

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 5'-0" x 10'-0"
 TYPICAL SMALL CAR SPACES ARE 4'-6" x 8'-0"
 TYPICAL HANDICAP SPACES ARE 8'-0" x 12'-0"
 WITH A 9' WIDE ACCESS AISLE 5'-0" x 10'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

- RADIUS**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 3'-6"
 - ④ RADIUS = 5'-0"
 - ⑤ RADIUS = 10'-0"
 - ⑥ RADIUS = 12'-0"
 - ⑦ RADIUS = 5'-0"
 - ⑧ RADIUS = 20'-0"
 - ⑨ RADIUS = 25'-0"
 - ⑩ RADIUS = 28'-0"
 - ⑪ RADIUS = 30'-0"
 - ⑫ RADIUS = 51'-6"

○ DENOTES A SITE DETAIL, REFER TO SHEET AS2

CODE REFERENCES

BUILDING CODE: IBC 2003
 MECHANICAL CODE: UPC 2003
 PLUMBING CODE: UPC 2003
 ELECTRICAL CODE: NEC 2005
 ACCESSIBILITY CODE: ANSI 1998
 FIRE CODE: IFC 2003

SITE LEGEND

---	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
---	EXISTING CURB	⊕	EXISTING SITE LIGHTING
---	PROPOSED CURB	□	PROPOSED PARKING LOT LIGHTING
---	EXISTING ZONE LINE		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
---	PROPOSED SIDEWALK	LS	PROPOSED LANDSCAPING
---	PROPOSED CROSSWALK-RECESSED BRICK PAVERS	FD	FIRE DEPARTMENT CONNECTION
---	PROPOSED FIRE HYDRANT	T	PROPOSED TRANSFORMER
---		→	VEHICLE INGRESS/EGRESS

CODE DATA

ADDRESS: N1 528 (ALAMEDA BLVD.)
 4 COORS RD.
 ZONING: S-U-1 FOR C-2 USES & IP PERMISSIVE USES
 S-U-1 FOR C-2 USES/IF PERMISSIVE USES/
 R-3 PERMISSIVE USES

OCCUPANCY: M
 BUILDING TYPE: TYPE 1B
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 12,500 SF
 # OF STOREYS: ONE

FIRE PROTECTION: RETAIL SHOPS: SPRINKLED (14,924 SF)
 COFFEE/DRIVE-THRU: NON-SPRINKLED (2,000 SF)

PARKING REQUIRED:

0 - 5,000 - 1 CAR PER 200 = 25 CARS
 5,000 TO 42,000 - 1 CAR PER 250 = 8 CARS
 TOTAL CARS REQUIRED = 33 CARS

TOTAL H.C. PARKING REQUIRED = 4 SPACES
 TOTAL H.C. PARKING PROVIDED = 6 SPACES

TOTAL STANDARD PARKING PROVIDED = 101 SPACES
 TOTAL MOTORCYCLE PARKING REQUIRED = 3 SPACES
 TOTAL MOTORCYCLE PARKING PROVIDED = 2 SPACES (PARKS 4 MOTORCYCLES)

TOTAL PARKING PROVIDED = 106 SPACES
 TOTAL PARKING REQUIRED = 83 SPACES

BIKE SPACES REQUIRED: 6 SPACES
 BIKE SPACES PROVIDED: 10 SPACES

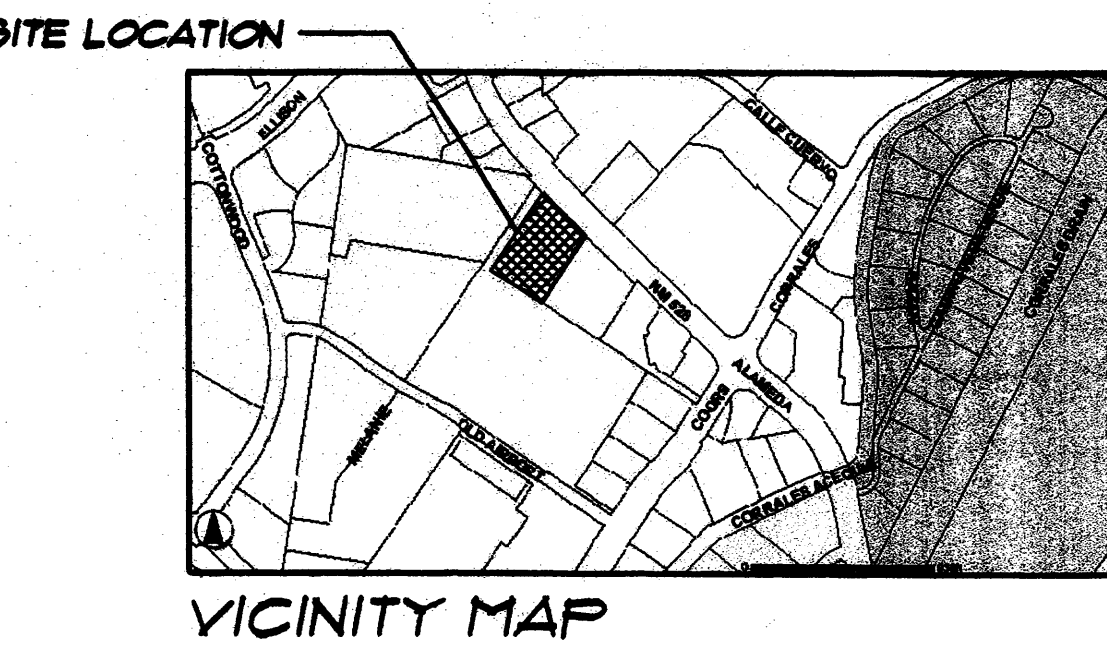
SITTING SPACES REQUIRED: 8 SPACES
 SITTING SPACES PROVIDED: 8 SPACES

SITE DATA:

PROPOSED USAGE: C-2 USE
 LOT AREA: 159,866 SF (3.61 ACRES)
 LANDSCAPE REQUIRED: 6.5%

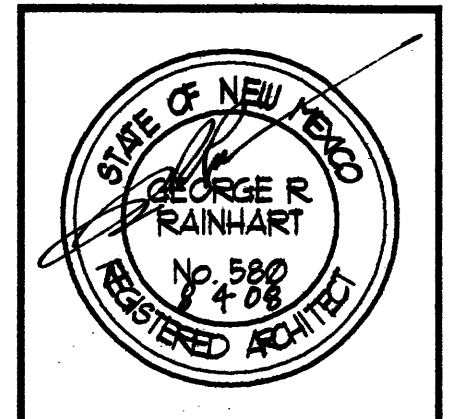
OCCUPANT LOAD:
 RETAIL SHOPS: 14,924 SF @ 20 = 481 PERSONS
 COFFEE/DRIVE-THRU: 2,000 SF @ 10 = 133 PERSONS
 TOTAL ALLOWABLE AREA: 17,500 SF

BUILDING AREA:
 RETAIL SHOPS BUILDING - 14,924 SF (10% FAR)
 COFFEE / DRIVE-THRU - 2,000 SF (13% FAR)
 TOTAL SQ. FOOTAGE 16,924 SF



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

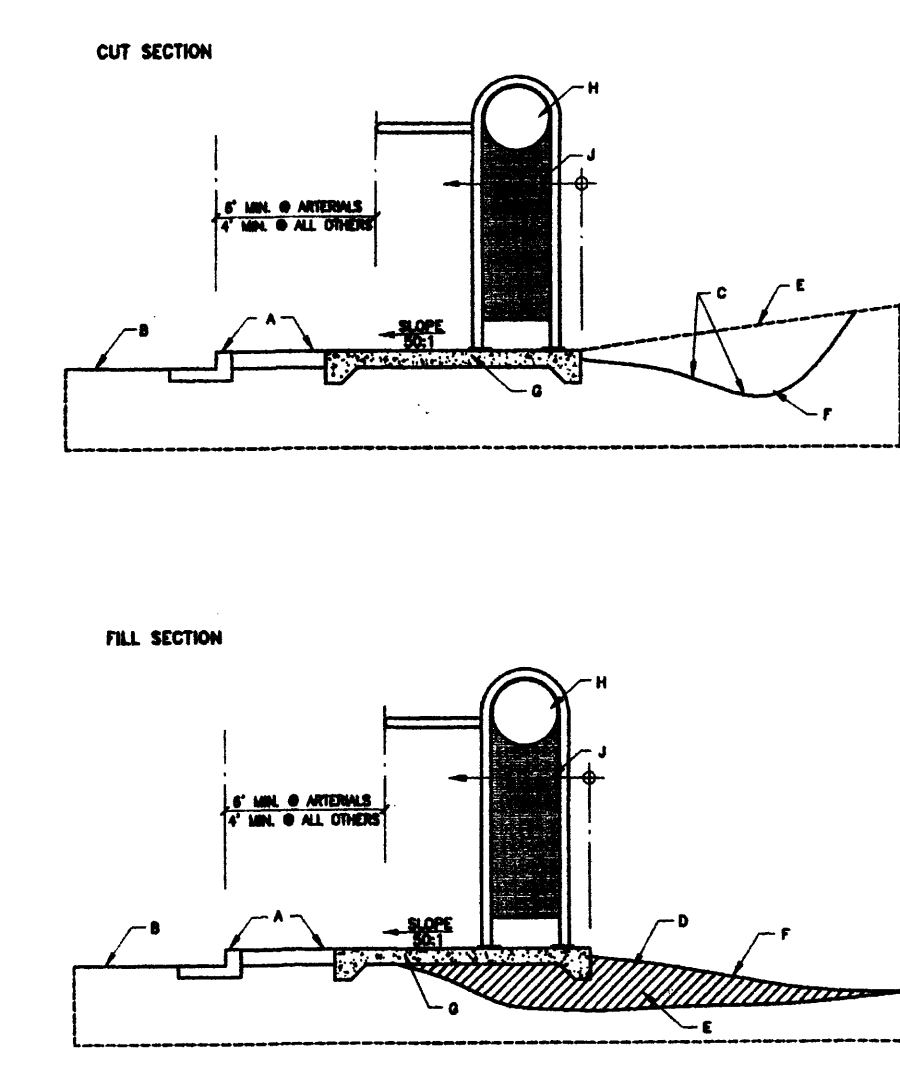
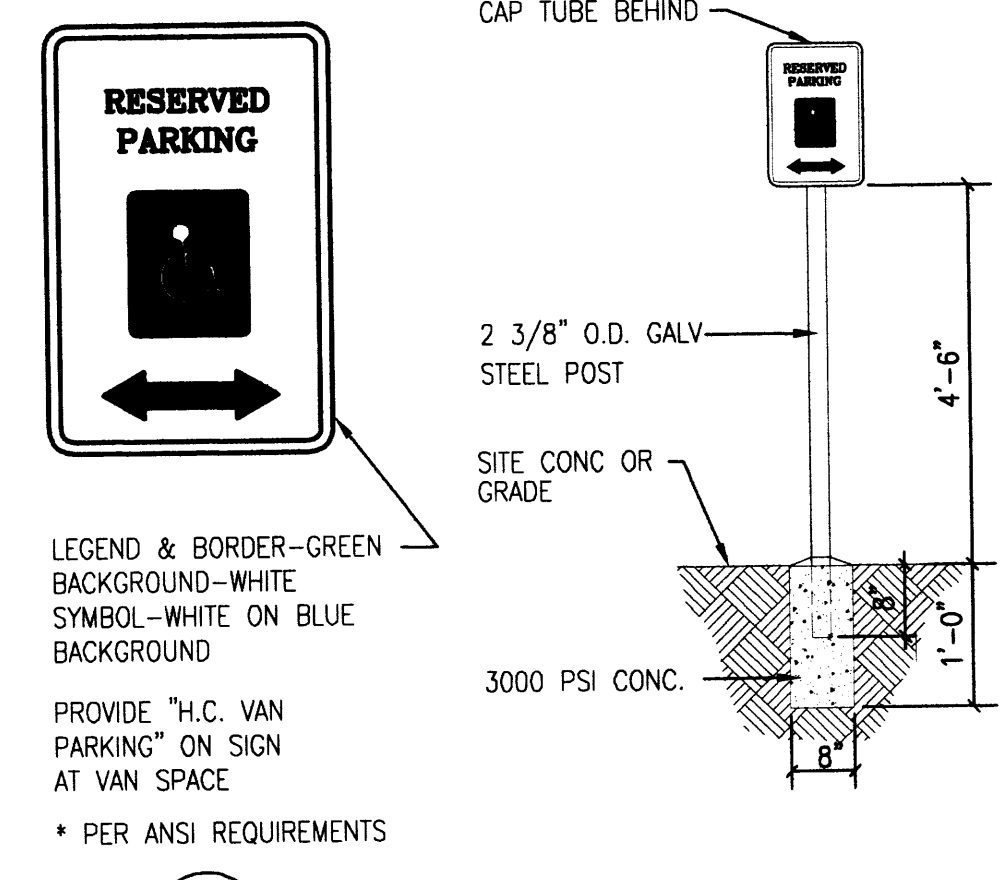
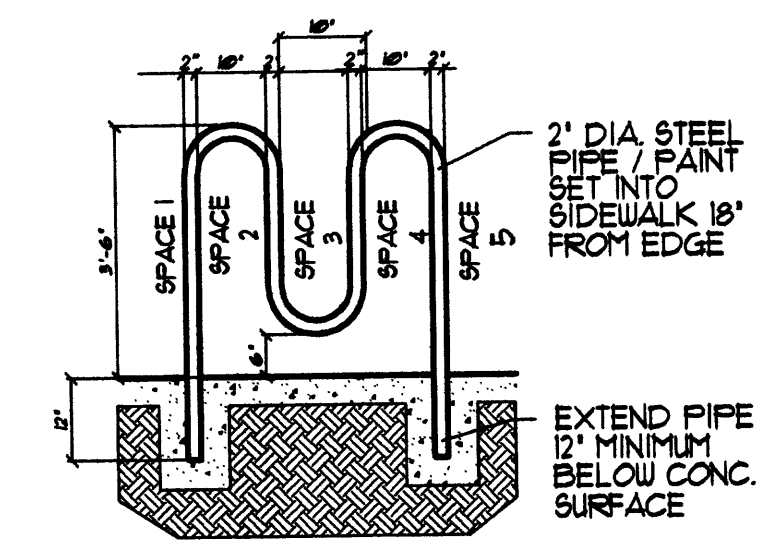
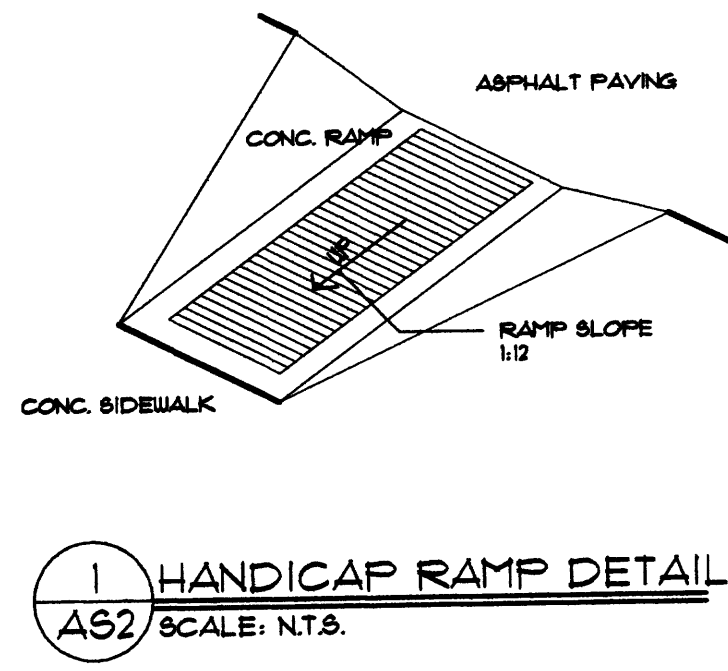


