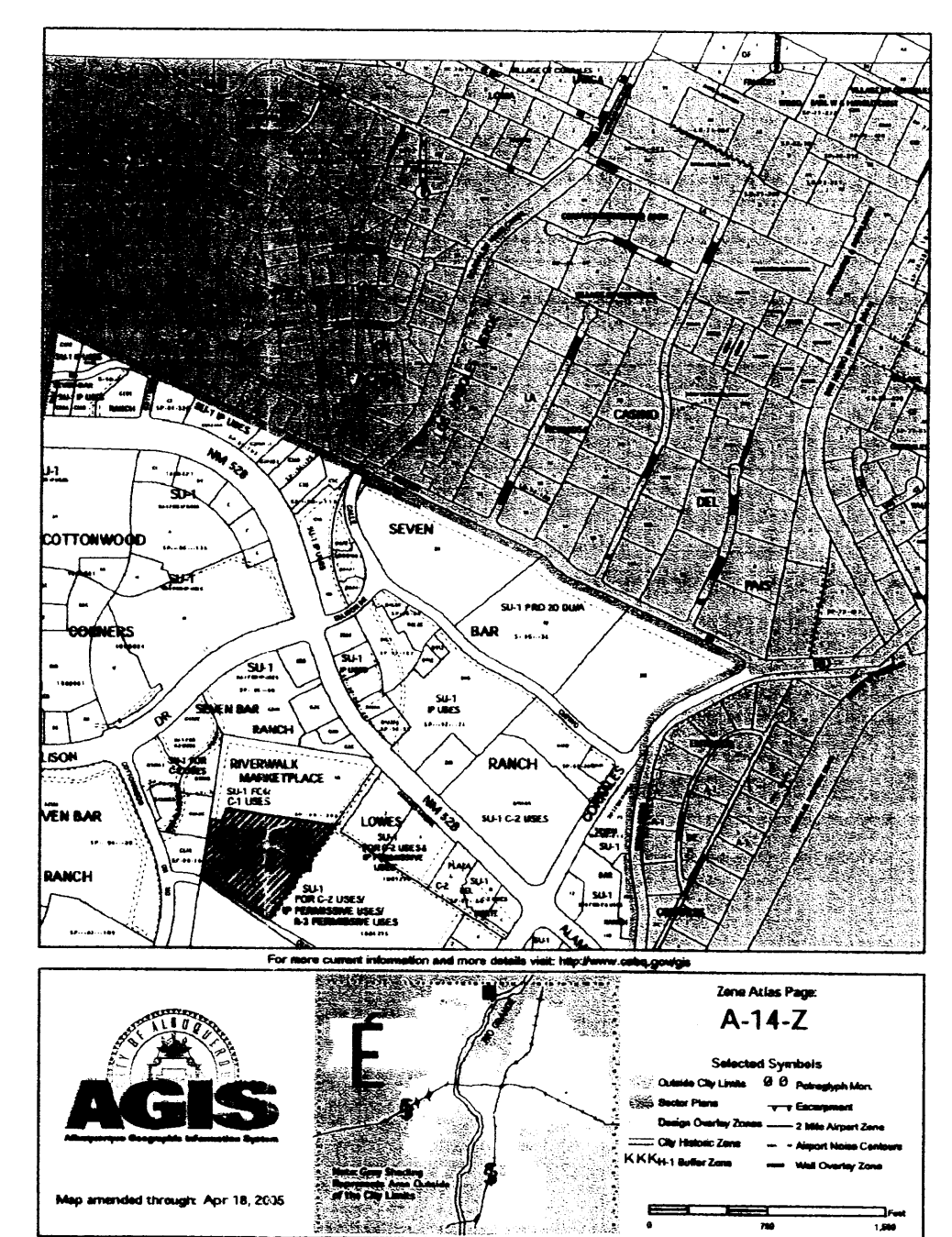
FINISH: Each luminaire receives a fade and abrasion resistant, electrocoat finish. Each luminaire receives a fade and abrasion resistant, electrocoat finish.

LABELS: All fixtures bear UL or CUL (where applicable) Wet Location labels.

EcoLume EPA (Effective Projected Area) Ft²

Single Arm	Turn 180°	Quad	Single Fixture Weight
14" vert	1.1	2.2	30 lbs
18" vert	1.9	3.8	50 lbs
25" vert	3.6	7.3	90 lbs

EPA 14"		EPA 18"		EPA 25"	
A	B	A	B	A	B
14"	10"	18"	10"	25"	14 1/2"
7"	10"	9"	10"	12"	12"
8"	11"	8"	8"	6"	6 1/2"



Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

SITE DATA

ZONING INFORMATION:
SU-1 FOR
C-2 USES/IP PERMISSIVE USES/R-3 PERMISSIVE USES

SITE AREA: 8.1369 AC 354,446 SF

BUILDING AREA:

RETAIL "A"	28,000 SF
RETAIL "B"	18,300 SF
RETAIL "C"	15,500 SF
RETAIL "D"	5,000 SF
RETAIL "E"	4,268 SF
RETAIL "F"	13,477 SF
TOTAL BUILDING AREA	84,515 SF

(NOTE: POTENTIAL RESTAURANT IN E & F)

REQ'D PARKING BY CITY:

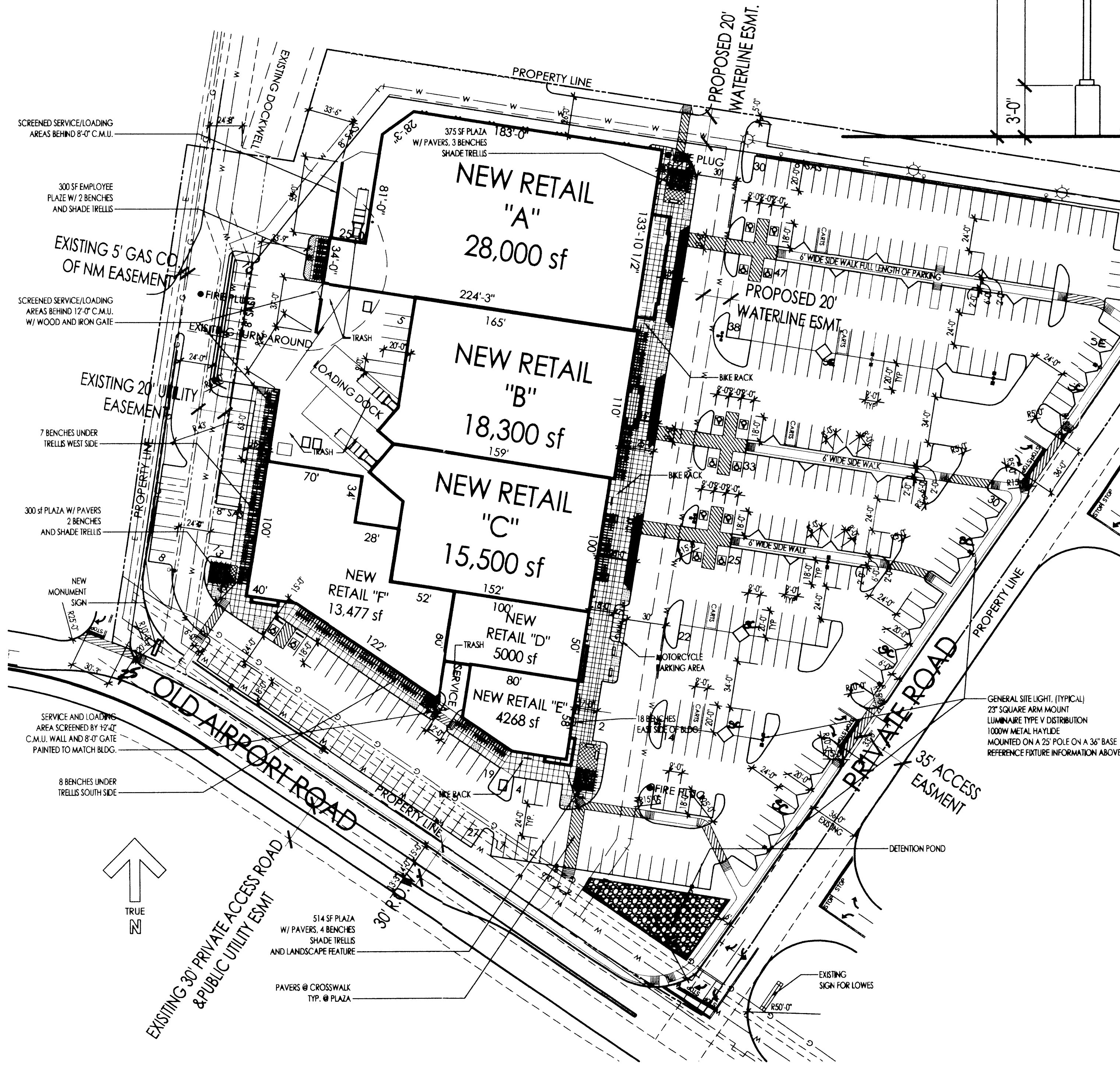
RETAIL	FIRST 15,000/200 = 75 SP
	NEXT 45,000/250 = 180 SP
	FINAL 22,515/300 = 76 SP
	RETAIL TOTAL = 331 SP
RESTAURANT (W/ BAR)	SEATS 90 * 1/3 = 30 SP
	SITE TOTAL 361 SP

