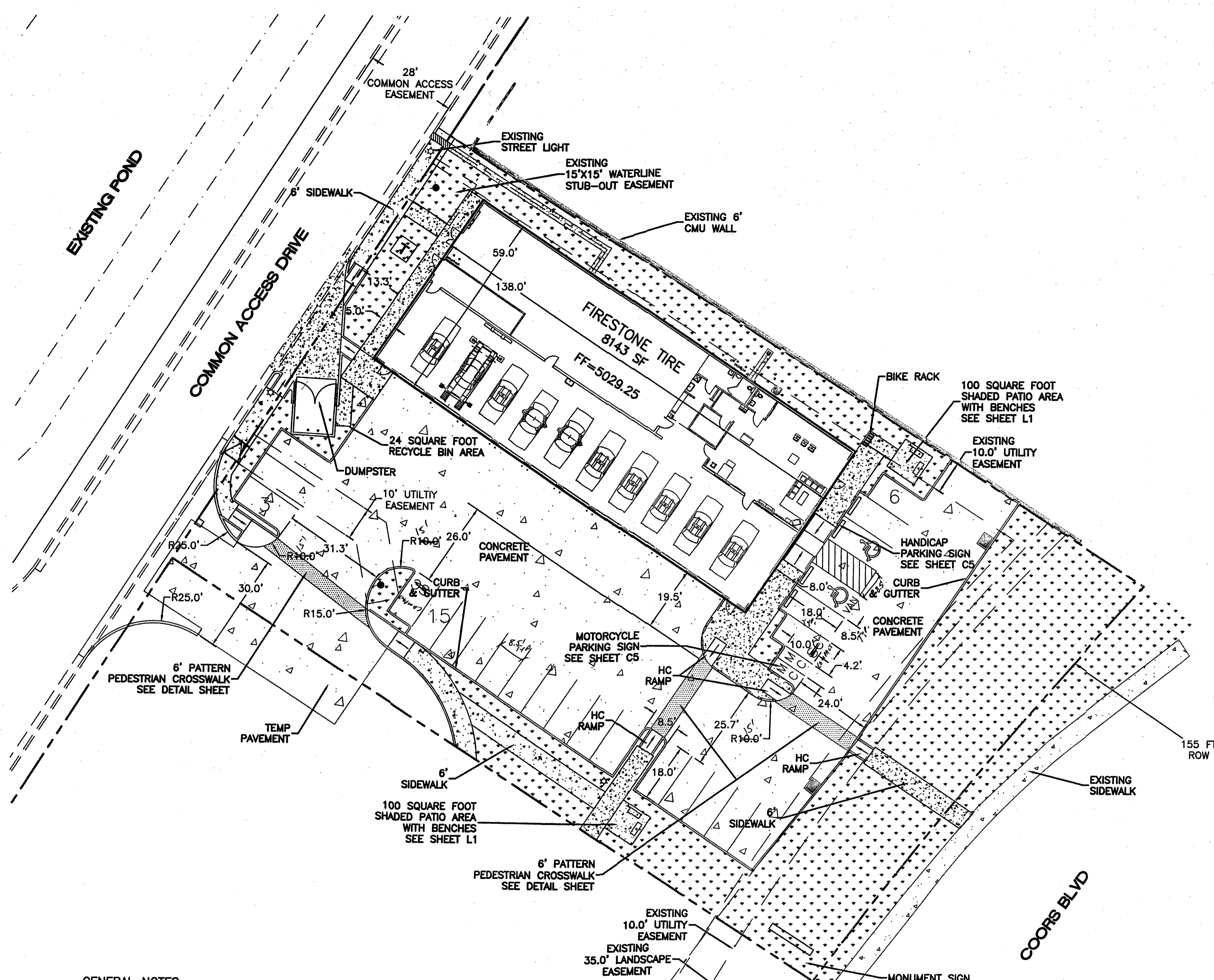
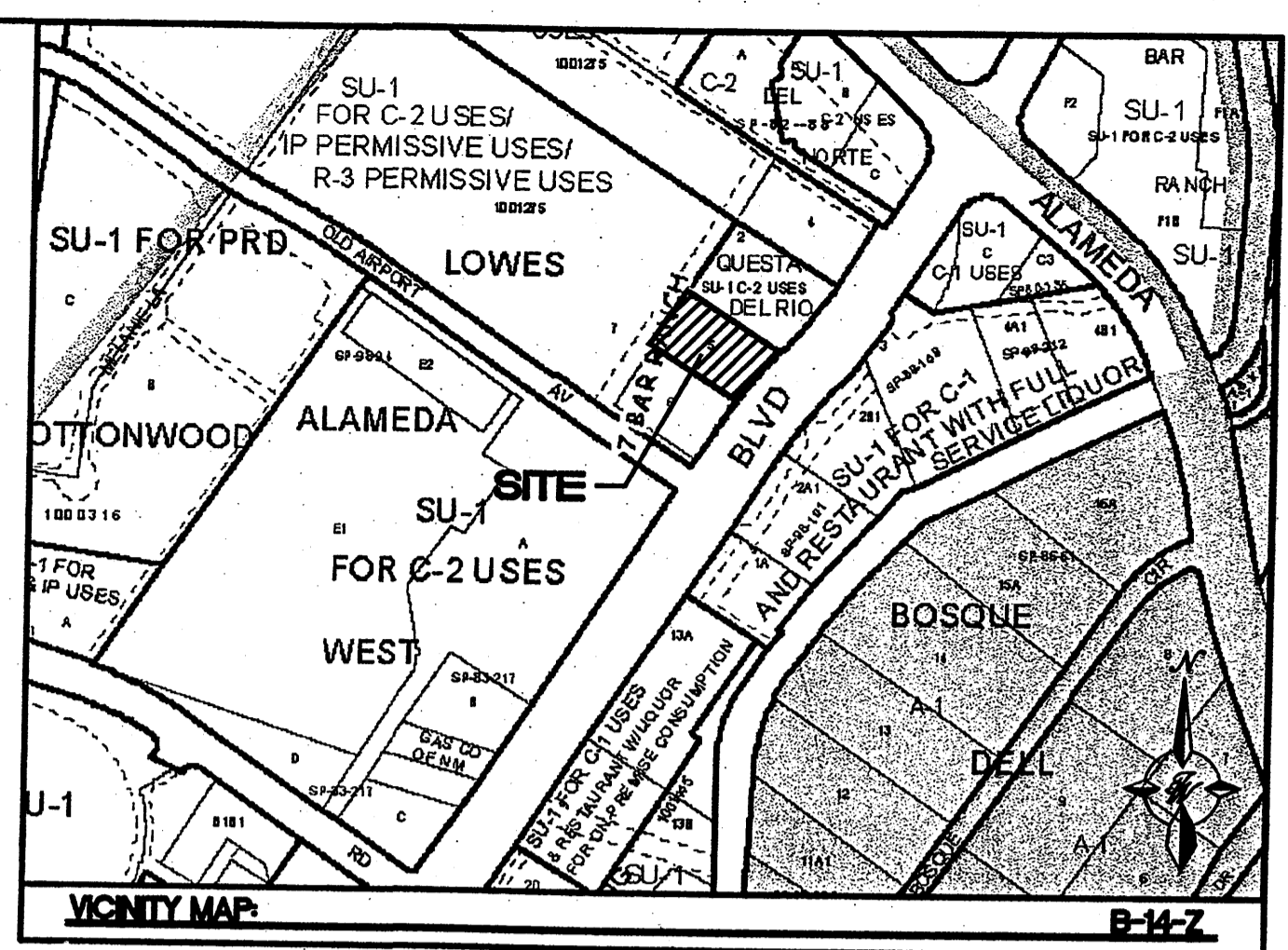


1001275



LEGEND

—	CURB & GUTTER
---	BOUNDARY LINE
- - -	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
▬	BUILDING
▬	SIDEWALK
▬	SCREEN WALL
▬	RETAINING WALL
☼	STREET LIGHTS
---	LANE
---	STRIPING
▬	LANDSCAPING
▬	EXISTING CURB & GUTTER
▬	EXISTING BOUNDARY LINE
▬	EXISTING SIDEWALK
▬	EXISTING LANE
▬	EXISTING STRIPING



VICINITY MAP
LEGAL DESCRIPTION
 LOT 5, LOWES SUBDIVISION

- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ALL LIGHTING SHALL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - WINDOW LOCATIONS AND MATERIAL SHALL COMPLY WITH COORS CORRIDOR PLAN POLICY 10, SECTION B, DESIGN GUIDELINE 3.
 - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE PROPERTY LINE OF THE SITE.
 - Recycling of tires will be handled by private vendor.

SITE DATA

PROPOSED USAGE:	FIRESTONE
LOT AREA:	37500 SF (0.86) ACRE
BUILDING AREA:	
CUSTOMER SEATING:	1063 SF
SERVICE AREA:	4281 SF
INVENTORY:	2243 SF
USED INVENTORY:	247 SF
OTHER:	328 SF
TOTAL	8143 SF
PARKING REQUIRED:	30 SPACES (5900 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	2 SPACES (2243 SF/1 SPACE PER 2000 SF)
MINUS:	10 SPACES (SERVICE BAYS)
TOTAL PARKING REQUIRED:	22 SPACES
PARKING PROVIDED:	24 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES
	1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	3 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	4426 SF
LANDSCAPE AREA PROVIDED:	12083 SF

PROJECT NUMBER: 1001275
APPLICATION NUMBER: 08DRB-70171

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

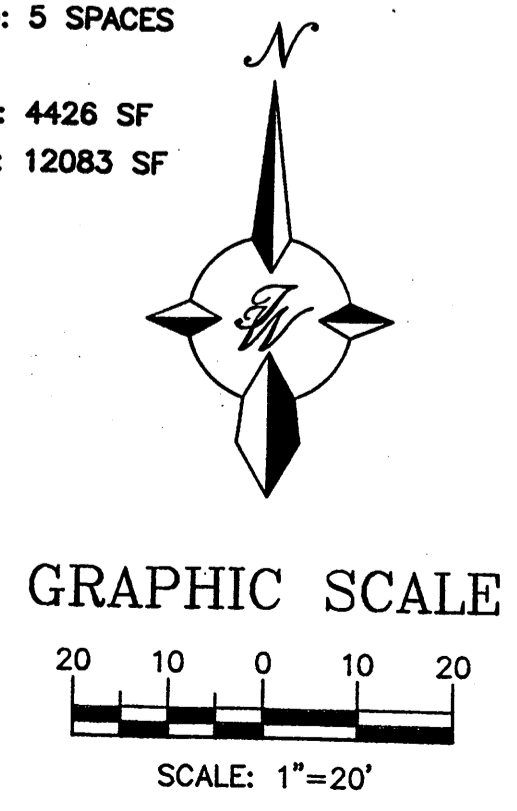
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6/7/08
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	5-7-08
Water Utility Development & BCWUA	Date
<i>[Signature]</i>	5/7/08
Parks & Recreation Department	Date
<i>[Signature]</i>	6/27/08
City Engineer	Date
N/A	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	6/26/08
Solid Waste Management	Date
<i>[Signature]</i>	8-15-08
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. APPROVED SITE PLAN FOR SUBDIVISION
 - C3. GRADING PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAIL SHEET
 - A4. BUILDING ELEVATIONS
 - L1. LANDSCAPING PLAN



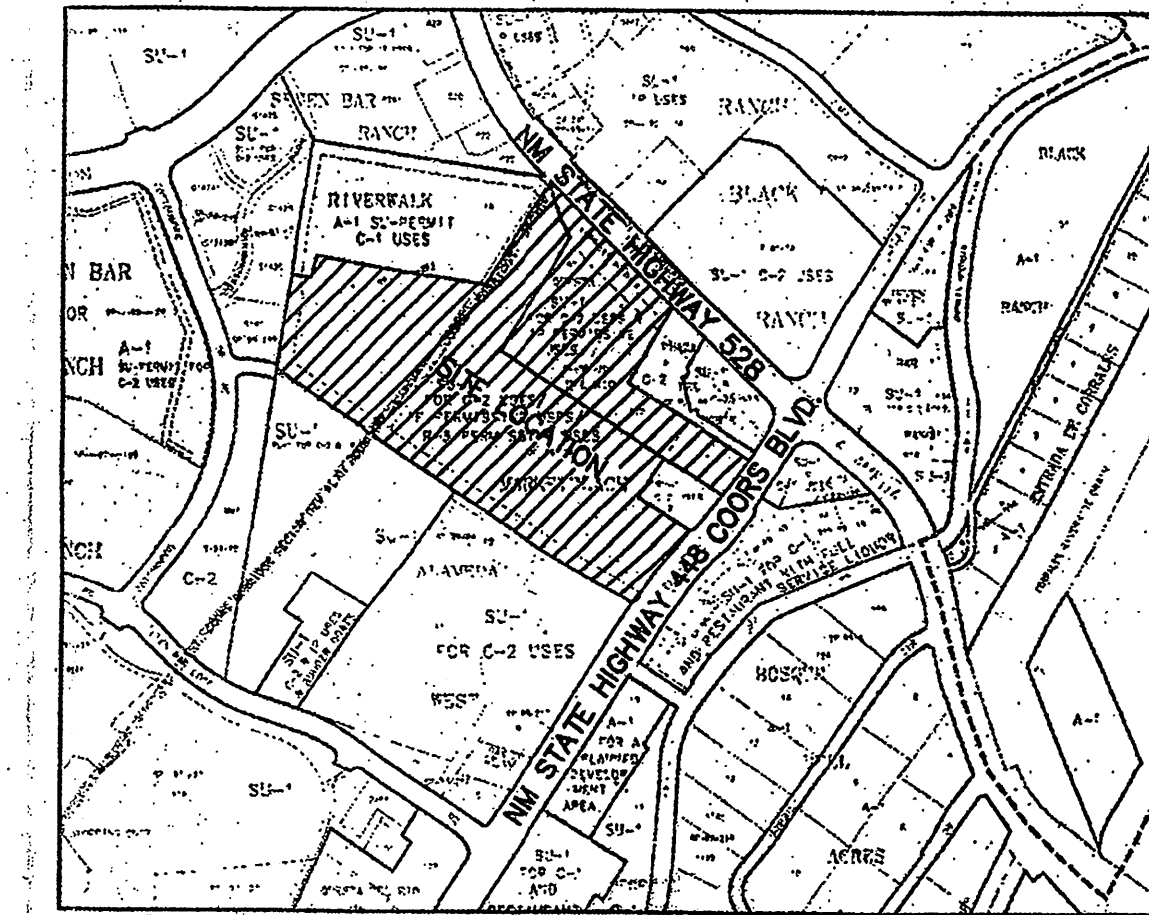
ENGINEER'S SEAL	FIRESTONE	DRAWN BY
	COORS AND OLD AIRPORT ROAD	BJF
	SITE PLAN FOR BUILDING PERMIT	DATE
		04/22/08
		2770-SPB
		SHEET #
		C1
		JOB #
		27070

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505)858-3100

LOWE'S OF NW ALBUQUERQUE ALBUQUERQUE, NEW MEXICO DRB SUBMITTAL

INDEX

SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	SITE PLAN FOR SUBDIVISION
C3	SITE PLAN FOR BUILDING PERMIT
C4	GRADING AND DRAINAGE PLAN
C5	GRADING AND DRAINAGE PLAN
C6	GRADING AND DRAINAGE PLAN DETAILS
C7	SITE UTILITIES PLAN
C8	SITE PLAN DETAILS
C9	SITE PLAN DETAILS
L1	LANDSCAPING PLAN
A1	EXTERIOR ELEVATIONS



VICINITY MAP
ZONE ATLAS MAP NO. A-14-Z & B-14-Z

LOWE'S
HOME CENTERS, INC.
P.O. BOX 1111 ALBUQUERQUE, NM 87102

REVISIONS

DATE	DESCRIPTION

DATE	DESCRIPTION

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT © ALL RIGHTS RESERVED.