PROJECT TITLE: SHOPS OF ALAMEDA
 PROJECT ADDRESS: N1 STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD., ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER: William Sattler
 DRAWN BY: URS
 JOB NO.: 063A

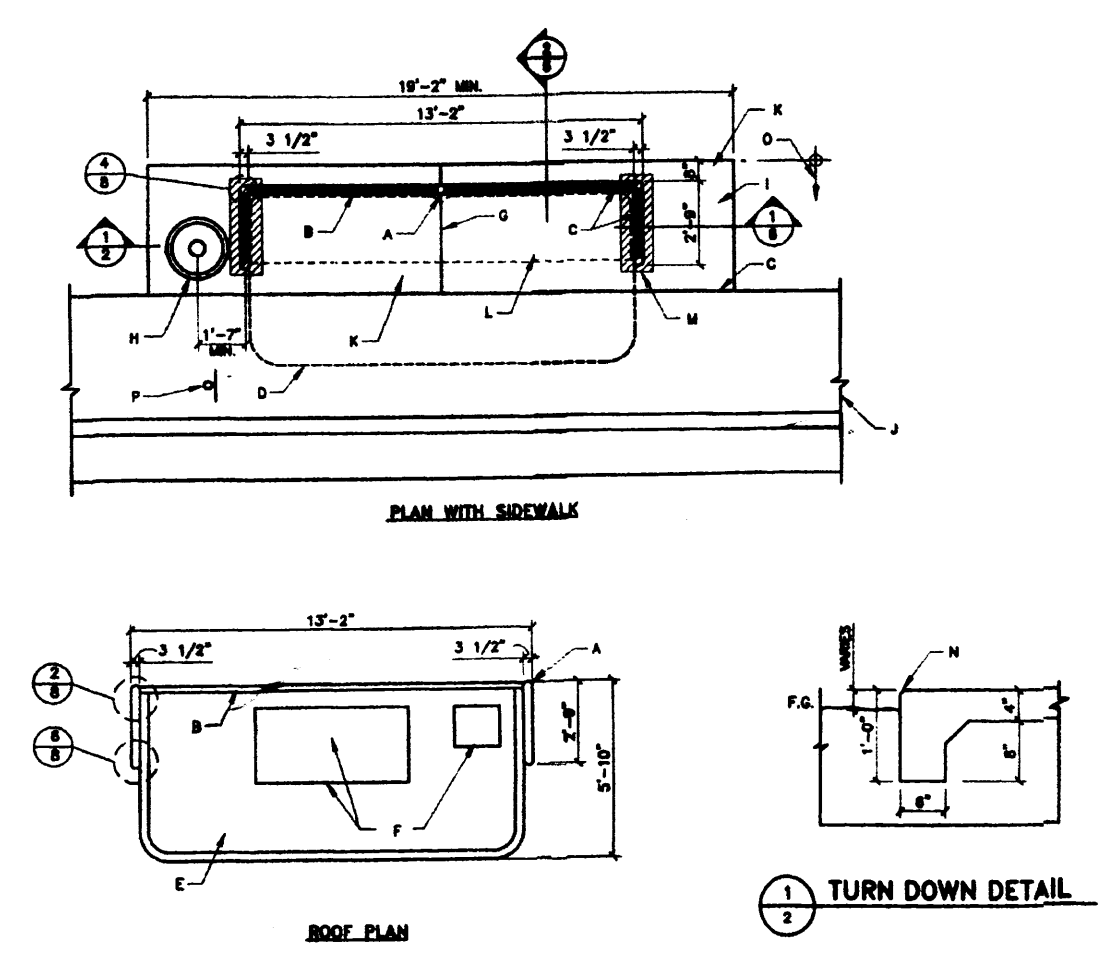
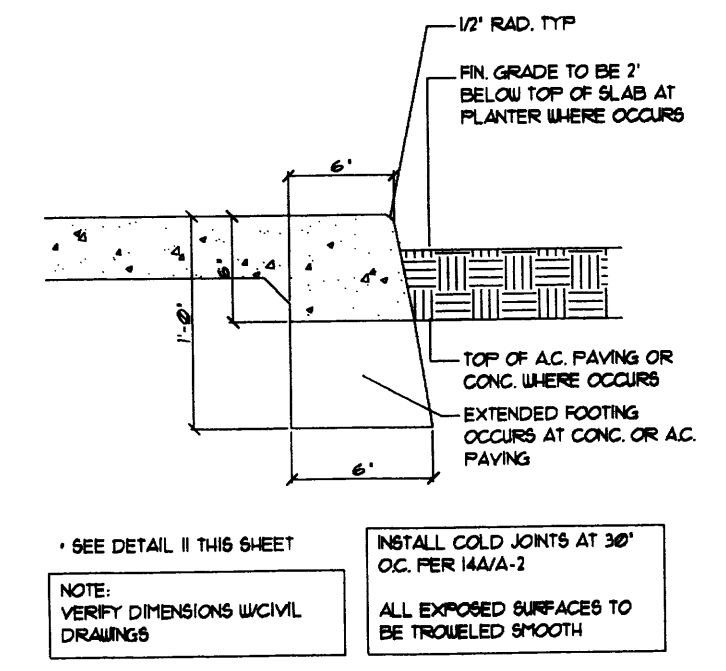
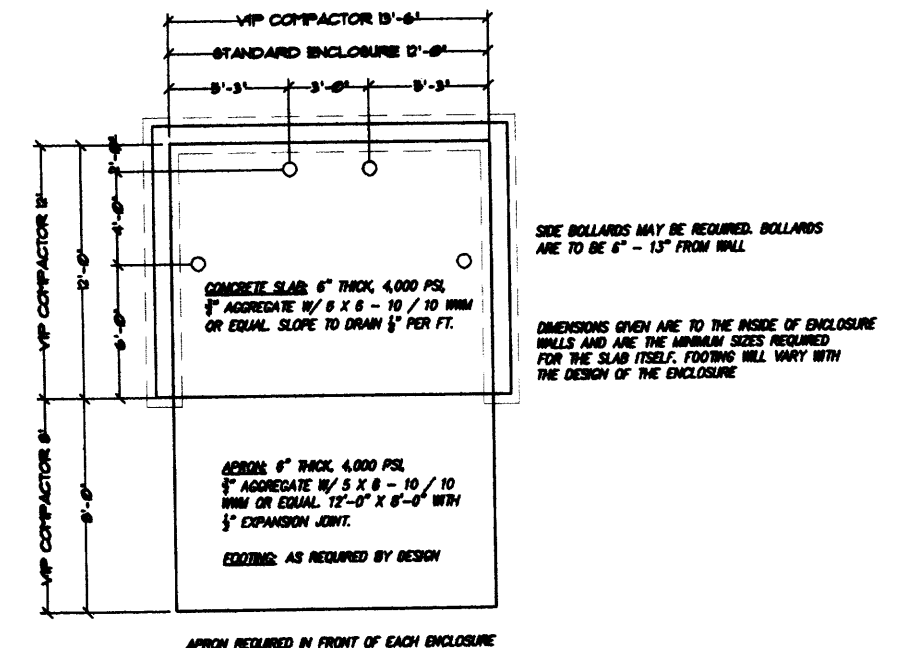
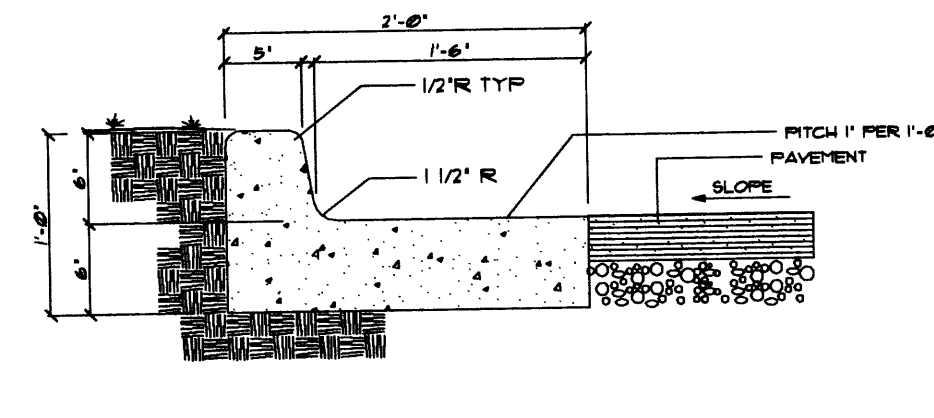
DATE: 8/3/2006
 SCALE: 1"=20'
 SHEET: AS1
 OF: 1