TOTAL PARKING REQUIRED BY CITY 361 SP
TOTAL PARKING PROVIDED 361 SP

HC PARKING REQ'D 12 SP
HC PARKING PROVIDED 14 SP

BICYCLE PARKING REQUIRED 20 SP
BICYCLE PARKING PROVIDED (3 X 7)=21 SP

MOTORCYCLE PARKING REQUIRED 0 SP
MOTORCYCLE PARKING PROVIDED 8 SP

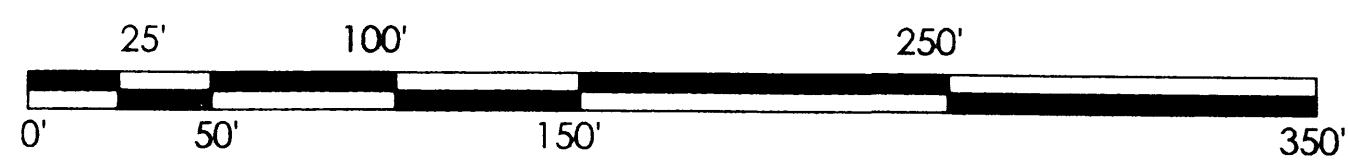


SC SMALL CAR SPACE SHALL BE PAINTED ON PAVEMENT WHERE NEEDED.

PROJECT NUMBER: 1001275
Application Number: 06DEB-00076
05EPC-01566

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

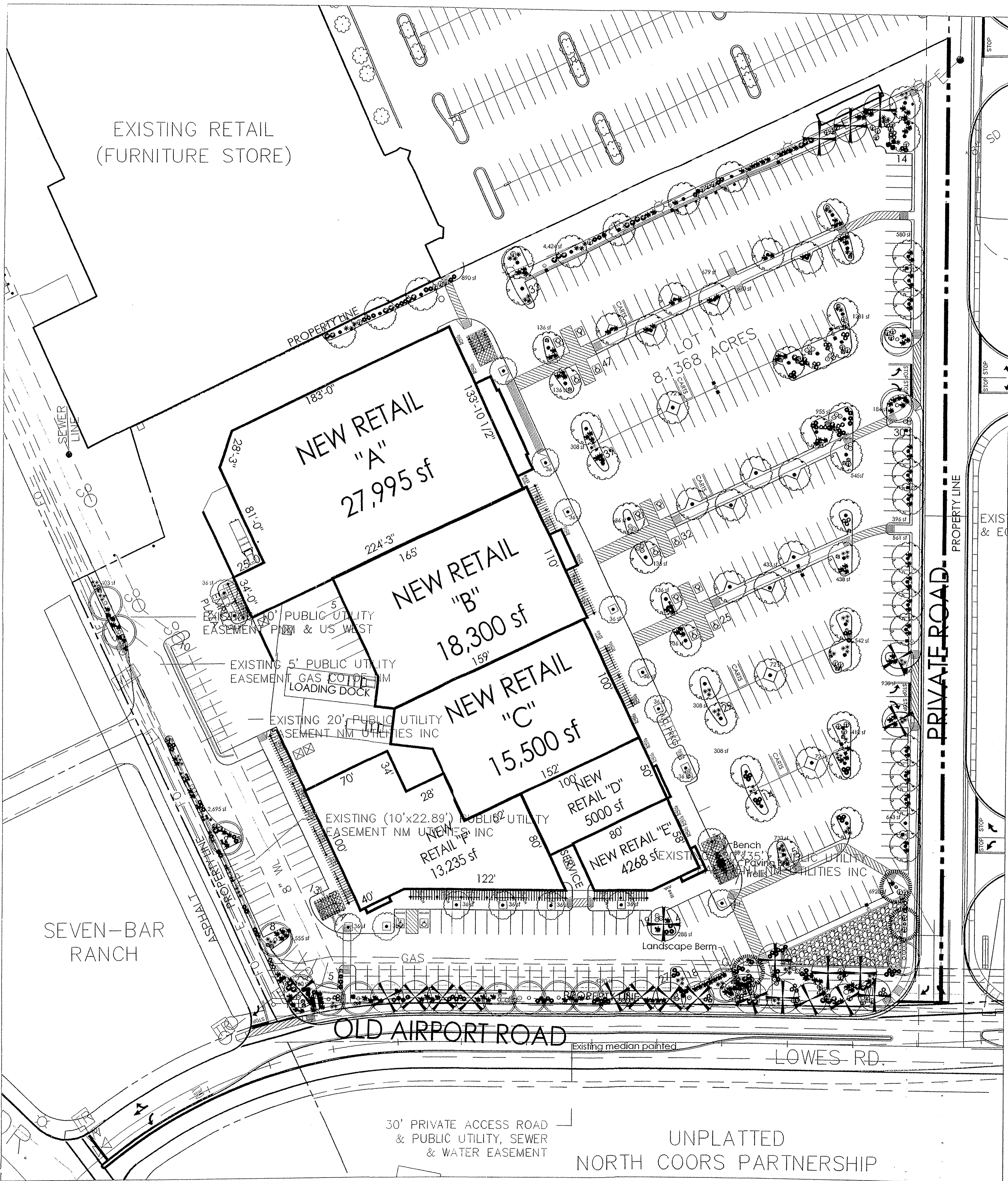
- DRB SITE DEVELOPMENT PLAN APPROVAL:
- Traffic Engineering, Transportation Division 2/15/06 Date
 - William D. Baker 5/11/06 Date
Water Utility Department
 - Christine Sandoral 2/15/06 Date
Parks and Recreation Department
 - Bradley A. Byham 6/19/06 Date
City Engineer
 - MA Environmental Health Department (conditional) Date
 - Michael Helton (3 computers) 2/1/06 Date
Solid Waste Management
 - Shawn Malcom 3/15/06 Date
DRB Chairperson, Planning Department



Project Name: COTTONWOOD COMMONS
 TEAM RETAIL COTTONWOOD, LTD.

Designed By: BRIAN
 Drawn By: BRIAN
 Checked By: BRIAN
 Date: 01.31.2006
 Project No: 04.031
 Sheet Title: SITE PLAN

1001275



PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
Trees				
○	<i>Gleditsia triacanthos inermis</i> "Imperial" Imperial Honey Locust	2½" cal.	3' o.c. 3' ht. x 3' spr.	Low +
⊕	<i>Pistachia chinensis</i> Chinese Pistache	2" B&B	14' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
●	<i>Pinus nigra</i> Austrian Pine	B&B	6' min. ht. 35' ht. x 25' spr.	Medium
○	<i>Fraxinus americana</i> "Autumn Purple" Autumn Purple Ash	3" cal.	3' o.c. 3' ht. x 3' spr.	Low +
○	<i>Pyrus calleryana</i> 'Cleveland' Flowering Pear	2" B&B	25' o.c. 25' ht. x 15' spr.	Medium +
Shrubs/Groundcovers				
●	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5-Gal.	4' o.c. 3' ht. x 4' spr.	Medium
⊕	<i>Fallugia paradoxa</i> Apache Plume	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
*	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
●	<i>Baccharis x "starn"</i> Thompson Baccharis	5-Gal.	6' o.c. 3' ht. x 6' spr.	Low +
○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
○	<i>Rosmarinus officinalis</i> Rosemary	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
○	<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low+
Ornamental Grasses				
●	<i>Calamagrostis acutiflora</i> "Karl Foerster" Karl Foerster Feather Reed Grass	5-Gal.	3' o.c. 4' ht. x 2' spr.	Low +
*	<i>Nassella tenuissima</i> Threadgrass	1-Gal.	3' o.c. 2' ht. x 2' spr.	Low +
●	<i>Cortaderia selloana</i> Pampas Grass	5-Gal.	4' o.c. 6' ht. x 3' spr.	Low +

* Shrubs shall be 1 gallon and 5 gallon containers
 ▢ Moss Rock Boulders-3' minimum

GENERAL LANDSCAPE NOTES

- Prior to beginning work on the project, the Landscape Contractor shall review the project in the field with the Owner's Representative.
- If discrepancies occur between the drawings and the site, the Landscape Contractor shall notify the Owner's Representative for clarification prior to proceeding on that portion of work.
- All planting areas are to have weeds and competitive vegetation removed prior to preparation for planting.
- All existing plant materials shall be protected during construction. Damaged materials shall be replaced in kind at the Contractor's expense.
- Plant quantities are provided for Contractor's convenience only, plans shall take precedence.
- The Owner's Representative shall approve all plant material prior to planting. In addition, the Owner's Representative reserves the right to refuse any plant material deemed unacceptable. The Owner's Representative is to approve any and all substitutions.
- It is the Landscape Contractor's responsibility to locate all underground utilities prior to commencement of planting operations.
- Planting installation shall be in accordance with all City of Albuquerque Standard Specifications (Section 1005 - Planting) and Details (Isolated Tree Planting - 2114, Tree Planting on Slope - 2116).