OBA-A-10/12/03

EPC APP NO. 01128-00742
PROJECT NO. 1001275
DRB APP. NO. 01450-00000-001426

APPROVAL SIGNATURES	
<i>Natal Dent</i> TRAFFIC ENGINEER	5-02-02 DATE
<i>Bradley Bigman (SPS ONLY)</i> CITY ENGINEER	11/7/01 DATE
<i>Roger A. Green</i> PUBLIC WORKS UTILITY DIVISION	11/7/01 DATE
<i>William E. Andolina</i> PARKS AND RECREATION	11/7/01 DATE
<i>John [Signature]</i> CITY PLANNER, PLANNING DIVISION	5/7/02 DATE
<i>[Signature]</i> REFUSE DIVISION	8-16-01 DATE
<i>[Signature]</i> FIRE MARSHALL	8/15/01 DATE

LOWE'S
ENGINEERING AND
CONSTRUCTION
HWY 288 EAST, EAST DOCK N. WILKESBORO, NC 28659
336.658.4000 (V)

COVER SHEET FOR
SITE PLAN FOR
LOWE'S OF
NW ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT NO. X0218022 DRAWN BY: VKL CHECKED BY: BMS

DRAWN VKL	WILSON & COMPANY 2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 888-8021	DATE AUGUST 2001	ORIGINAL ISSUE DATE: XX/XX/XX
DESIGN BMS		FILE NO. X0218022	PERMIT SET ISSUE DATE: XX/XX/XX
CHECKED BY LBS		SHEET NO. C1	CONSTRUCTION SET ISSUE DATE: XX/XX/XX
			DRAWING NUMBER: C1

DESIGN GUIDELINES

A. GENERAL

- BUILDING DESIGN SHALL BE ARCHITECTURALLY INTEGRATED WITH THE SITE AND CONTIGUAL TO BUILDINGS WITHIN THE VICINITY. NO STANDARD, GENERIC, FRANCHISE BUILDING ELEVATIONS OR CANOPIES ARE PERMITTED. DESIGN SHALL BE INNOVATIVE AND WITH SOUTHWESTERN ARCHITECTURE FOR THE WEST SIDE.
- ALL CANOPIES AND ANCILLARY STRUCTURES SHALL BE ARCHITECTURALLY INTEGRATED WITH MAIN BUILDINGS. SPECIAL CONSIDERATION SHALL BE GIVEN TO ROOF STRUCTURES, INCLUDING MATERIALS.
- IN ORDER TO ENSURE INTEGRATED DESIGN WITHIN THIS SITE, THE FIRST SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE EPC APPROVAL.
- ADAPTABLE PEDESTRIAN CONNECTIONS WITHIN THE SITE SHALL BE PROVIDED TO MINIMIZE VEHICULAR/PEDESTRIAN CONFLICTS AND ENSURE CLEAR AND EFFICIENT PEDESTRIAN PATHWAYS. SPECIAL PAVING TREATMENT (8-FOOT WIDE AT MINIMUM) SHALL BE PROVIDED WHERE PERIMETER SIDEWALKS CROSS VEHICULAR ENTRANCES AND AT LOCATIONS WITHIN THE SITE WHERE PEDESTRIAN PATHWAYS CROSS MAJOR DRIVE AISLES. THESE PROVISIONS CAN BE ASSURED THROUGH NOTATIONS THAT DESCRIBE THE INTERNAL PEDESTRIAN/BICYCLE CIRCULATION SYSTEM.
- CONVENIENT PEDESTRIAN CONNECTIONS BETWEEN ADJACENT BUILDINGS AND FROM EACH BUILDING TO THE INTERNAL ROAD SYSTEM AND TO THE ADJACENT STREET ARE REQUIRED.
- PARKING AREAS SHALL BE LOCATED TO THE REAR OF THE SITE TO THE EXTENT POSSIBLE. ADA PARKING SHALL BE LOCATED ADJACENT TO THE BUILDINGS.
- TO THE EXTENT POSSIBLE, BUILDINGS SHALL BE ARRANGED IN PLAZA-LIKE CONFIGURATIONS OR OTHERWISE CLUSTERED TO AVOID STRIP-TYPE DEVELOPMENT AND SOLITARY PAD-TYPE DEVELOPMENT. LARGE PARKING AREAS SHALL NOT DOMINATE STREET FRONTS. RATHER, PARKING SHALL BE LOCATED TO THE REAR AND SIDES OF BUILDINGS. ALL RESTAURANTS SHALL HAVE OUTDOOR PATIO SEATING. RESTAURANTS OVER 2000 SQUARE FEET SHALL BE STRONGLY ENCOURAGED TO HAVE OUTDOOR DINING.
- BUILDING MOUNTED SIGNAGE SHALL BE LIMITED TO CHANNELIZED LETTERS AND/OR SIGNS WITH INTERNAL ILLUMINATION.
- BUILDING MOUNTED SIGNAGE SHALL NOT BE PERMITTED ON ANY ELEVATIONS PARALLEL TO THE PUBLIC RIGHT-OF-WAY AND FACING R-1 ZONING.
- OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
- COMMERCIAL AND OFFICES USES SHALL BE LOCATED ADJACENT TO THE INTERNAL MAIN STREET AND INTERNAL STREETS WITH MINIMAL PARKING BETWEEN THE ENTRY FACADE AND THE STREET.

B. PARKING

- THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING PLUS 10%.
- PARKING WHICH SATISFIES ADA REQUIREMENTS SHALL BE LOCATED ADJACENT TO THE BUILDING ENTRANCES.
- CROSS-ACCESS PROVISIONS BETWEEN ADJOINING PARCELS ARE REQUIRED.

C. PEDESTRIAN AMENITIES

- REQUIRED OUTDOOR PATIO AREAS SHALL HAVE SHADE TREES SPACED AT INTERVALS OF 20 FEET ON CENTER TO PROVIDE SHADE FOR OUTDOOR DINING. TREES SHALL BE PLANTED IN PLANTERS THAT ARE A MINIMUM OF 5 FEET BY 5 FEET.
- PARKING FIELDS OF 150 CARS OR MORE SHALL HAVE A TREE-LINED PEDESTRIAN WAY CONNECTION TO THE MAIN INTERNAL PEDESTRIAN PATHWAY TO THE CENTER AND SHALL CONNECT TO ADJACENT STREETS AND SIDEWALKS.
- PEDESTRIAN PATH AND SIDEWALKS SHALL BE A MINIMUM OF 6 FOOT WIDE AND SHALL BE OF ALTERNATIVE TEXTURED MATERIAL, SLIGHTLY RAISED, WHERE THEY CROSS VEHICLE CIRCULATION AREAS. THE PEDESTRIAN WALK AT THE ENTRY ELEVATION SHALL BE A MINIMUM OF 20 FEET IN THE MAJOR AND JUNIOR ANCHORS AND 15 FEET IN THE SMALLER BUILDINGS WITH TREES AT 25 FEET ON CENTER OR PORTALS OR CANOPIES ETC., FOR THE ENTIRE LENGTH OF THE FACADE.
- ALL BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE STREET AND OTHER BUILDINGS WITHIN THE PROJECT SITE WITH PEDESTRIAN WALKWAYS.
- COMMERCIAL BUILDINGS SHALL TYPICALLY BE LINKED WITH PLAZAS AND PEDESTRIAN WAYS.

D. ARCHITECTURE

- THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND BELOW FROM THE PROPERTY LINE OF THIS SITE. ALTERNATIVELY ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF SCREEN WALL.
- NO STANDARD, GENERIC FRANCHISE BUILDING ELEVATIONS ARE PERMITTED. BUILDING DESIGN SHALL BE ARCHITECTURALLY INTEGRATED WITH THE SITE AND CONTIGUAL TO BUILDINGS WITHIN THE VICINITY.
- NO PLASTIC OR VINYL BUILDING PANELS, AWNINGS OR CANOPIES ARE PERMITTED. AWNINGS AND CANOPIES SHALL BE INTEGRATED WITH BUILDING ARCHITECTURE.
- NO CHAIN LINK, RAZOR WIRE OR PLASTIC/VINYL FENCING IS PERMITTED.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANTENNA SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- ATMs SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN. LOADING DOCKS, SCREEN WALLS AND COVERS THAT ARE ARCHITECTURALLY INTEGRATED WITH THE BUILDING.
- THE DUMPSTER SHALL BE ADEQUATELY SCREENED WITH MATERIALS COMPATIBLE WITH THE BUILDING; CHAIN LINK GATES ARE NOT ALLOWED.
- THE REQUIRED OUT DOOR PATIO AREA SHALL HAVE SHADE TREES SPACED AT INTERVALS OF 20 FEET ON CENTER TO PROVIDE SHADE FOR OUTDOOR DINING. TREES SHALL BE PLANTED IN PLANTERS THAT ARE A MINIMUM OF 5 FEET BY 5 FEET.
- ALL FREESTANDING SIGNAGE SHALL BE MONUMENT TYPE SIGNS THAT ARE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN.
- BUILDING SIGNAGE SHALL BE A MAXIMUM OF 6% OF THE FACADE AREA.
- LOADING DOCKS SHALL HAVE ARCHITECTURALLY INTEGRATED COVERS.
- GAS FUELING CANOPIES SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN. ALL UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. CANOPY FASCIA SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN; NO ILLUMINATED FASCIA BANDS AREA ALLOWED.

E. SIGNAGE

- THE SIGNAGE SHALL BE LIMITED TO ONE FREESTANDING MONUMENT SIGN, NOT HIGHER THAN 28 FEET, WITH A MAXIMUM SQUARE FOOTAGE OF 100 SQUARE FEET EACH. THE SIGNS SHALL BE COMPATIBLE WITH THE BUILDING IN TERMS OF MATERIALS AND COLORS. THE SIZE OF THE BUILDING MOUNTED SIGNAGE SHALL NOT BE INCREASED FROM WHAT IS DEPICTED ON THE PLAN.
- BUILDING MOUNTED SIGNAGE SHALL BE INDIVIDUAL BACKLIT CHANNEL OR NEON LETTERS WITH A MAXIMUM LETTER HEIGHT OF 7 FEET FOR MAIN CORPORATE LOGO SIGN, AND 3 FEET FOR ALL OTHERS.

F. LANDSCAPE

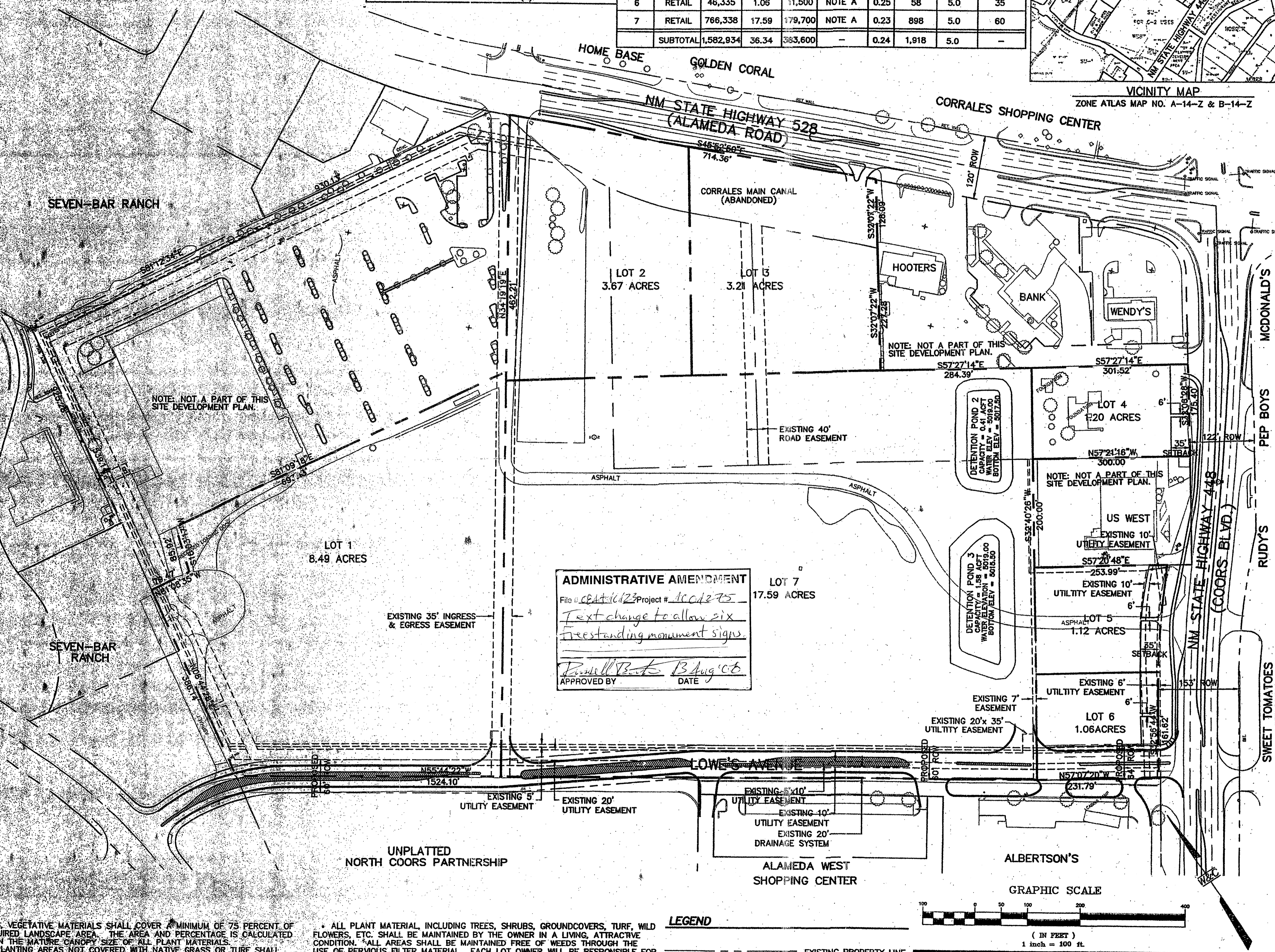
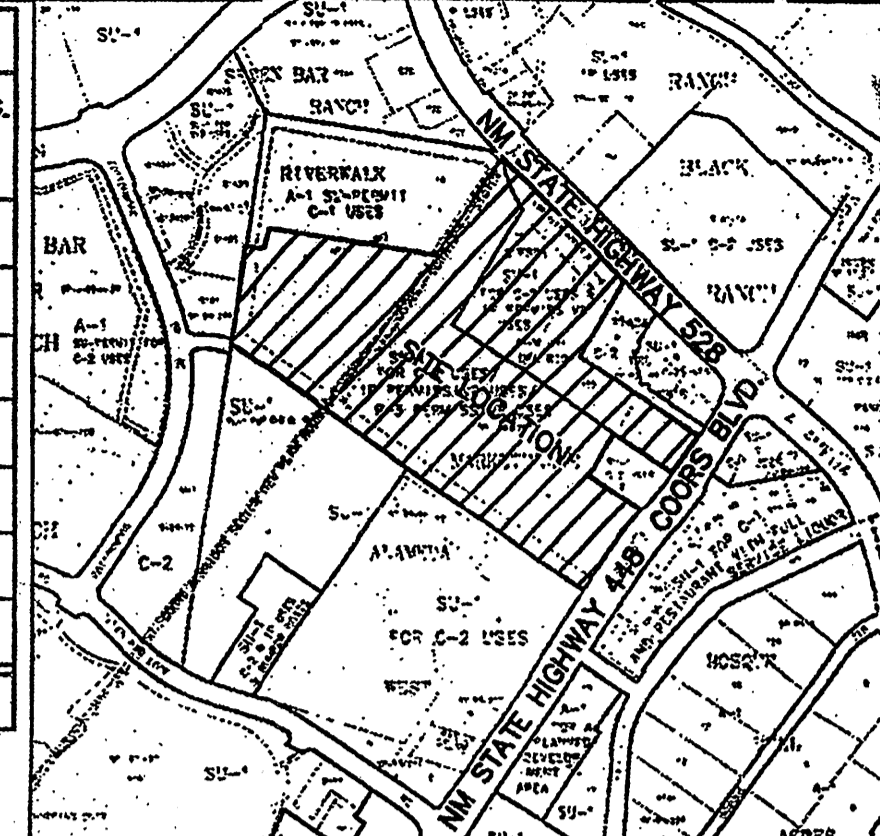
- THE DEVELOPMENT OF AN OVERALL LANDSCAPE CONCEPT WILL ESTABLISH A FRAMEWORK THAT UNIFIES THE ENTIRE PROPERTY TO ACHIEVE COHESIVE DEVELOPMENT. ALL AREAS OF DESIGN NEED TO BE COORDINATED AND RESPONSIVE TO THE EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE, THE POLLEN ORDINANCE, AND OTHER LANDSCAPE REGULATIONS INCLUDE IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE AND THE COORS CORRIDOR PLAN.
- LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE REQUIRED LANDSCAPE AREA. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIALS.
- ALL PLANTING AREAS NOT COVERED WITH NATIVE GRASS OR TURF SHALL RECEIVE A GROUND TOPPING OF SANTA FE BROWN ROCK MULCH OR 2"-4" SANTA ANA/TAN GOBBLES OR SIMILAR.
- TO SHADE AND MITIGATE THE NEGATIVE VISUAL IMPACT OF LARGE EXPANSES OF PAVEMENT, OFF-STREET PARKING AREAS SHALL HAVE ONE TREE PER 10 PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.
- A MINIMUM OF SEVENTY-FIVE PERCENT OF THE REQUIRED PARKING LOT TREES SHALL BE DECIDUOUS AND SHALL HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 25 FEET.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED TO SUPPORT ALL LANDSCAPING. THE SYSTEM SHALL BE DESIGNED TO AVOID OVER-SPRAY ON TO WALKS, BUILDINGS, FENCES, ETC. IRRIGATION COMPONENTS SHALL BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.
- ALL PLANT MATERIAL INCLUDING TREES, SHRUBS, GROUNDCOVERS, TURF, WILD FLOWERS, ETC. SHALL BE MAINTAINED BY THE OWNER IN A LIVING, ATTRACTIVE CONDITION. ALL AREAS SHALL BE MAINTAINED FREE OF WEEDS THROUGH THE USE OF PERVIOUS FILTER MATERIAL. EACH LOT OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ON THEIR PROPERTY AND WITHIN THE ADJACENT RIGHT-OF-WAY.
- MINIMUM PLANT SIZES AT THE TIME OF INSTALLATION SHALL BE AS FOLLOWS: STREET AND PARKING LOT TREES - 2 INCH CALIPER, 10 TO 12 FOOT MINIMUM HEIGHT SHRUBS, ORNAMENTAL GRASS, AND GROUNDCOVERS - 1 GALLON MINIMUM TURF GRASSES - PROVIDE COMPLETE COVERAGE WITHIN ONE GROWING SEASON AFTER INSTALLATION.

NOTE A: BUILDING HEIGHTS TO VARY BETWEEN PARCELS, BUT SHALL BE REGULATED BY ALBUQUERQUE ZONING CODE REQUIREMENT FOR SPECIFIC APPLICABLE ZONING CODES SECTIONS 14-16-2, -19.(C).(1) AND SECTION 14-16-2-15.(C).(1).

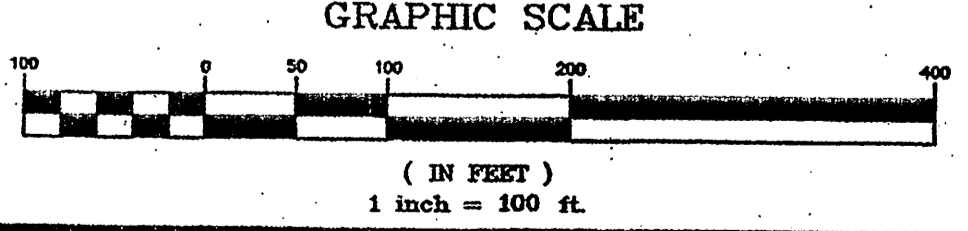
NOTE B: PARKING RATIO STATED REFERENCES NUMBER OF SPACES/1000 OF NET LEASABLE AREA. DEVELOPMENT TO ESTABLISH RECIPROCAL CROSS-ACCESS AND CROSS-PARKING AGREEMENTS THROUGHOUT ALL PARCELS. PARKING SHALL COMPLY WITH ALBUQUERQUE ZONING CODE REGULATIONS 14-16-3-1.