PROJECT # 1001215

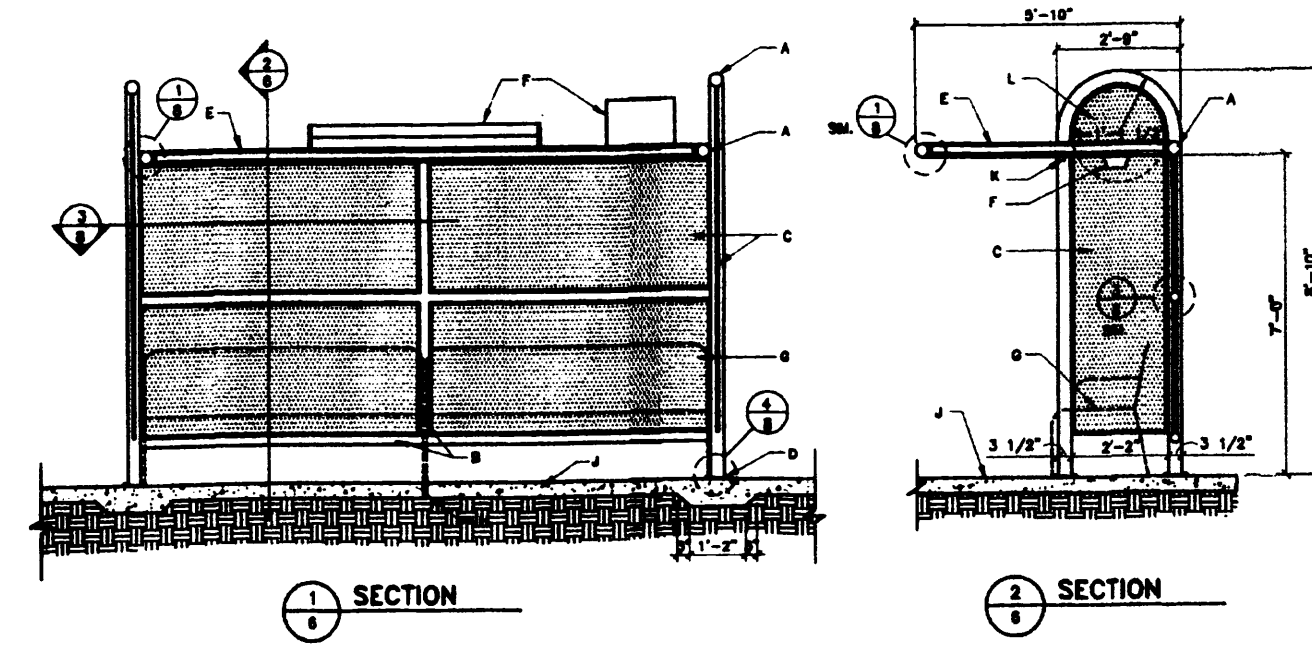
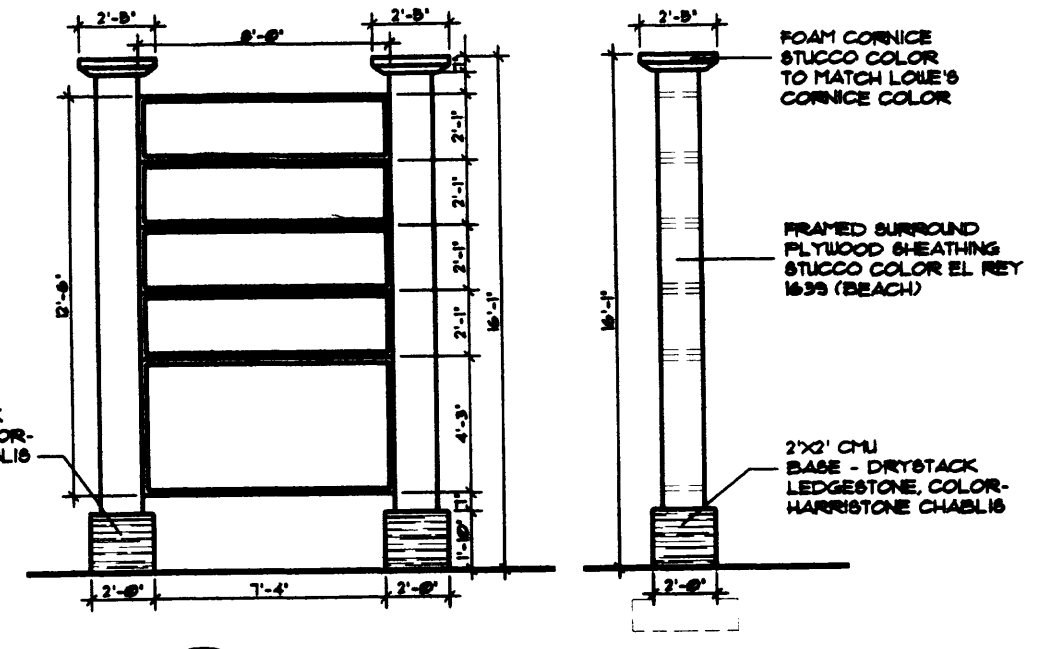
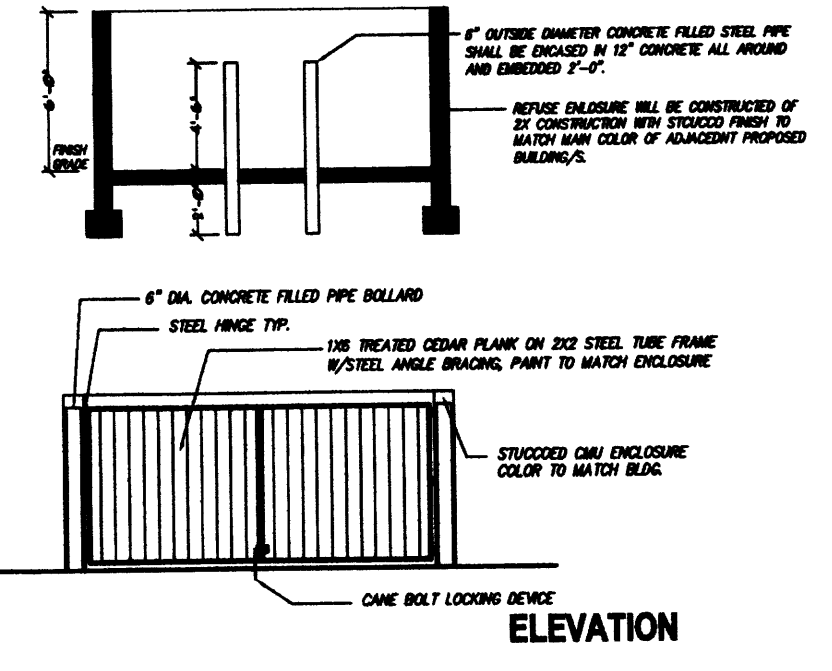
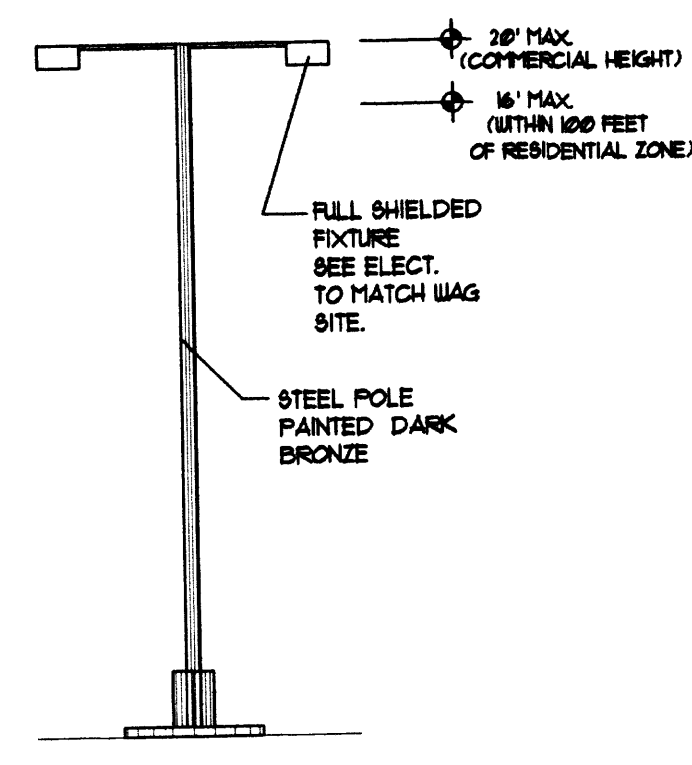
DRB SUBMITTAL



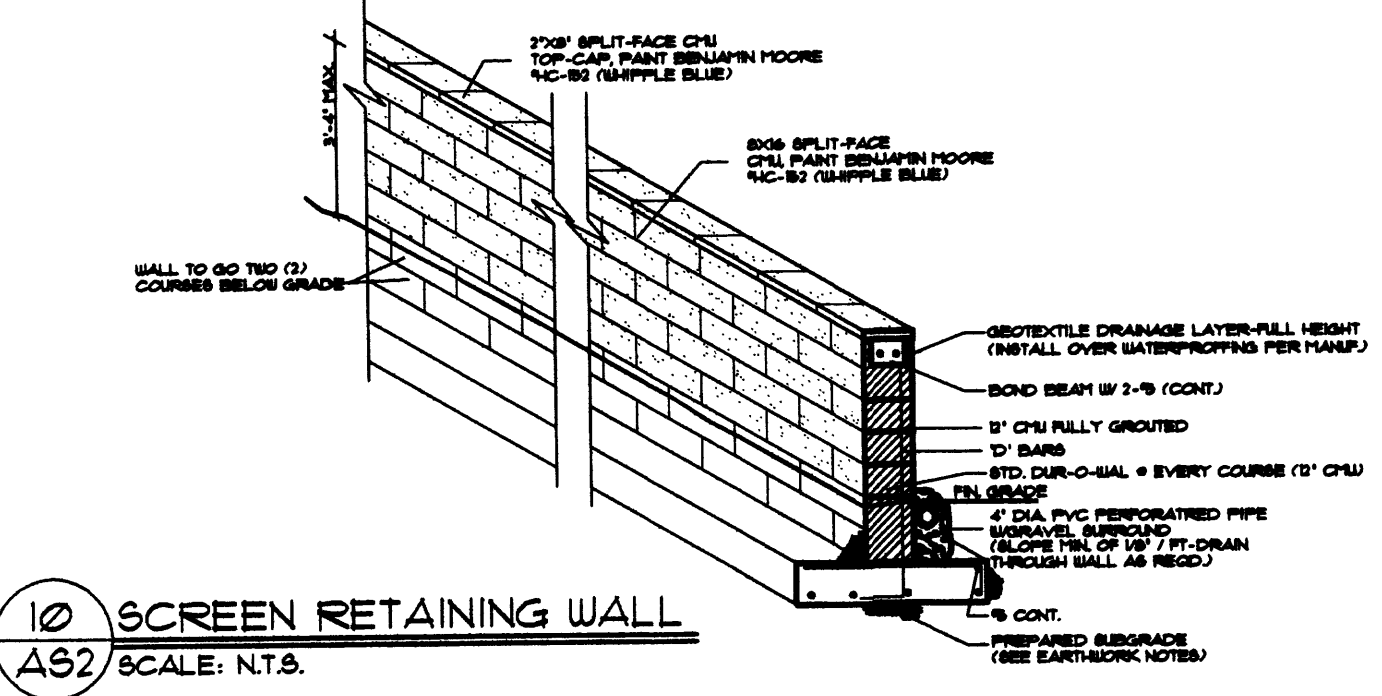
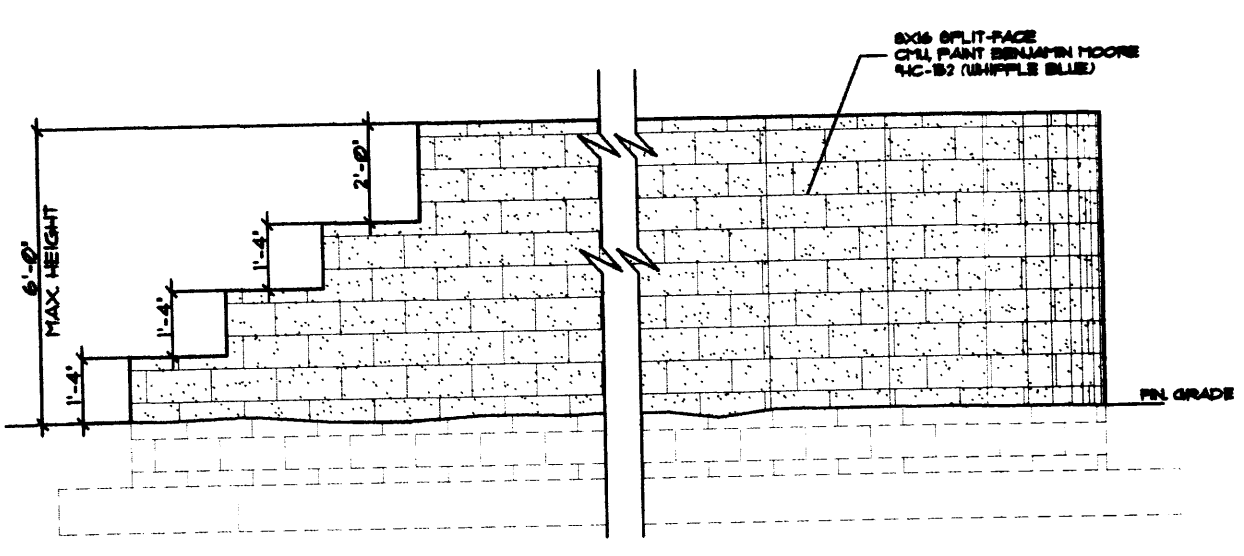
- CONSTRUCTION NOTES:**
- EXISTING SIDEWALK, CURB & GUTTER (WIDTH VARIES).
 - EXISTING STREET.
 - SHIELD ADJUST EXISTING GRADE AS REQUIRED TO PROVIDE DRAINAGE AWAY FROM SHELTER.
 - FILL AND COMPACT TO DRAIN AWAY FROM SHELTER AS REQUIRED.
 - EXISTING GRADE (VARIES) (NOTE: EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED).
 - FINISHED GRADE (VARIES) (NOTE: EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED).
 - NEW CONCRETE SLAB.
 - 16ga. METAL END PANEL.
 - SHELTER TO BE CONSTRUCTED WITHIN R.O.W. (NOTE: EASEMENT MAY BE REQUIRED IF R.O.W. DOES NOT PERMIT MINIMUM CLEARANCE TO STREET).
- GENERAL NOTES:**
- SEE BLUE BOOK C.O.A. STD. DWG. 2408 - IF NEW BUS BAY IS REQUIRED.
 - VERIFY EXISTING SITE CONDITIONS AND CONTACT TRASH DEPT. BEFORE COMMENCING WORK.
 - THE CONTRACTOR SHALL, AT THE TIME OF EXCAVATION AND PRIOR TO ANY CONCRETE WORK, CALL FOR FIELD INSPECTION AND WRITEN REPORT BY A REGISTERED GEOTECHNICAL ENGINEER TO DETERMINE THAT THE ON SITE SOIL ARE NON-COMPACT AND CAPABLE OF 1500 P.S.F. BEARING AND SUITABLE FOR USE AS UNGRAVELLED MATERIAL. THE OWNER SHALL PAY THE COST OF SUCH INSPECTION AND REPORT AND SHALL PROVIDE THE CITY OF ALBUQUERQUE WITH A COPY OF THE REPORT. THE SHELTER SHALL BE CONSTRUCTED WITHIN R.O.W. AS REQUIRED TO ACCOMMODATE SPECIFIED SLAB SIZE.
 - MARK FABRICATED ITEMS TO BE INSTALLED IN FIELD, AFTER PAINTING FOR PROPER INSTALLATION.
 - VERIFY THAT FABRICATION ITEMS FIT PROPERLY BEFORE PAINTING.
 - EXACT LOCATION OF THE BUS SHELTER WILL BE DETERMINED BY THE TRASH DEPARTMENT. CONTACT THE TRASH STOP COORDINATOR PRIOR TO COMMENCING WITH CONSTRUCTION.
 - PRIOR TO CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE PUBLIC WORKS DEPARTMENT.
 - STEEL PIPE SIZES ARE NOMINAL, THE OUTSIDE DIMENSIONS ARE AS FOLLOWS:
 2" SCHEDULE 40 STANDARD PIPE, O.D. = 2.375"
 3" SCHEDULE 40 STANDARD PIPE, O.D. = 3.500"
 4" SCHEDULE 40 STANDARD PIPE, O.D. = 4.500"
 6" SCHEDULE 40 STANDARD PIPE, O.D. = 6.625"
 - ALL METAL ITEMS EXCEPT ANY FACTORY FINISHED ITEMS SHALL BE FIELD OR SHOP PAINTED WITH TWO COATS OF CORROSION RESISTANT PRIMER AND TWO COATS OF "JUN-LUSTRO" COLOR 8015-BALL "BLUE BRONZE" FINISH. PRIMER SHALL BE APPLIED & RE-PAINTED AFTER CONSTRUCTION IS COMPLETE. PAINT AND PRIMER TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
 - SHOP APPLY POWER COAT TO PAINT FINISH TO ALL SURFACES OF SHELTER, BENCH & TRASH RECEPTACLE, TOUCH UP ONLY IN FIELD.
 - SHELTER SHALL BE DESIGNED TO MEET ALL AMMO AND WIND LOAD REQUIREMENTS.
 - CONCRETE PER SECTION 101, EXTERIOR CONCRETE, $f_c = 3000$ psi AT 28 DAYS.