IRRIGATION SYSTEM

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY

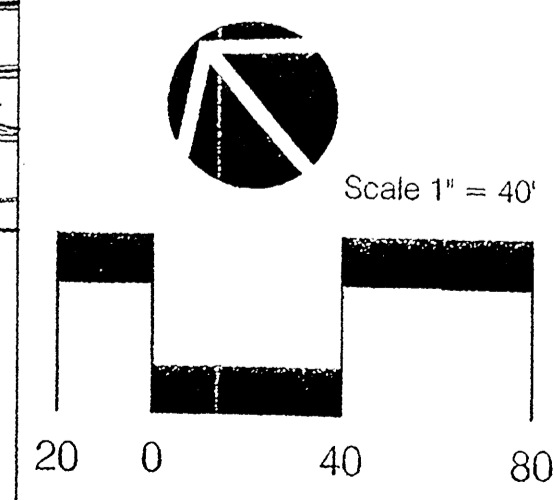
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

LANDSCAPE NOTE

The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area, and shall be in compliance with the Water Conservation Ordinance. Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant.

LANDSCAPE REQUIREMENTS

Site Area:	5.35 acres	259,200 SF
Building Footprint:		79,716 SF
Total Area:		179,484 SF
Required Landscape %:		15
Landscape Area Required:		26,923 SF
Landscape Area Provided:		(19%) 35,061 SF



CONSENSUS PLANNING

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

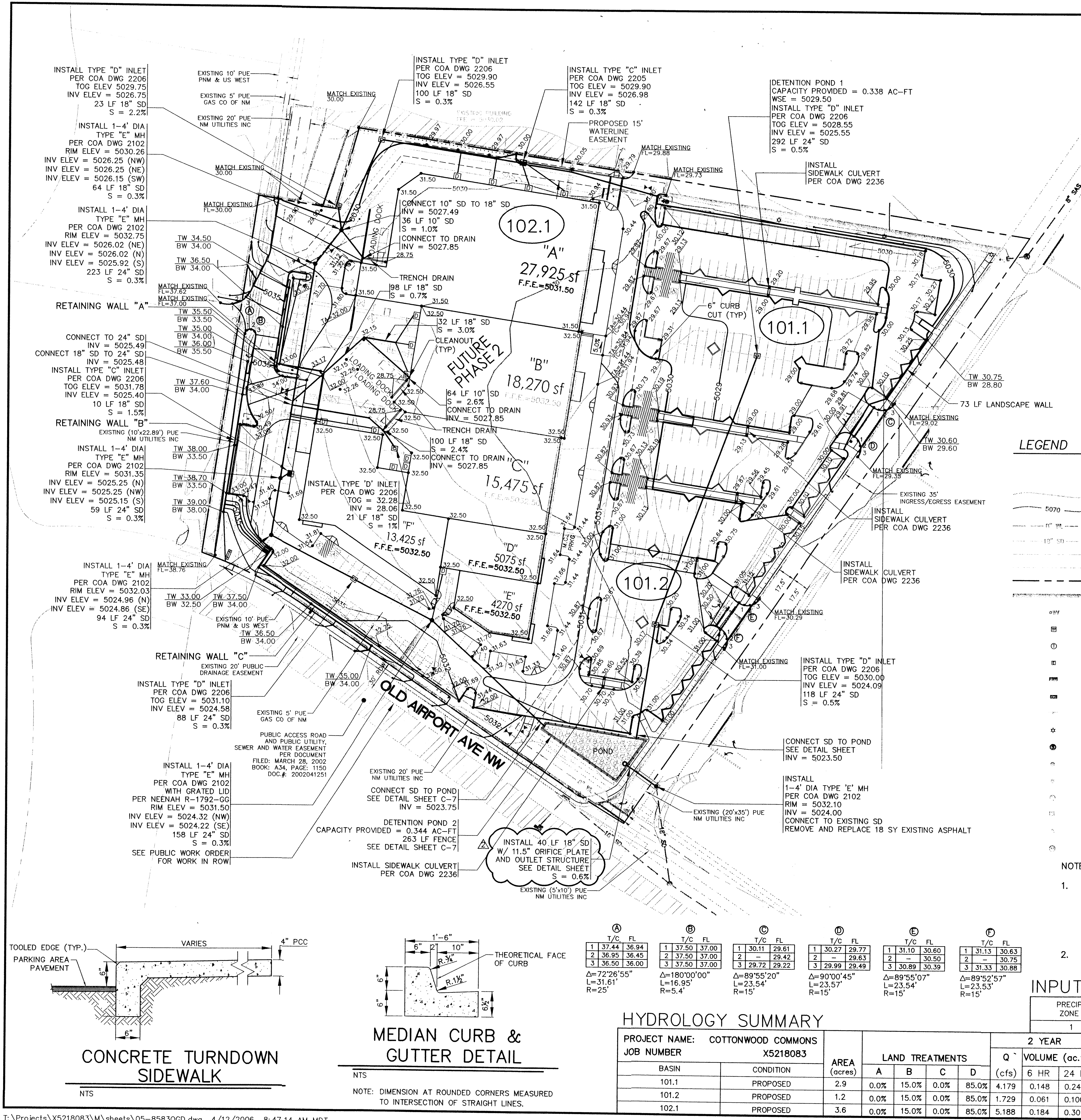
#	Date	Description

Project Name:

Landscape Architect's Seal:

BED BATH AND BEYOND

Designed By:	KJQ
Drawn By:	KJQ
Checked By:	CJG
Date:	1.17.06
Project No:	0000
Sheet Title:	LANDSCAPE PLAN
	2 OF 6



EXISTING CONDITIONS

THE PROJECT SITE CONSISTS OF 7.70 ACRES, ALL OF WHICH IS ROUGH GRADED AND SEEDED WITH NATIVE GRASS. THE SITE IS BOUNDED BY AMERICAN FURNITURE WAREHOUSE TO THE NORTH, LOWE'S HOME IMPROVEMENT WAREHOUSE TO THE EAST, OLD AIRPORT AVENUE TO THE SOUTH, AND OFFICE SPACE TO THE WEST. BASED ON LOWE'S OF NW ALBUQUERQUE DRAINAGE REPORT PREPARED BY WILSON & COMPANY, OCTOBER 2001, RUNOFF FOR PROPOSED CONDITION ORIGINATING FROM THE SITE IS DETAINED IN A POND WITH CAPACITY OF 0.66 AC-FT. THE ALLOWABLE FLOW OF 1.20 CFS/ACRE IS THEN DISCHARGED THROUGH AN 18" STORM DRAIN PIPE TO THE EXISTING STORM DRAIN SYSTEM IN OLD AIRPORT AVENUE. FLOWS FROM OLD AIRPORT AVENUE EVENTUALLY DRAIN INTO THE CORRALES MAIN CANAL.

PROPOSED CONDITIONS

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF RETAIL BUILDINGS ON THE SITE. BASED ON THE MENTIONED REPORT ABOVE, IT IS PROPOSED THAT ALL OF THE RUNOFF BE DETAINED IN A DETENTION POND LOCATED IN THE SOUTH CORNER OF THE SITE. IN THE CASE OF A 100-YEAR EVENT, THE PARKING LOT WILL BE USED TO DETAIN 1' OF STORM WATER ABOVE THE NORTHEAST INLET STRUCTURE. THE ALLOWABLE AMOUNT OF 9.24 CFS WILL OUTLET THROUGH A 11.5" ORIFICE PLATE. THE WATER WILL THEN DISCHARGE THROUGH AN 18" STORM DRAIN PIPE AND CONNECT TO THE EXISTING STORM DRAIN IN THE PRIVATE ROAD EAST OF THE SITE.

