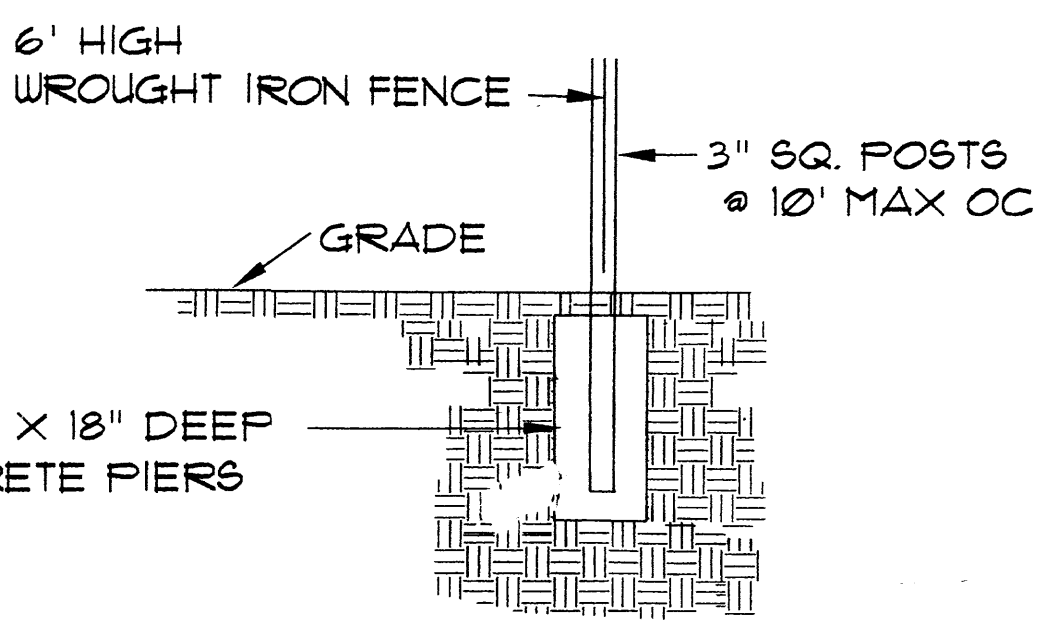
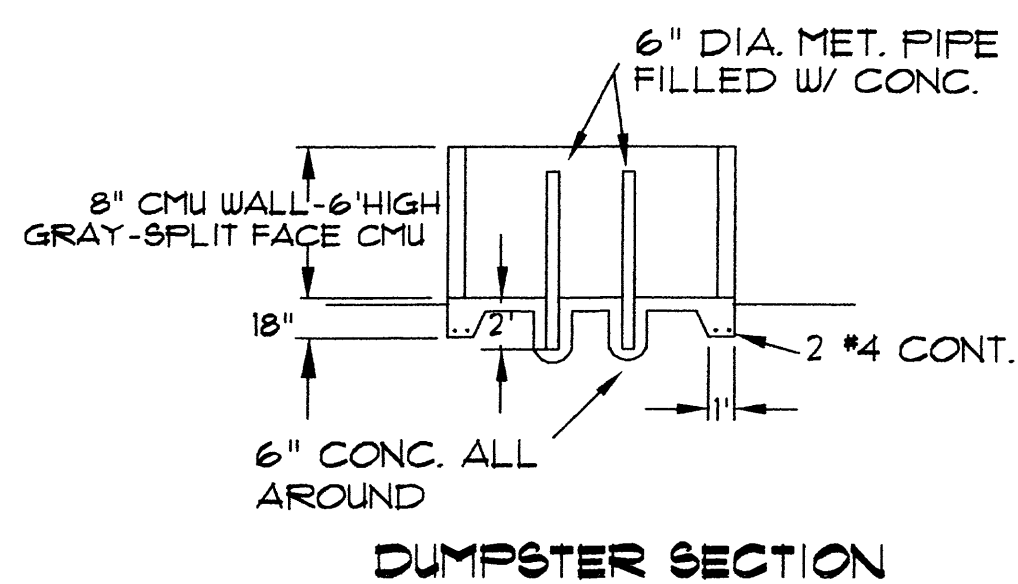
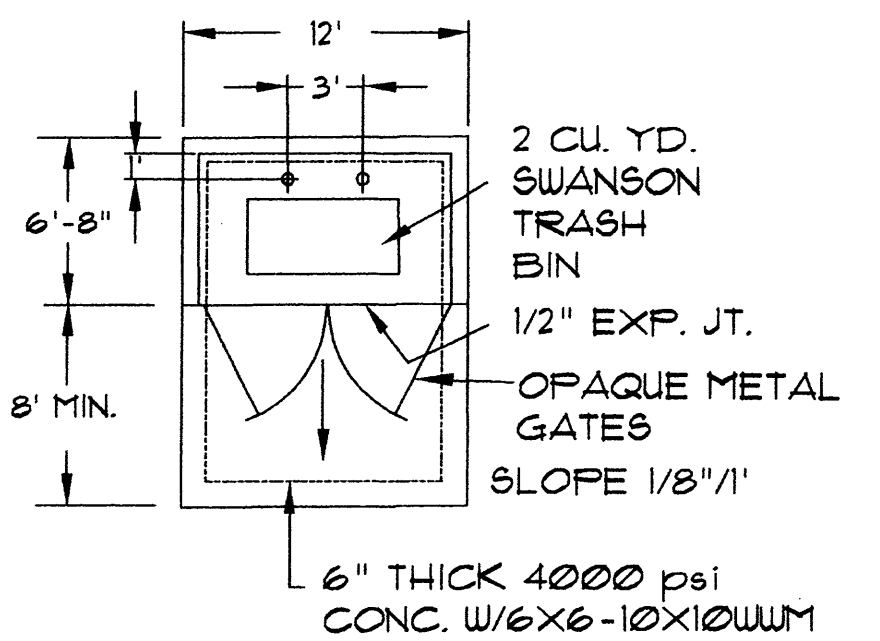


GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. HE SHALL ALSO VERIFY THE ACCURACY & COMPLETENESS OF THE PLANS BEFORE STARTING CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO 4-HILLS DESIGNERS FOR APPLICABLE REVISIONS.
- ALL ROOF TOP EQUIPMENT NOT BELOW THE LEVEL OF THE PARAPET SHALL BE SCREENED BY ROOF TOP WALLS. THESE WALLS AND ROOF TOP EQUIPMENT SHALL BE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR.
- PERMITTING ENGINEERING CONSTRUCTION SUB CONTRACTING, VARIANCES, LEINS & LIABILITIES ARE THE RESPONSIBILITIES OF THE OWNER AND/OR CONTRACTORS.
- AS SHOWN ON THE DETAIL, THE REFUSE ENCLOSURE WILL BE CONSTRUCTED OF SPLIT FACE CMU TO MATCH THE BUILDING CMU. OPAQUE METAL GATES SHALL BE ATTACHED TO THE ENCLOSURE.
- PROVIDE LEGIBLE PREMISES IDENTIFICATION, VISIBLE FROM THE STREET.
- THE PLAYGROUND AREAS SHALL BE COMPOSED OF PEA GRAVEL, SAND, CONCRETE, CONCRETE COVERED WITH ASTRO-TURF AND 9" DEEP WOOD CHIPS USED AS ENERGY ABSORBING SURFACE BENEATH SWINGS AND SLIDES. PLAYGROUND SURFACES SHALL COMPLY WITH NEW MEXICO RULES & REGS FOR CHILD CARE CENTERS - 25-4.3.
- ALL HANDICAP PARKING AND RAMPS SHALL COMPLY WITH CABO/ANSI A117.1-1998
- THE NEAREST FIRE HYDRANT IS LOCATED AT THE SOUTHWEST CORNER OF PARADISE BLVD. AND DAVENPORT ST., 145' FROM THE BUILDING. A SECOND FIRE HYDRANT IS LOCATED ON DAVENPORT, 400 FT. SOUTH OF THE CORNER OF PARADISE BLVD. AND DAVENPORT, 230 FT. FROM THE PROPOSED BUILDING.
- ACCESS FROM THE BUILDING TO THE EXISTING SIDEWALK IS VIA THE NEW 4' SIDEWALK AT THE WEST SIDE OF THE BUILDING. THE SIDE WALKS SHALL BE LOCATED SO AS NOT TO BE OBSTRUCTED BY LANDSCAPING, SIGNAGE OR FIRE HYDRANTS.
- ALL FENCES & GATES SHALL COMPLY WITH 1997 UBC 1001.3.11
- BEAR ALL FOOTINGS 12" INTO UNDISTURBED NATURAL EARTH OR FILL COMPACTED TO 95% NATURAL DENSITY. FILL DIRT UNDER SLABS, PARKING & WALKS SHALL BE COMPACTED IN 6" LIFTS TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. MINIMUM BEARING STRENGTH FOR ALL EARTH SHALL BE 1500 psf.