NOTE C: NO SIDE YARD SETBACKS BETWEEN PARCELS. APPLY PER ALBUQUERQUE ZONING CODE REQUIREMENT SECTION 14-16-2-15.(E). ALBUQUERQUE ZONING CODE REQUIREMENT SECTION 14-16-2-15.(E).

SITE STATISTICS									
LOT NUMBER	PROPOSED TENANT	LOT SQ FT	ACREAGE	BLDG. SQ FT	MAX. BLDG. HEIGHT	F.A.R.	PARKING SPACES	PARKING RATIO	MIN. BLDG. SETBACK (FT)
1	RETAIL	869,621	8.49	92,400	NOTE A	0.25	462	5.0	60
2	GAS/RETAIL	159,875	3.67	40,000	NOTE A	0.25	200	5.0	-
3	RETAIL	139,626	3.21	35,000	NOTE A	0.25	175	5.0	-
4	RETAIL	52,388	1.20	13,000	NOTE A	0.25	65	5.0	35
5	RETAIL	48,751	1.12	12,000	NOTE A	0.25	60	5.0	35
6	RETAIL	46,335	1.06	11,500	NOTE A	0.25	58	5.0	35
7	RETAIL	766,338	17.59	179,700	NOTE A	0.23	898	5.0	60
SUBTOTAL		1,582,934	36.34	353,600	-	0.24	1,918	5.0	-



ADMINISTRATIVE AMENDMENT
 File # CBT-1023 Project # 1001275
 Text change to allow six
 freestanding monument signs
 Russell B. B. Aug 06
 APPROVED BY DATE



LEGEND

---	EXISTING PROPERTY LINE
- - - -	LOWE'S PROPERTY LINE AND SUBDIVISION LINE
- . - . - .	EXISTING EASEMENT LINE
---	PROPOSED RIGHT OF WAY

WILSON & COMPANY
 2600 THE AMERICAN ROAD SE, SUITE 100
 RIO RANCHO, NEW MEXICO 87124
 (505) 898-8021

DATE	AUGUST 2001
FILE NO.	X0218022
SHEET NO.	C2

LOWE'S HOME CENTERS, INC.
 P.O. BOX 1111, N. WILKESBORO, NC 28699

REVISIONS

DATE	DESCRIPTION

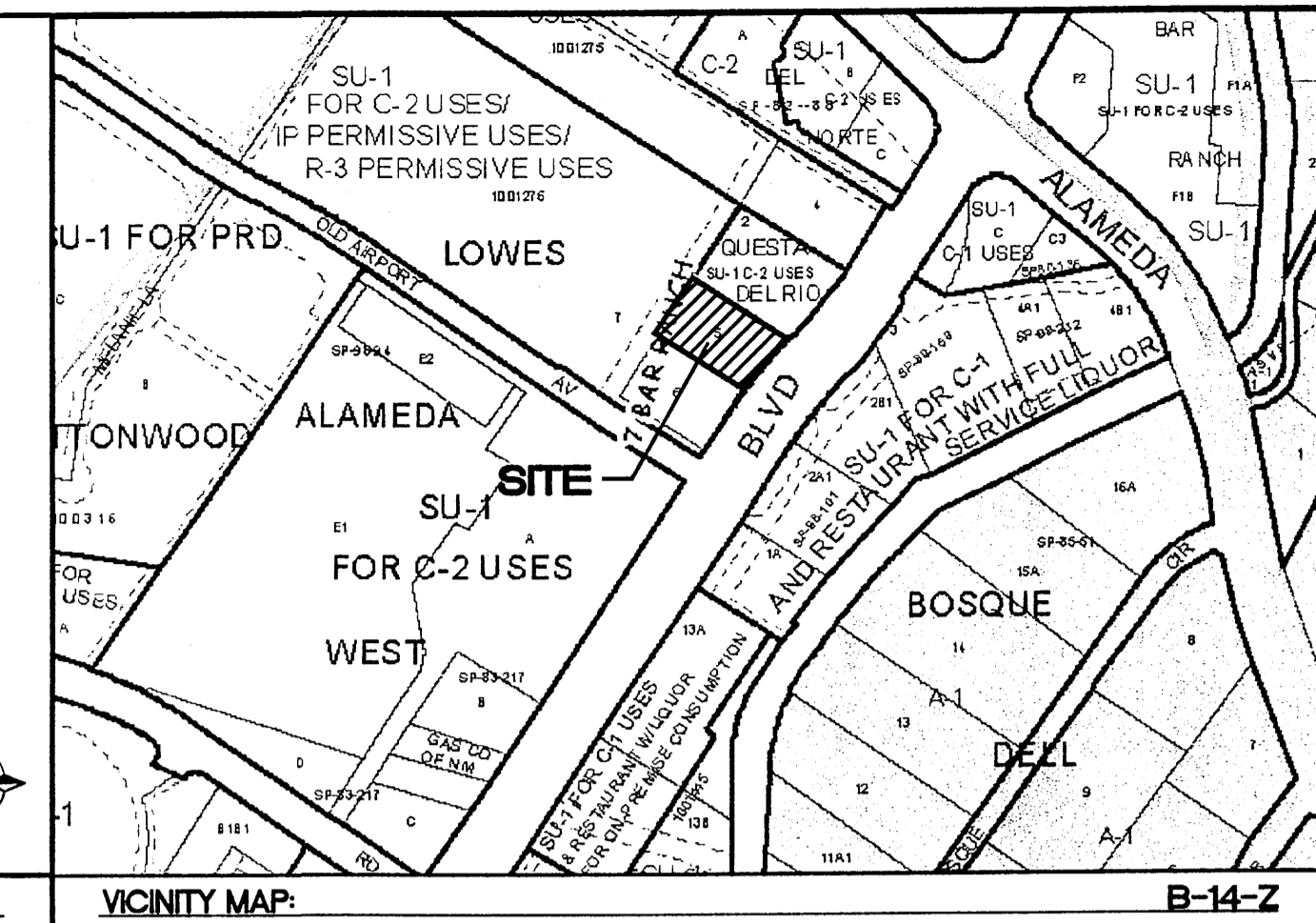
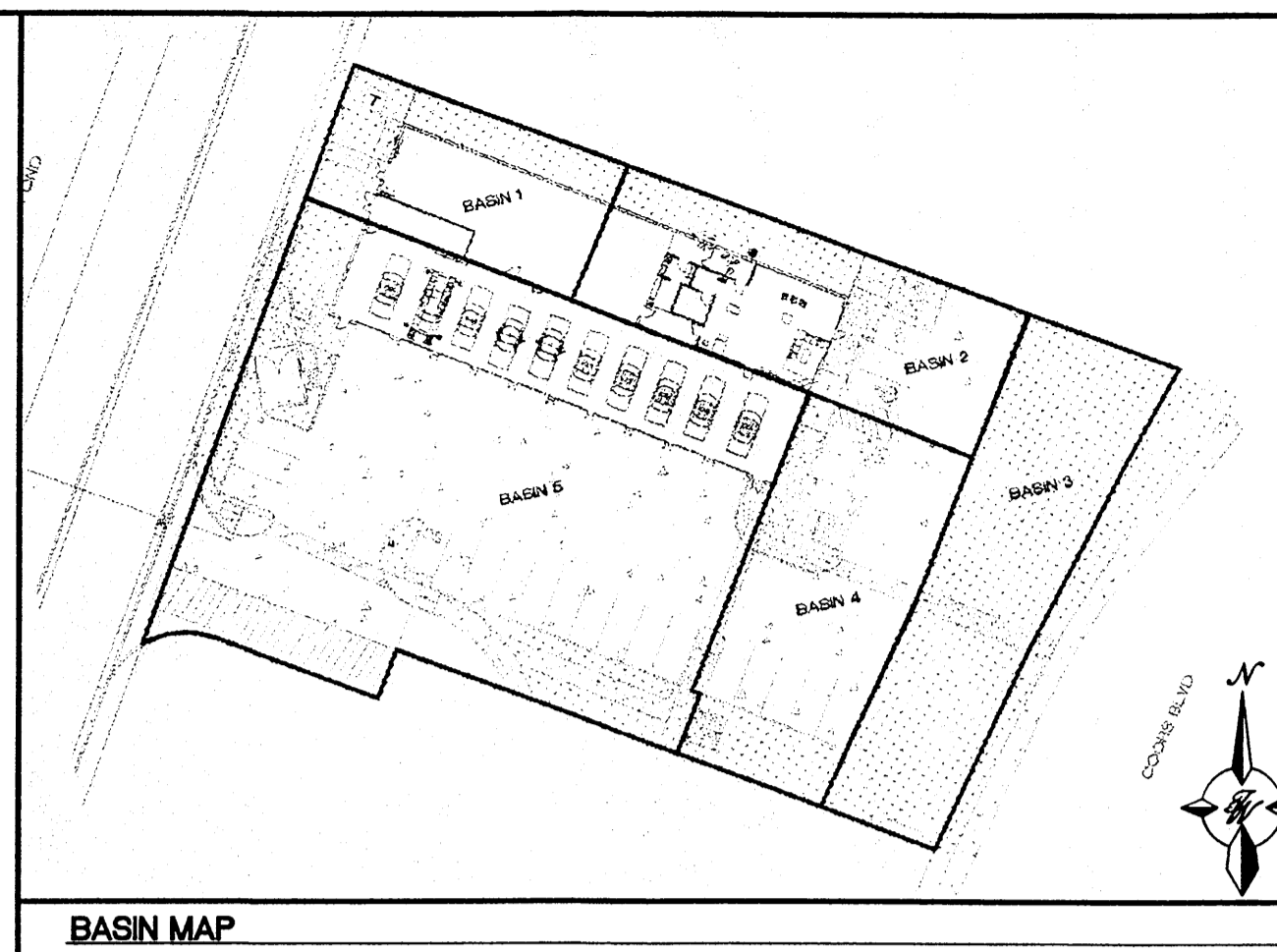
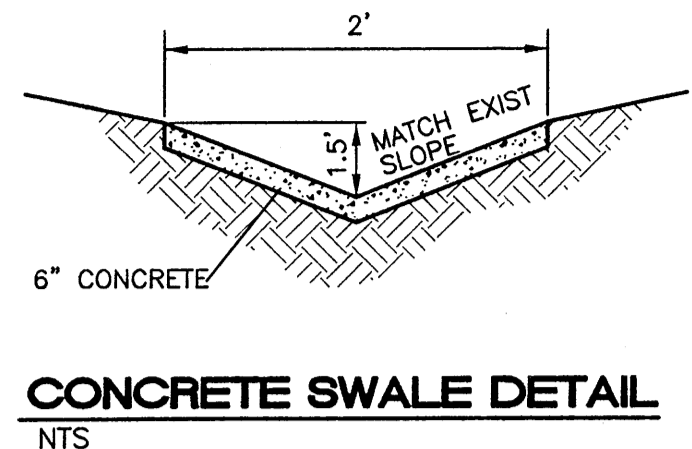
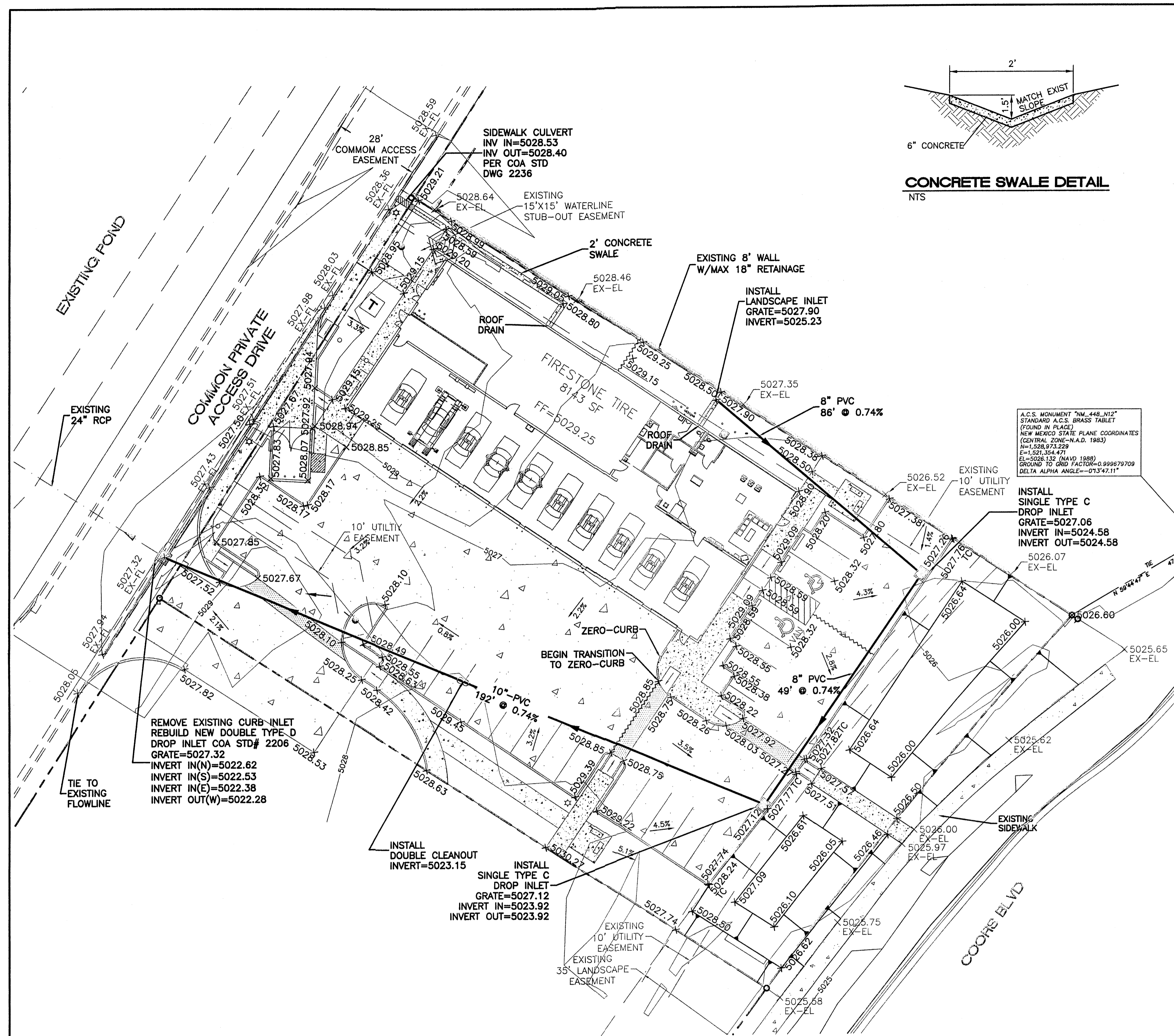
LOWE'S ENGINEERING AND CONSTRUCTION
 1HWY 288 EAST, EAST DOCK N. WILKESBORO, NC 28699
 336.658.4000 (V)

SITE PLAN FOR SUBDIVISION
LOWE'S OF NW ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO

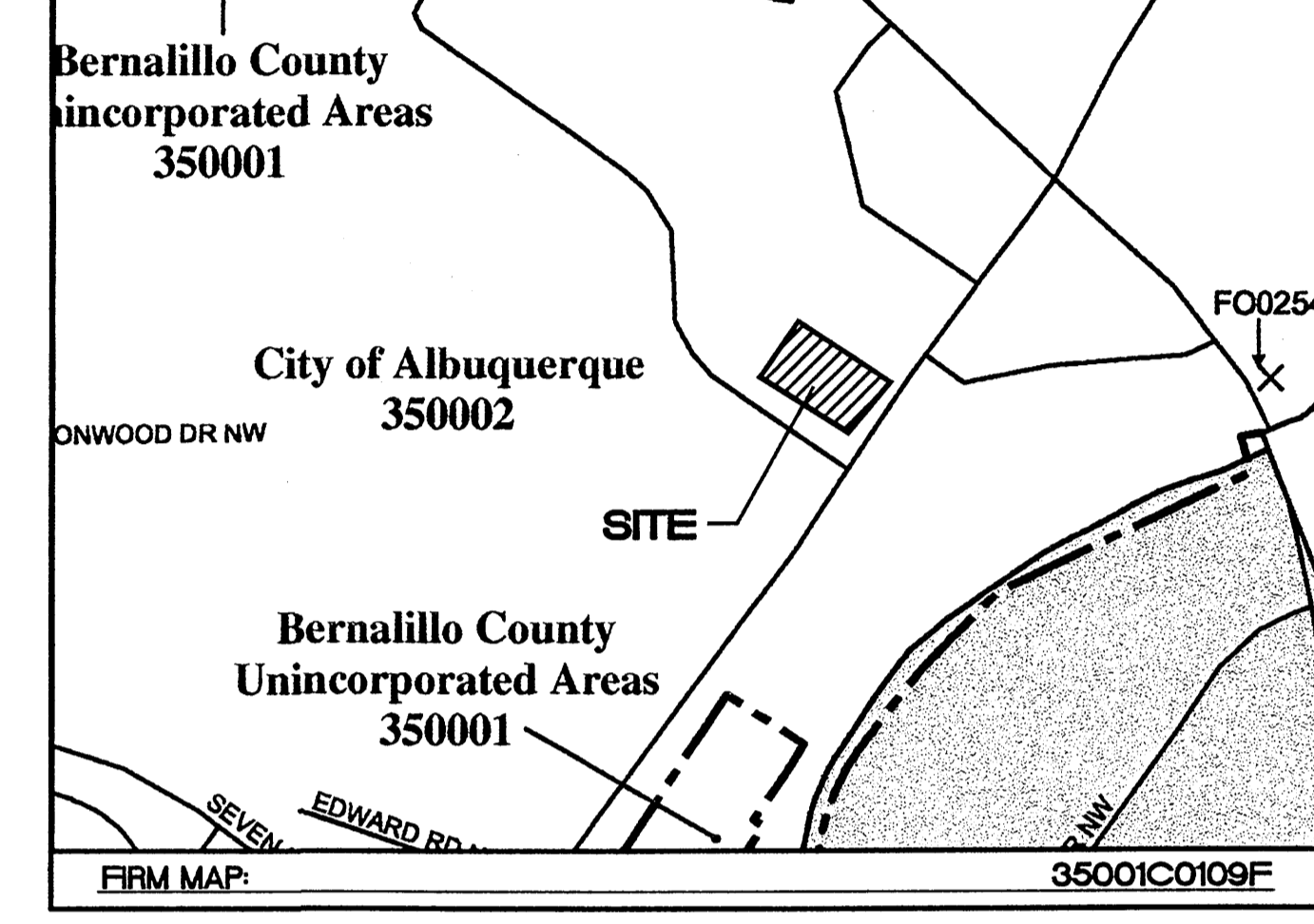
PROJECT NO. X0218022 DRAWN BY: MDCB CHECKED BY: BMS