LEGAL DESCRIPTION

LOT 1 LOWE'S SUBDIVISION

BENCH MARK

BASIS OF ELEVATION/PRIMARY BENCHMARK NMSHC CONTROL STATION "NM448-N12" DATA: NMSHC BRASS TABLET FOUND IN PLACE SET IN TOP OF A CONCRETE TABLET. NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL-ZONE)
 X = 381,108.54 Y = 1,528,910.94 ELEV = 5023.41'
 (SLD 1929) GROUND TO GRID FACTOR = 0.99967595
 DELTA ALPHA = -001'3"46" NAD 1927

LEGEND

EXISTING	PROPOSED

NOTES:

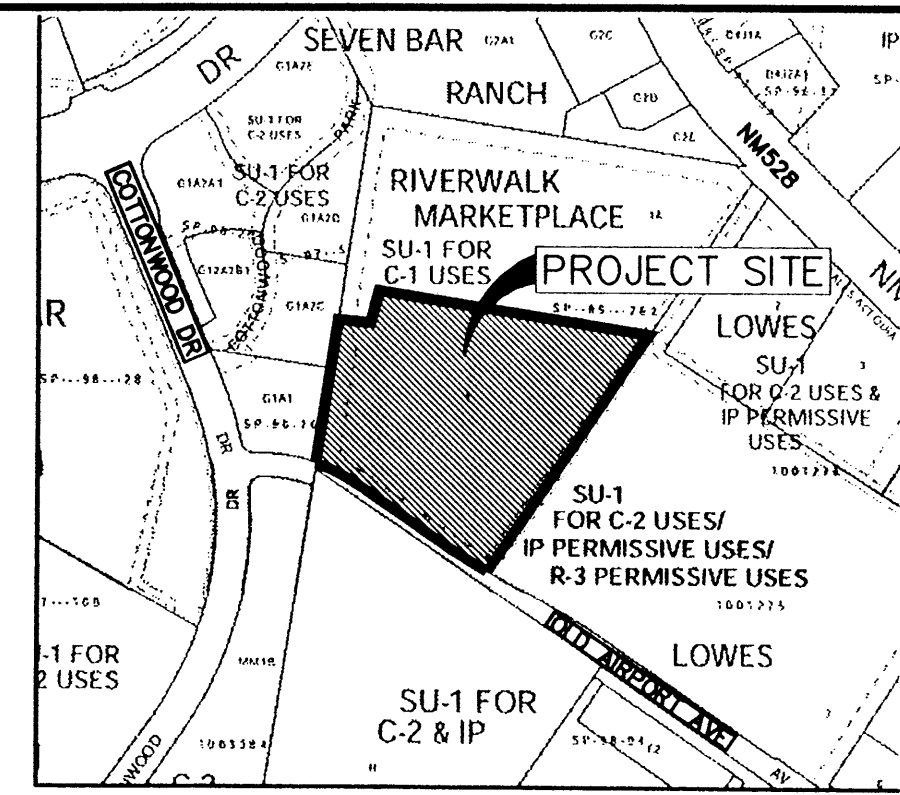
- SD SHALL BE HDPE SMOOTH INTERIOR. PIPE AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294 RUBBER GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477 WITH JOINTS CONFORMING TO AASHTO M294 SILT TIGHT OR WATER TIGHT DESIGNATIONS.
- TRENCH DRAINS SHALL COMPLY WITH ASME A112, 21, 1M, 6" DRAIN SYSTEM.

INPUT DATA

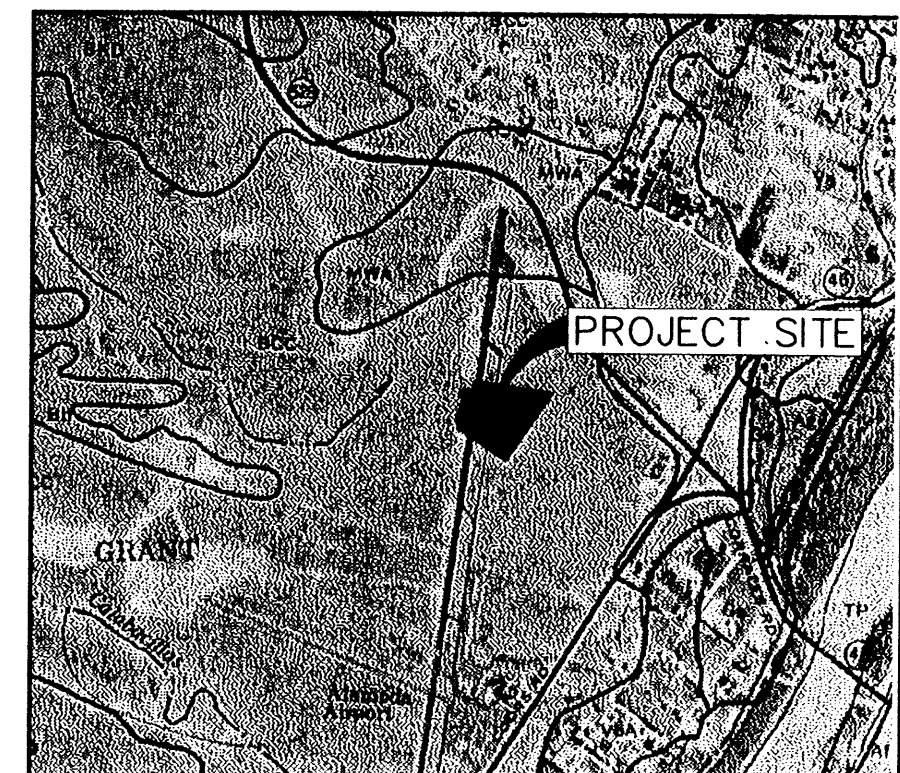
PRECIP. ZONE	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67

HYDROLOGY SUMMARY

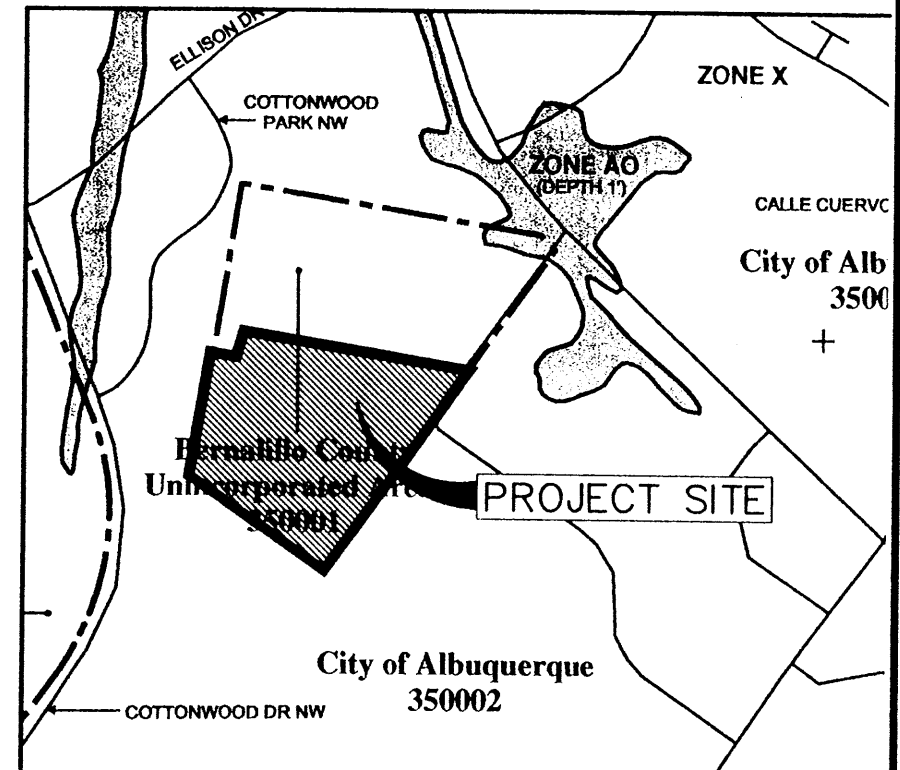
PROJECT NAME: JOB NUMBER	COTTONWOOD COMMONS X5218083	AREA (acres)	LAND TREATMENTS					2 YEAR					10 YEAR					100 YEAR				
			A	B	C	D	Q (cfs)	6 HR	24 HR	Q (cfs)	6 HR	24 HR	Q (cfs)	6HR	24 HR	Q (cfs)	6HR	24 HR				
			101.1	101.2	102.1	101.1	101.2	102.1	101.1	101.2	102.1	101.1	101.2	102.1	101.1	101.2	102.1	101.1	101.2	102.1		
	PROPOSED	2.9	0.0%	15.0%	0.0%	85.0%	4.179	0.148	0.243	7.455	0.263	0.357	11.655	0.429	0.523							
	PROPOSED	1.2	0.0%	15.0%	0.0%	85.0%	1.729	0.061	0.100	3.085	0.109	0.148	4.823	0.061	0.217							
	PROPOSED	3.6	0.0%	15.0%	0.0%	85.0%	5.188	0.184	0.301	9.254	0.326	0.444	14.469	0.533	0.650							



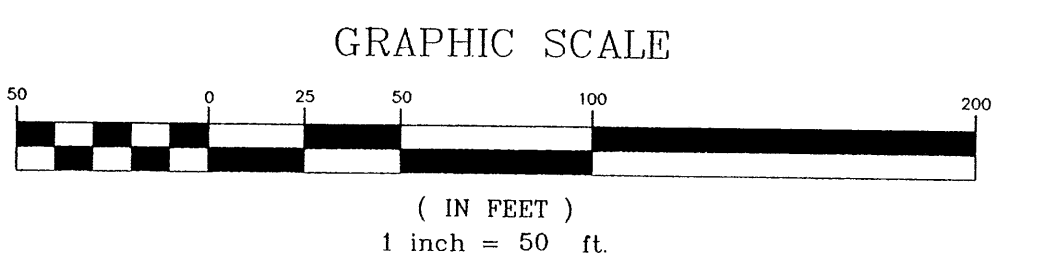
LOCATION MAP
ZONE ATLAS MAP NO. A-14 & B-14