ZONING NOTES

- PARKING, LIGHTING, SIGNAGE & LANDSCAPING SHALL COMPLY WITH REQUIREMENTS OUTLINED IN THE ALBUQUERQUE ZONING CODE.
- LANDSCAPING IS SHOWN ON SHEET 2.

Appl. # 01450.00000.01062

Project Number 1001276
CASE NUMBER: Z- DRB 99-85

EPC APPROVAL: *0112800744
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC)

ON July 19, 2001
AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

<i>Rubel D...</i>	9-13-01
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Adrienne E. Cardenas</i>	10/15/01
PARKS & RECREATION	DATE
<i>Roger J. Sheen</i>	8-15-01
PUBLIC WORKS, UTILITIES DEVELOPMENT DIVISION	DATE
<i>Bradley A. Bingham</i>	8/15/01
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	DATE
<i>Adrienne E. Cardenas</i>	10-16-01
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT MANUAL.	DATE
<i>Jack S...</i>	10-17-01
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT	DATE

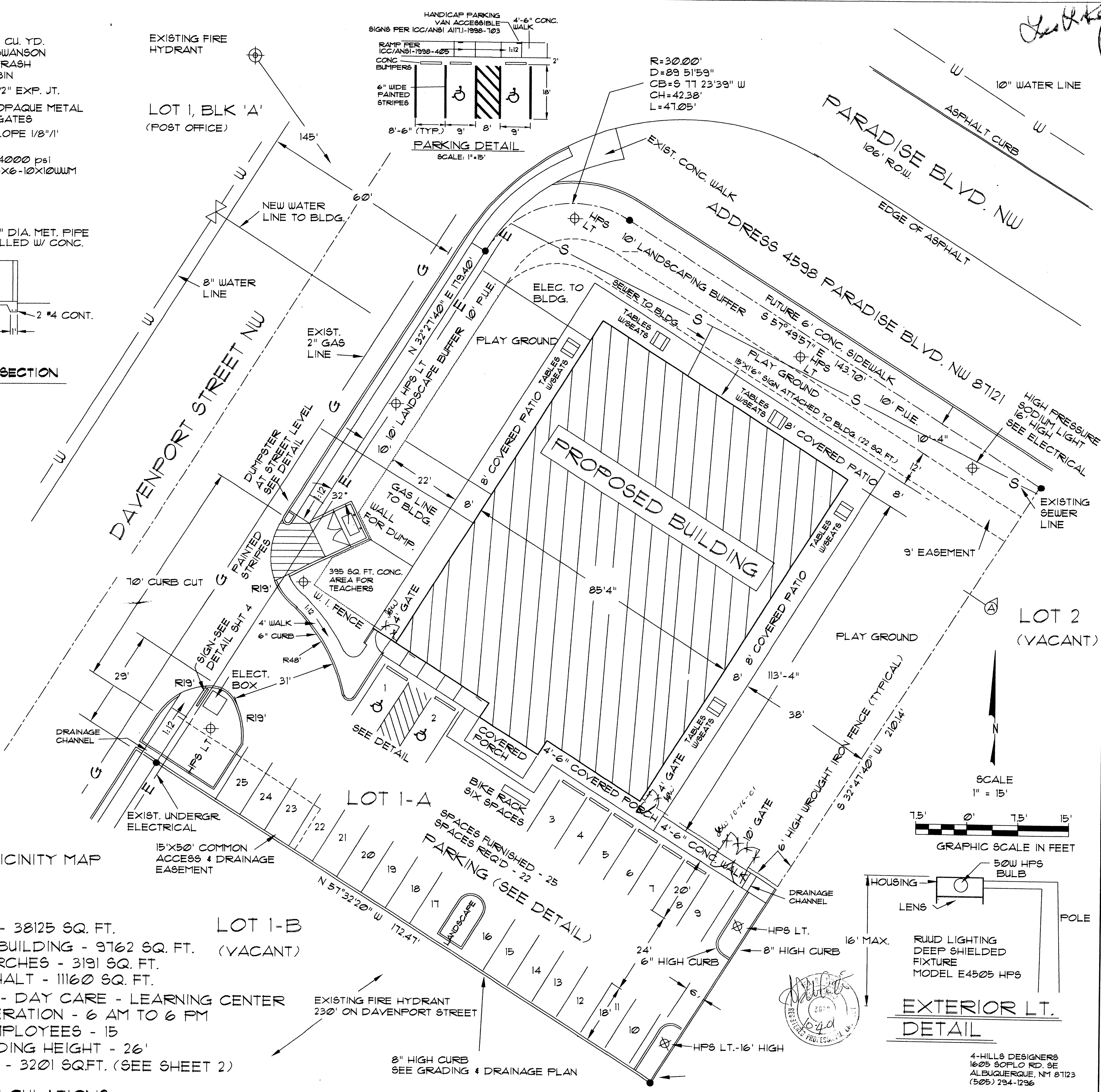
PRJ 1001276

NOTE: FOR VICINITY MAP SEE SHEET 2

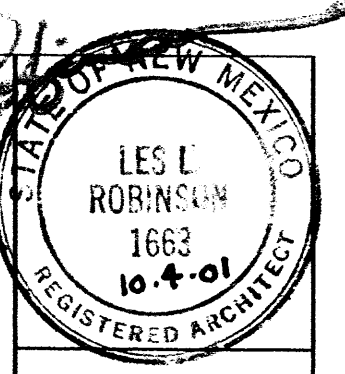
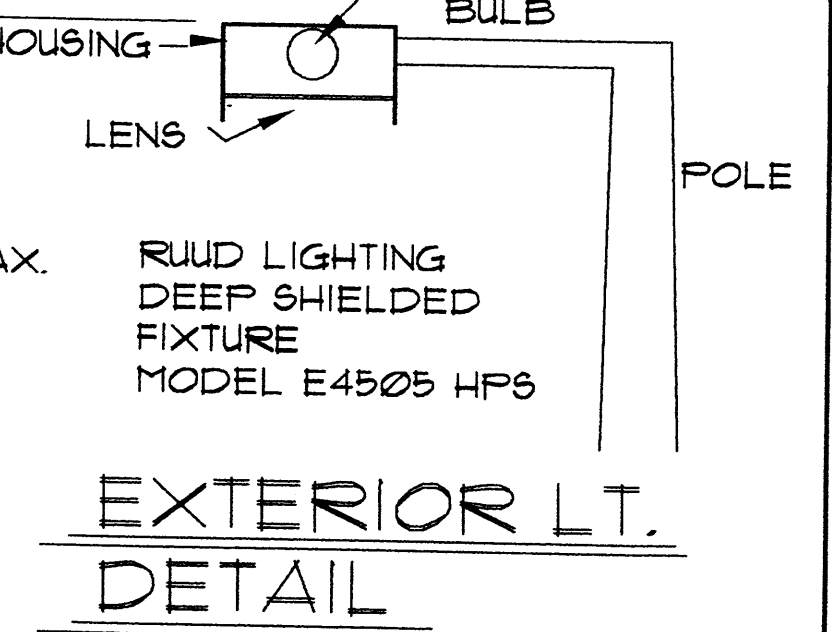
AREA OF LOT - 38125 SQ. FT.
NET AREA OF BUILDING - 9762 SQ. FT.
COVERED PORCHES - 3191 SQ. FT.
AREA OF ASPHALT - 11160 SQ. FT.
BUILDING USE - DAY CARE - LEARNING CENTER
HOURS OF OPERATION - 6 AM TO 6 PM
NUMBER OF EMPLOYEES - 15
MAXIMUM BUILDING HEIGHT - 26'
LANDSCAPING - 3201 SQ.FT. (SEE SHEET 2)

PARKING CALCULATIONS
9,762 SQ. FT. = 20 SPACES + 2 = 22 REQ'D.
500 SQ. FT.