ORIGINAL ISSUE DATE: X000000X
 PERMIT SET ISSUE DATE: X000000X
 CONSTRUCTION SET ISSUE DATE: X000000X
 DRAWING NUMBER: C2

T:\PROJECTS\W01818022\1\1 SHEETS\DRG\022.dwg, DWG, 08-16-01 WJG



- LEGEND**
- CURB & GUTTER
 - - - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - EXISTING CONTOUR MAJOR
 - - - EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION
 - WATER BLOCK

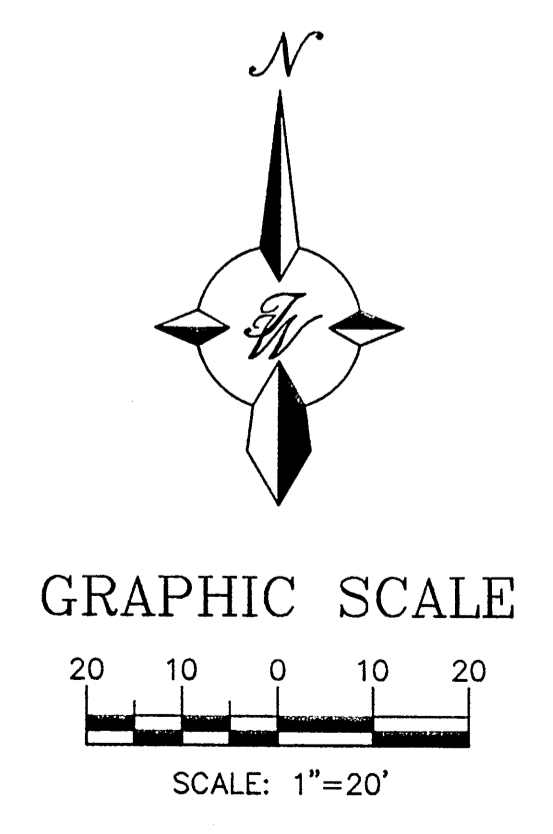
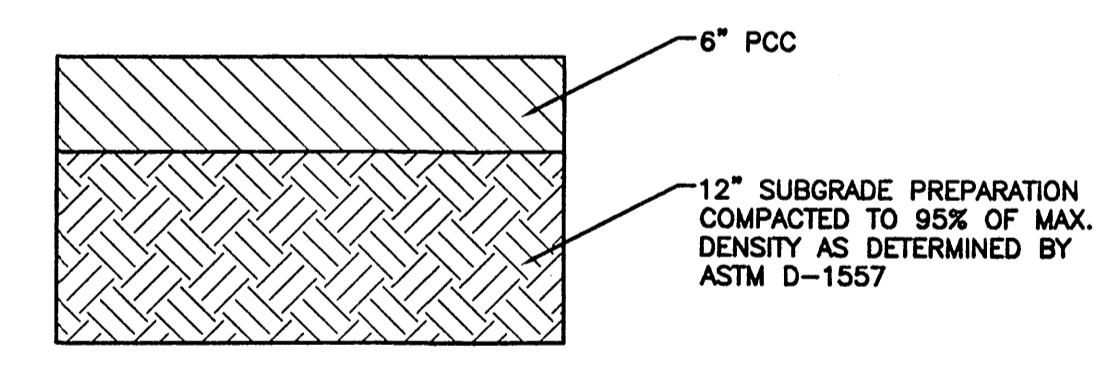


LEGAL DESCRIPTION:
LOT 5, LOWES SUBDIVISION

CAUTION:
ALL SPOT ELEVATIONS SHOWN ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE SPECIFIED.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year		10-Year	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	3,440	0.08	0%	0	10%	0.01	0%	0.00	90%	0.07	1.840	0.012	0.33	1.138	0.007	0.21						
2	5,637	0.13	0%	0	10%	0.01	0%	0.00	90%	0.11	1.840	0.019	0.53	1.138	0.012	0.34						
3	5,794	0.13	100%	0.133012	0%	0.00	0%	0.00	0%	0.00	0.440	0.005	0.17	0.060	0.001	0.03						
4	5,240	0.12	0%	0	10%	0.01	0%	0.00	90%	0.11	1.840	0.019	0.50	1.138	0.011	0.32						
5	17,572	0.40	0%	0	15%	0.06	0%	0.00	85%	0.34	1.775	0.060	1.62	1.087	0.037	1.04						
											Total	0.115	3.14	Total	0.068	1.94						

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Zone	Excess Precipitation, E (inches)	
	100-Year	10-Year
Ea	0.44	0.08
Eb	0.67	0.22
Ec	0.99	0.44
Ed	1.97	1.24

Zone	Peak Discharge (cfs/acre)	
	100-Year	10-Year
Qa	1.29	0.24
Qb	2.03	0.76
Qc	2.87	1.49
Qd	4.37	2.89

EXISTING DRAINAGE CONDITIONS:

THE SITE IS CURRENTLY UNDEVELOPED AND SHEET FLOWS TO THE PRIVATE ACCESS PARCEL LOCATED ON ITS WESTERN BOUNDARY. EXISTING CATCH BASINS LOCATED IN THE ACCESS ROAD CAPTURE AND DISCHARGE THE RUNOFF INTO THE EXISTING POND.

PROPOSED DRAINAGE CONDITIONS:

THE SITE IS DESIGNED TO DRAIN TO THE PRIVATE ACCESS ROAD LOCATED ON THE WESTERN BOUNDARY. RUNOFF WILL BE CAPTURED BY THE EXISTING CATCH BASIN AND BE DISCHARGED TO THE EXISTING POND. THE EXISTING DRAINAGE FACILITIES BUILT WITH LOWES WERE DESIGNED TO HANDLE THE PEAK DISCHARGE FROM LOT 5. THE REQUIRED 35' LANDSCAPE BUFFER WILL BE USED FOR WATER HARVESTING. THE WATER HARVESTING AREA IS REPRESENTED IN THE BASIN MAP AS BASIN 3.

ALLOWABLE PEAK DISCHARGE:

THE LOWE'S APPROVED DRAINAGE REPORT DATED JULY 2001 CALCULATED THE ALLOWABLE DISCHARGE FROM LOT 5 INTO THE DETENTION POND TO BE 4.54 CFS USING LAND TREATMENTS OF 15% B AND 85% D WITH AN AREA OF 1.13 ACRES. THE ACTUAL AREA OF LOT 5 IS 0.86 ACRES. THE ALLOWABLE DISCHARGE FROM LOT 5 TO THE DETENTION POND WAS ADJUSTED USING THE SAME LAND TREATMENTS FROM THE APPROVED DRAINAGE REPORT AND THE UPDATED AREA OF 0.86 ACRES. THE PEAK DISCHARGE IS ADJUSTED TO BE 3.47 CFS.

GENERAL NOTES:

- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- CONTRACTOR TO USE FULL BLOCKING AT ALL TEES, ELBOWS, PLUGS & CAPS. SEE DETAIL THIS SHEET.
- ALL PIPE MATERIAL TO BE USED PER NM UTILITY, INC; (SDR-35 TYPICAL)
- CONTRACTOR TO PROVIDE CONDUITS FOR QWEST, COMCAST AND PNM; CONTRACTOR SHALL COORDINATE WITH APPROPRIATE CONTACTS FOR EACH.

LEGEND

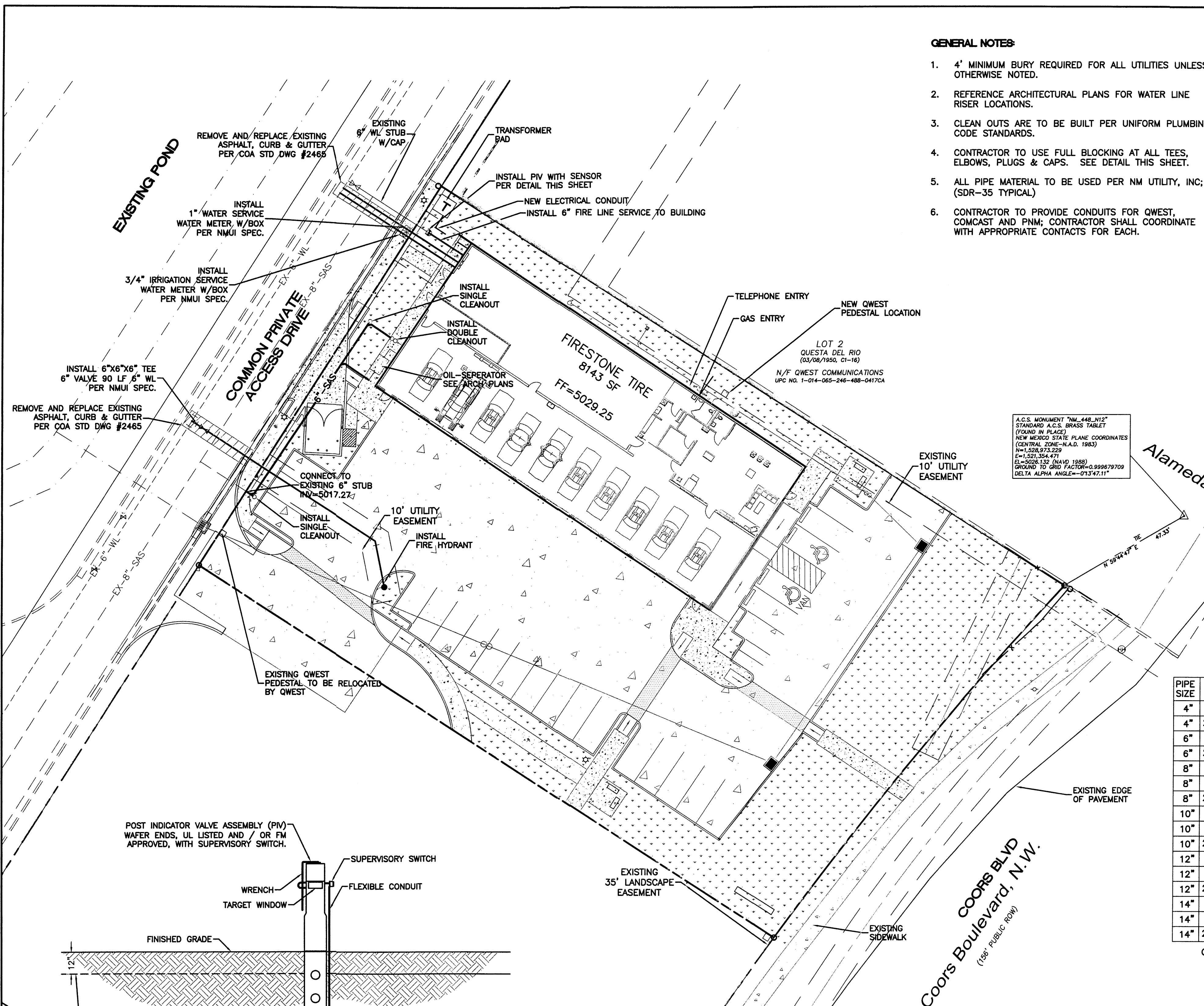
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ SCREEN WALL
- ▧ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING VALVE W/BOX
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS OF NEW MEXICO UTILITIES INCORPORATED AND WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1999), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE, PER NMUI AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- MAINTENANCE OF THOSE FACILITIES NOT WITHIN DEDICATED EASEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
- CONTRACTOR IS REQUIRED TO VERIFY INVERT AND LOCATIONS OF STORM DRAINS AND SANITARY SEWER AT SERVICE CROSSINGS AND CONNECTIONS AT START OF CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF DISCREPANCIES BETWEEN INVERT ELEVATIONS SHOWN ON THESE PLANS AND ACTUAL FIELD ELEVATIONS.

WATERLINE NOTES:

- WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC 3 DAY PRIOR TO SHUT-OFF (505-898-2661).
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED OPERATE VALVES.
- ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.

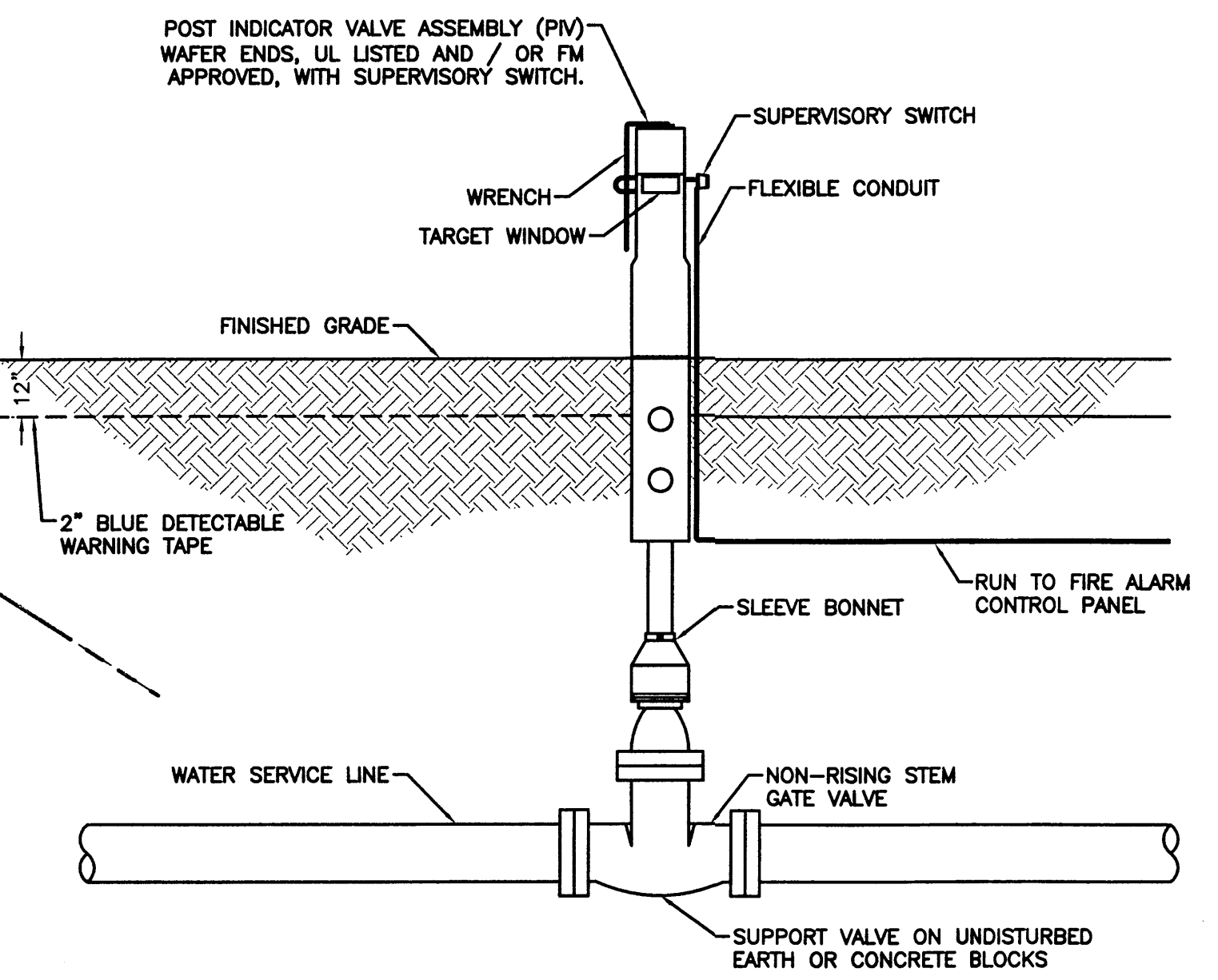
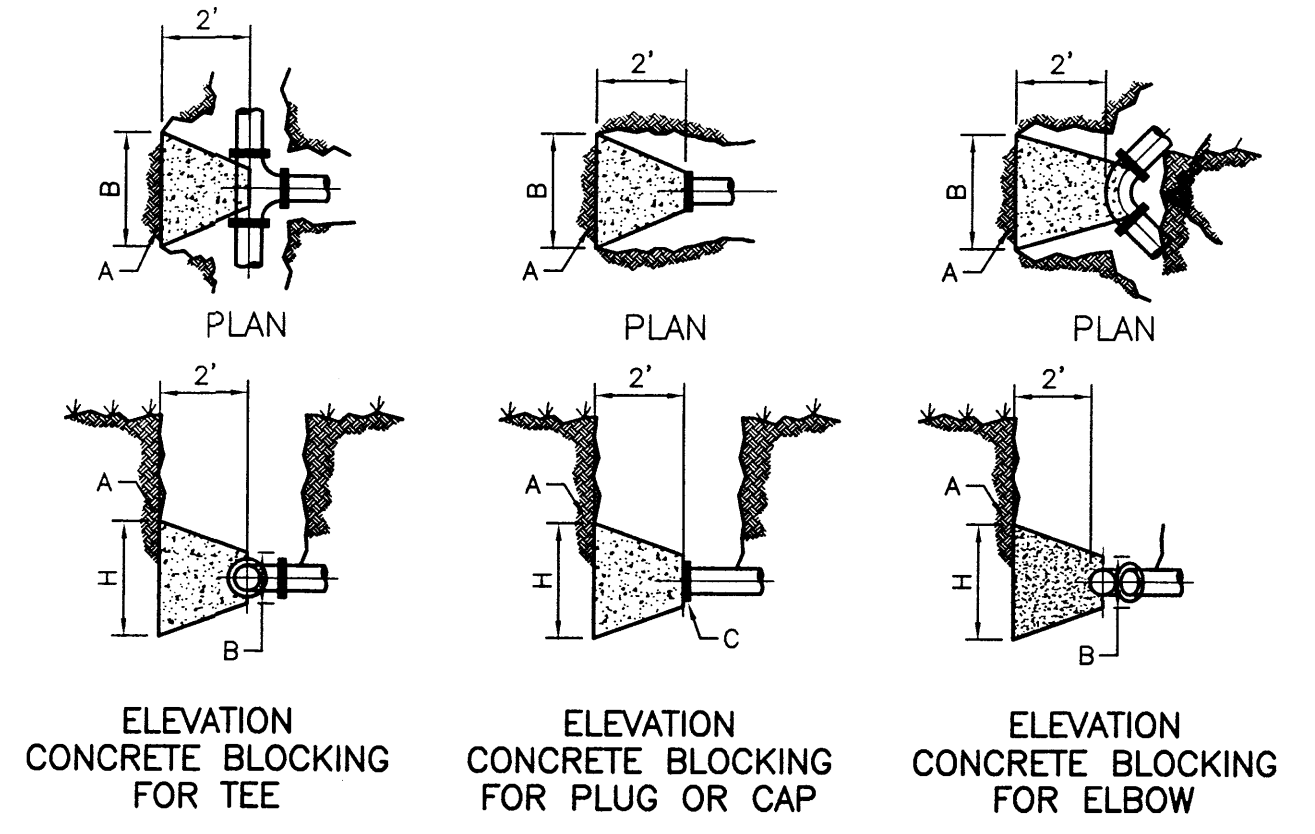


