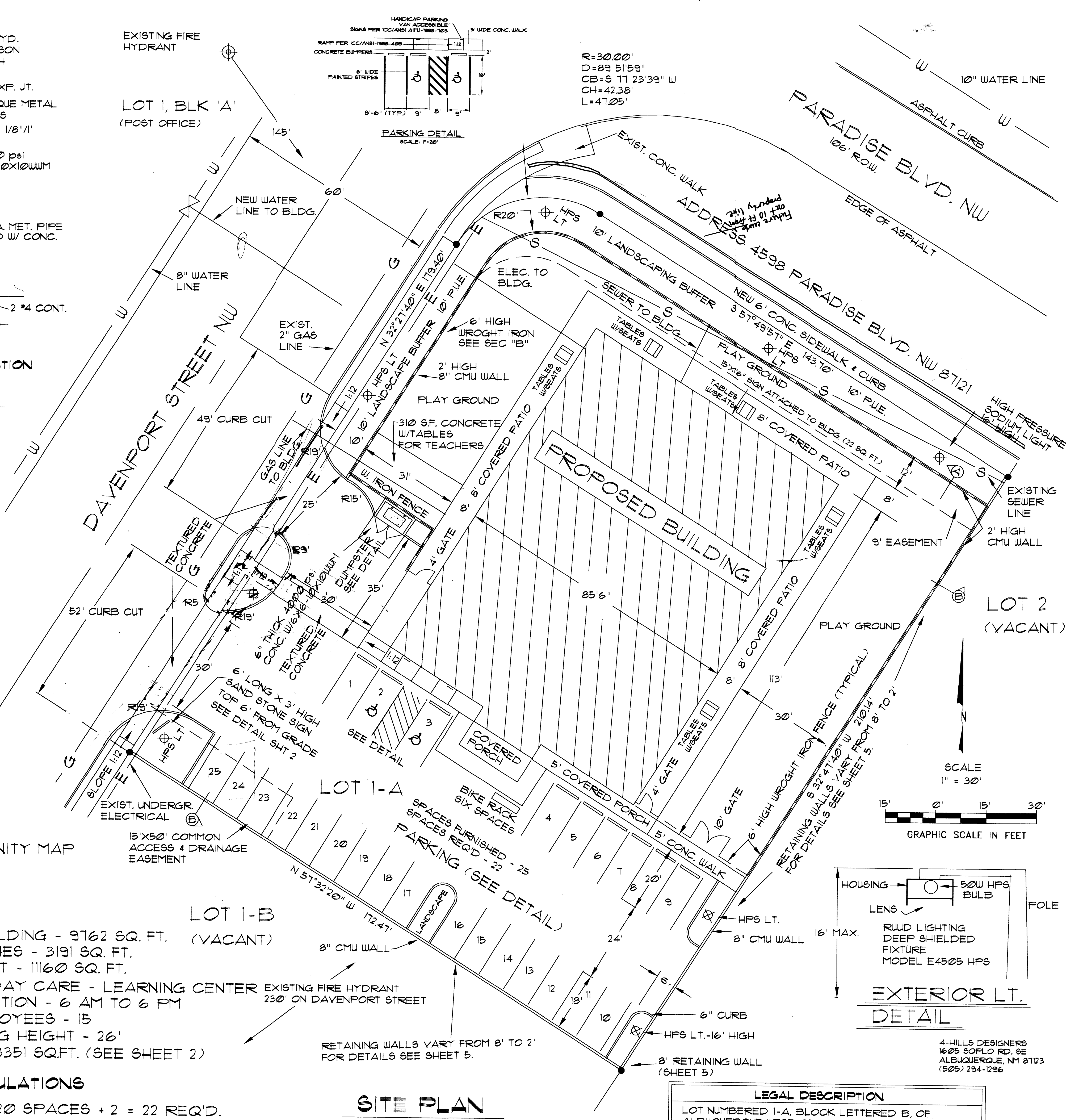
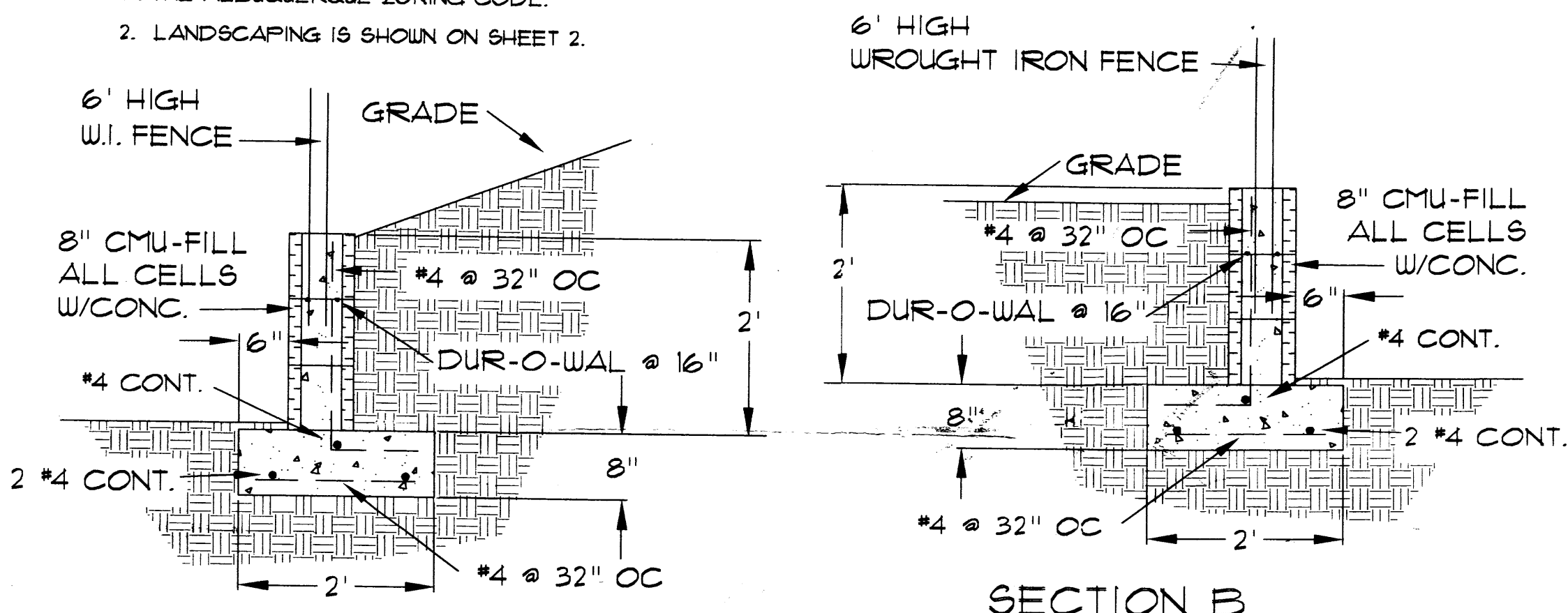
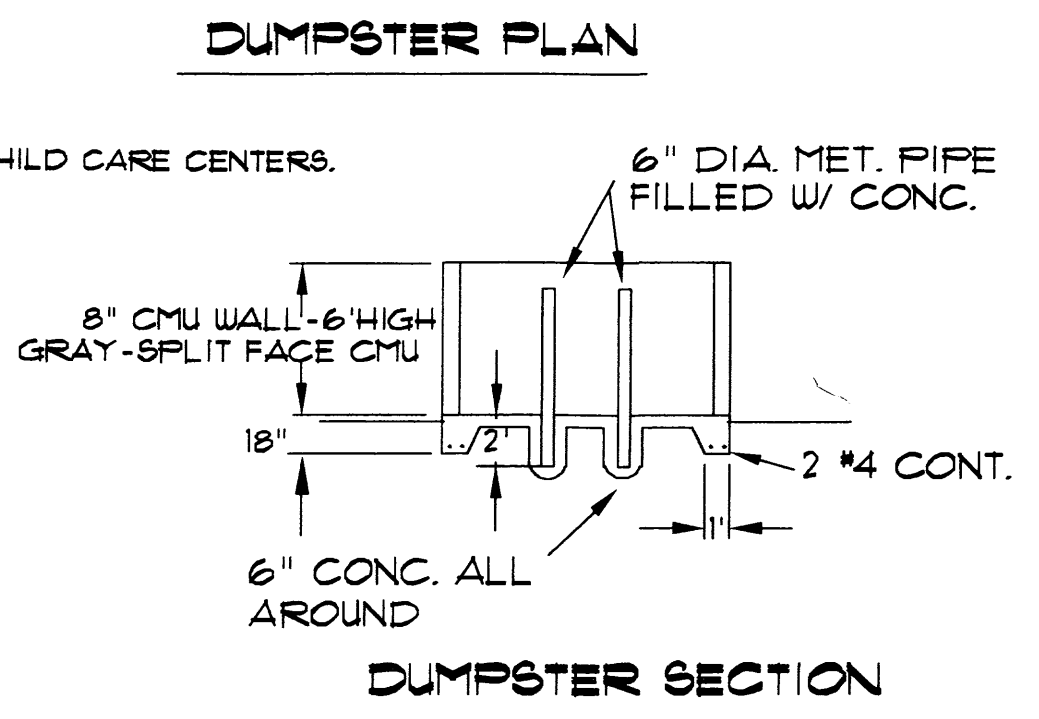
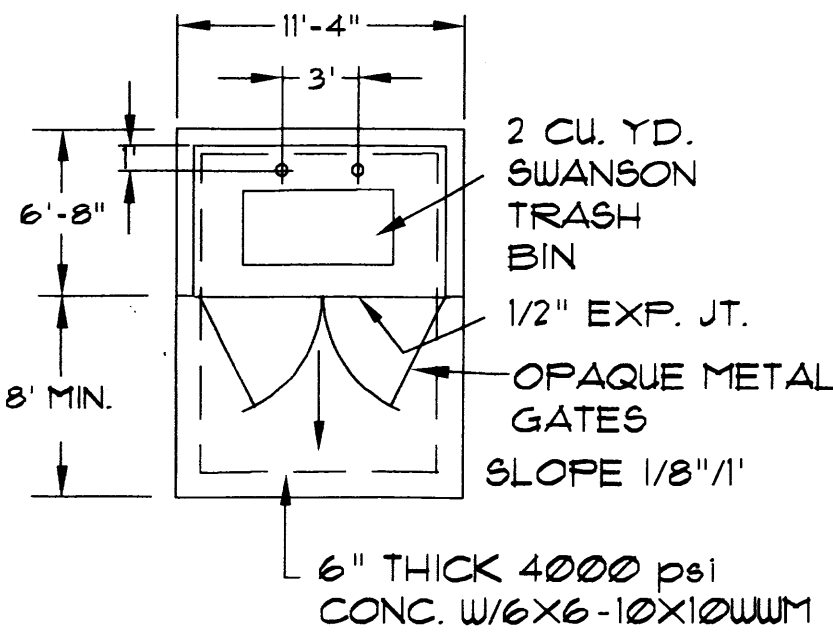


GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. HE SHALL ALSO VERIFY THE ACCURACY & COMPLETENESS OF THE PLANS BEFORE STARTING CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO 4-HILLS DESIGNERS FOR APPLICABLE REVISIONS.
- ALL ROOFTOP EQUIPMENT NOT BELOW THE LEVEL OF THE PARAPET SHALL BE SCREENED BY ROOFTOP WALLS. THESE WALLS AND ROOFTOP EQUIPMENT SHALL BE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR.
- PERMITTING ENGINEERING CONSTRUCTION SUB CONTRACTING, VARIANCES, LEINS & LIABILITIES ARE THE RESPONSIBILITIES OF THE OWNER AND/OR CONTRACTORS.
- AS SHOWN ON THE DETAIL, THE REFUSE ENCLOSURE WILL BE CONSTRUCTED OF SPLIT FACE CMU TO MATCH THE BUILDING CMU. OPAQUE METAL GATES SHALL BE ATTACHED TO THE ENCLOSURE.
- PROVIDE LEGIBLE PREMISES IDENTIFICATION, VISIBLE FROM THE STREET.
- THE PLAYGROUND AREAS SHALL BE COMPOSED OF PEA GRAVEL, SAND, CONCRETE COVERED WITH ASTRO-TURF AND 9" DEEP WOOD CHIPS USED AS ENERGY ABSORBING SURFACE BENEATH SWINGS AND SLIDES. PLAYGROUND SURFACES SHALL COMPLY WITH NEW MEXICO RULES & REGS FOR CHILD CARE CENTERS.
- ALL HANDICAP PARKING AND RAMPS SHALL COMPLY WITH CABO/ANSI A117.1-1998
- THE NEAREST FIRE HYDRANT IS LOCATED AT THE SOUTHWEST CORNER OF PARADISE BLVD. AND DAVENPORT ST., 145' FROM THE BUILDING. A SECOND FIRE HYDRANT IS LOCATED ON DAVENPORT, 400 FT. SOUTH OF THE CORNER OF PARADISE BLVD. AND DAVENPORT, 230 FT. FROM THE PROPOSED BUILDING.
- ACCESS FROM THE BUILDING TO THE EXISTING SIDEWALK IS VIA THE NEW 5' SIDEWALK AT THE WEST SIDE OF THE BUILDING. THE SIDE WALKS SHALL BE LOCATED SO AS NOT TO BE OBSTRUCTED BY LANDSCAPING, SIGNAGE OR FIRE HYDRANTS.
- ALL FENCES & GATES SHALL COMPLY WITH 1997 UBC 10013.11

ZONING NOTES

- PARKING, LIGHTING, SIGNAGE & LANDSCAPING SHALL COMPLY WITH REQUIREMENTS OUTLINED IN THE ALBUQUERQUE ZONING CODE.
- LANDSCAPING IS SHOWN ON SHEET 2.