- CONSTRUCTION NOTES:**
- FRAME 3 1/2" O.D. STEEL PIPE, COPE & WELD PIPE TO CHASSIS FRAME SMOOTH.
 - 2 1/2" STANDARD STEEL PIPE COPE, WELD PIPE TO CHASSIS.
 - 18 GA. PERFORATED STEEL PANEL, RIVETS OR TAMPER PROOF SCREENS FASTENED TO 8" O.C. FASTENED TO 1/2" x 1" CHANNEL.
 - ROOF LINE ABOVE.
 - ROOF: HIGH STRENGTH F.F.P. SMOOTH SURFACE TOP AND BOTTOM, FASTEN TO 1/2" x 2" CHANNELS WITH RIVETS OR TAMPER PROOF SCREENS & F.F.P. PAINT TO MATCH SHELTER.
 - OPTIONAL FLUORESCENT DC LIGHT WITH PHOTO VOLTAGE SOLAR COLLECTOR AND BATTERY IN VENT SECURITY HOUSING. LOCATE HOUSING AT 8" O.C. EQUAL. LOCATE STREET SCAPES, PHOENIX, ARIZONA, (602) 371-3110.
 - 1/2" EXPANSION JOINT.
 - TRASH RECEPTACLE (SEE STD. DWG. 2530.10).
 - 4" SLAB WITH 444 - 24x24 W/F, USE 10" DEEP TUNDRUM AT PERIMETER, BROOK FISH.
 - EXISTING SIDEWALK & CURB (WIDTH VARIES), (GRADE)
 - SLOPE SLAB AT 1:50 MATCH ELEVATION OF SIDEWALK.
 - BENCH (SEE DETAILS, STD. DWG. 2335.09).
 - THICKENED SLAB (TYP.) 8"22
 - 3/4" CHAMFER EDGE.
 - R.O.W. VARIES. SHELTER MUST BE CONSTRUCTED WITHIN R.O.W.
 - BUS STOP SIGN (TYP.)



- CONSTRUCTION NOTES:**
- FRAME 3 1/2" STANDARD STEEL PIPE, COPE WELD PIPE TO CHASSIS.
 - 2 1/2" STANDARD STEEL PIPE COPE, WELD PIPE TO CHASSIS.
 - 18 GA. PERFORATED STEEL PANEL, RIVETS OR TAMPER PROOF SCREENS FASTENED TO 8" O.C. FASTENED TO 1/2" x 1" CHANNEL.
 - STEEL ANCHOR PLATE 1/2" DIAMETER RED HEAD ANCHOR BOLT, SEE DETAIL 4/8.
 - ROOF: HIGH STRENGTH F.F.P. SMOOTH SURFACE TOP AND BOTTOM, FASTEN TO 1/2" CHASSIS WITH RIVETS OR TAMPER PROOF SCREENS AT 8" O.C.
 - OPTIONAL FLUORESCENT DC LIGHT WITH PHOTO VOLTAGE SOLAR COLLECTOR AND BATTERY IN VENT SECURITY HOUSING. LOCATE HOUSING AT 8" O.C. EQUAL. LOCATE STREET SCAPES, PHOENIX, ARIZONA, (602) 371-3110.
 - BENCH (SEE DETAILS ON STD. DWG. 2335.09).
 - 1/2" EXPANSION JOINT.
 - 4" SLAB WITH 444 - 24x24 W/F, USE 10" DEEP TUNDRUM AT PERIMETER, BROOK FISH.
 - 1/2" STEEL BRACKET, WELD TO PIPE FRAME, GRIND SMOOTH.
 - 18 GA. SHEET METAL PANEL (BEYOND) ATTACH WITH RIVETS OR TAMPER PROOF SCREENS (2 PER PANEL).



- NOTE:**
REFER TO SHEET AS1 FOR SITE DETAIL LOCATION.
- KEY NOTES**
- HANDICAP RAMP DETAIL (SEE 1/AS2)
 - BIKE RACK (SEE 2/AS2)
 - ACCESSIBLE PARKING SIGN (SEE 3/AS2)
 - CURB & GUTTER (SEE 4/AS2)
 - TRASH ENCLOSURE (SEE 5/AS2)
 - CURB/SIDEWALK DETAIL (SEE 6/AS2)
 - SITE LIGHTING 20' MAX HEIGHT (SEE 7/AS2)
 - MONUMENT SIGN (SEE DETAIL 8/AS2)
 - STEPPED WALL DETAIL (SEE 9/AS2)
 - SCREEN RETAINING WALL (SEE 10/AS2)

SITE DETAILS

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

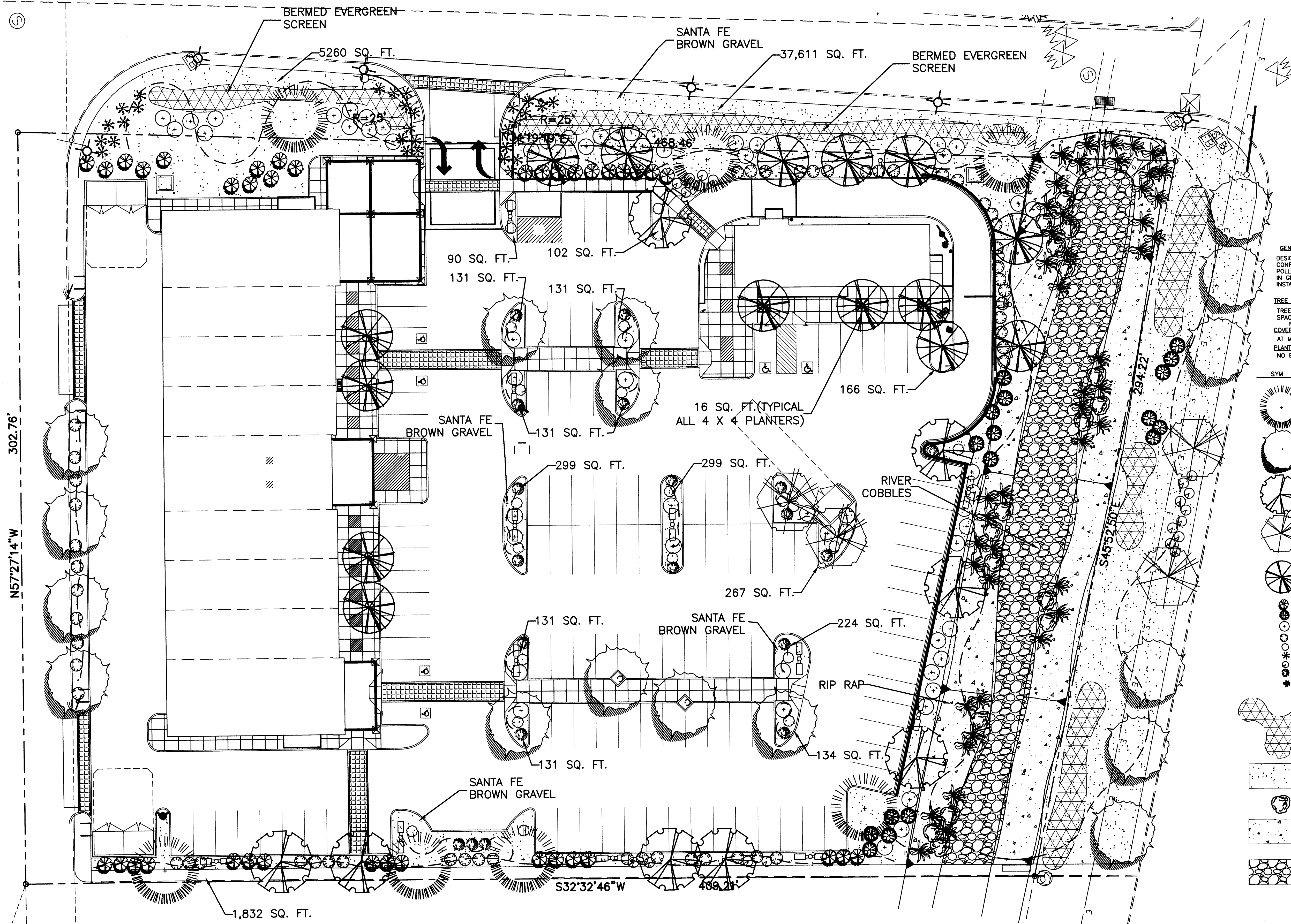
PRELIMINARY NOT FOR CONSTRUCTION

SHOPPES OF ALAMEDA
N STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
ALBUQUERQUE, NEW MEXICO

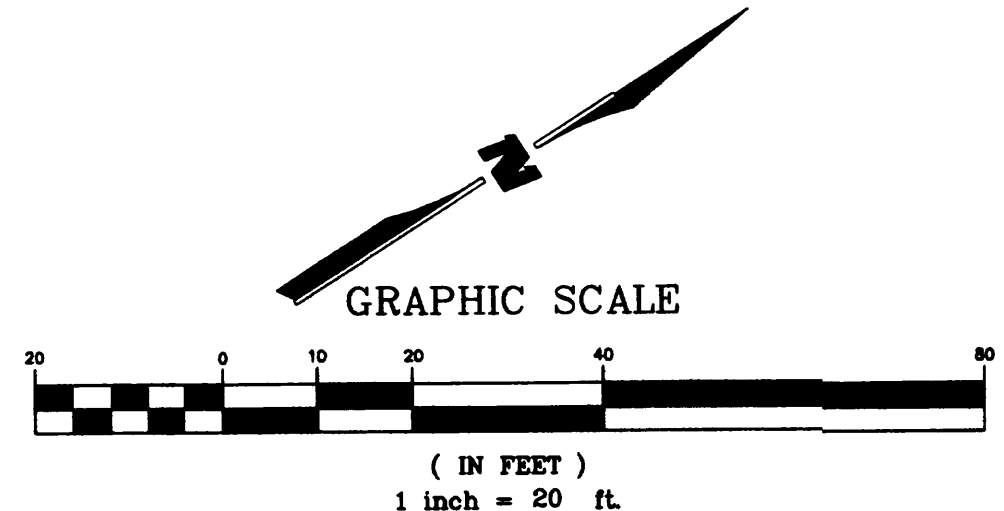
PROJECT MANAGER: William Suttles
JOB NO.: 0613A
DRAWN BY: URS
SHEET TITLE: SITE DETAILS

DATE: 8.3.2006
SCALE: AS NOTED
SHEET: AS2
of

DRB SUBMITTAL



LOT 3
LOWES SUBDIVISION



GENERAL:
DESIGN & PROVISION OF LANDSCAPE FEATURES WITHIN THE LOWE'S SITE WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE IN GENERAL WATER CONSERVATIVE LANDSCAPE PRINCIPALS WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

TREE REQUIREMENTS:
TREES WITHIN THE PARKING AREA ARE REQUIRED AT A RATE OF 1 TREE PER 10 PARKING SPACES.
REQUIRED FOR 105 SPACES: 11 PROVIDED: 16

COVERAGES:
AT MATURITY, PLANT MATERIAL SHALL COVER A MINIMUM OF 75% OF PLANTING AREAS.

PLANT MATERIAL:
NO EXISTING LANDSCAPING WILL BE USED OR REMOVED.