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10

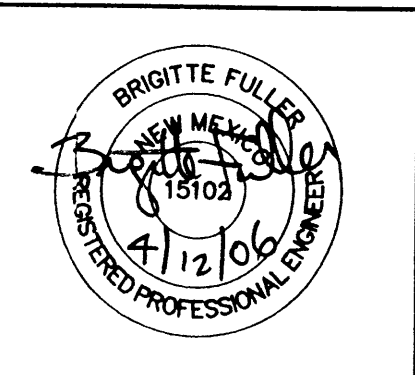


FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 35001C0109F



APPROVED FOR ROUGH GRADING ±1'
William J. Gault 4/12/06
 COA DATE

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

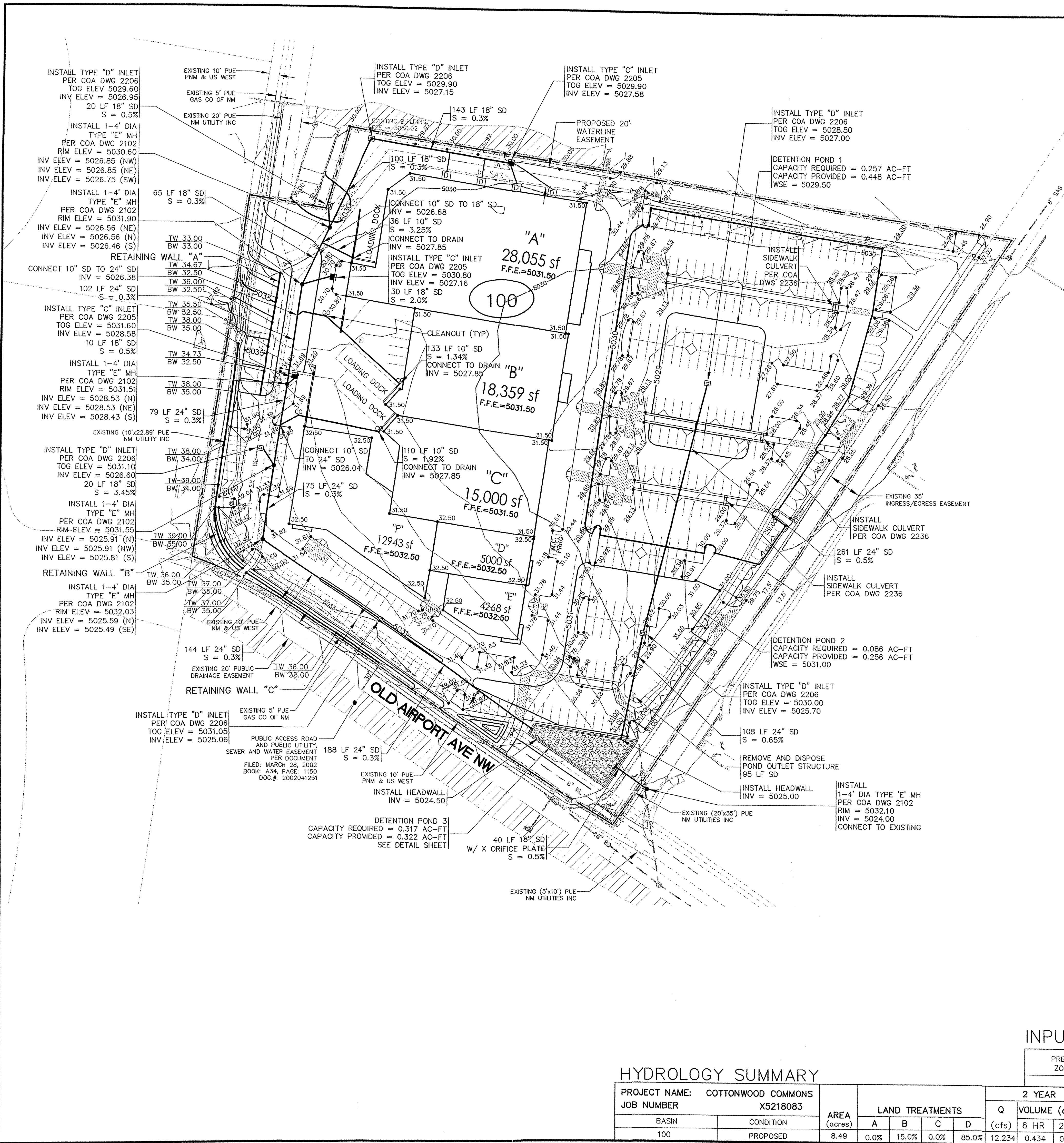


COTTONWOOD COMMONS

GRADING AND DRAINAGE PLAN

NO.	DATE	REMARKS	BY
1	4/04/06	MODIFICATIONS	JRH

DESIGN	BMF	WCEA NO. X5218083	DATE FEB 2006
DRAWN	JRH	PROJECT NO.	SHEET NO.
CHECK	BMF		C-5



EXISTING CONDITIONS

THE PROJECT SITE CONSISTS OF 8.49 ACRES, ALL OF WHICH IS ROUGH GRADED AND SEEDED WITH NATIVE GRASS. THE SITE IS BOUNDED BY AMERICAN FURNITURE WAREHOUSE TO THE NORTH, LOWE'S HOME IMPROVEMENT WAREHOUSE TO THE EAST, OLD AIRPORT AVENUE TO THE SOUTH. BASED ON LOWE'S OF NW ALBUQUERQUE DRAINAGE REPORT PREPARED BY WILSON & COMPANY, OCTOBER 2001, RUNOFF FOR PROPOSED CONDITION ORIGINATING FROM THE SITE IS DETAINED IN A POND WITH CAPACITY OF 0.66 AC-FT. THE ALLOWABLE FLOW IS THEN DISCHARGED THROUGH AN 18" STORM DRAIN PIPE TO THE EXISTING STORM DRAIN SYSTEM IN OLD AIRPORT AVENUE. FLOWS FROM OLD AIRPORT AVENUE EVENTUALLY DRAIN INTO THE CORRALES MAIN CANAL.

PROPOSED CONDITIONS

THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF RETAIL BUILDINGS ON THE SITE. BASED ON THE MENTIONED REPORT ABOVE, IT IS PROPOSED THAT ALL OF THE RUNOFF BE DETAINED IN 2 DETENTION PONDS LOCATED IN THE SOUTH AND NORTHEAST CORNER OF THE SITE. THE ALLOWABLE AMOUNT OF 10.19 CFS, WILL OUTLET THROUGH A 18" STORM DRAIN PIPE AND CONNECT TO THE EXISTING INLET IN OLD AIRPORT AVENUE.

LEGAL DESCRIPTION

LOT 1 LOWE'S SUBDIVISION

BENCH MARK

BASIS OF ELEVATION/PRIMARY BENCHMARK NMSHC CONTROL STATION "NM448-N12" DATA: NMSHC BRASS TABLET FOUND IN PLACE SET IN TOP OF A CONCRETE TABLET. NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL-ZONE)
 X = 381,108.54 Y = 1,528,910.94 ELEV = 5023.41'
 (SLD 1929) GROUND TO GRID FACTOR = 0.99967595
 DELTA ALPHA = -00'13'46" NAD 1927

LEGEND

- 5070 — EXISTING INTERMEDIATE CONTOUR
- 5070 — EXISTING INDEX CONTOUR
- 18" SD — EXISTING WATER LINE
- 18" SD — EXISTING STORM DRAIN
- SPRINKLER CONTROL BOX
- ⊕ TRAFFIC SIGN
- ⊙ LIGHT POLE
- ⊙ SEWER MANHOLE
- ⊙ CLEANOUT
- ⊙ BOLLARD
- ⊙ AREA INLET
- ⊙ CONCRETE PAD
- ⊙ ROOF DRAIN
- 5075 — PROPOSED INTERMEDIATE CONTOUR
- 5075 — PROPOSED INDEX CONTOUR
- — — PROPOSED BASIN BOUNDARY LINE
- — — PROPERTY LINE
- — — EASEMENT
- — — FENCE
- ⊙ 100 BASIN TAG
- ⊙ 62.00 DROP INLET
- ⊙ SPOT ELEVATION
- ⊙ STORM DRAIN MH
- ⊙ CURB CUT
- ⊙ SIDEWALK CULVERT
- ⊙ STORM DRAIN CLEANOUT
- ⊙ 10" HDPE OR PVC STORM DRAIN FOR DOWNSPOUTS (MIN INV EL = FFE -2.85')