NOTE: FOR VICINITY MAP SEE SHEET 2

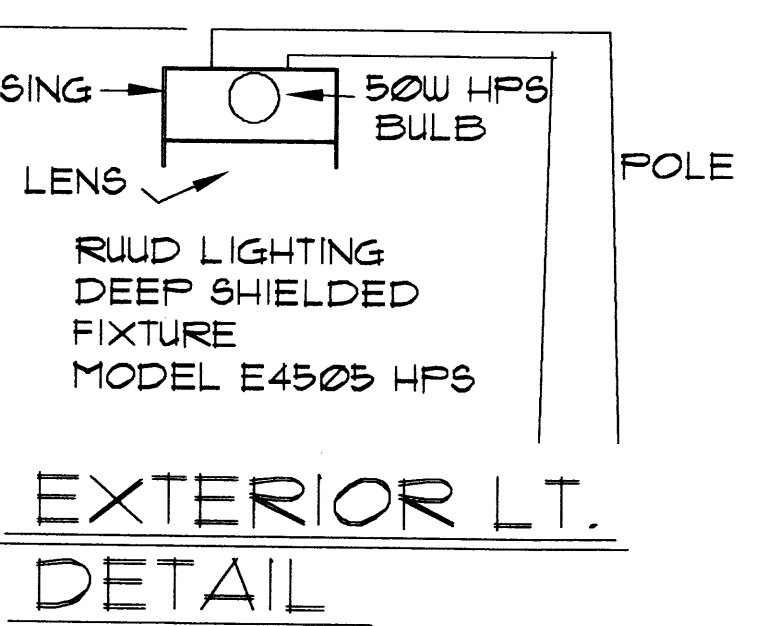
LOT 1-B (VACANT)
 NET AREA OF BUILDING - 9762 SQ. FT.
 COVERED PORCHES - 3191 SQ. FT.
 AREA OF ASPHALT - 11160 SQ. FT.
 BUILDING USE - DAY CARE - LEARNING CENTER
 HOURS OF OPERATION - 6 AM TO 6 PM
 NUMBER OF EMPLOYEES - 15
 MAXIMUM BUILDING HEIGHT - 26'
 LANDSCAPING - 3351 SQ.FT. (SEE SHEET 2)

PARKING CALCULATIONS
 9,762 SQ. FT. = 20 SPACES + 2 = 22 REQ'D.
 500 SQ. FT.

SITE PLAN

SCALE: 1" = 15'

LEGAL DESCRIPTION
 LOT NUMBERED 1-A, BLOCK LETTERED B, OF ALBUQUERQUE WEST, BEING A REPLAT OF LOT 1, BLOCK B, ALBUQUERQUE WEST, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.



PROJECT NUMBER: 100 12 76
 EPC APPROVAL #0112800744 DRB 0145 0-0000-01062
 THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON July 19, 2001
 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

<i>Kell De</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	9/13/01 DATE
<i>Adrienne E. Cantelania</i> DESIGN & DEVELOPMENT, CITY PARKS & RECREATION	8/15/01 DATE
<i>Roger & Jean</i> PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	8/15/01 DATE
<i>Arund Ma</i> CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	8/15/01 DATE
<i>Sharon DeB...</i>	9-13-01 DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT MANUAL.

Jan 3
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT
DATE: 9/14/01

PLANZ(10706) 4/36

PRJ 1001276

lee l. robinson
architect

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SPRINGSTONE - PARADISE
CHILDREN'S LEARNING CENTER

4-HILLS DESIGNERS
AAA

SITE
SSSITE4-361

LANDSCAPE CALCULATIONS

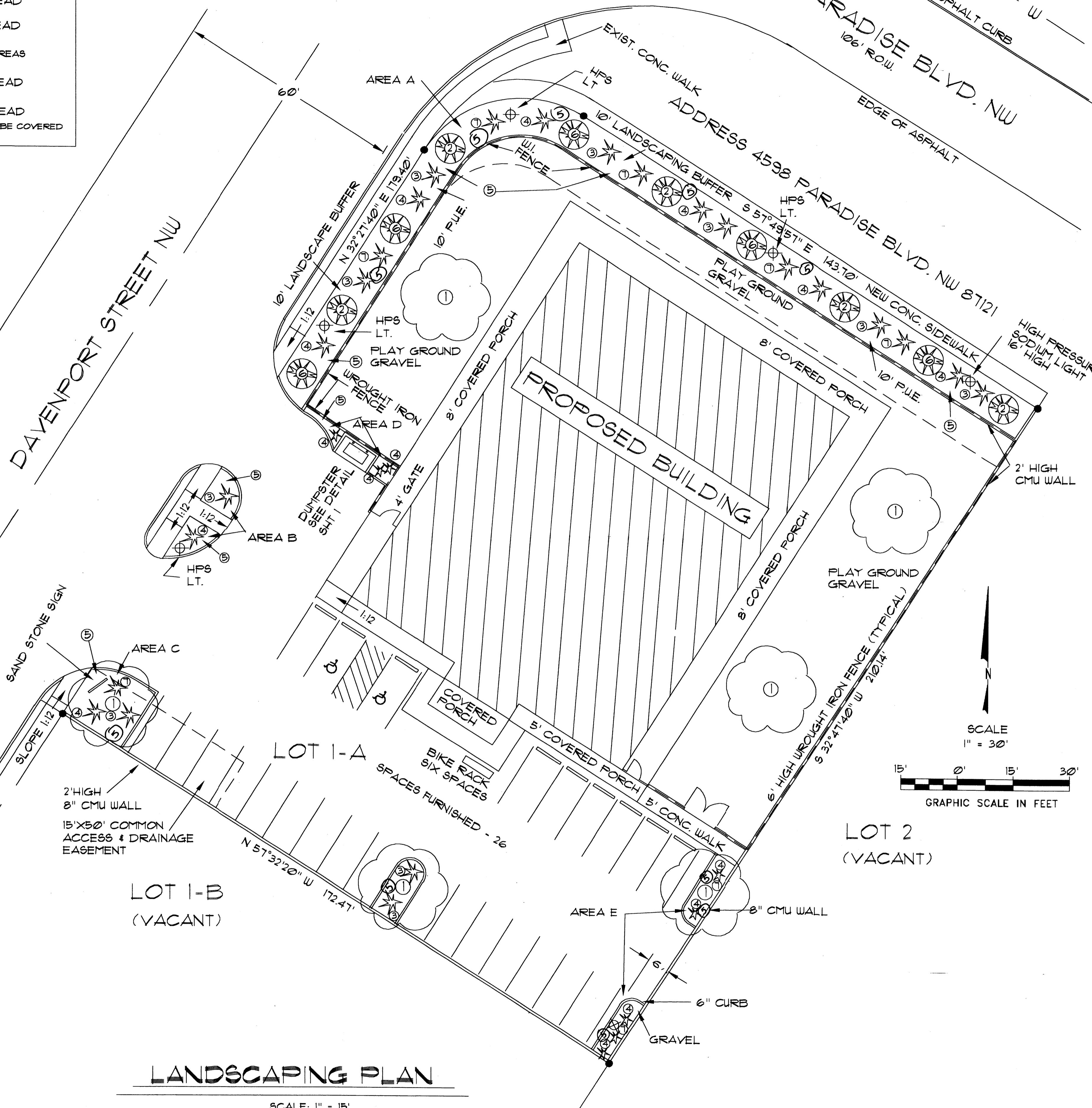
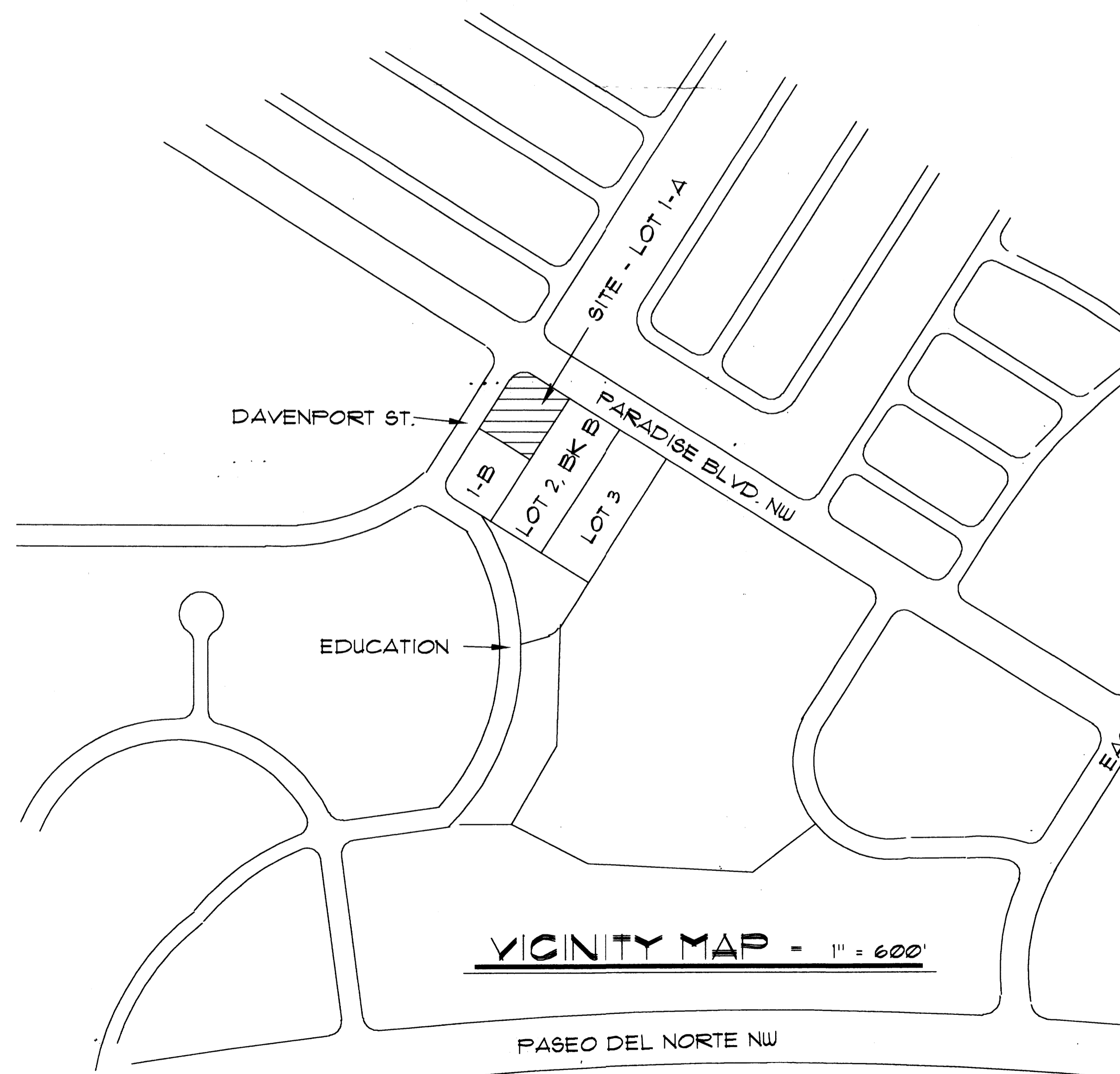
NET LANDSCAPE AREA	
TOTAL LOT AREA	38,125 SQ. FT.
TOTAL BUILDING AREA	12,953 SQ. FT.
ON SITE PARKING	11160 SQ. FT.
OFFSITE AREA	0
NET LOT AREA	14012 SQ. FT.
LANDSCAPE REQUIREMENT	.15
TOTAL LANDSCAPE REQUIREMENT	2102 SQ. FT.
LANDSCAPE PROVIDED:	
AREA A	2538 SQ. FT.
AREA B	153
AREA C	184
AREA D	64
AREA E	202
TOTAL LANDSCAPE PROVIDED	3201 SQ. FT. (23%)