SITE PLAN



LEGAL DESCRIPTION
LOT NUMBERED 1-A, BLOCK LETTERED B, OF ALBUQUERQUE WEST, BEING A REPLAT OF LOT 1, BLOCK B, ALBUQUERQUE WEST, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.



les l. robinson
architect
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SPRINGSTONE - PARADISE
CHILDREN'S LEARNING CENTER

4-HILLS DESIGNERS
AAA

SITE
66SITE4-361

LANDSCAPE CALCULATIONS

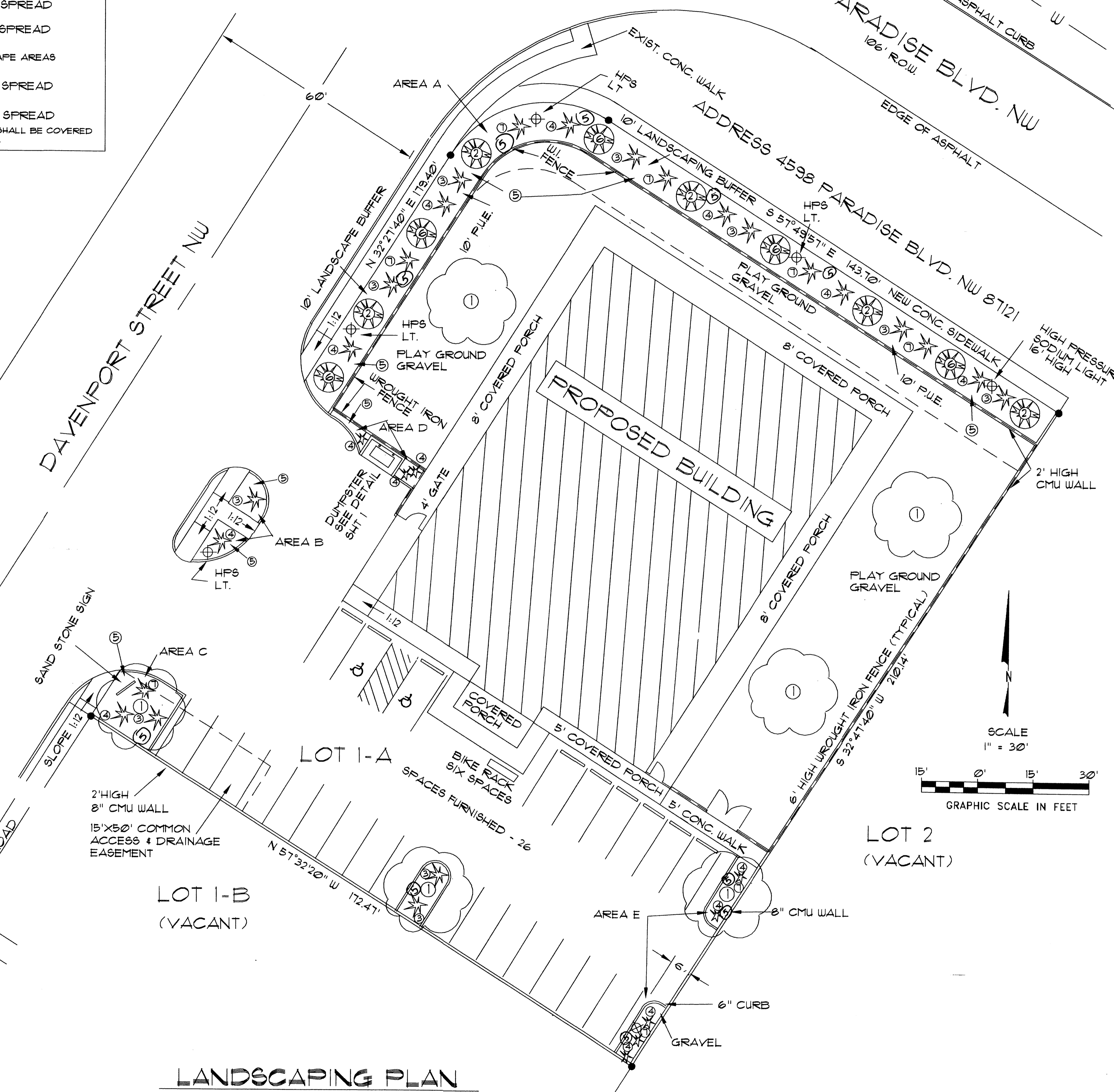