SYM	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	QTY
	PINON PINE	PINUS EDULIS	2" CAL.	8-10 FT.	7
	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2" CAL.	8-10 FT.	17
	HONEY LOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS	2" CAL.	8-10 FT.	8
	PURPLE ROBE LOCUST	ROBINIA PSEUDOACACIA	2" CAL.	8-10 FT.	4
	BRADFORD PEAR	PYRUS CALLERYANA	2" CAL.	8-10 FT.	15
	SPANISH BROOM	SPARTIUM JUNCEUM	5 GAL.		38
	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.		17
	ROSEMARY	ROSMARINUS OFFICINALIS	5 GAL.		63
	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.		55
	POTENTILLA	POTENTILLA FRUTICOSA	5 GAL.		22
	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.		30
	CHERRY SAGE	SALVIA GREGGII	1 GAL.		20
	SANTOLINA	SANTOLINA VIRENS	1 GAL.		19
	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIUM'	1 GAL.		45

BERMED EVERGREEN SCREEN (1 1/2" CRUSHED GREY GRAVEL AT 4" DEPTH W/ FABRIC). BERMS TO BE MIN. 30" AND MAX. 36" HEIGHT.
ONE COTONEASTER CLAUOPHYLLUS AND/OR DIVARICATUS PER 30 SQ. FT.
ONE LAVENDER - LAVANDULA ANGSTUFOLIA PER 30 SQ. FT.
ONE SAND SAGE - ARTEMISIA FILIFOLIUM PER 30 SQ. FT.

MULCH:
2" SANTA FE BROWN GRAVEL TO 3" DEPTH. MULCH SHALL BE INSTALLED IN ALL BED AREAS.

BOULDERS:
MOSS ROCK BOULDERS, (3' MIN. DIAMETER).

RIP-RAP WITH RECLAMATION/WILDFLOWER SEEDING:
8"-12" RIP-RAP SLOPE, SANTA FE BROWN WITH OVERSEEDING MIX OF NATIVE GRASSES AND FLOWERS INCLUDING INDIAN RICE GRASS, BLUE GRAMA, WILD HYSSOP, GLOBE MALLOW, CALIFORNIA POPPY, DESERT MARIGOLD, GALLARDA, DESERT FOUR' O CLOCKS, AND PURPLE ASTER.

COBBLES:
6"-10" RIVER COBBLES

IRRIGATION SYSTEM:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE UTILIZED TO IRRIGATE TREES, SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE A DRIP IRRIGATION SYSTEM UTILIZING A HUNTER AUTOMATIC CONTROLLER, RAINBIRD DRIP EMITTERS WITH 1/2" POLY PIPE. (2) 1 GPH EMITTERS PER SHRUB & (8) 2 GPH PER TREE WILL BE USED. PRESSURE REGULATORS AND FILTERS WILL ALSO BE USED.

MAINTENANCE RESPONSIBILITY:
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THAT WITHIN THE ADJACENT PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING CODE LANDSCAPE REQUIREMENTS:

TOTAL SITE AREA	159,866 SF
BUILDING FOOTPRINT	= 16,904 SF
NET AREA	= 142,962 SF
TOTAL AREA	142,962 SF
REQUIRED PERCENTAGE	15%
LANDSCAPE AREA REQUIRED	21,444 SF
LANDSCAPE AREA PROVIDED	47,099 SF
HIGH WATER USE TURF ALLOWED (20%)	3,400 SF
HIGH WATER USE TURF PROVIDED	0 SF

REV	DATE	BY	REVISION
1			
2			
3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE
SHOPPES OF ALAMEDA
NM STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
William Suttles

JOB NO.
0613A

DRAWN BY:
RTJ

SHEET TITLE
LANDSCAPE PLAN

DATE:
8.3.2006

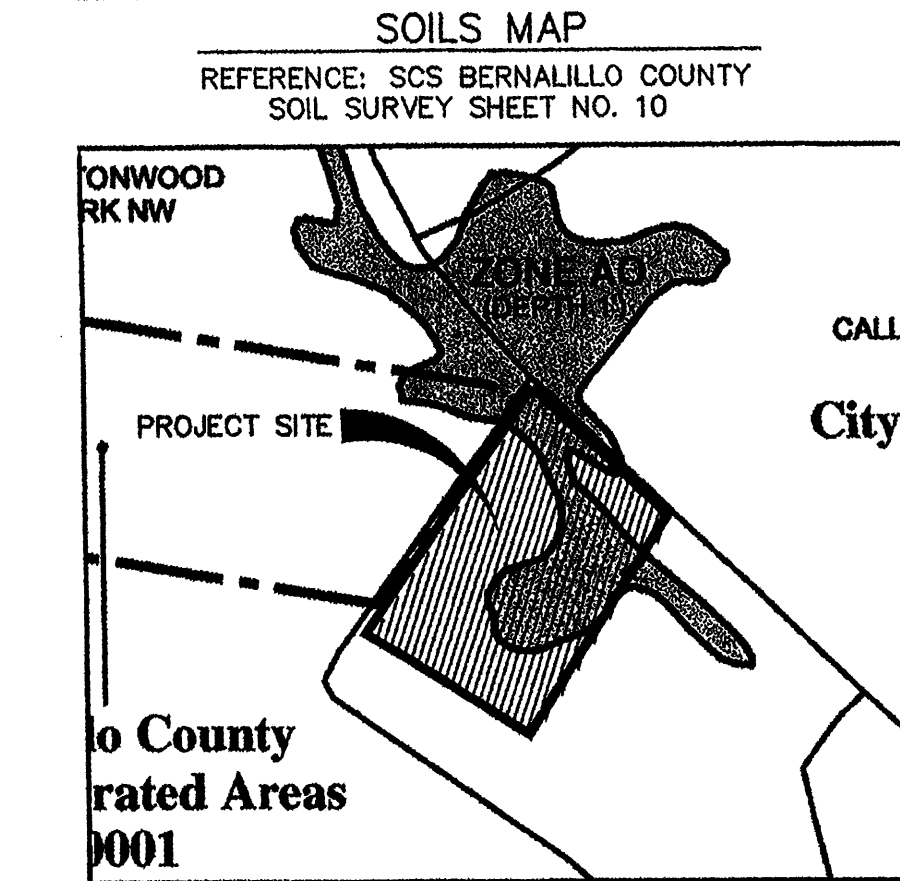
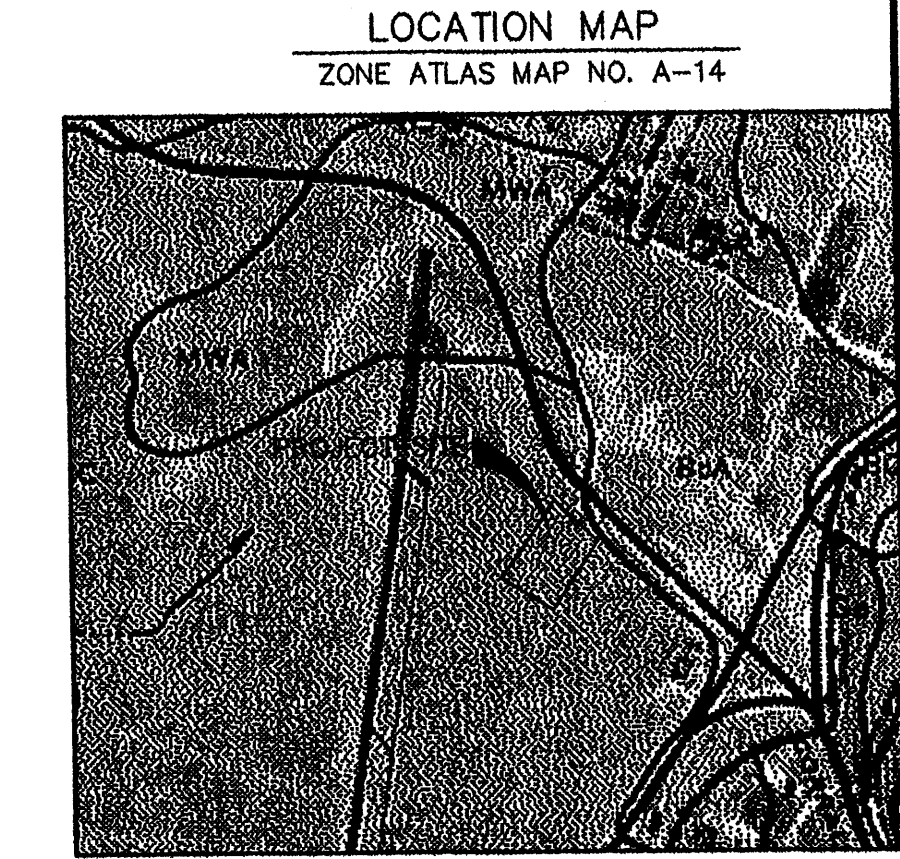
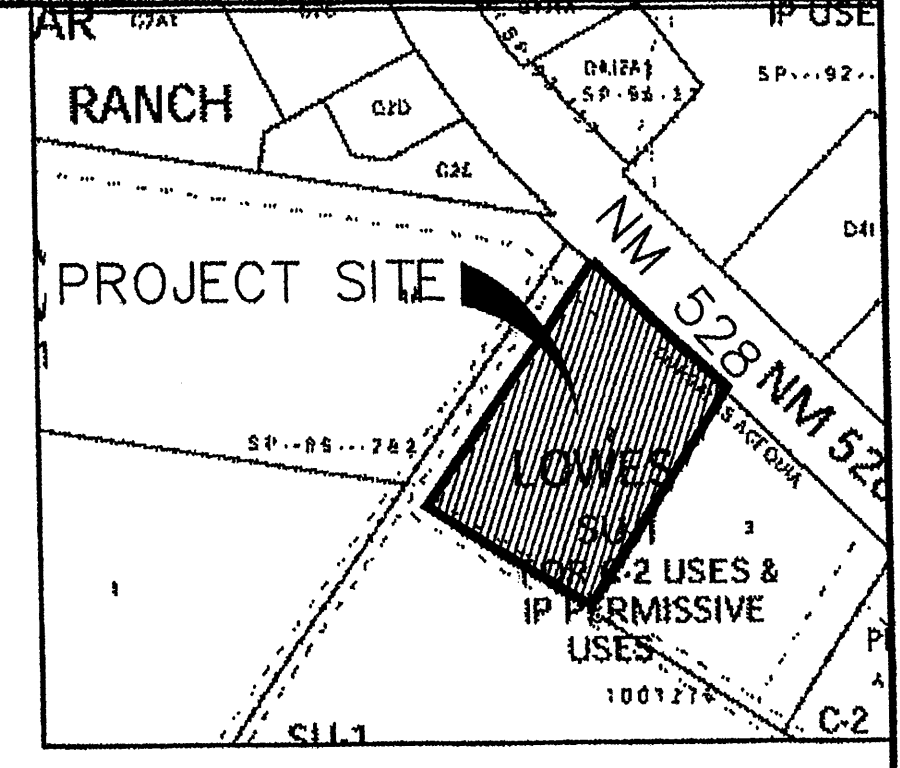
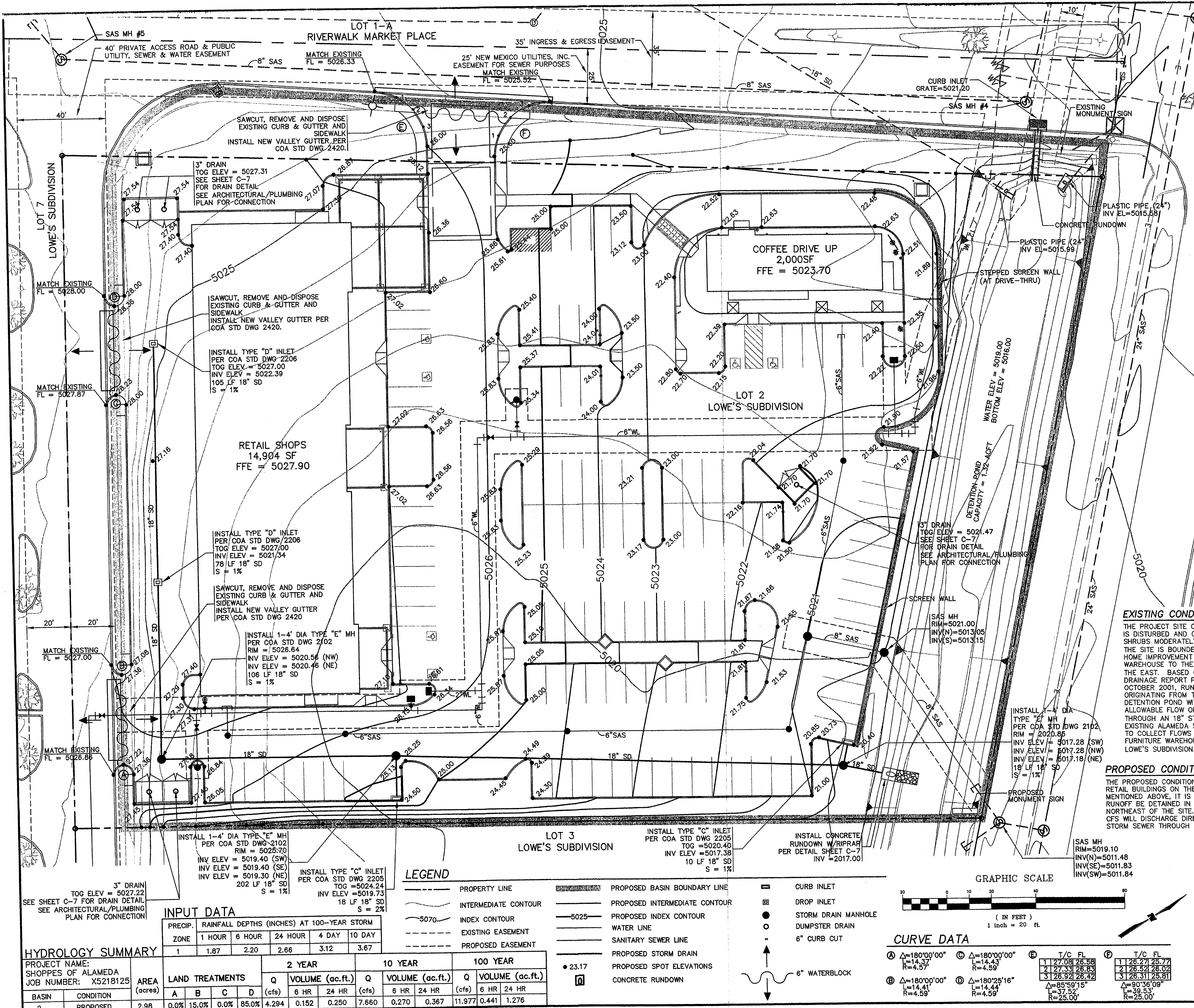
SCALE:
AS NOTED