A.C.S. MONUMENT "M-448-112"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,526,373.229
E=1,521,354.471
E=5026.132 (NAD 1983)
GROUND TO GRID FACTOR=0.999479709
DELTA ALPHA ANGLE=-073.97.11"

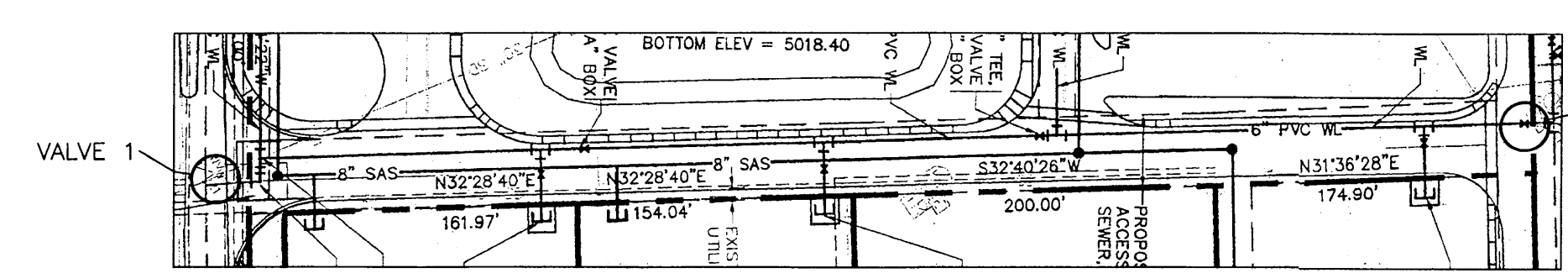
PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°,45°	2'	2'	2'	2'
4"	22.5°,11.25°	2'	2'		
6"	90°,45°	2'	2'	2'	2'
6"	22.5°,11.25°	2'	2'		
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'		
8"	22.5°,11.25°	2'	2'		
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'		
10"	22.5°,11.25°	2'	2'		
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"		
12"	22.5°,11.25°	2'	2'		
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"		
14"	22.5°,11.25°	3'	3'		

CONSTRUCTION NOTE:
A. UNDISTURBED EARTH
B. O.D. OF PIPE +6"
C. O.D. OF CAP OR PLUG, MIN. 12"x12"

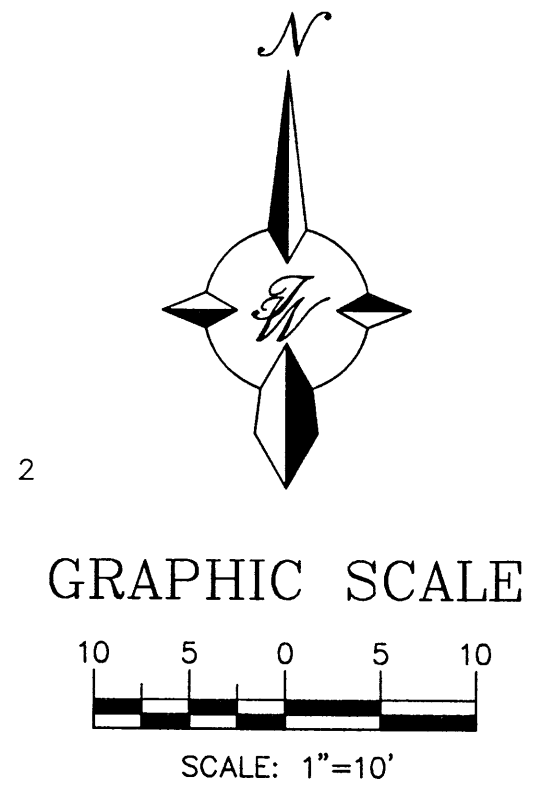
CONCRETE BLOCKING DESIGN
NTS PER COA STD DWG #2320



POST INDICATOR VALVE DETAIL
NOT TO SCALE

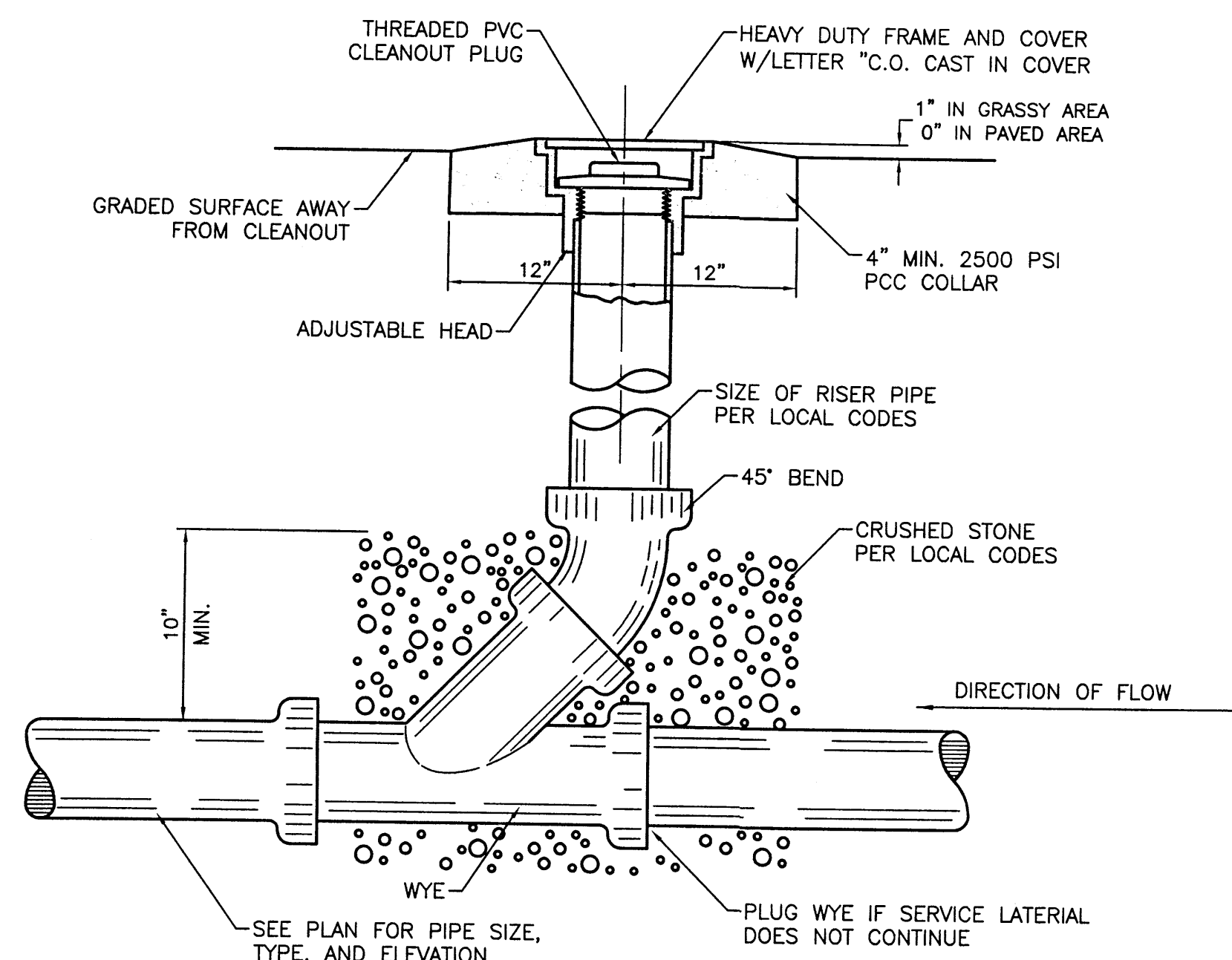


EMERGENCY WATER SHUT-OFF PLAN

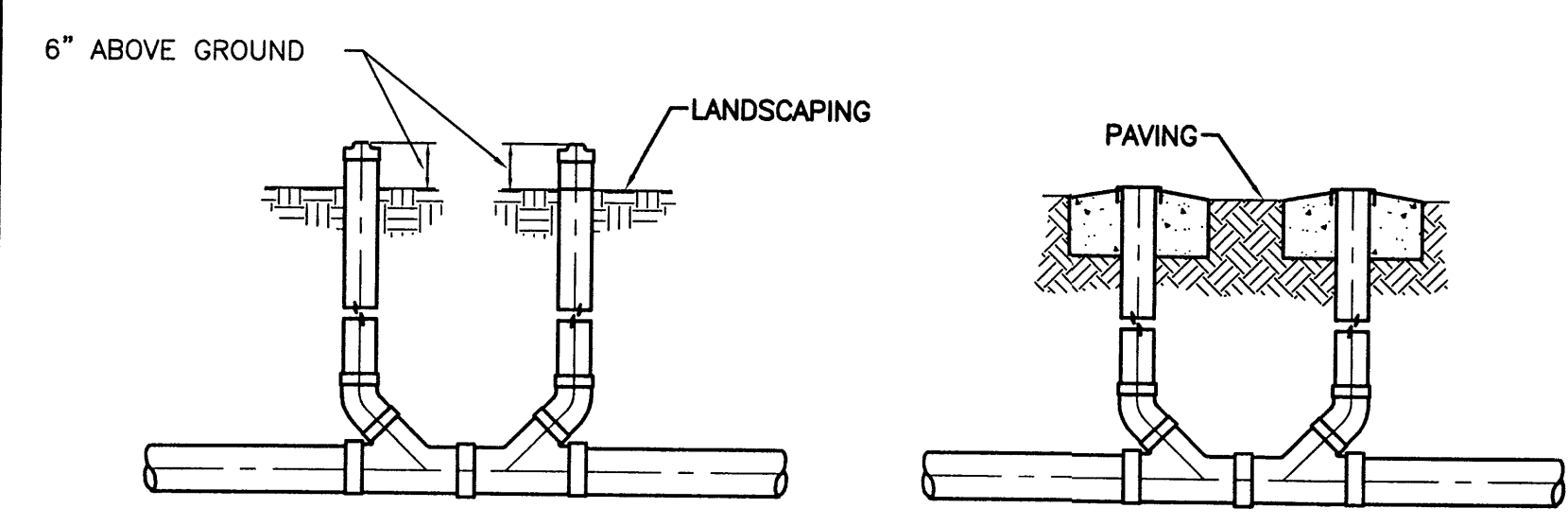


NMUI _____ DATE _____

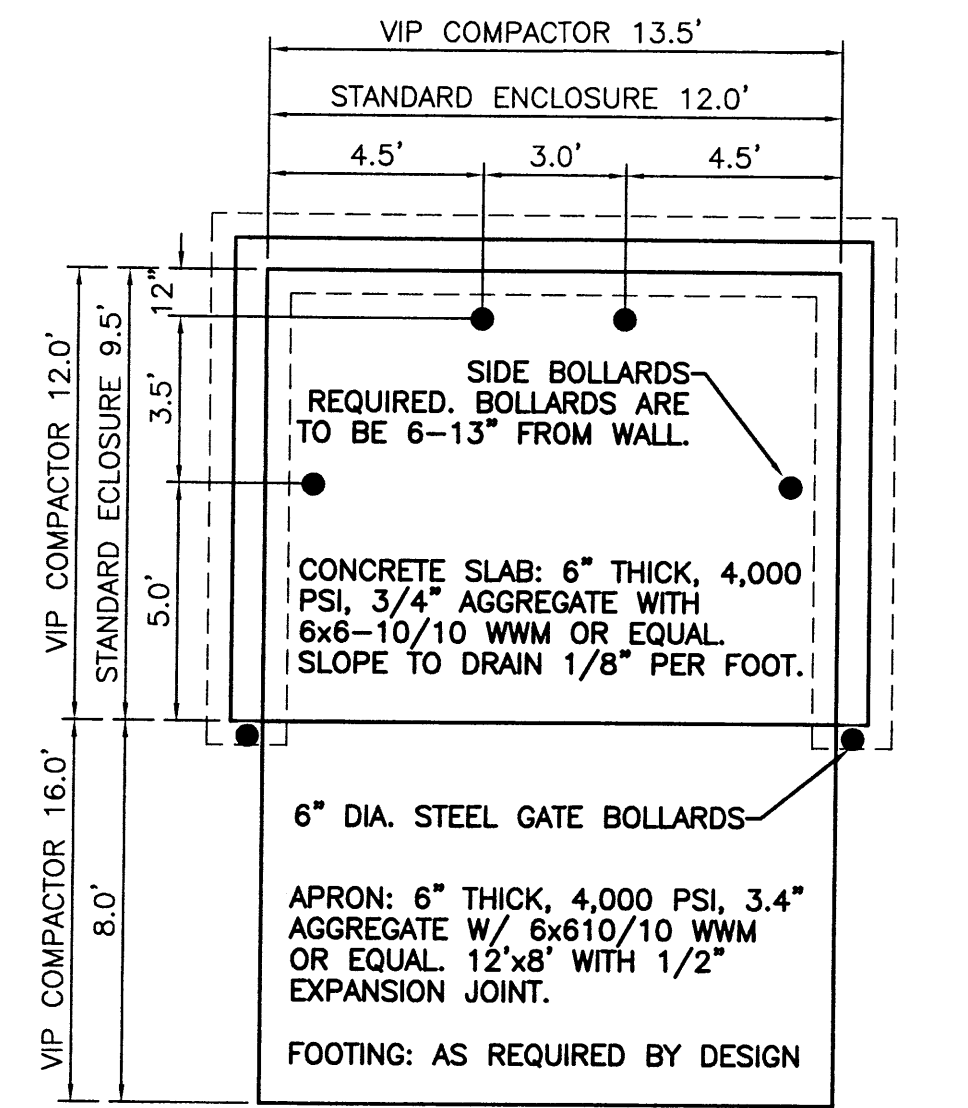
	FIRESTONE COORS AND OLD AIRPORT ROAD	DRAWN BY BJF
	MASTER UTILITY PLAN	DATE 08/13/08
		2770-MUB
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		SHEET # C4
RONALD R. BOHANNAN P.E. #7868		JOB # 27070



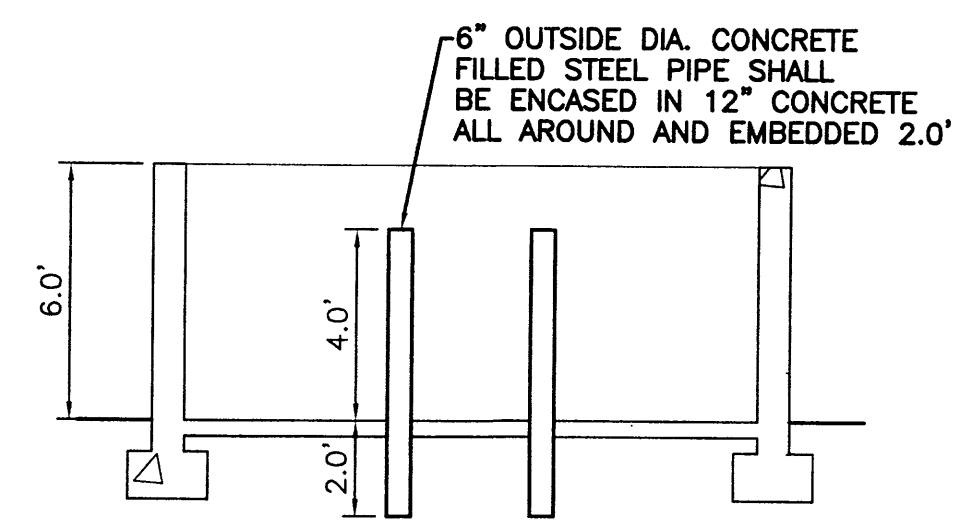
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

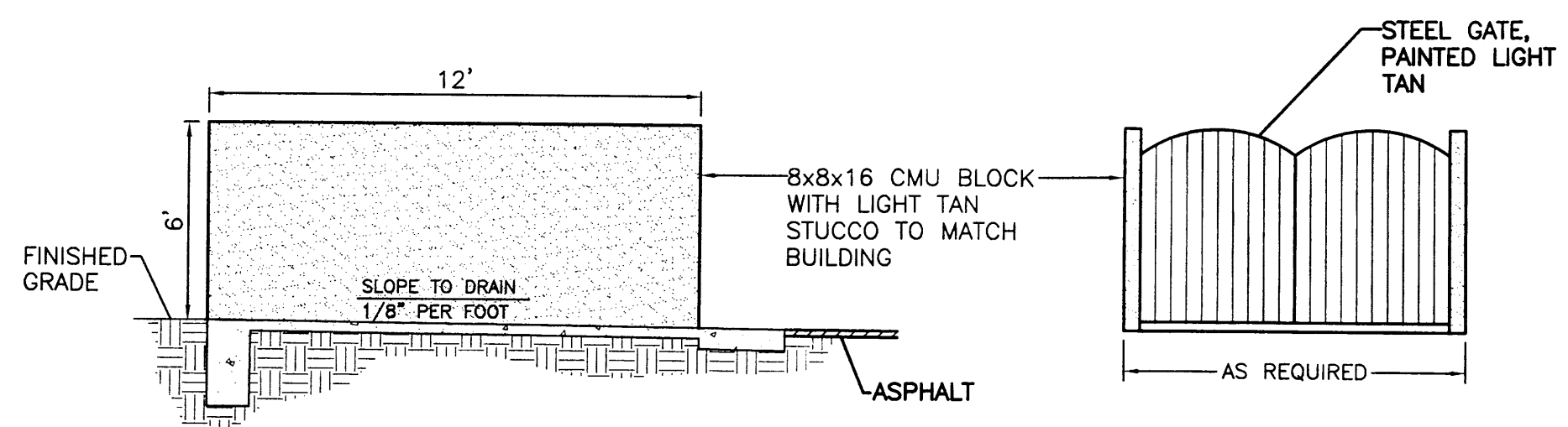


APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)