PLANT SCHEDULE

- ① COTTONWOOD TREE - 6 40'-80' HT. - 40' SPREAD
 - ② ARIZONA ASH TREE - 5 20' HT - 10' SPREAD
Madroño & Honey Locust
 - ③ JUNIPER SHRUB - 20 4' HT. - 8' SPREAD
 - ④ BOXWOOD SHRUB - 20 3' HT. - 3' SPREAD
 - ⑤ ENGLISH IVY - 130 COVER ALL LANDSCAPE AREAS
 - ⑥ PINION EVERGREEN - 5 12' HT - 12' SPREAD
 - ⑦ RED LEAF BARBERRY - 10 3' HT - 3' SPREAD
- NOTE: ALL LANDSCAPED AREAS OVER 36 SQ. FT. SHALL BE COVERED WITH AT LEAST 75% LIVING, VEGETATIVE MATERIAL.

NOTES:

- 1. PROVIDE SPRINKLER SYSTEM TO ALL LANDSCAPED AREAS WITH AUTOMATIC CONTROLLER W/MULTIPLIED PROGRAMING CAPABILITY.
- 2. LANDSCAPING & WATER USAGE SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REGULATIONS.
- 3. THE OWNER OF THIS BUILDING SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPING.
- 4. LANDSCAPING SHALL COMPLY WITH ALL REQUIREMENTS OF THE ALBUQUERQUE ZONING CODE 14-16-3-10.