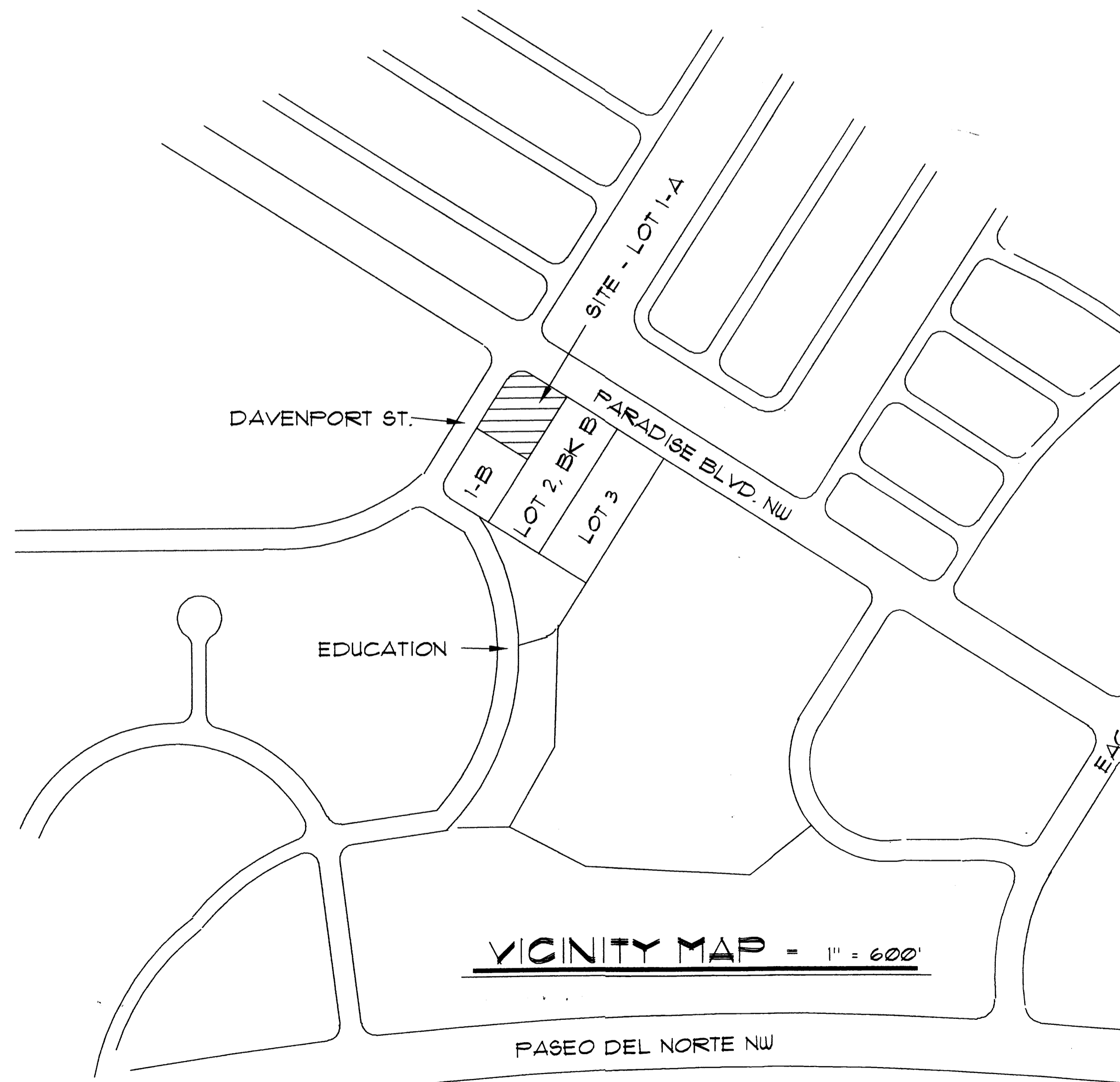
NET LANDSCAPE AREA	
TOTAL LOT AREA	38,125 SQ. FT.
TOTAL BUILDING AREA	12,953 SQ. FT.
ON SITE PARKING	1116 SQ. FT.
OFFSITE AREA	0
NET LOT AREA	14,012 SQ. FT.
LANDSCAPE REQUIREMENT	.15
TOTAL LANDSCAPE REQUIREMENT	2102 SQ. FT.
LANDSCAPE PROVIDED:	
AREA A	2598 SQ. FT.
AREA B	153
AREA C	184
AREA D	64
AREA E	202
TOTAL LANDSCAPE PROVIDED	3201 SQ. FT. (23%)