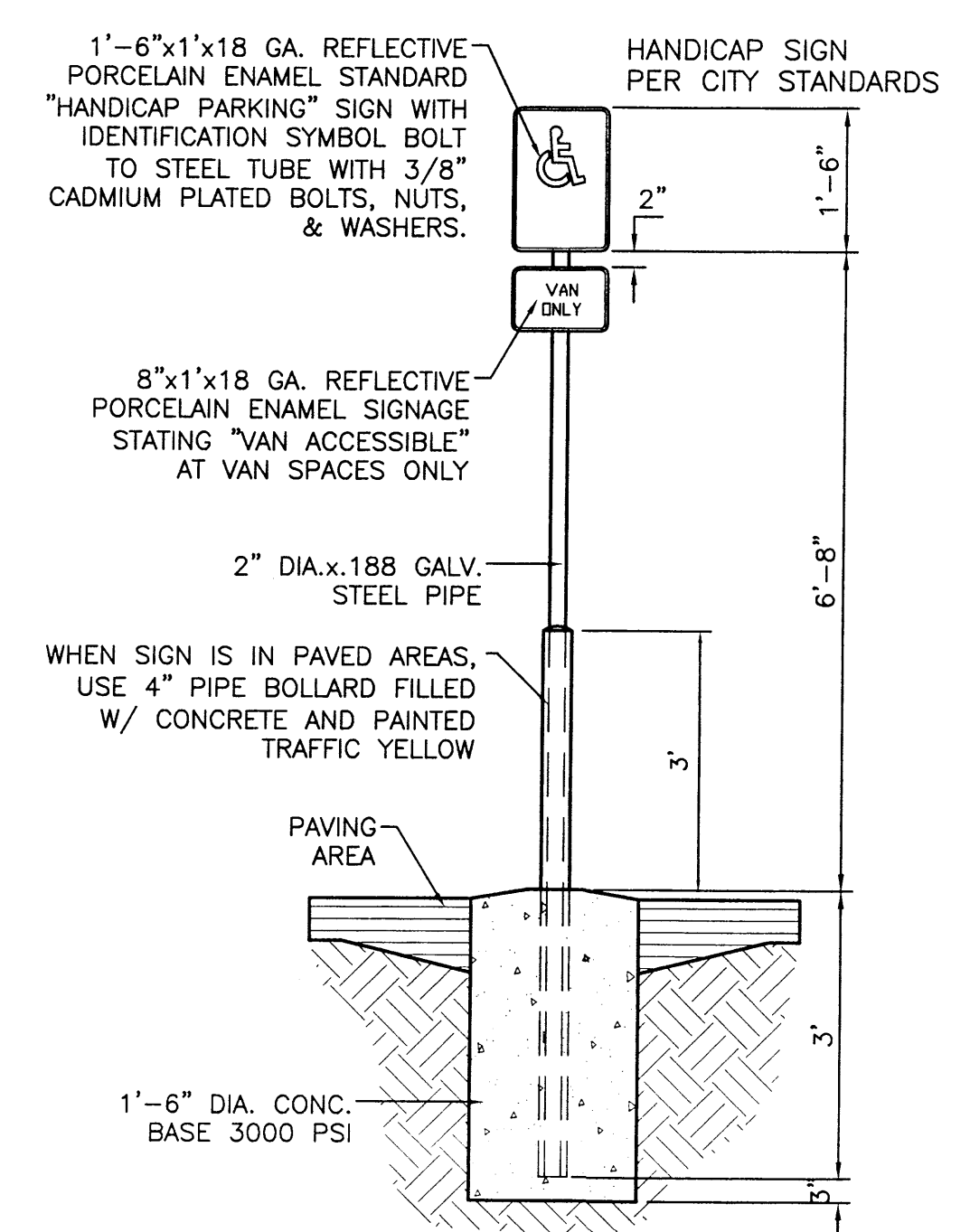


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

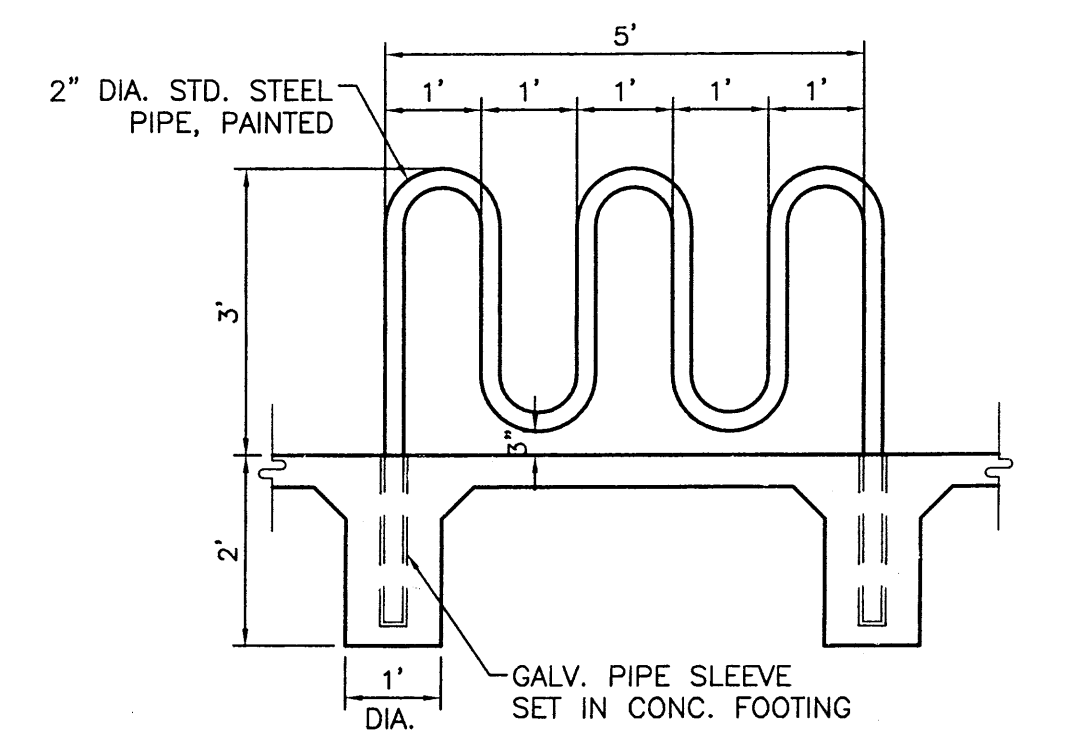
DUMPSTER ENCLOSURE DETAIL
NTS



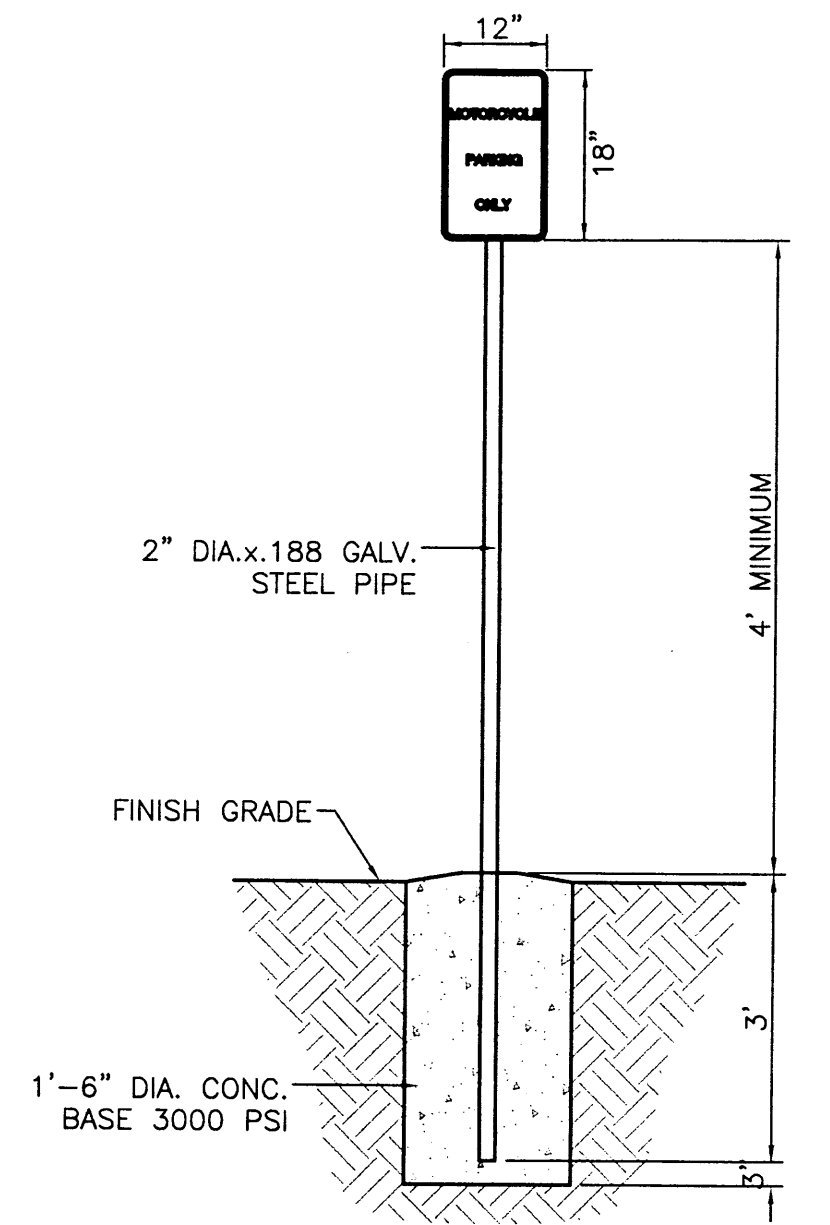
DUMPSTER ENCLOSURE ELEVATION
NTS



HANDICAP SIGN
NTS



BIKE RACK DETAIL
NTS

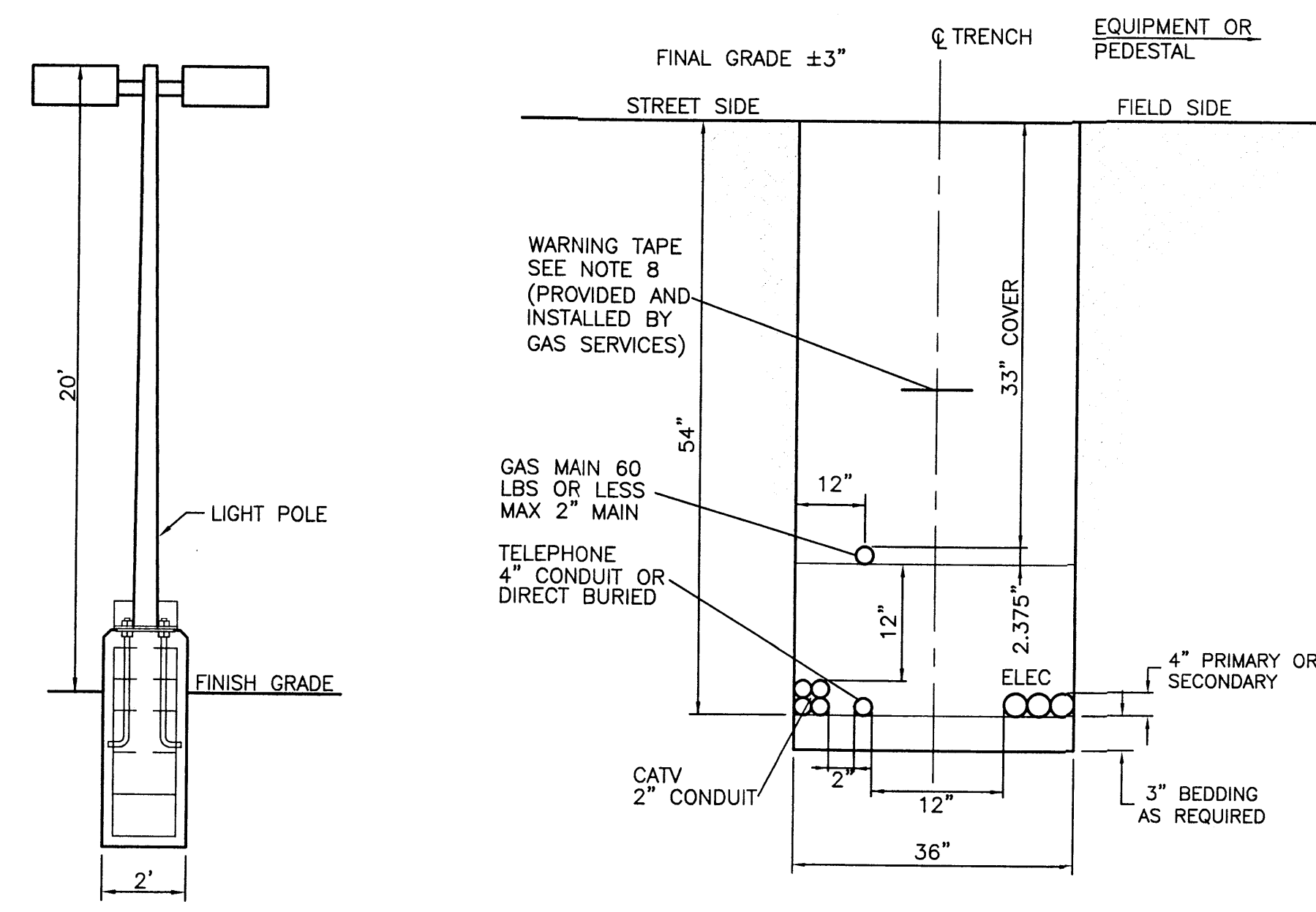


MOTORCYCLE PARKING SIGN
NTS

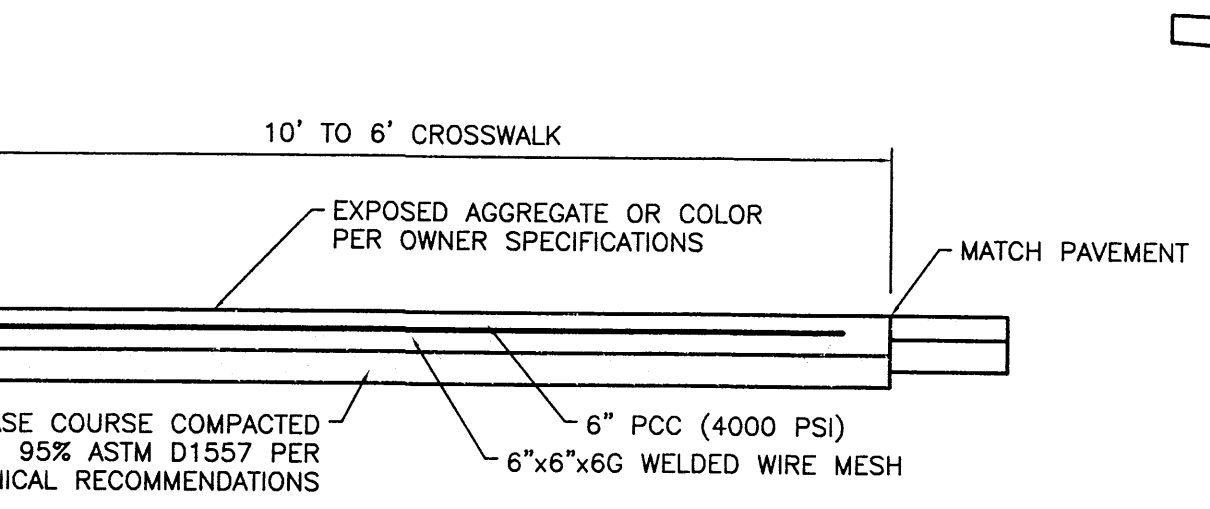
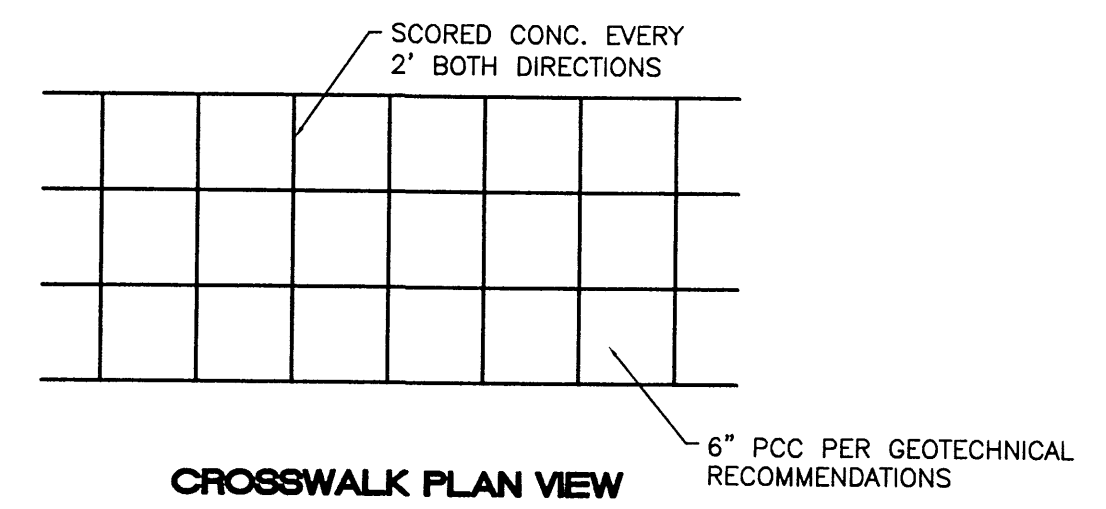
GENERAL NOTES

1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
9. WHEN BINGING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.