4-HILLS DESIGNERS
1605 SOPLO RD. SE
ALBUQUERQUE, NM 81123
(505) 234-1236

LANDSCAPE
66PLANDSCAPE4A-361

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architect

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DATE: _____

SPRINGSTONE - PARADISE

CHILDREN'S LEARNING CENTER

4-HILLS DESIGNERS

MM

2

13

KEYED NOTES

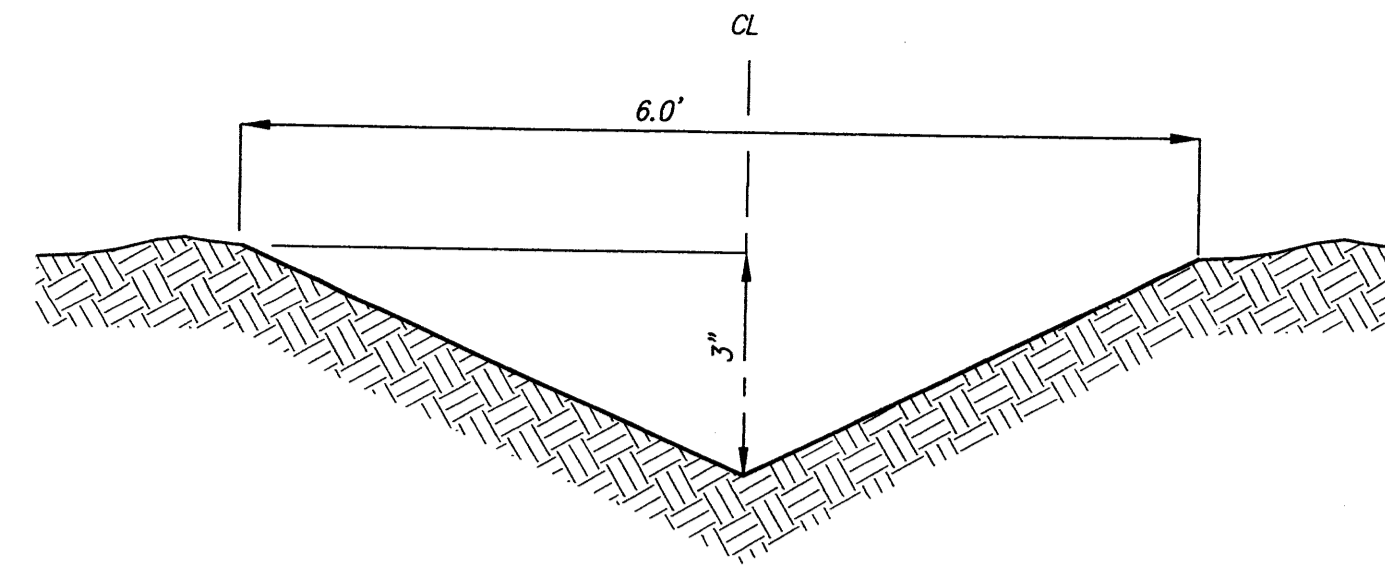
- ① 3.19' WIDE SIDEWALK CULVERT AT 1% SLOPE PER C.O.A. STANDARD DETAIL #2236.
- ② 3.19' WIDE CONCRETE CHANNEL PER DETAIL "B" THIS SHEET.
- ③ 5' WIDE CURB OPENING.
- ④ EARTHEN SWALE PER DETAIL THIS SHEET.
- ⑤ 5' WIDE CONCRETE CHANNEL PER DETAIL "A" THIS SHEET.
- ⑥ TYPE "D" INLET PER C.O.A. STANDARD DETAIL #2206.
- ⑦ 2- 6" PVC STORM PIPES @ 0.15% SLOPE.
- ⑧ STORM PIPES THROUGH HOLE IN SIDE OF 10" HIGH CHANNEL. INV. EL. = 65.85

HYDROLOGY NOTES

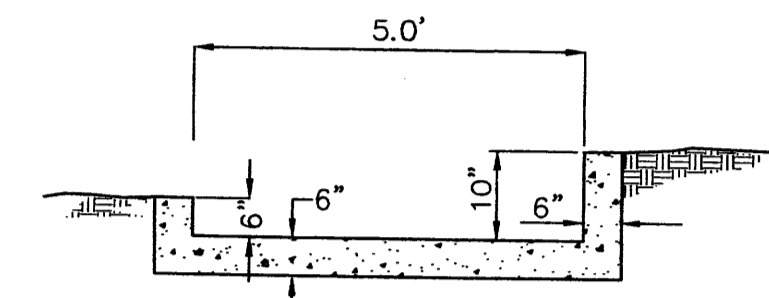
CURRENTLY THIS SITE IS UNDEVELOPED. THIS SITE IS NOT IN THE 100 YEAR FLOODPLAIN.

UNDER DEVELOPED CONDITIONS THIS SITE WILL DISCHARGE LESS THAN HISTORICAL FLOW (1.83 CFS) TO DAVENPORT. THE PARKING LOT WILL BE A DETENTION POND WITH MAXIMUM WATER SURFACE ELEVATION OF 66.88. THE PARKING LOT WILL DRAIN TO A CONCRETE RUNDOWN AND SIDEWALK CULVERT.

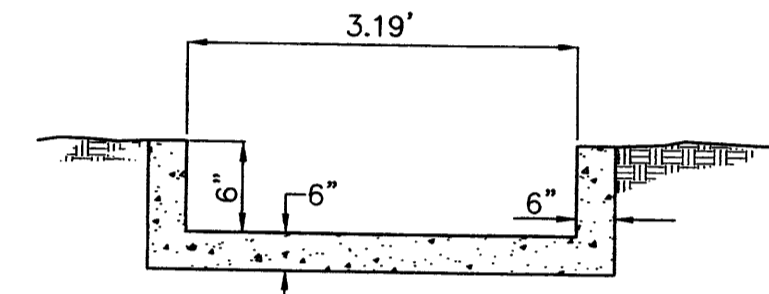
SANITARY SEWER MANHOLE RIM=74.83 UNABLE TO OPEN



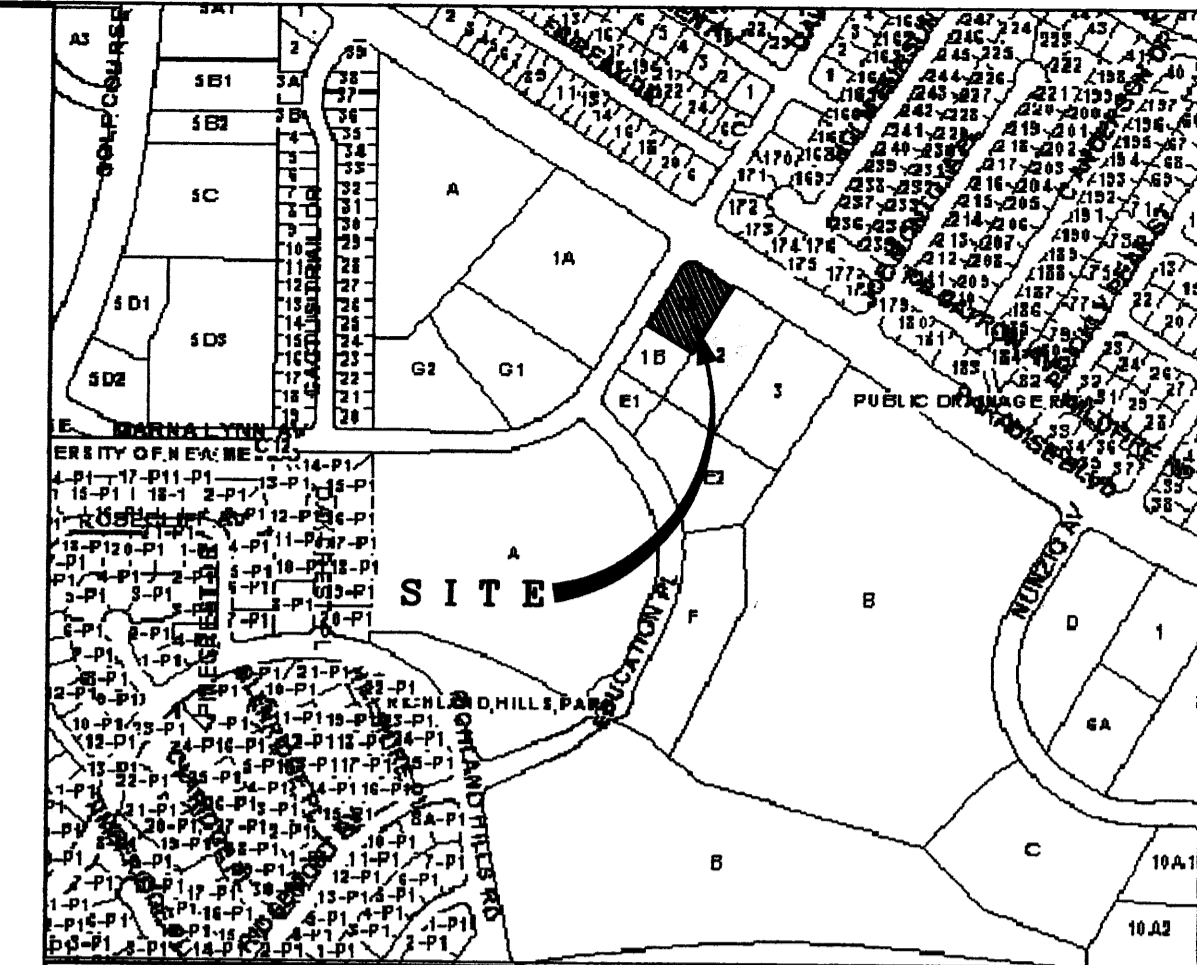
EARTHEN SWALE DETAIL
N.T.S.