sheet:
L1

of:
of

DRB SUBMITTAL

LANDSCAPE PLAN



EXISTING CONDITIONS
 THE PROJECT SITE CONSISTS OF 2.98 ACRES, ALL OF WHICH IS DISTURBED AND CONSISTS OF VARIOUS GRASSES AND SHRUBS MODERATELY SPACED THROUGHOUT THE AREA. THE SITE IS BOUNDED BY NM 528 TO THE NORTH, LOWE'S HOME IMPROVEMENT TO THE SOUTH, AMERICAN FURNITURE WAREHOUSE TO THE WEST, AND AN UNDEVELOPED AREA TO THE EAST. BASED ON LOWE'S OF NW ALBUQUERQUE DRAINAGE REPORT PREPARED BY WILSON & COMPANY, OCTOBER 2001, RUNOFF FOR PROPOSED CONDITIONS ORIGINATING FROM THE SITE IS DETAINED IN AN EXISTING DETENTION POND WITH A CAPACITY OF 1.32 AC-FT. THE ALLOWABLE FLOW OF 28.41 CFS IS THEN DISCHARGED THROUGH AN 18" STORM DRAIN PIPE DIRECTLY TO THE EXISTING ALAMEDA STORM SEWER. THIS POND WAS DESIGNED TO COLLECT FLOWS FROM A PORTION OF THE AMERICAN FURNITURE WAREHOUSE LOT AND LOTS 2 & 3 OF THE LOWE'S SUBDIVISION.

PROPOSED CONDITIONS
 THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF RETAIL BUILDINGS ON THE SITE. BASED ON THE REPORT MENTIONED ABOVE, IT IS PROPOSED THAT ALL OF THE RUNOFF BE DETAINED IN THE DETENTION POND LOCATED NORTHEAST OF THE SITE. THE ALLOWABLE AMOUNT OF 11.98 CFS WILL DISCHARGE DIRECTLY TO THE EXISTING ALAMEDA STORM SEWER THROUGH A STORM DRAIN PIPE.

BENCH MARK
 BASIS OF ELEVATION/PRIMARY BENCHMARK: NMSHC CONTROL STATION "NM448-N12" DATA: NMSHC BRASS TABLET FOUND IN PLACE SET IN TOP OF CONCRETE TABLET, NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL-ZONE) X = 381,108.54 Y = 1,528,910.94 ELEV = 5023.41' (SLD 1929) GROUND TO GRID FACTOR = 0.99967595 DELTA ALPHA = -00'13.46" NAD 1927

NOTE
 SEE SHEET C-7 FOR TYPICAL DETAILS.

LEGAL DESCRIPTION
 LOT 2 LOWE'S SUBDIVISION

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-9021

PRELIMINARY NOT FOR CONSTRUCTION

SHOPPES OF ALAMEDA LOT 2 LOWE'S SUBDIVISION

GRADING AND DRAINAGE PLAN

NO.	DATE	REMARKS	BY
DESIGN	BMF	WCEA NO. X5218125	DATE JULY 2006
DRAWN	ERI	PROJECT NO.	SHEET NO.
CHECK	BMF		C-5

INPUT DATA

PRECIP.	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
ZONE	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67

HYDROLOGY SUMMARY

BASIN	CONDITION	AREA (acres)	LAND TREATMENTS					2 YEAR		10 YEAR		100 YEAR			
			A	B	C	D	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)			
			(cfs)	6 HR	24 HR	(cfs)	6 HR	24 HR	(cfs)	6 HR	24 HR				
2	PROPOSED	2.98	0.0%	15.0%	0.0%	85.0%	4.294	0.152	0.250	7.660	0.270	0.367	11.977	0.441	1.276

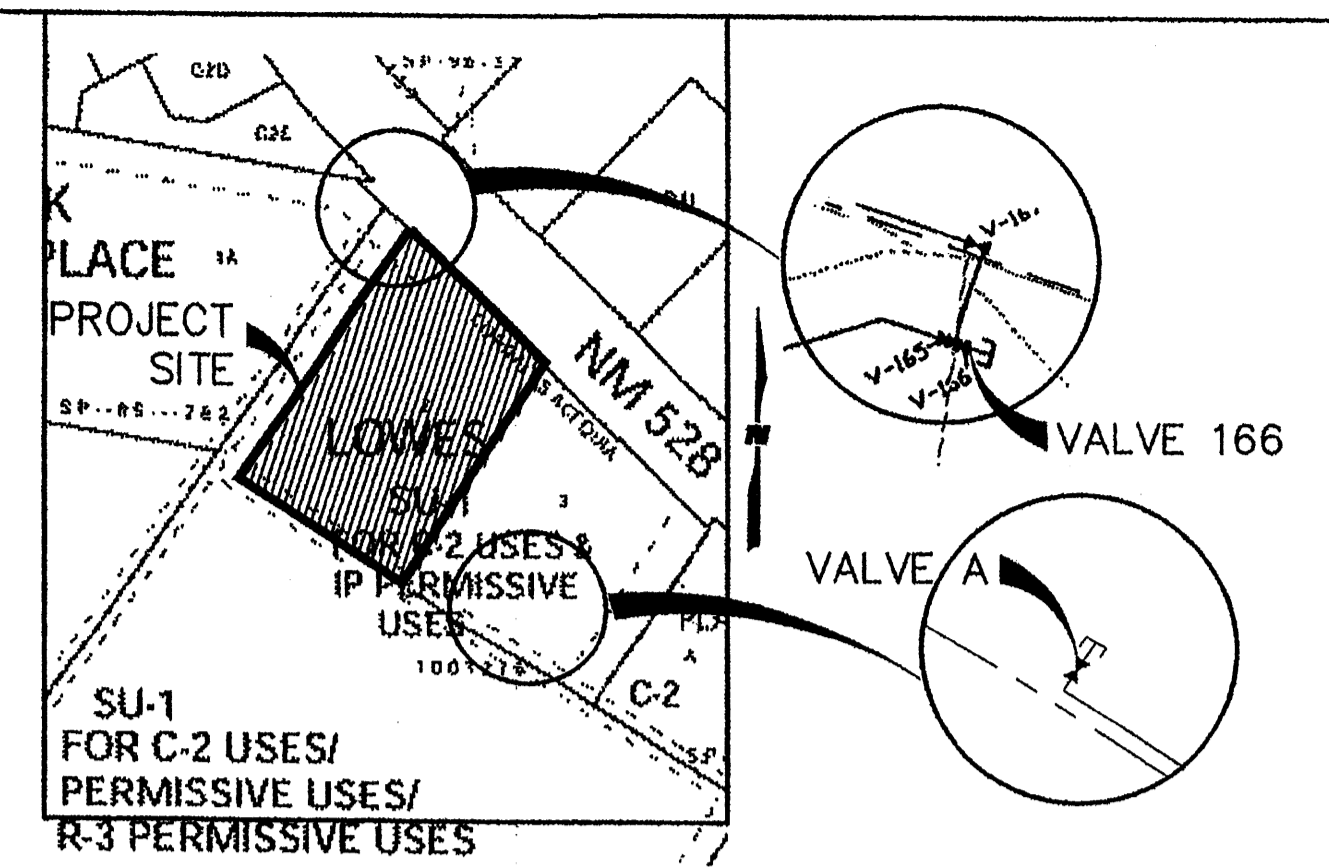
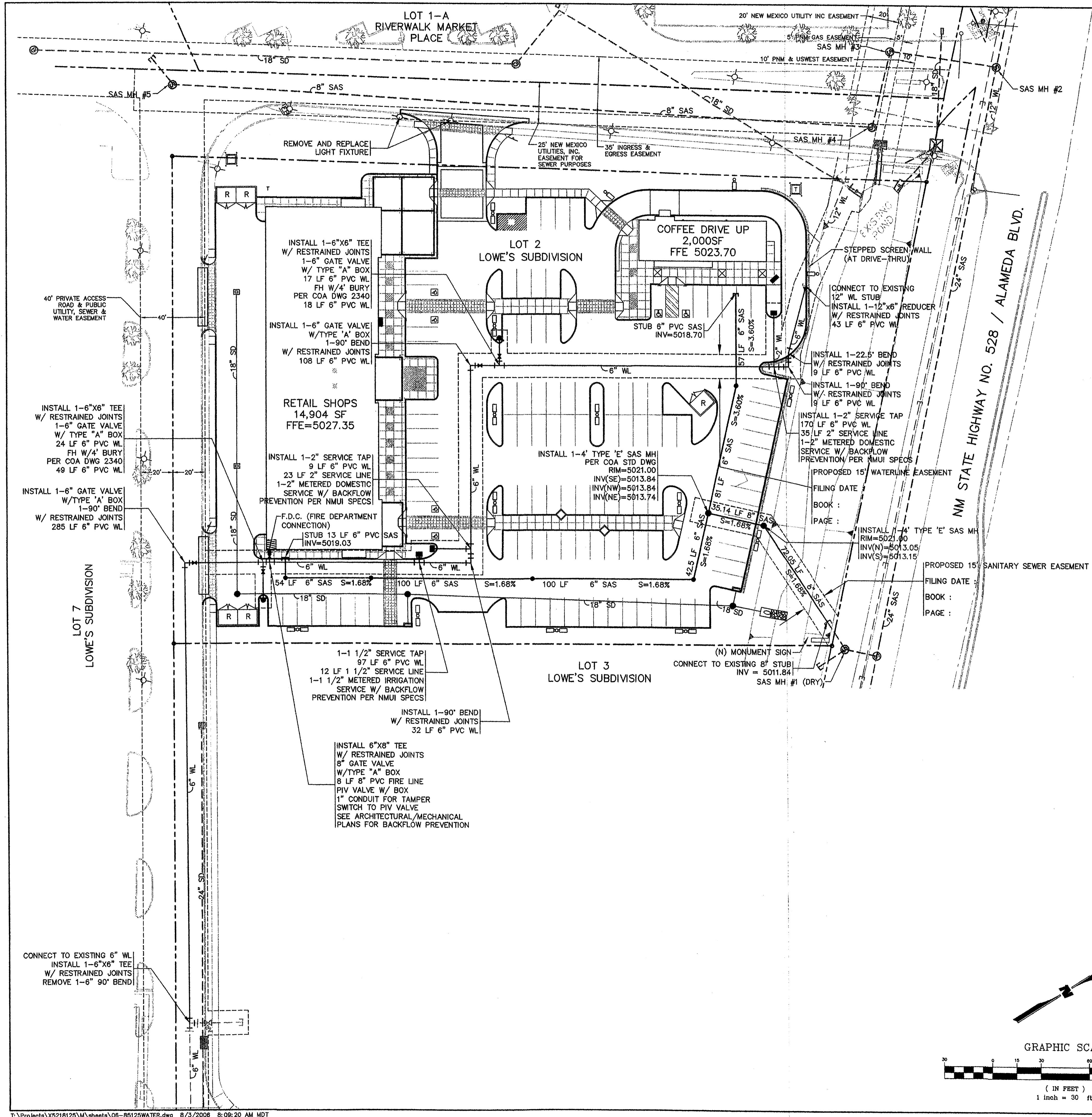
LEGEND

- PROPERTY LINE
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED BASIN BOUNDARY LINE
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- WATER LINE
- SANITARY SEWER LINE
- PROPOSED STORM DRAIN
- PROPOSED SPOT ELEVATIONS
- CONCRETE RUNDOWN
- CURB INLET
- DROP INLET
- STORM DRAIN MANHOLE
- DUMPSTER DRAIN
- 6" CURB CUT
- 6" WATERBLOCK

GRAPHIC SCALE
 1 inch = 20 ft.

CURVE DATA

Δ	L	R	T/C FL
180°00'00"	14.37	4.57	26.58
180°00'00"	14.43	4.59	26.83
180°00'00"	14.41	4.59	26.42
180°25'16"	14.44	4.59	25.81
85°59'15"	37.50	25.00	26.09
90°36'09"	39.35	25.00	25.81



RESTRAINED JOINT TABLE

LENGTH OF RESTRAINED PIPE EACH WAY (L_R) (FEET)

PIPE SIZE	90°	45°	22-1/2°	11-1/4°	TEE	VALVE/CAP/PH	REDUCER
6"	8'	3'	2'	-	1'	18'	-

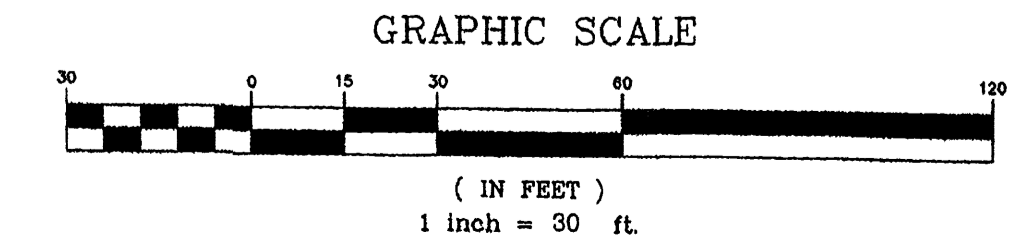
*TEE BRANCH - EACH RUN PIPE SHALL BE MINIMUM 10' W/O JOINTS.