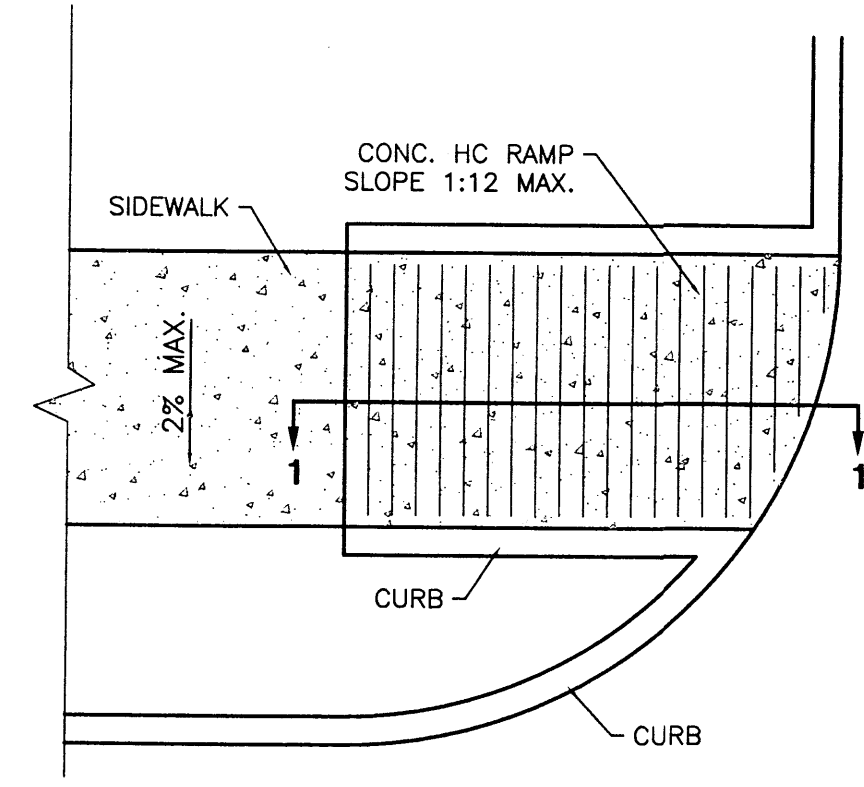
- REFERENCES**
1. NESC RULE 352, 353, 354.



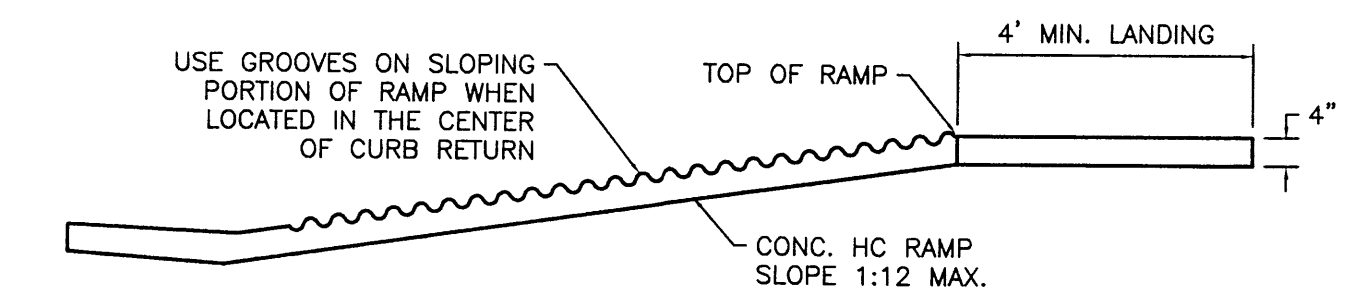
TYPICAL TRENCH DETAIL
NTS



HEAVY DUTY CROSSWALK
NTS



PLAN



SECTION A-A

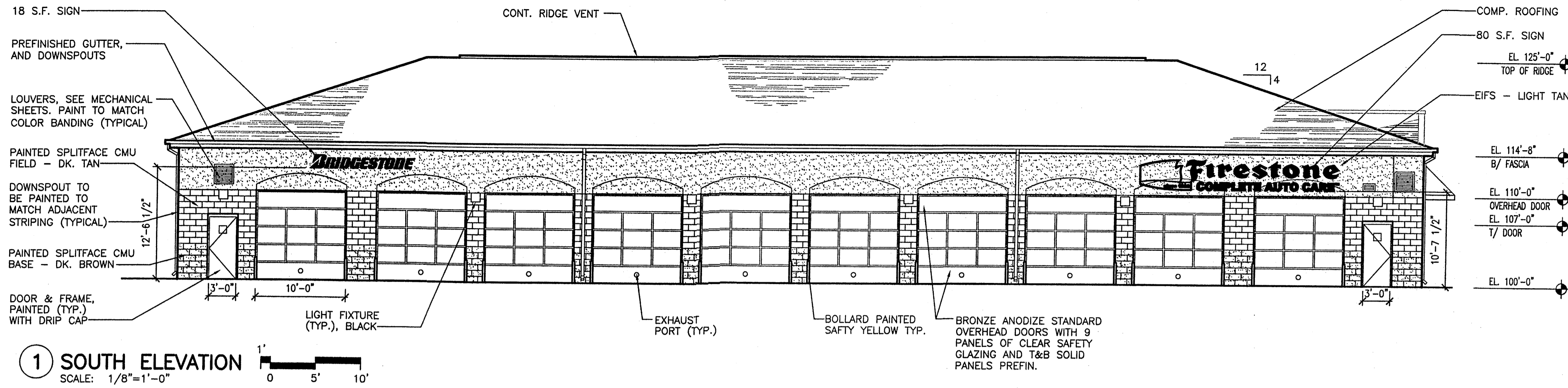
UNIDIRECTIONAL HC RAMP
SCALE: NTS

NOTES:

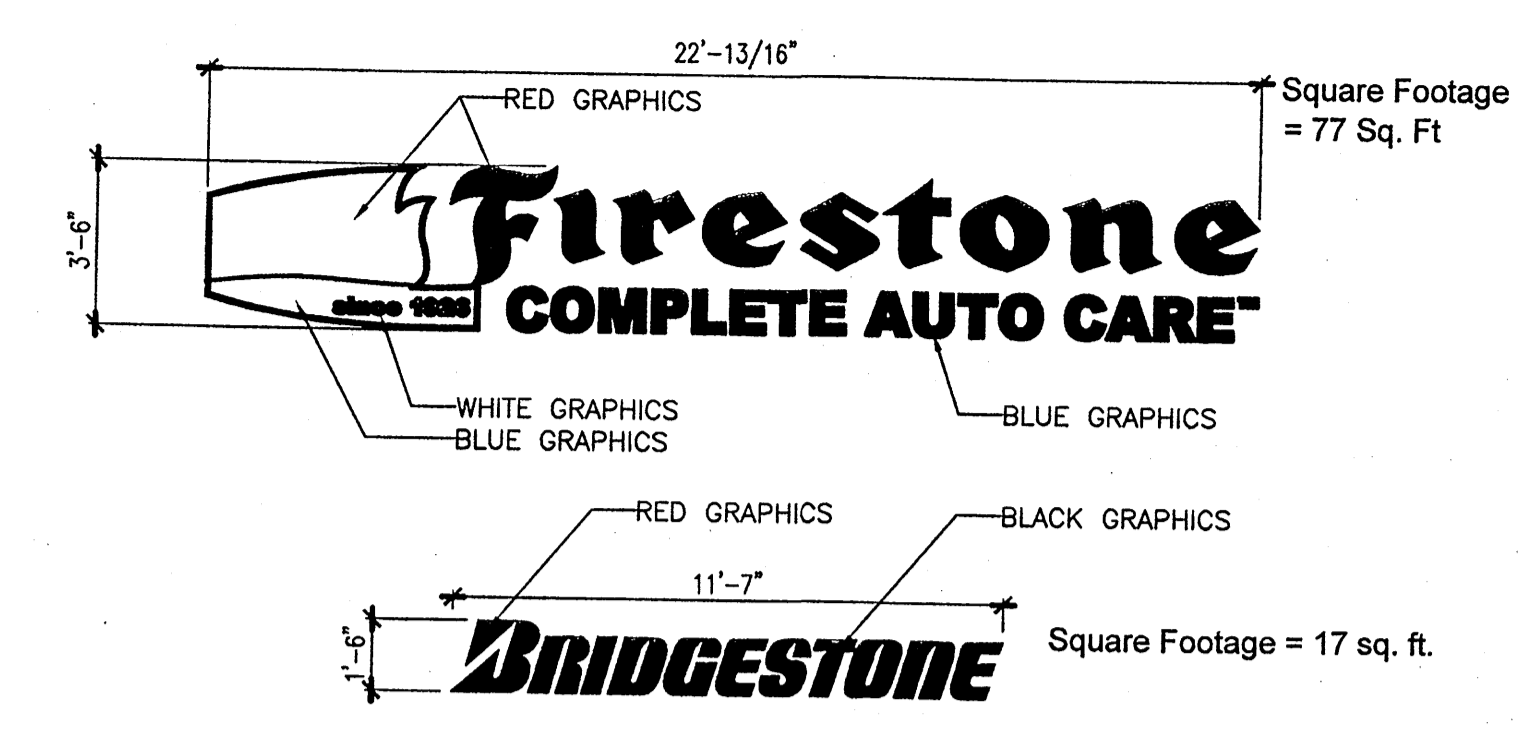
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

LIGHT POLE DETAIL
NTS

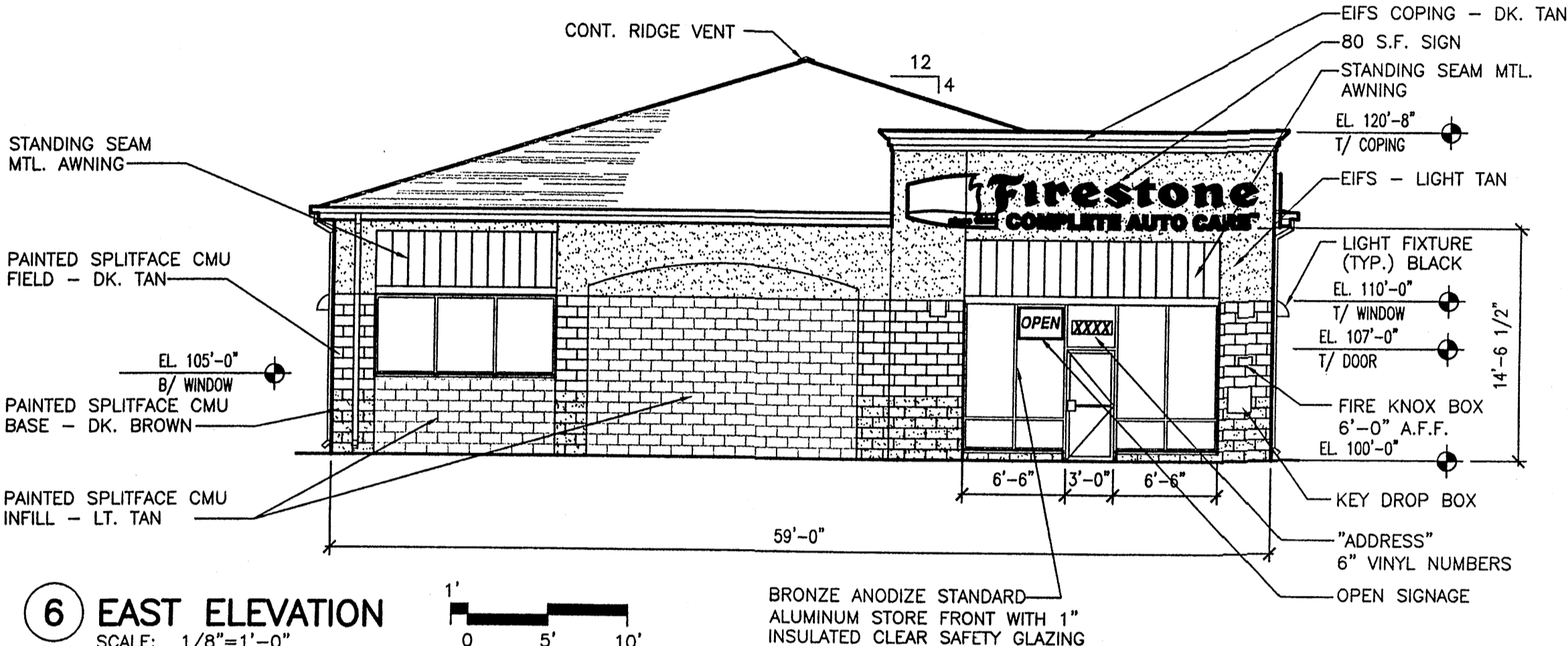
	FIRESTONE COORS AND OLD AIRPORT ROAD	DRAWN BY BJF
	DETAIL SHEET	DATE 3/19/08
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2770-DETAILS SHEET # C5
RONALD B. BOHANNON P.E. #7868		JOB # 27070



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



8 BUILDING SIGNAGE DETAIL
1/4"=1'-0"

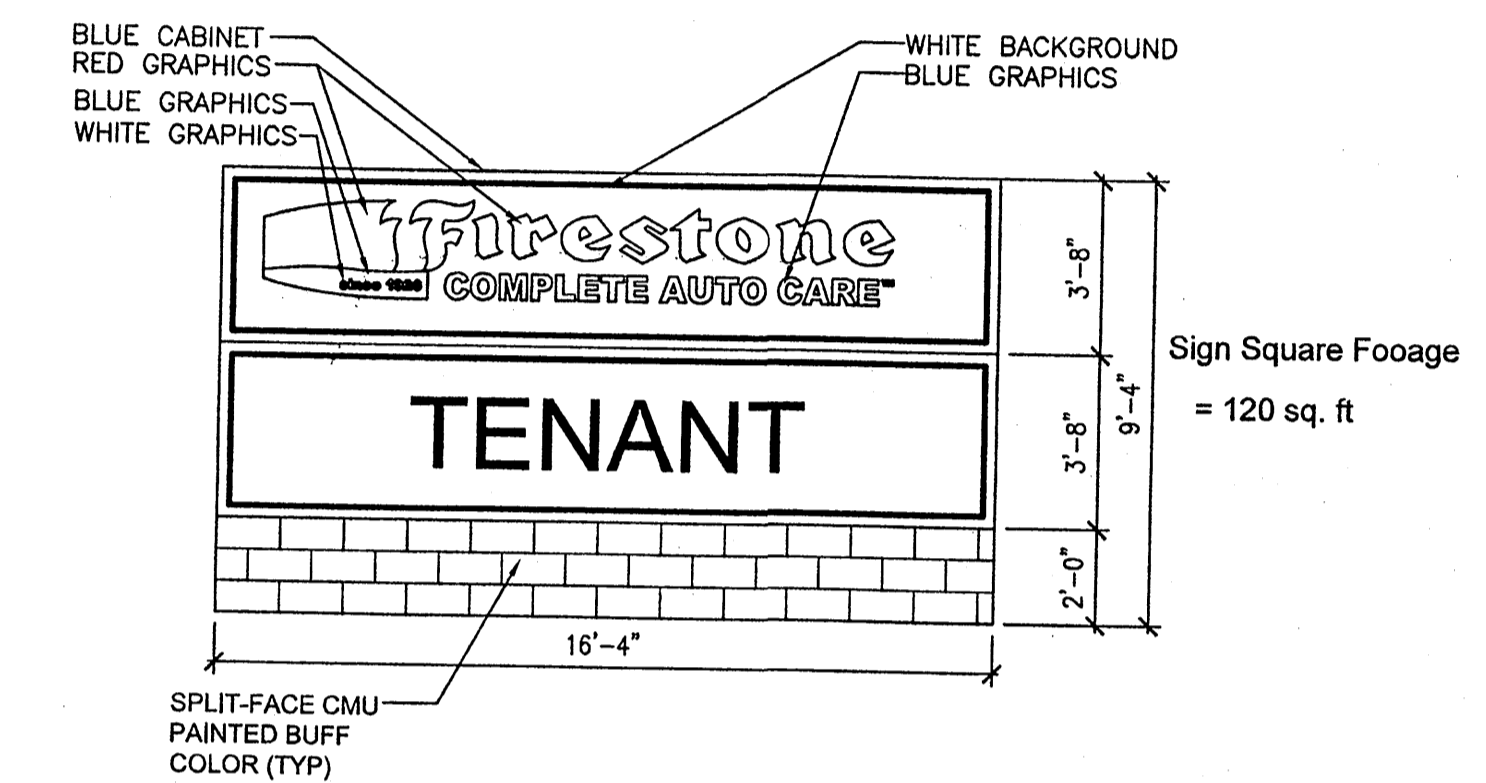


6 EAST ELEVATION
SCALE: 1/8"=1'-0"

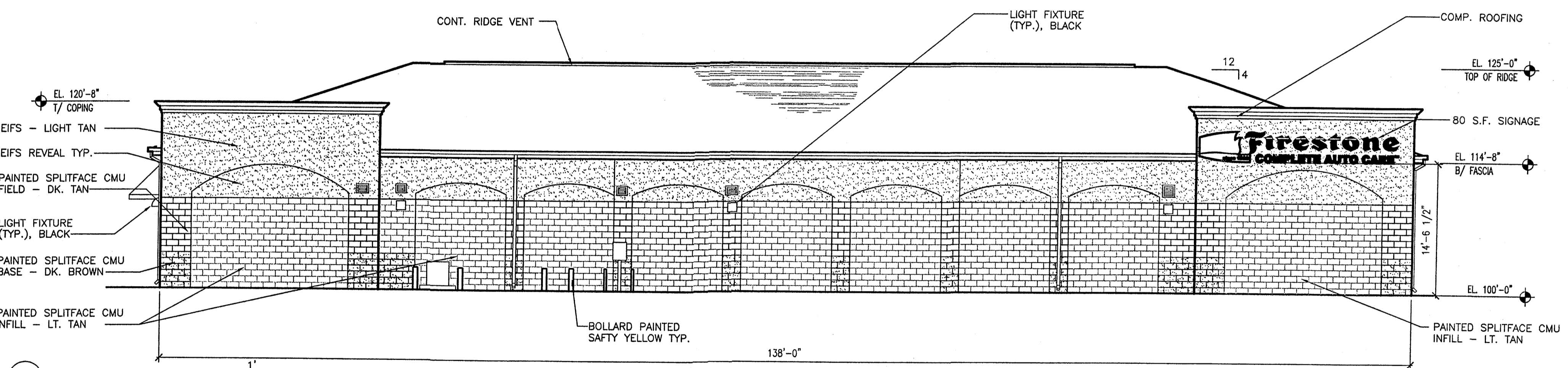
NOTE: ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE.