CONCRETE RUNDOWN DETAIL "A"
N.T.S.



CONCRETE RUNDOWN DETAIL "B"
N.T.S.



VICINITY MAP ZONE MAP: C-12-Z

TEMPORARY BENCHMARK

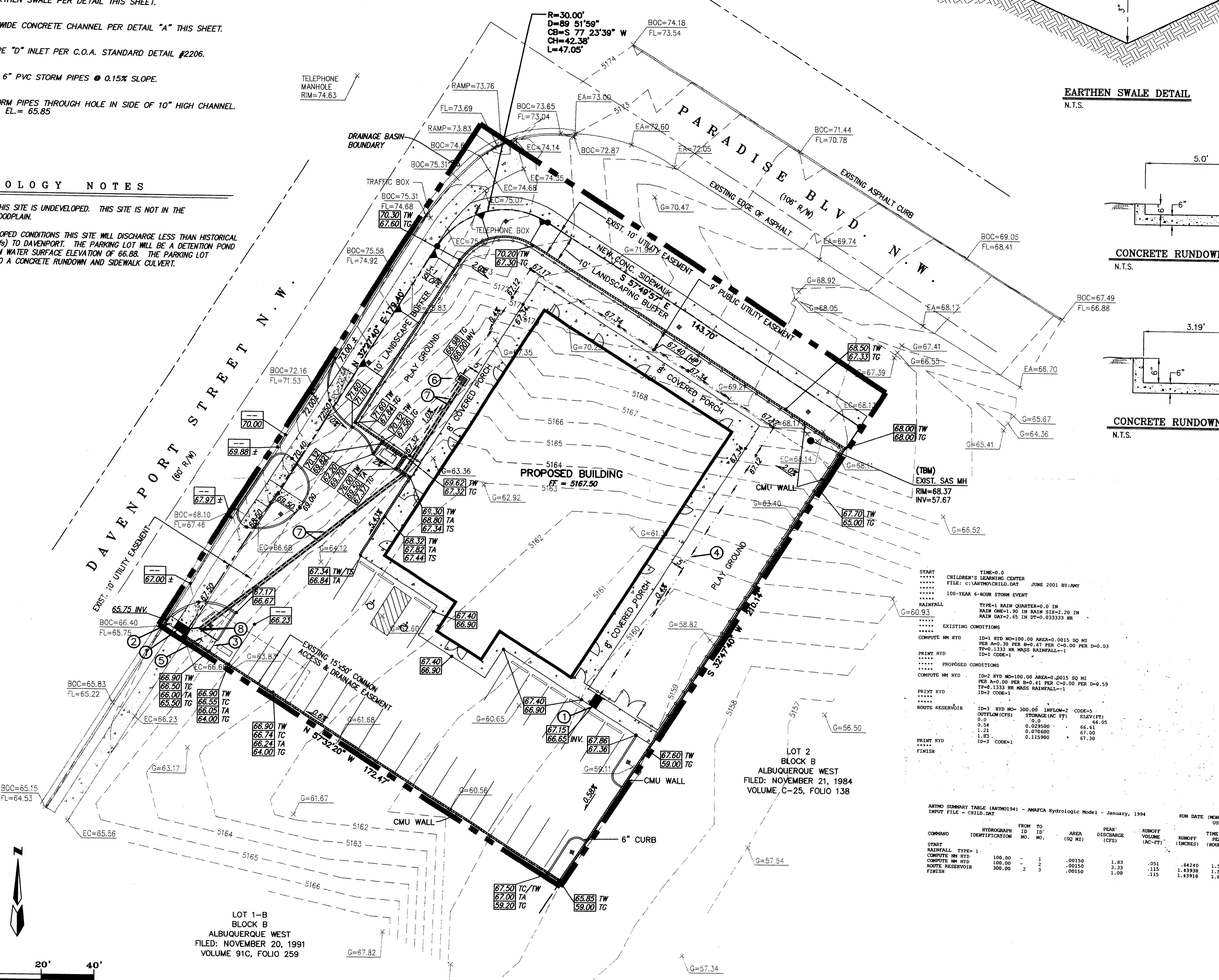
TEMPORARY BENCHMARK FOR THIS PROJECT IS AN EXISTING SANITARY SEWER MANHOLE LOCATED AT THE NORTHEAST CORNER OF THIS SITE (LOT 1-A, BLOCK B, ALBUQUERQUE WEST) AS SHOWN ON THIS PLAN. RIM ELEV. = 5168.37

LEGAL DESCRIPTION

LOT 1-A, BLOCK B, ALBUQUERQUE WEST, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- - - - -5165- - - - - EXISTING CONTOUR (MAJOR)
- - - - -5166- - - - - EXISTING CONTOUR (MINOR)
- BOC=75.31 EXISTING BACK OF CURB SPOT ELEVATION
- EA=75.31 EXISTING EDGE ASPHALT SPOT ELEVATION
- EC=75.31 EXISTING EDGE CONCRETE SPOT ELEVATION
- FL=75.31 EXISTING FLOW LINE SPOT ELEVATION
- G=75.31 EXISTING GROUND SPOT ELEVATION
- EXISTING CURB & GUTTER
- 00.00 PROPOSED TOP OF CURB ELEVATION
- 00.00 PROPOSED FLOW LINE ELEVATION
- PROPOSED BLOCK WALL/RETAINING WALL
- PROPOSED CHAINLINK FENCE
- PROPOSED CURB
- 00.00 TC/TW PROPOSED TOP OF CONCRETE/TOP OF WALL
- 00.00 TA PROPOSED TOP OF GRADE
- 00.00 TG PROPOSED TOP OF ASPHALT
- 0.5% PROPOSED FLOW ARROW
- PROPOSED EARTHEN SWALE
- PROPOSED LIGHT POLE LOCATION
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN PIPE