LEGEND

- EXISTING**
- EXISTING PROPERTY
 - - - EASEMENT
 - - - STORM DRAIN
 - - - SANITARY SEWER LINE
 - - - WATER LINE
 - - - ELECTRIC LINE
 - SEWER MANHOLE
 - PP ● POWER POLE
 - ⊗ LIGHT POLE
 - EB ELECTRIC BOX
 - SLB SIGNAL LIGHT JCT. BOX
 - ⊗ AREA INLET
 - ⊗ CURB INLET
 - ⊗ WATER VALVE
 - ⊗ TRAFFIC SIGNAL W/MAST
- PROPOSED**
- - - 6" SAS SANITARY SEWER LINE
 - - - 6" WL WATER LINE
 - - - 18" SD STORM DRAIN
 - - - EASEMENT
 - CLEANOUT
 - SANITARY SEWER MANHOLE
 - ⊗ REDUCER
 - ⊗ FIRE HYDRANT
 - ⊗ WATER VALVE
 - ⊗ WATER METER
 - ⊗ LIGHT POLE

MANHOLE DATA

SEWER MH #1 (DRY) RIM EL=5019.10 N INV EL=5011.48 (8") SE INV EL=5011.83 (8") SW INV EL=5011.84 (8")	SEWER MH #3 RIM EL=5021.65 N INV EL=5012.11 (6") E INV EL=5012.60 (12") SW INV EL=5012.23 (6")	SEWER MH #5 RIM EL=5026.79 N INV EL=5020.91 (8") S INV EL=5021.16 (8")
SEWER MH #2 RIM EL=5021.63 S INV EL=5012.07 (6") E INV EL=5010.31 (24") W INV EL=5010.31 (24")	SEWER MH #4 RIM EL=5021.27 S INV EL=5012.92 (8") W INV EL=5012.71 (8")	



WCEA #X5218125
JULY 2006
WILSON & COMPANY

APPROVED FOR CONSTRUCTION

NEW MEXICO UTILITIES, INC. DATE _____

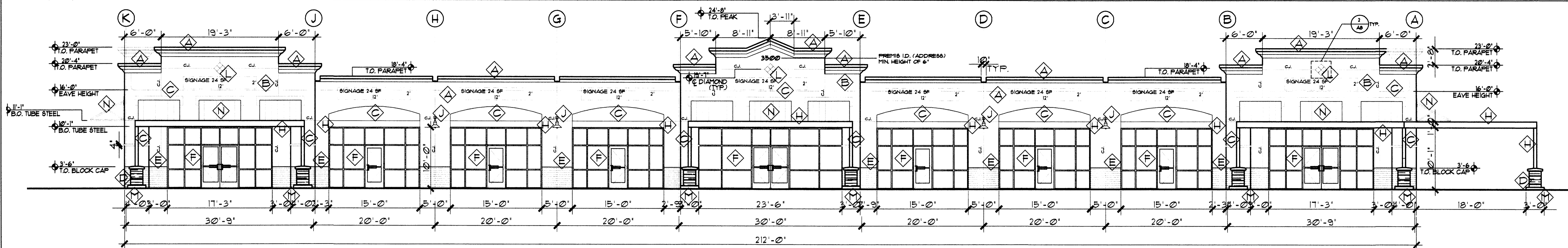
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

**SHOPPES OF ALAMEDA
UTILITY PLAN**

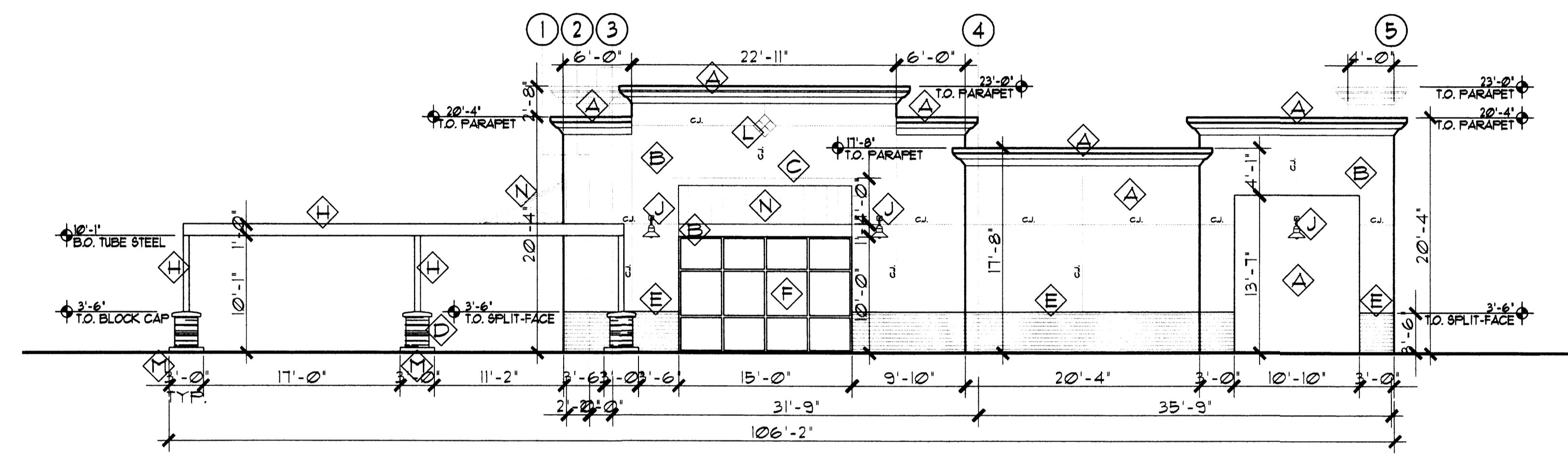
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
PRELIMINARY NOT FOR CONSTRUCTION			
City Project No.	Zone Map No.	Sheet	
	A-14	C-6	

WILSON & COMPANY, ENGINEERS & ARCHITECTS
DESIGNED BY: JRH DATE: AUGUST 2006
DRAWN BY: JRH DATE: AUGUST 2006
CHECKED BY: BMF DATE: AUGUST 2006

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	BASIS OF ELEVATION/PRIMARY BENCHMARK	CONTROL STATION	NO.	FIELD NOTES	NO.	REVISIONS
NEW MEXICO UTILITIES, INC.		NM448-N12	DATA: NMHC BRASS				
TABLET FOUND IN PLACE SET IN TOP OF A CONCRETE							
TABLET: NEW MEXICO STATE PLANE GRID COORDINATES							
(CENTRAL-ZONE)							
X = 381,108.94 Y = 1,528,910.94 ELEV = 5023.41'							
(SLD 1929) GROUND TO GRID FACTOR = 0.99987595							
DELTA ALPHA = -0013'48" NAD 1927							

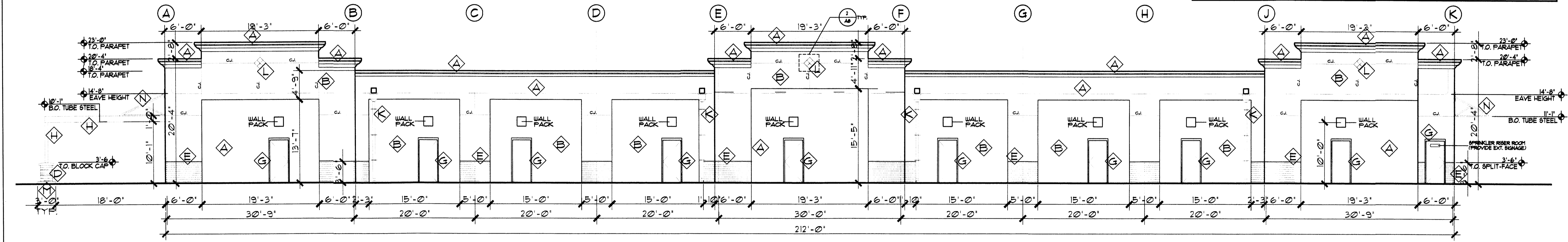


1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

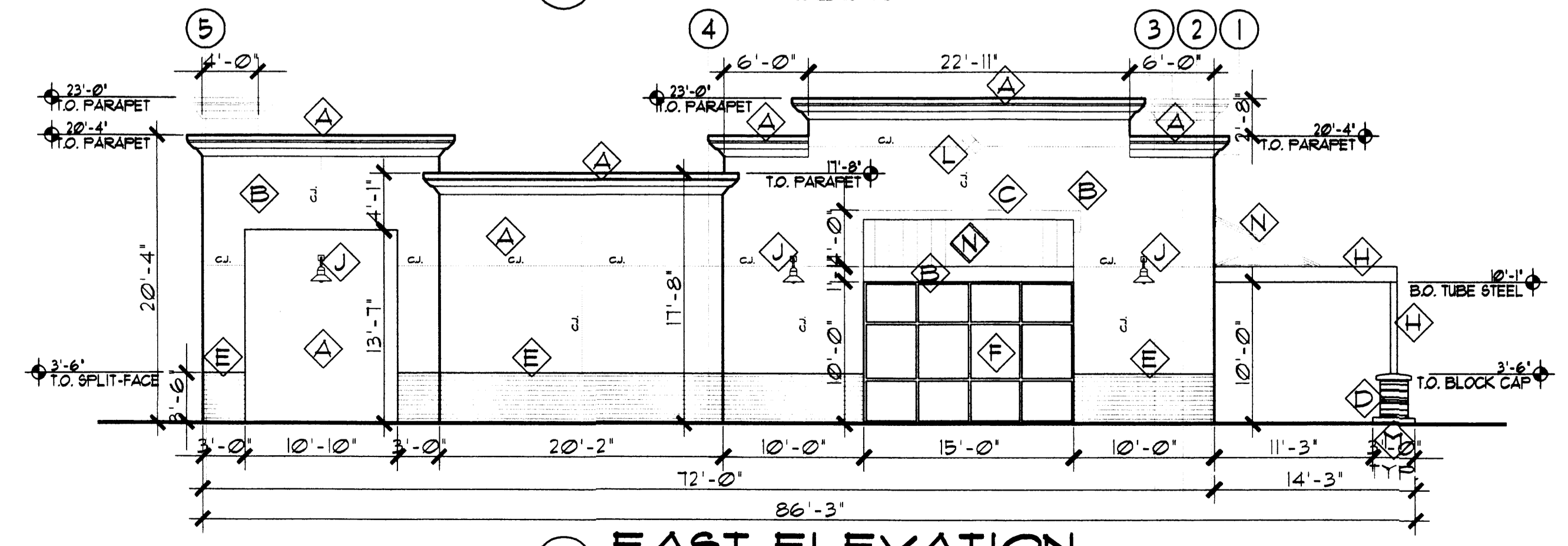


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
⬡	STUCCO EL REY 1628 ALMOND	OFF WHITE/ L.T.TAN
⬡	STUCCO EL REY 1638 BEACH	L.T. TAN
⬡	STUCCO EL REY 1637 WHARF	MED. TAN
⬡	DRYSTACK LEDGESTONE HARRISTONE CHABLIS	
⬡	SPLIT-FACE CMU BENJAMIN MOORE *4C-152 (WHIPPLE BLUE)	
⬡	ALUM. STOREFRONT BRONZE	
⬡	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬡	TUBE STEEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬡	LIGHT FIXTURE TRUE WHITE	
⬡	DOWNSPOUT TRUE WHITE	
⬡	DIAMOND PATTERN W/4"x4" TILE INLAY MATCH BIG COUNTRY BLUE (NON-REFLECTIVE)	
⬡	3'x3'x6" CONCRETE COLUMN BASE	
⬡	TUBE STEEL CANOPY W/ STANDING-SEAM MTL. BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬡	C-CHANNEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	

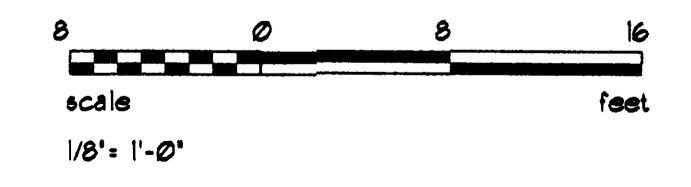


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED.
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