NOTE: WINDOWS HAVE BEEN PLACED AND GLASS MATERIALS SELECTED TO REDUCE GLARE AND REFLECTIVITY. GLAZING ALONG MAJOR CORRIDOR IS SCREENED BY LANDSCAPING.

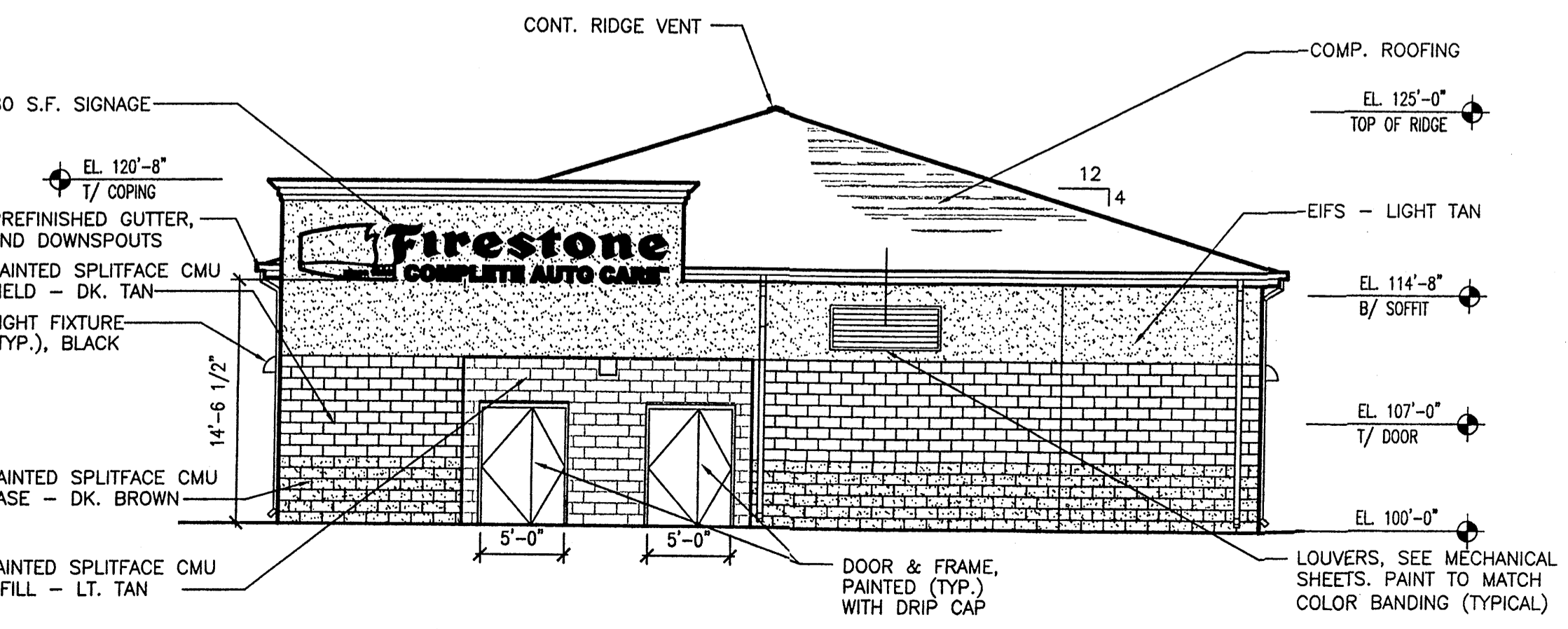
NOTE: NON REFLECTIVE METAL ROOFING MAY BE USED AS A ROOFING ALTERNATIVE.



20 MONUMENT SIGN ELEVATION
SCALE: 1/4"=1'-0"



11 NORTH ELEVATION
SCALE: 1/8"=1'-0"



16 WEST ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS:	

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Mays & Company
Real Estate Development
8910 Barry Ave., Suite 1010, Dallas, Texas 75225
Phone: (214) 962-4400 Fax: (214) 962-4400

Firestone
COMPLETE AUTO CARE

RS 2007 L

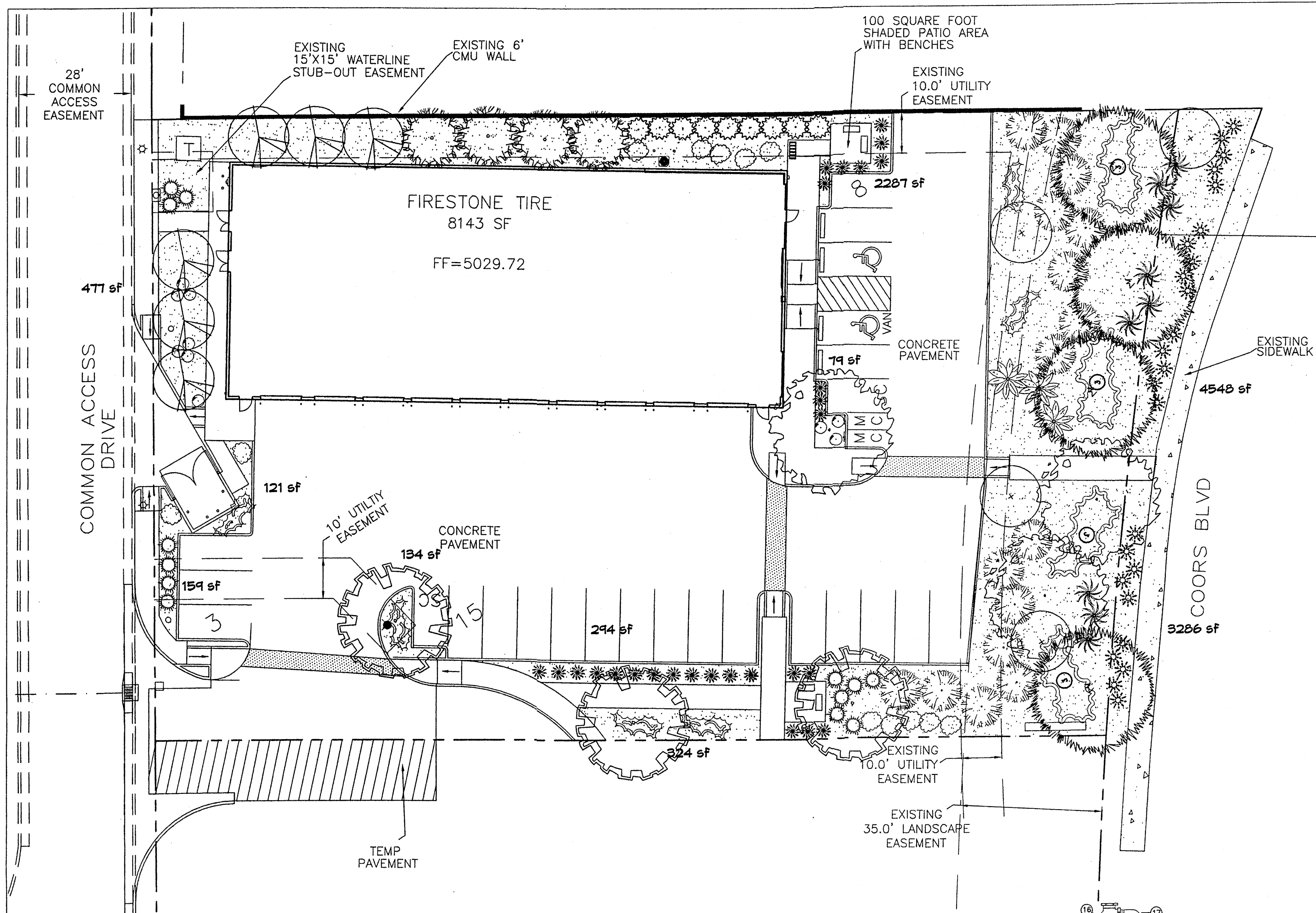
FIRESTONE
OLD AIRPORT & COORS BLVD.
ALBUQUERQUE, NM

NCA
NCARCHITECTURE

12180 N. ABRAMS RD.
SUITE 200
DALLAS, TX 75243
214.361.9901
214.361.9906 FAX
NCAARCHITECTURE.COM

PRELIMINARY
This document shall not be used for permit, or construction. Released under the authority of Nicholas K. Cade, NM license #003602

EXT. ELEVATIONS
DATE:
24 MARCH 2008
7115
A4



NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

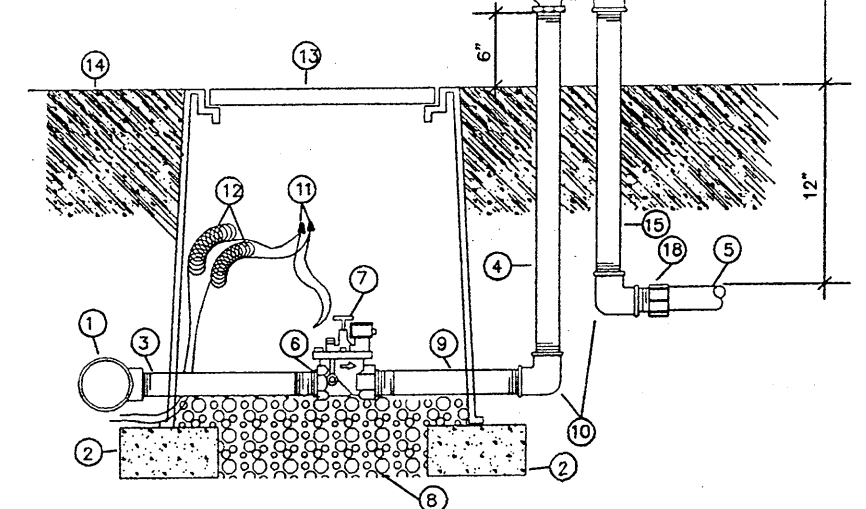
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

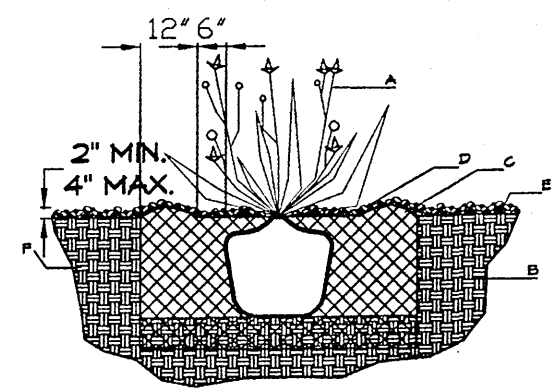
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER



SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

- CONSTRUCTION NOTES:**
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.

PLANT LEGEND

- BUR OAK (M) 4
Quercus macrocarpa
2' Cal., 60" H x 60" W
- CHITALPA (M) 3
Chilopsis x Catalpa
2' Cal., 30" H x 30" W
- COMMON HACKBERRY (M) 3
Celtis occidentalis
2' Cal., 40" H x 40" W
- WESTERN RED CEDAR (M) 6
Thuja plicata 'Green Giant'
15 Gal., 225sf, 40" H x 15" W
- NEW MEXICO OLIVE (L) 4
Forestiera neomexicana
15 Gal., 225sf, 15" H x 15" W
- WASHINGTON HAWTHORN (M+) 4
Crataegus phaenopyrum
15 Gal., 225sf, 15" H x 15" W
- BANANA YUCCA (L) 9
Yucca baccata
25 sf, 4' H x 5' W
- POWIS CASTLE SAGE (L+) 12
Artemisia X Powis Castle
1 Gal., 25sf, 2' H x 5' W
- DEER GRASS (M) 20
Muhlenbergia rigens
1 Gal., 16sf, 4' H x 4' W
- BLUE AVENA/OAT GRASS (M) 24
Helictotrichon sempervirens
1 Gal., 4sf, 2' H x 3' W
- GREYLEAF COTONEASTER (M) 12
Cotoneaster buxifolius
5 Gal., 81sf, 2' H x 9' W
Symbol indicates 3 plants
- WINTER JASMINE (L+) 6
Jasminum nudiflorum
1 Gal., 144sf, 4' H x 12' W
- NATURAL EDGE
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	37650	square feet
TOTAL BUILDINGS AREA	8141	square feet
NET LOT AREA	29509	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4426	square feet
TOTAL BED PROVIDED	11709	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	8781	square feet
TOTAL GROUNDCOVER PROVIDED	8814 (75%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	11630	square feet

STREET TREE REQUIREMENTS

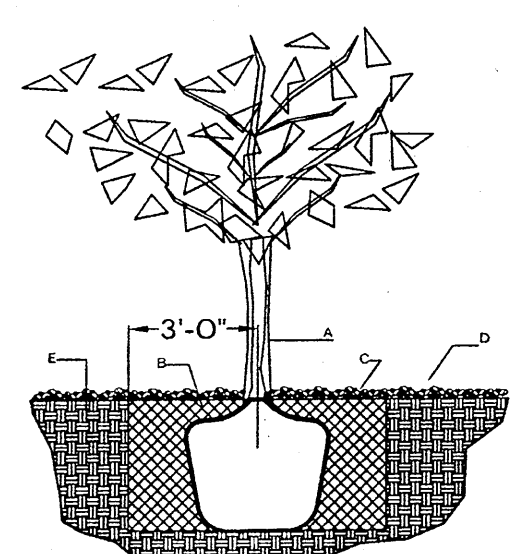
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Coors Blvd.
Required # 6 Provided # 6

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

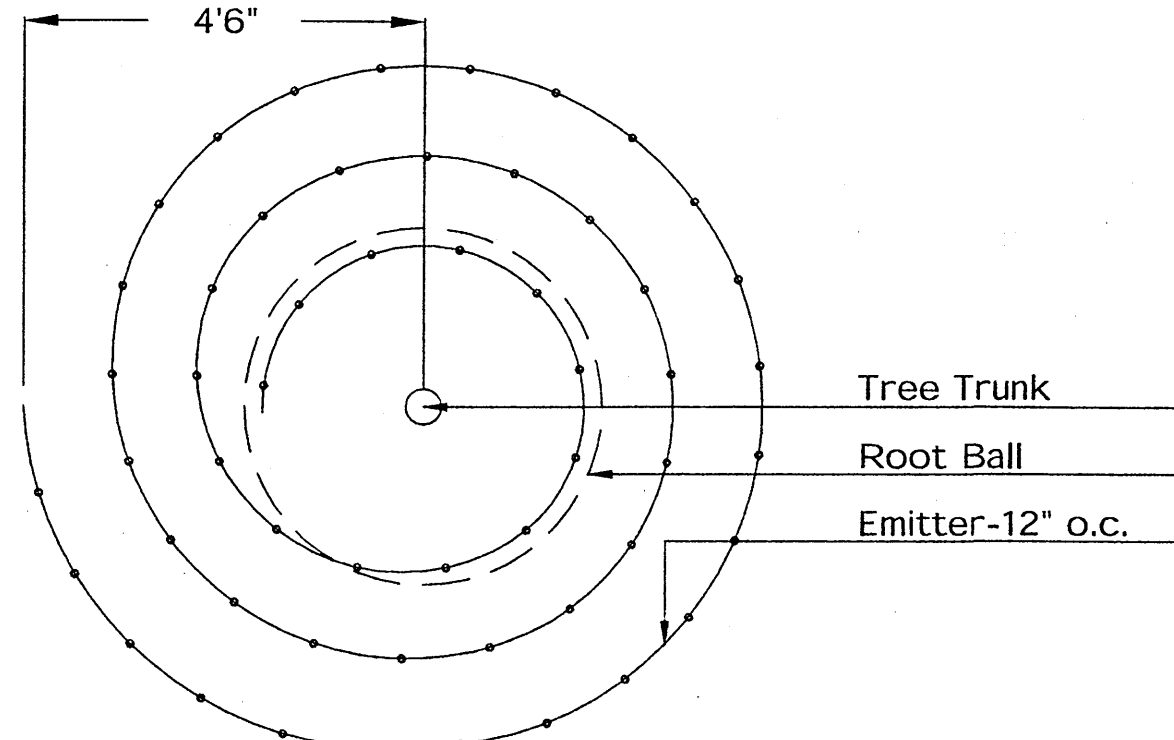
1 Shade tree per 10 spaces
Required # 3 Provided # 3



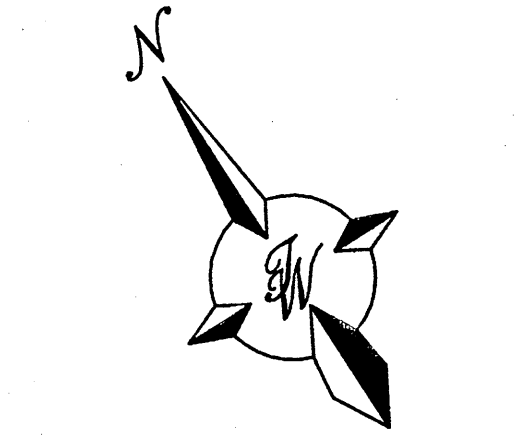
TREE PLANTING DETAIL
NTS

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.



Netafim Spiral Detail



GRAPHIC SCALE

SCALE: 1"=20'



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

- 3-12-08 Site revision rmm
- 1-29-08 Site revision rmm
- 1-9-08 Easements labeled rmm

	FIRESTONE COORS AND OLD AIRPORT ROAD	DRAWN BY RMM
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 12/18/07
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		SHEET # L1
		JOB # 27070