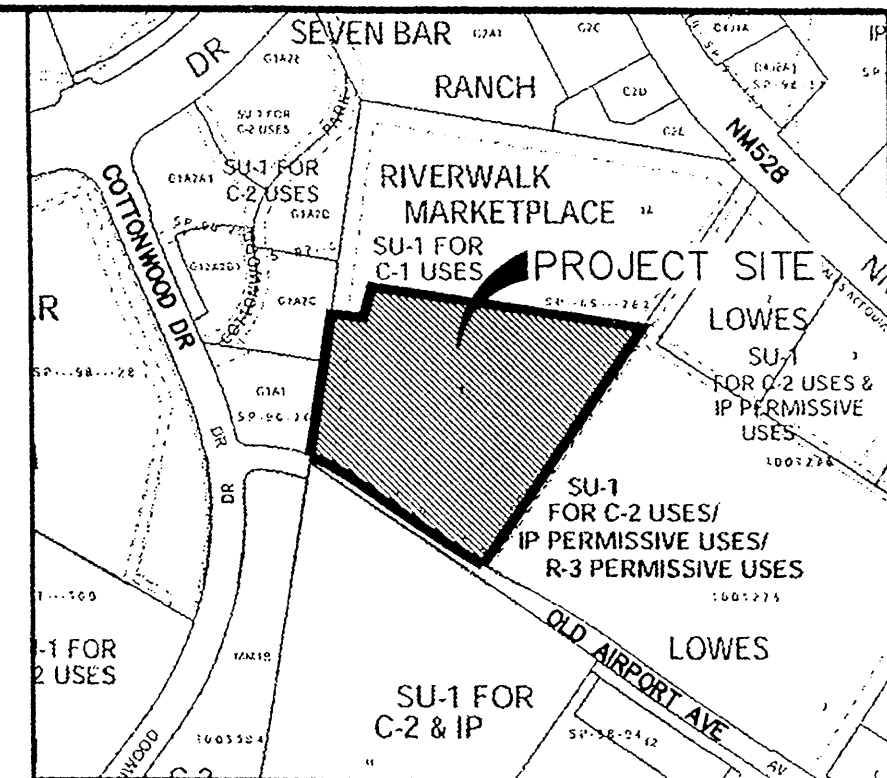
INPUT DATA

PRECIP. ZONE	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67

PROJECT NUMBER	BASIN	CONDITION	AREA (acres)	LAND TREATMENTS					2 YEAR			10 YEAR			100 YEAR		
				A	B	C	D	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)				
				(cfs)	6 HR	24 HR	(cfs)	6 HR	24 HR	(cfs)	6HR	24 HR					
100	PROPOSED		8.49	0.0%	15.0%	0.0%	85.0%	12.234	0.434	0.711	21.824	0.769	1.046	34.121	1.256	1.532	

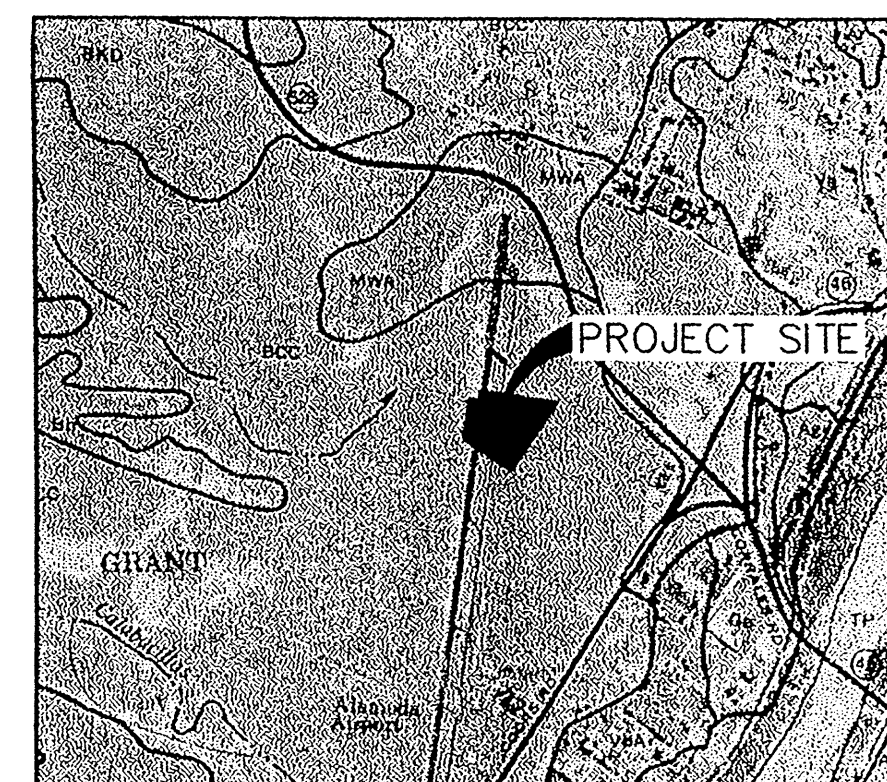
HYDROLOGY SUMMARY

PROJECT NAME:	COTTONWOOD COMMONS
JOB NUMBER:	X5218083
AREA (acres):	8.49
LAND TREATMENTS:	A: 0.0%, B: 15.0%, C: 0.0%, D: 85.0%
Q (cfs):	12.234
VOLUME (ac.ft.):	0.434 (6 HR), 0.711 (24 HR)
Q (cfs):	21.824
VOLUME (ac.ft.):	0.769 (6 HR), 1.046 (24 HR)
Q (cfs):	34.121
VOLUME (ac.ft.):	1.256 (6HR), 1.532 (24 HR)



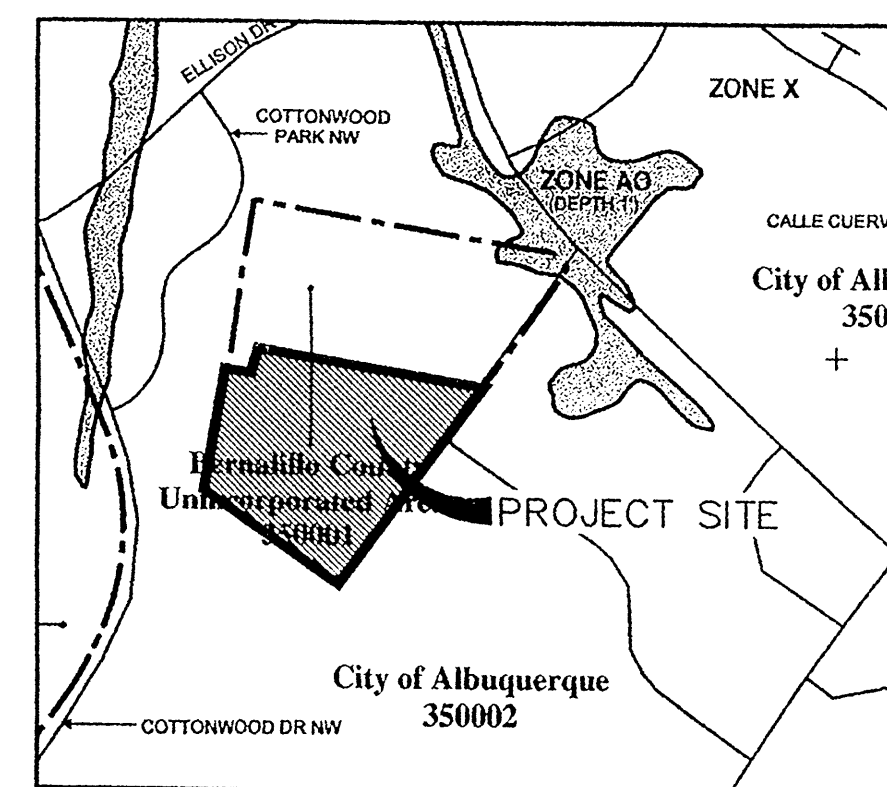
LOCATION MAP

ZONE ATLAS MAP NO. A-14 & B-14



SOILS MAP

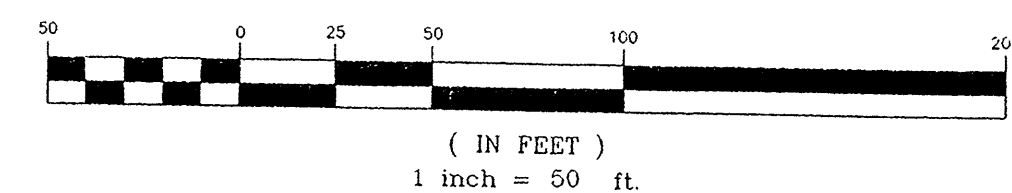
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANEL 35001C109F