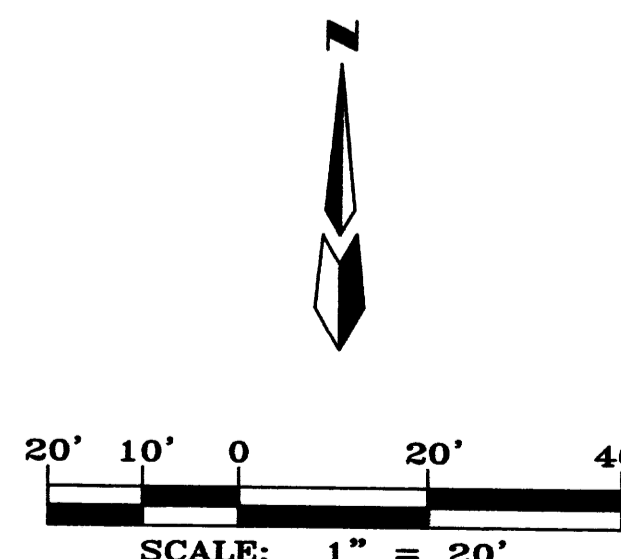
START TIME=0.0
 CHILDREN'S LEARNING CENTER
 FILE: C:\MATH\CHILD.DAT JUNE 2001 BY:MY
 100-YEAR 6-HOUR STORM EVENT
 TYPE-1 RAIN QUANTER=0.0 IN
 RAIN ONE=1.50 IN RAIN SIZE=2.20 IN
 RAIN DAT=2.65 IN DT=0.033333 HR
 EXISTING CONDITIONS
 COMPUTE RM HYD ID=1 HYD NO=100.00 AREA=0.0015 SQ MI
 PER A=0.20 PER B=0.67 PER C=0.00 PER D=0.03
 TP=0.1333 HR MASS RAINFALL=1
 ID=1 CODE=1
 PRINT HYD *****
 PROPOSED CONDITIONS
 COMPUTE RM HYD ID=2 HYD NO=100.00 AREA=0.0015 SQ MI
 PER A=0.00 PER B=0.41 PER C=0.00 PER D=0.59
 TP=0.1333 HR MASS RAINFALL=1
 ID=2 CODE=1
 PRINT HYD *****
 ROUTE RESERVOIR ID=3 HYD NO=300.00 INFLOW=2 CODE=5
 OUTFLOW (CFS) STORAGE (AC FT) ELEV (FT)
 0.0 0.0 66.05
 0.54 0.029500 66.61
 1.21 0.070600 67.00
 1.83 0.115900 67.30
 PRINT HYD *****
 FINISH ID=3 CODE=1

ARNO SUMMARY TABLE (ARNO194) - ARNOCA Hydrologic Model - January, 1994
 INPUT FILE = CHILD.DAT

COMMAND	HYDROGRAPH IDENTIFICATION	ID NO.	NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	TIME TO PEAK (HOURS)	CEFS	PAGE
START RAINFALL TYPE=1	COMPUTE RM HYD	100.00	1	0.00150	1.83	0.051	64240	1.533	1.910
COMPUTE RM HYD	100.00	2	0.00150	1.83	0.115	1.43938	1.500	3.473	PER TMR= 59.00
ROUTE RESERVOIR	300.00	2	3	0.00150	1.00	0.115	1.43938	1.833	1.047

RUN DATE (MON/DAY/YR) = 06/14/2001
 USER NO. = M_GOODWIN.101

TIME TO PEAK (HOURS)	CEFS	PAGE
1.533	1.910	1.00
3.473	3.473	59.00
1.047	1.047	0.00



LOT 1-B
 BLOCK B
 ALBUQUERQUE WEST
 FILED: NOVEMBER 20, 1991
 VOLUME 91C, FOLIO 259

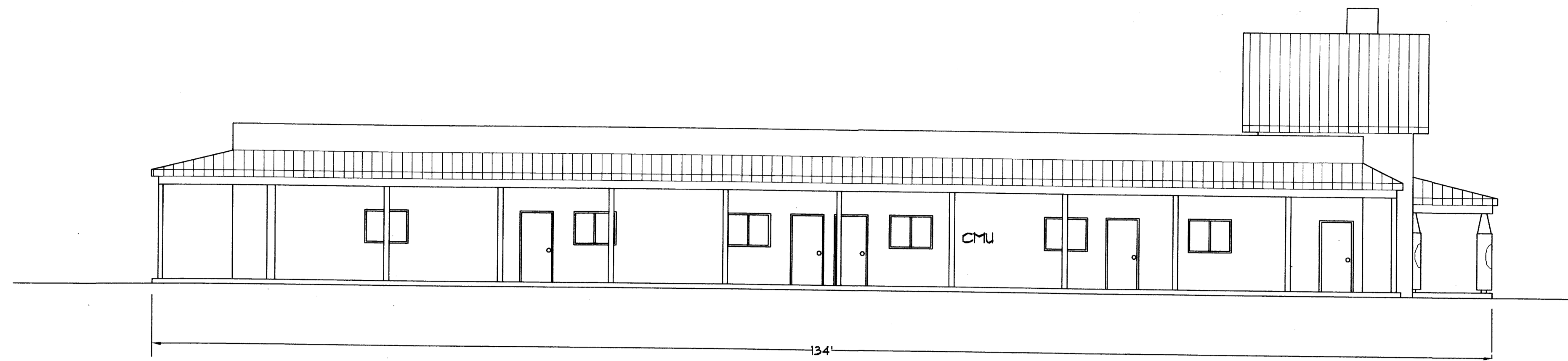
LOT 2
 BLOCK B
 ALBUQUERQUE WEST
 FILED: NOVEMBER 21, 1984
 VOLUME C-25, FOLIO 138



**CHILDREN'S LEARNING CENTER
 GRADING & DRAINAGE PLAN**

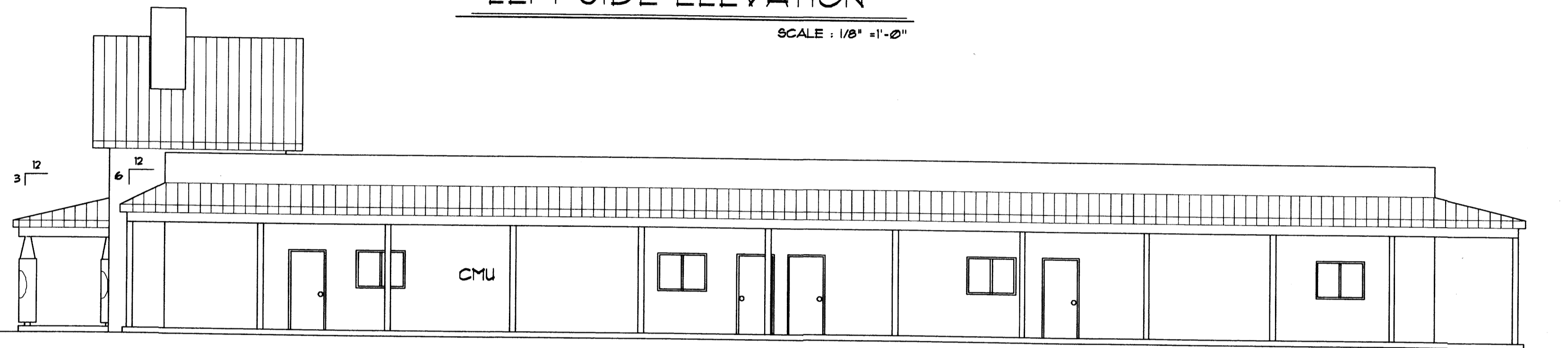
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: ALD Drawn: DER Checked: DMG Sheet 3 of 5
 Scale: 1" = 20' Date: 07/31/01 Job: A01067