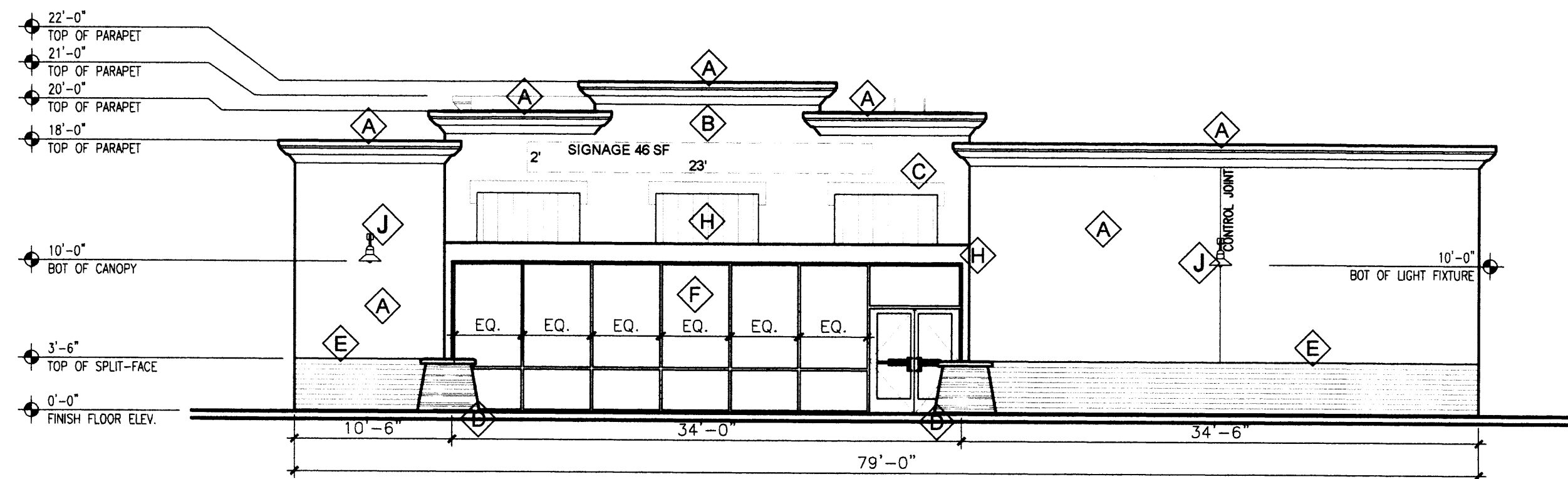
REV	DATE	BY	REVISION
1			
2			
3			
4			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

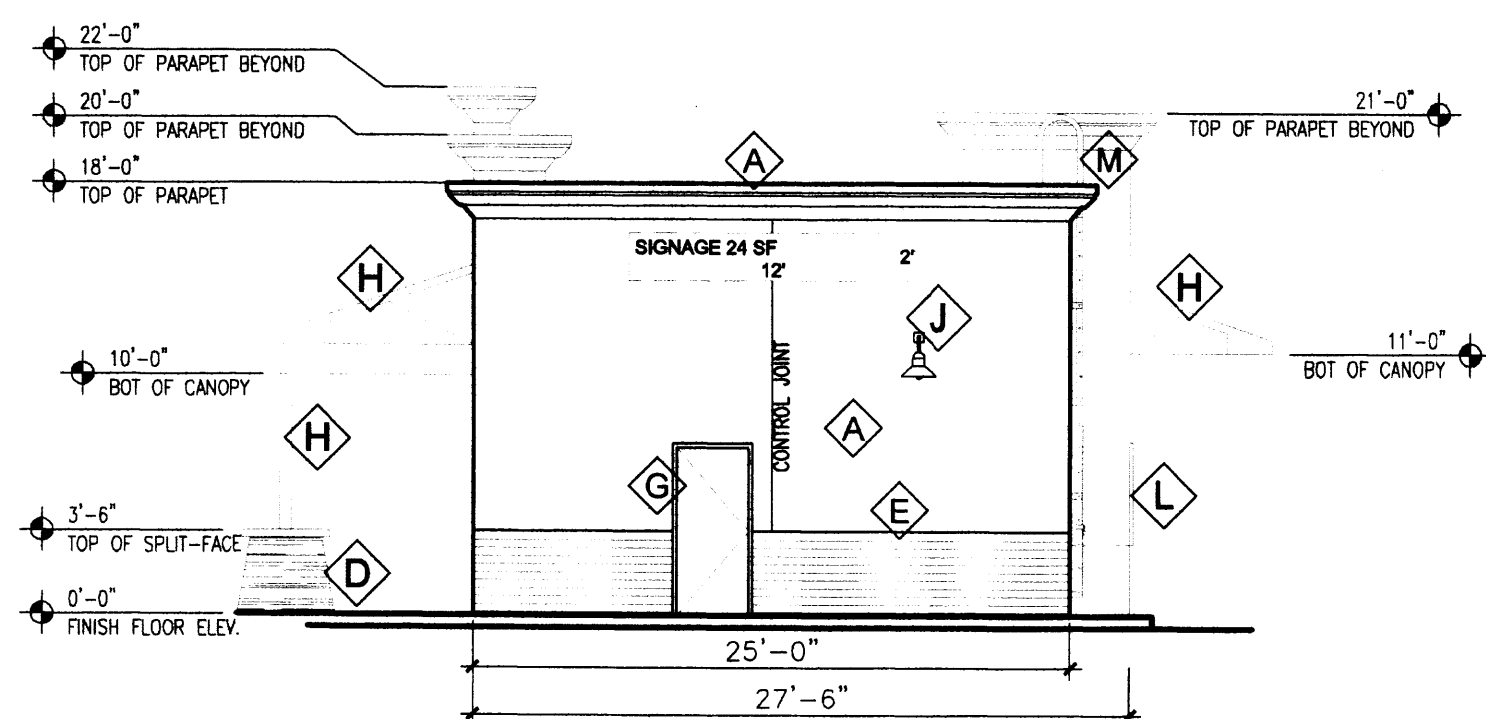
**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE SHOPPES OF ALAMEDA N STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD. ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER William Suttles	JOB NO. 06/3A	DRAWN BY URS
SHEET TITLE RETAIL SHOPS ELEV.			DATE 8/31/06
SCALE AS NOTED			SHEET NO. A1

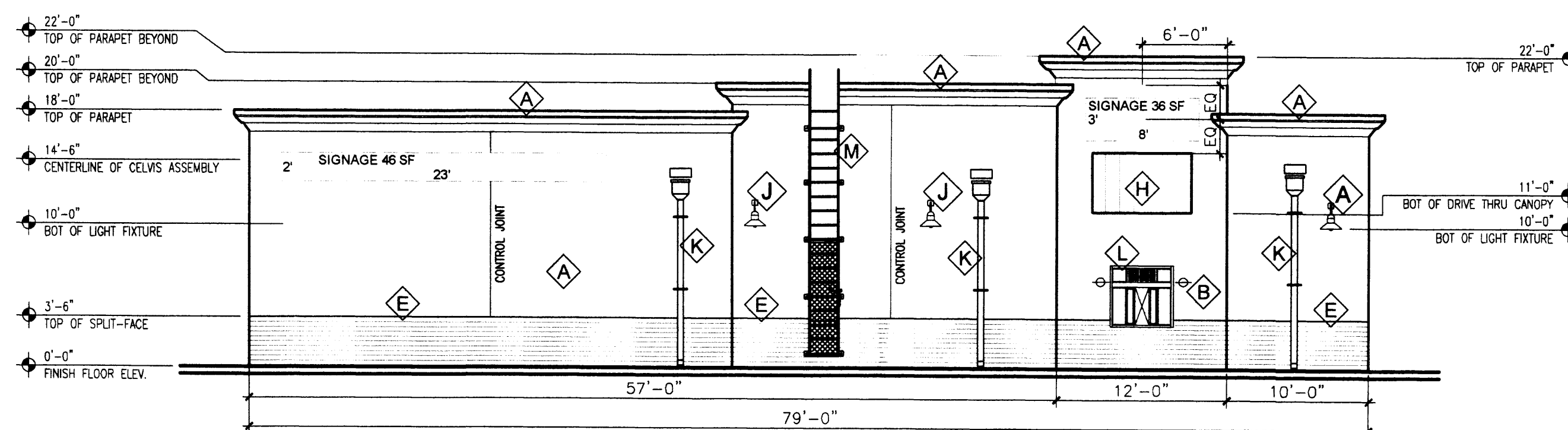
DRB SUBMITTAL



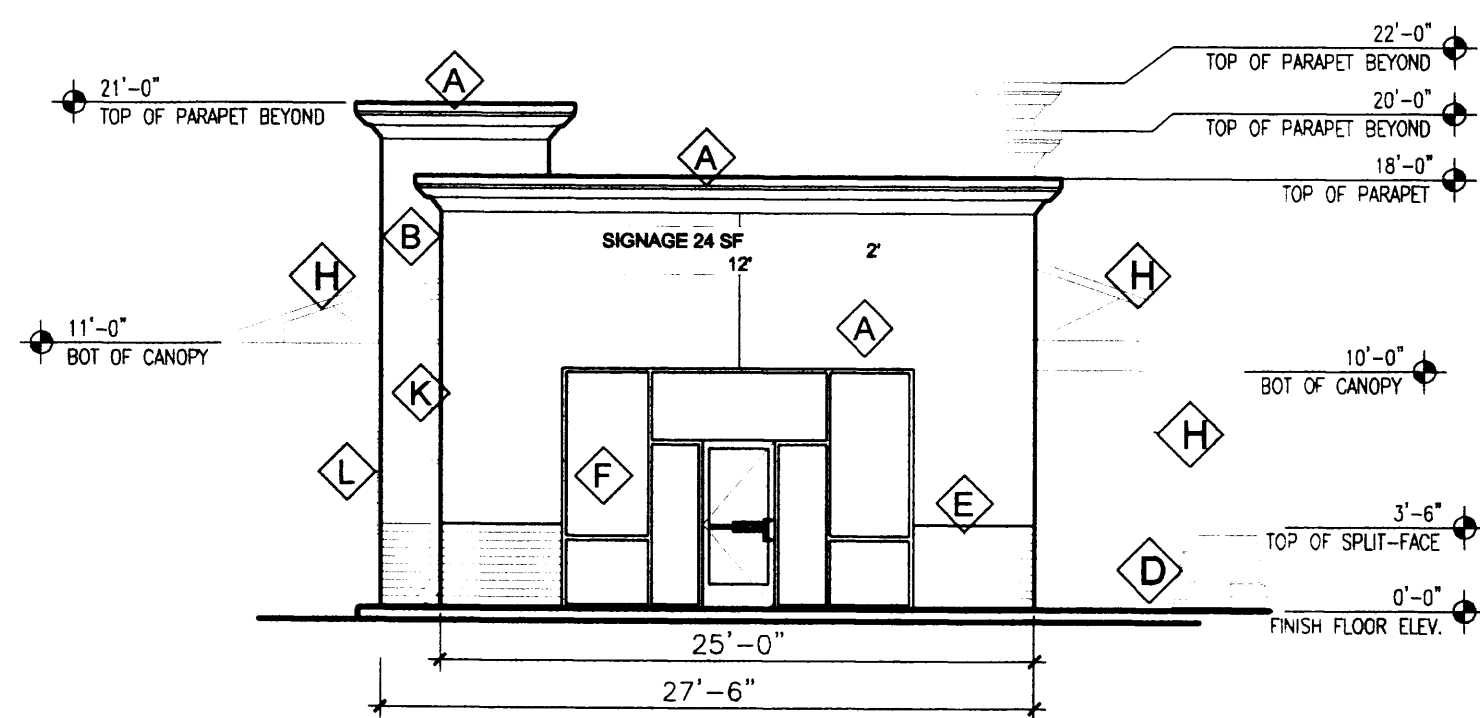
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

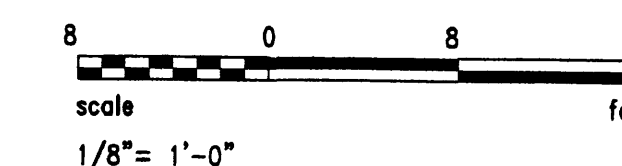


4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

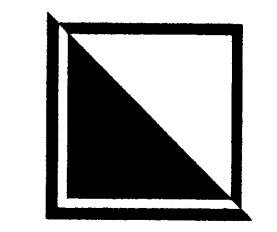
Keyed Color / Material Schedule		Common Name
⬠	STUCCO EL REY 1628 ALMOND	OFF WHITE/ LT.TAN
⬠	STUCCO EL REY 1639 BEACH	LT. TAN
⬠	STUCCO EL REY 1637 WHARF	MED. TAN
⬠	DRYSTACK LEDGESTONE HARRISTONE CHABLIS	
⬠	SPLIT-FACE CMU BENJAMIN MOORE #HC-152 (WHIPPLE BLUE)	
⬠	ALUM. STOREFRONT BRONZE	
⬠	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬠	TUBE STEEL CANOPY BENJAMIN MOORE #2066-30 (BIG COUNTRY BLUE)	
⬠	LIGHT FIXTURE TRUE WHITE	
⬠	DOWNSPOUT TRUE WHITE	
⬠	DRIVE-THRU WINDOW	BRONZE KAWNEER 451-T
⬠	ROOF ACCESS LADDER PAINT TO MATCH ADJACENT FINISH	

NOTE:
READY ACCESS DRIVE THRU SERVICE WINDOW 131E. INTERIOR SHELF PROVIDED BY STARBUCK'S, EXTERIOR SHELF PROVIDED BY CONTRACTOR.

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE
SHOPS OF ALAMEDA
NM STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
William Suttles
DRAWN BY
WRS
JOB NO.
SHEET TITLE
COFFEE/DRIVE-THRU ELEV.

DATE: 6.27.2006 sheet-
SCALE: AS NOTED **A1.1**
of

DRB SUBMITTAL