GRAPHIC SCALE



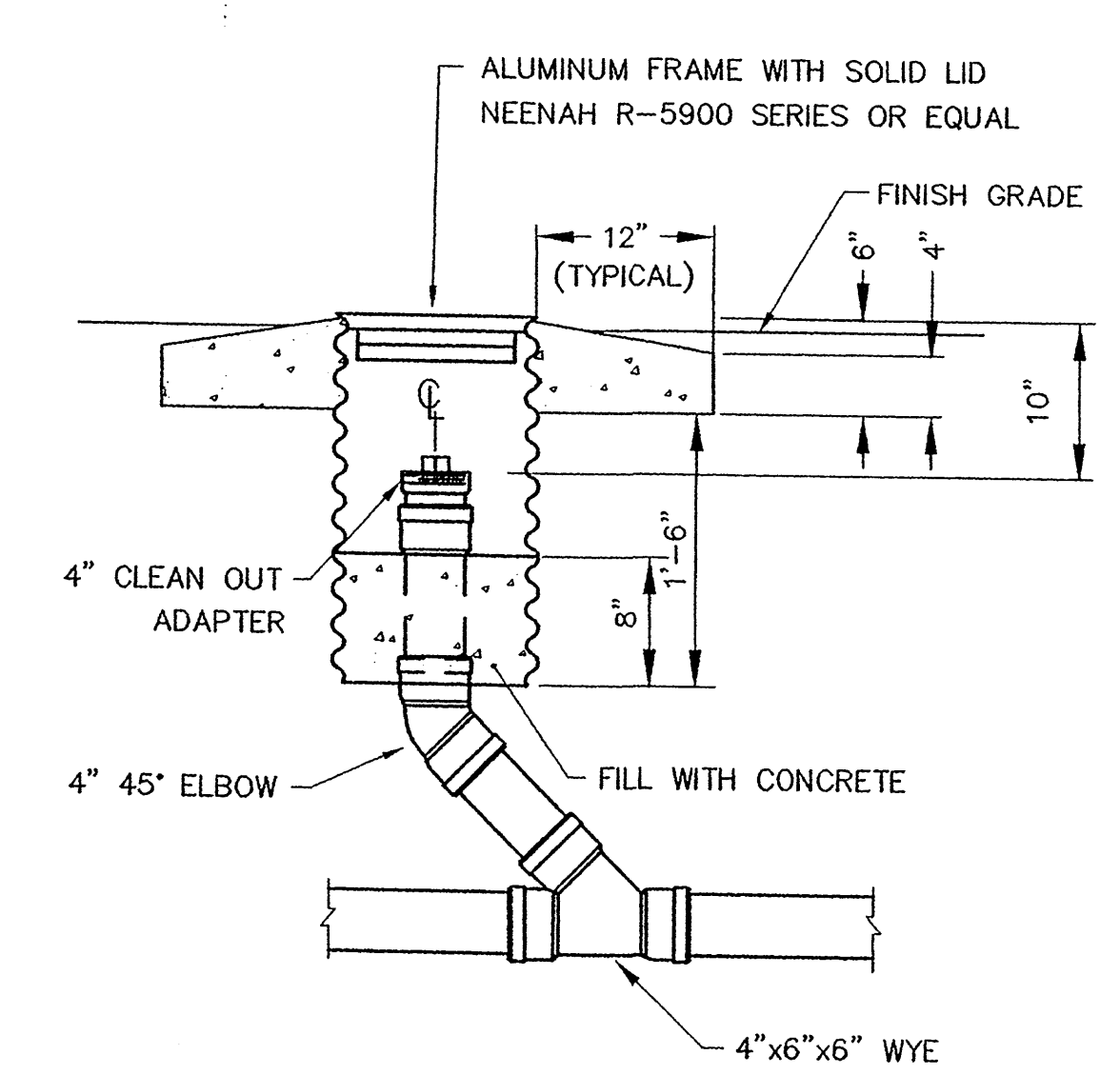
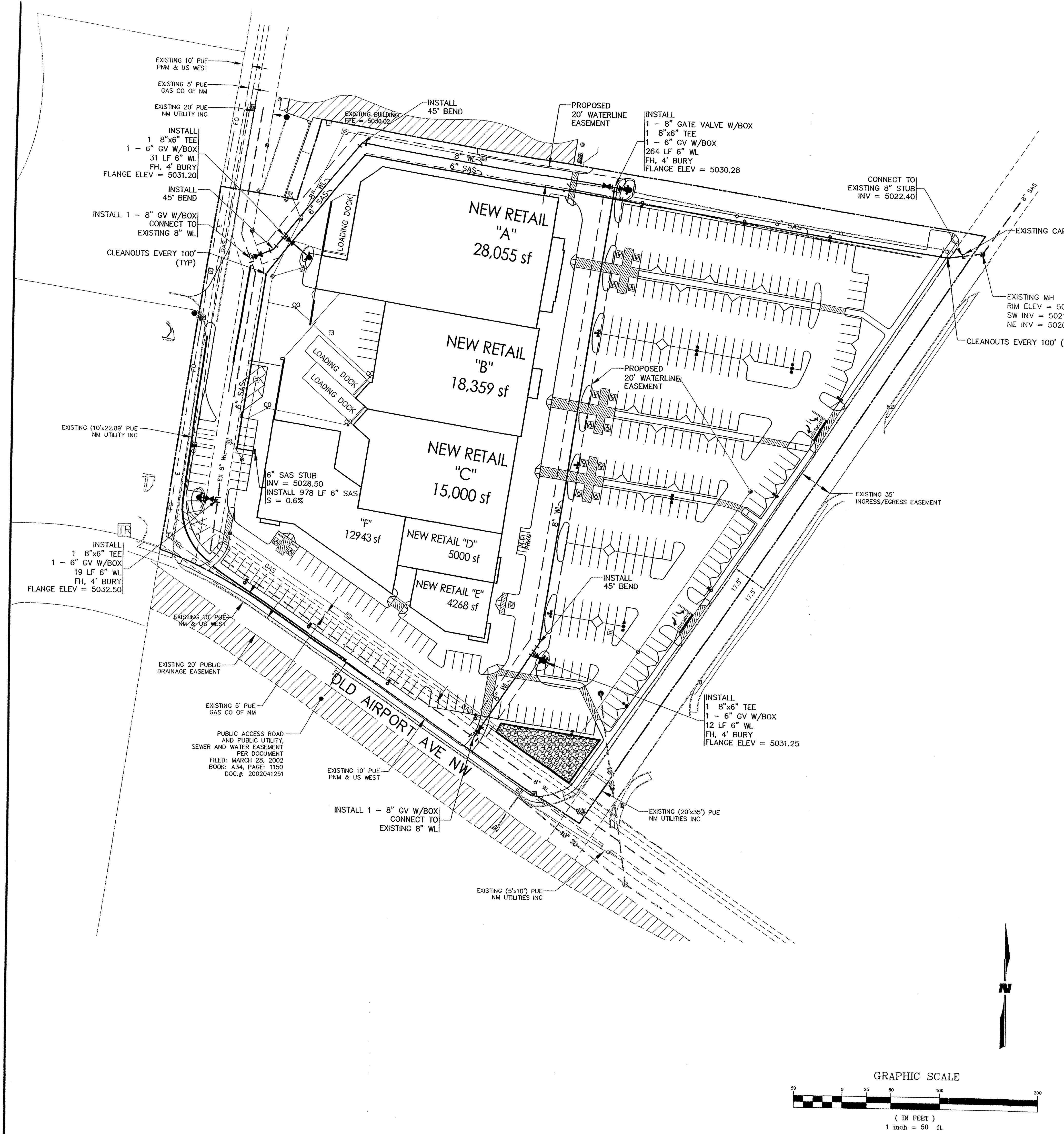
APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

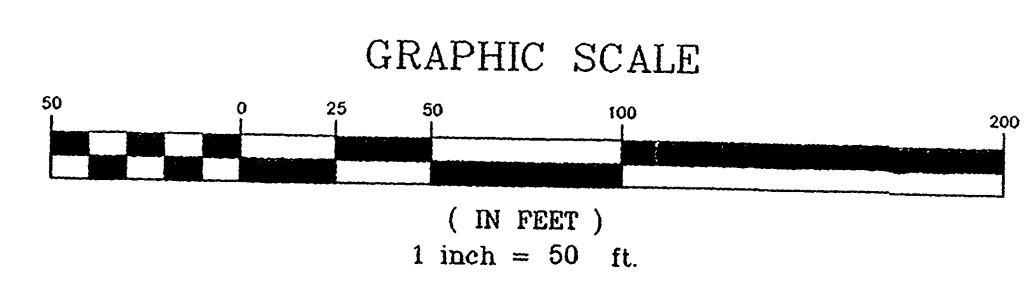
**COTTONWOOD COMMONS
 GRADING AND
 DRAINAGE PLAN**

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	BMF	WCEA NO. X5218083	DATE	JAN 2006
DRAWN	OBR	PROJECT NO.	SHEET NO.	6
CHECK	BMF	N/A	3	OF 6