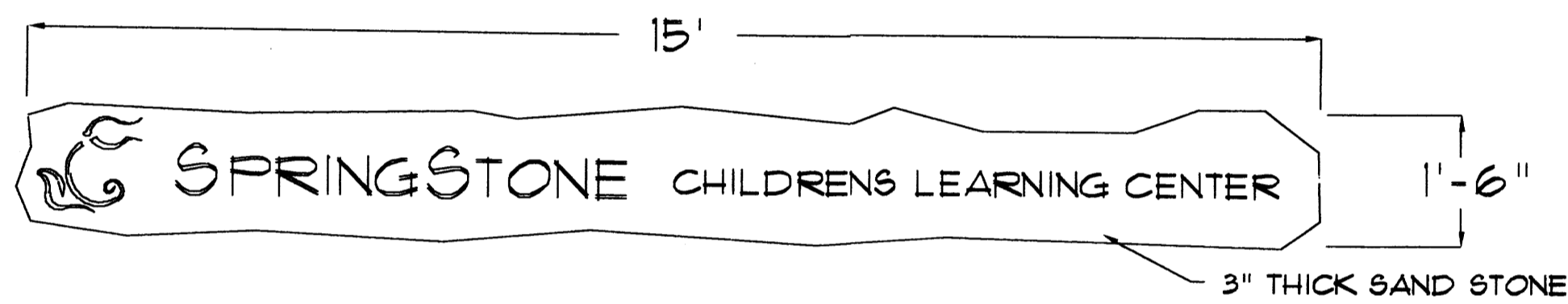
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

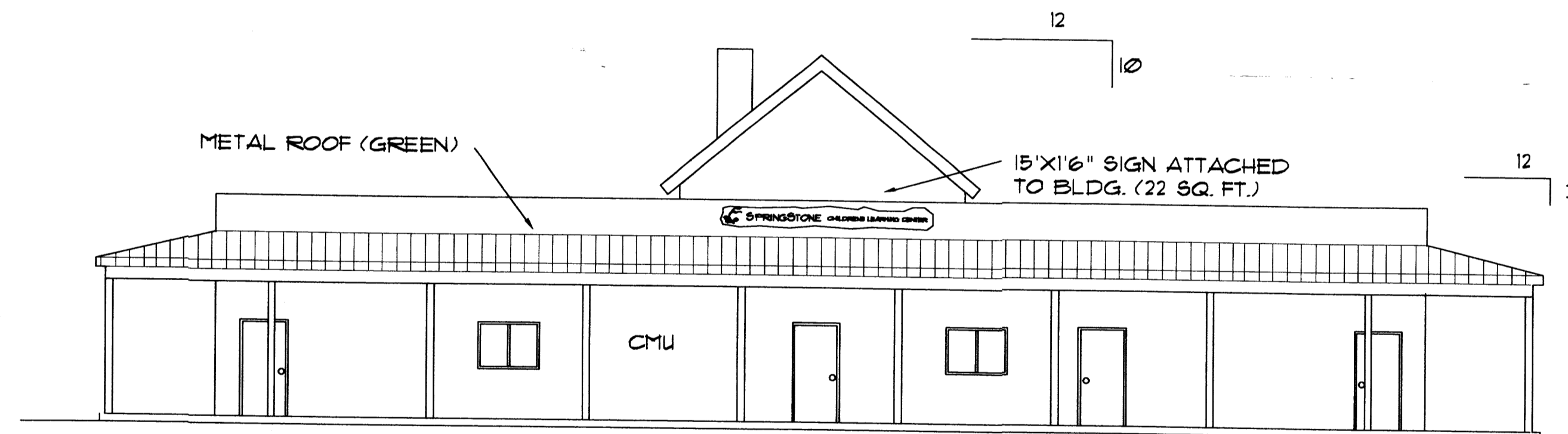


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

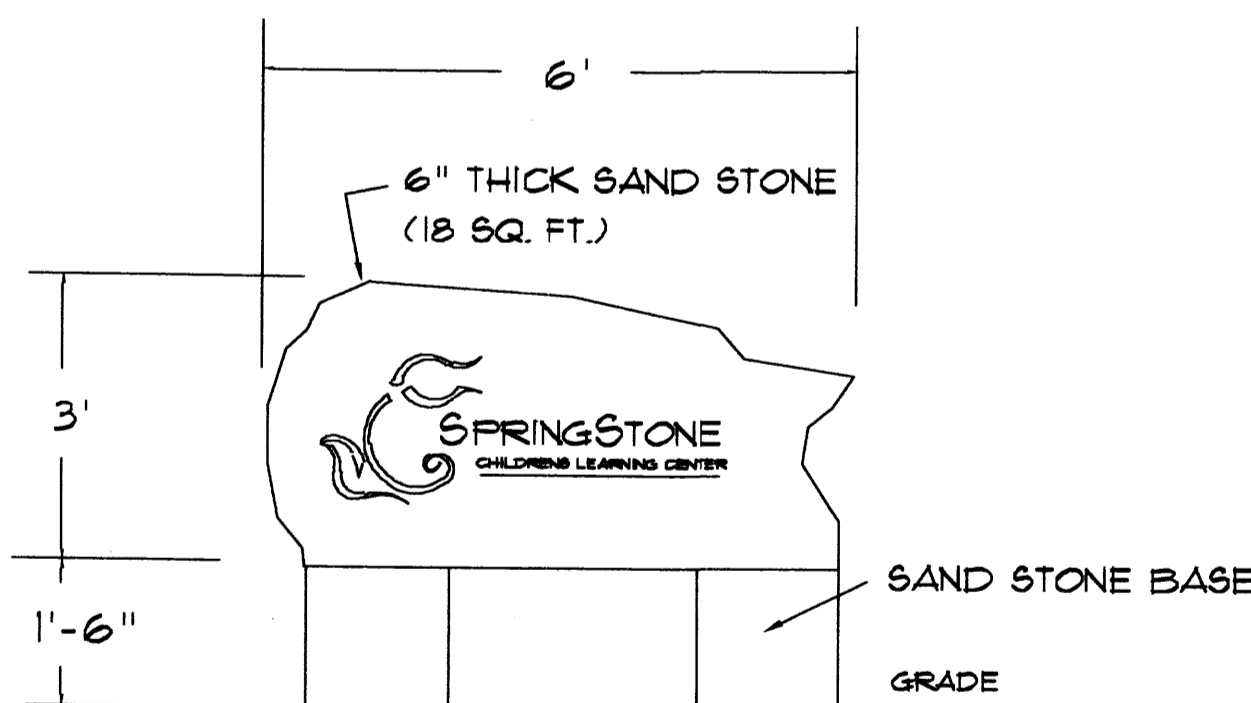


SIGN ON BUILDING REAR



REAR ELEVATION

SCALE: 1/8" = 1'-0"



SIGN AT STREET ENTRY



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

4-HILLS DESIGNERS
1605 SOfLO RD. SE
ALBUQUERQUE, NM 87123
(505) 294-1296

ELEVATIONS
SSPELEVt.d

lee l. robinson
architect

DATE: _____

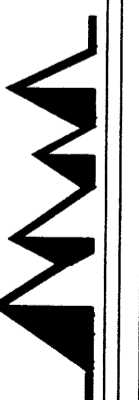
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SPRINGSTONE - PARADISE

CHILDREN'S LEARNING CENTER

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