4" SINGLE CLEANOUT DETAIL
 NTS

- LEGEND**
- W WATER VALVE
 - ⊕ TELEPHONE PEDESTAL
 - ⊙ TELEPHONE MANHOLE
 - ⊖ ELECTRIC BOX
 - INLET
 - ⊞ SPRINKLER CONTROL BOX
 - ⊟ TRAFFIC SIGN
 - ☆ LIGHT POLE
 - ⊙ SEWER MANHOLE
 - CLEANOUT
 - BOLLARD
 - AREA INLET
 - ⊞ CONCRETE PAD
 - △ ROOF DRAIN
 - ⊙ WATER MANHOLE
 - -5034.00 SPOT ELEVATION
 - CLEANOUT
 - PROPERTY LINE
 - 8" SAS --- EXISTING SANITARY SEWER
 - 8" WL --- EXISTING WATER LINE
 - 18" SD --- EXISTING STORM DRAIN
 - 8" WL --- PROPOSED WATER LINE
 - 6" SAS --- PROPOSED SAS
 - PROPOSED STORM DRAIN
 - FH



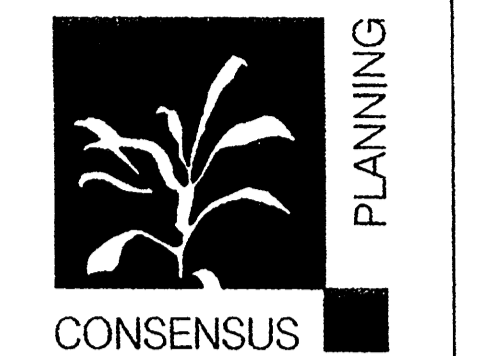
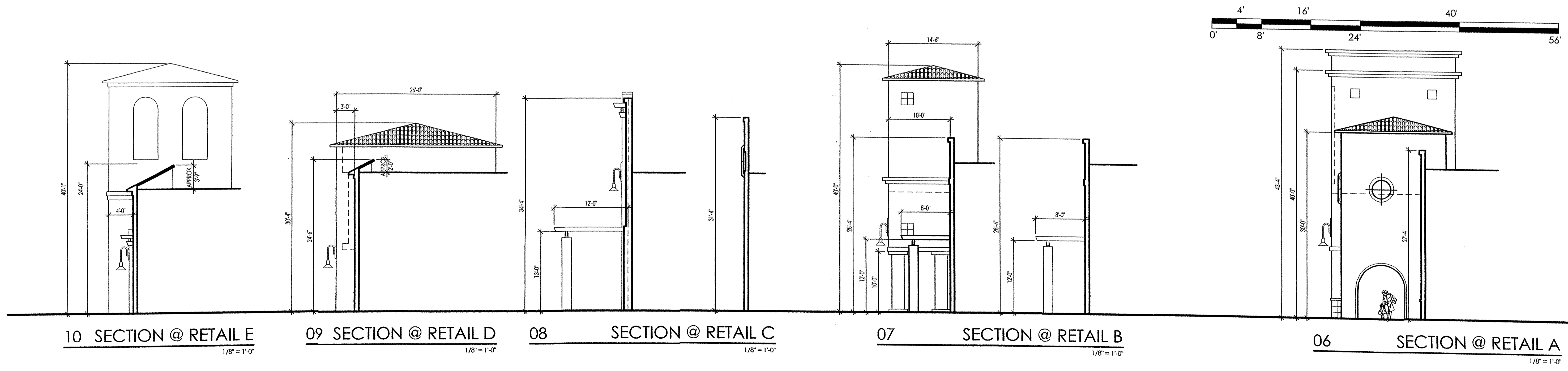
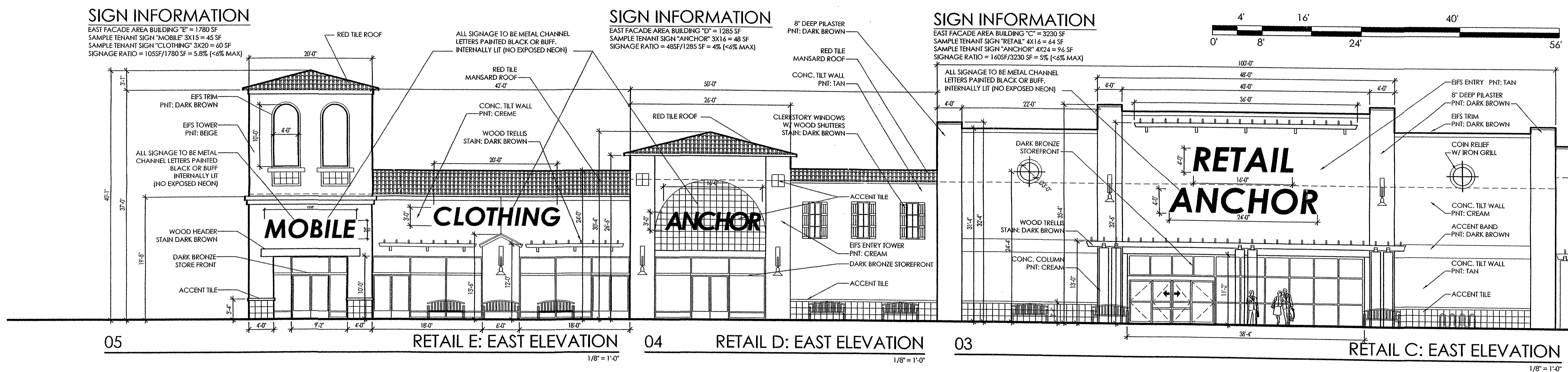
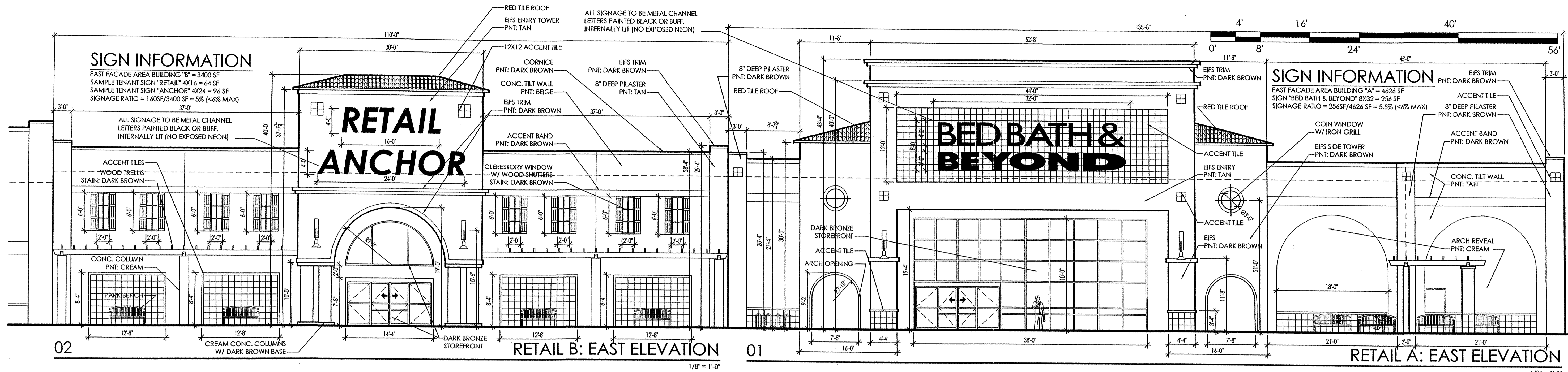
PLANS CHECKING OFFICE
 824-5911
 WILSON & COMPANY
 11/2/06
 ENGINEER & FILE

LEGAL DESCRIPTION
 LOT 1 LOWE'S SUBDIVISION

BENCH MARK

BASIS OF ELEVATION/PRIMARY BENCHMARK NMSHC CONTROL STATION "NM448-N12" DATA: NMSHC BRASS TABLET FOUND IN PLACE SET IN TOP OF A CONCRETE TABLET. NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL-ZONE)
 X = 381,108.54 Y = 1,528,910.94 ELEV = 5023.41'
 (SLD 1929) GROUND TO GRID FACTOR = 0.99967595
 DELTA ALPHA = -00°13'46" NAD 1927

WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021		COTTONWOOD COMMONS	
		UTILITY PLAN	
DESIGN	BMF	WCEA NO. X5218083	DATE JAN 2006
DRAWN	OBR	PROJECT NO. N/A	SHEET NO. 4 OF 6
CHECK	BMF		



CONSENSUS
PLANNING

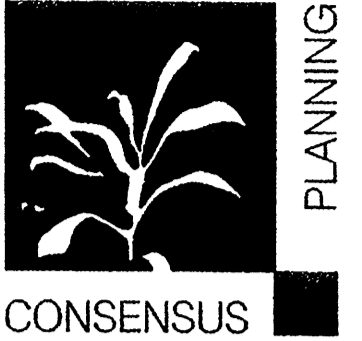
Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

#	Date	Description

COTTONWOOD COMMONS
 TEAM RETAIL COTTONWOOD, LTD.

Project Name: COTTONWOOD COMMONS
 Landscape Architect's Seal: _____
 Designed By: BRIAN
 Drawn By: BRIAN
 Checked By: BRIAN
 Date: 01.15.2006
 Project No: 04.031
 Sheet Title: EXTERIOR ELEVATIONS
 5 of 6



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