PLANT SCHEDULE

- ① COTTONWOOD TREE - 6 40'-80' HT. - 40' SPREAD
 - ② ARIZONA ASH TREE - 5 20' HT - 10' SPREAD
Mockford & Honey Locust
 - ③ JUNIFER SHRUB - 20 4' HT. - 8' SPREAD
 - ④ BOXWOOD SHRUB - 20 3' HT. - 3' SPREAD
 - ⑤ ENGLIST IVY - 130 COVER ALL LANDSCAPE AREAS
 - ⑥ PINION EVERGREEN - 5 12' HT - 12' SPREAD
 - ⑦ RED LEAF BARBERRY - 18 3' HT - 3' SPREAD
- NOTE: ALL LANDSCAPED AREAS OVER 36 SQ. FT. SHALL BE COVERED WITH AT LEAST 15% LIVING, VEGETATIVE MATERIAL.

NOTES:

- 1. PROVIDE SPRINKLER SYSTEM TO ALL LANDSCAPED AREAS WITH AUTOMATIC CONTROLLER W/MULTIPLIED PROGRAMING CAPABILITY.
- 2. LANDSCAPING & WATER USAGE SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REGULATIONS.
- 3. THE OWNER OF THIS BUILDING SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPING.
- 4. LANDSCAPING SHALL COMPLY WITH ALL REQUIREMENTS OF THE ALBUQUERQUE ZONING CODE 14-16-3-10.



LANDSCAPING PLAN

SCALE: 1" = 15'

4-HILLS DESIGNERS
1625 SOPLO RD. SE
ALBUQUERQUE, NM 87123
(505) 294-1236

LANDSCAPE
66PLANDSCAPE4A-361

SPRINGSTONE - PARADISE
 CHILDREN'S LEARNING CENTER
 4-HILLS DESIGNERS
 ILM
 Ies I. Robinson
 architect
 COPYRIGHT © 2001
 BY 4-HILLS DESIGNERS
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 DATE: _____

 * CHILDRENS LEARNING CENTER-RID RANCHO
 * 100 YEAR EXISTING AND DEVELOPED CONDITIONS

 START
 RAINFALL
 TYPE=1 RAIN QUARTER=0.0
 RAIN ONE=1.90 IN RAIN SIX=2.20 IN
 RAIN DAY=2.65 IN DT=0.0333 HRS

 COMPUTE NM HYD
 ID=1 HYD NO=EXIST DA=0.00161 SQ MI
 PER A=30 PER B=67 PER C=0 PER D=3
 TP=0.1333 HR MASS RAIN=1

 PRINT HYD
 ID=1 CODE=1

 COMPUTE NM HYD
 ID=2 HYD NO=PROP DA=0.00161 SQ MI
 PER A=0 PER B=20 PER C=21 PER D=59
 TP=0.1333 HR MASS RAIN=1

 PRINT HYD
 ID=2 CODE=1

 ROUTE RESERVOIR
 ID=3 HYD NO=POND INFLOW=2 CODE=5

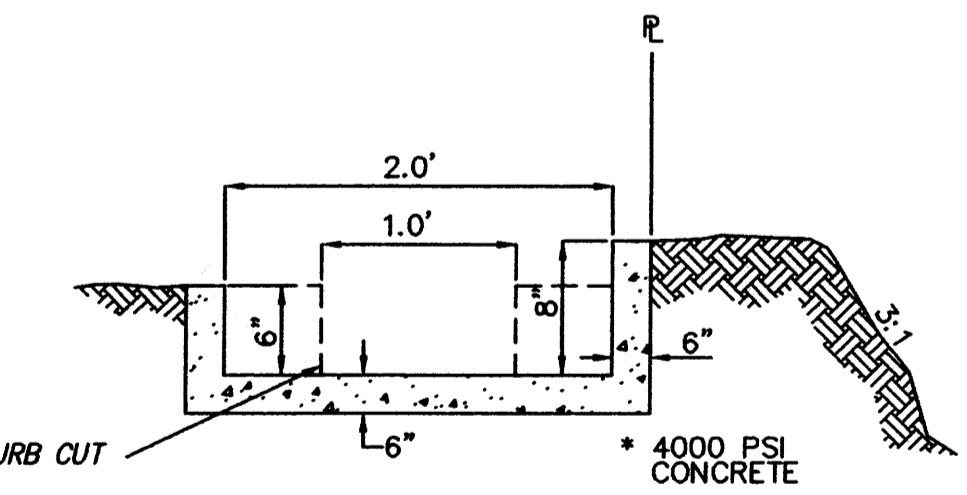
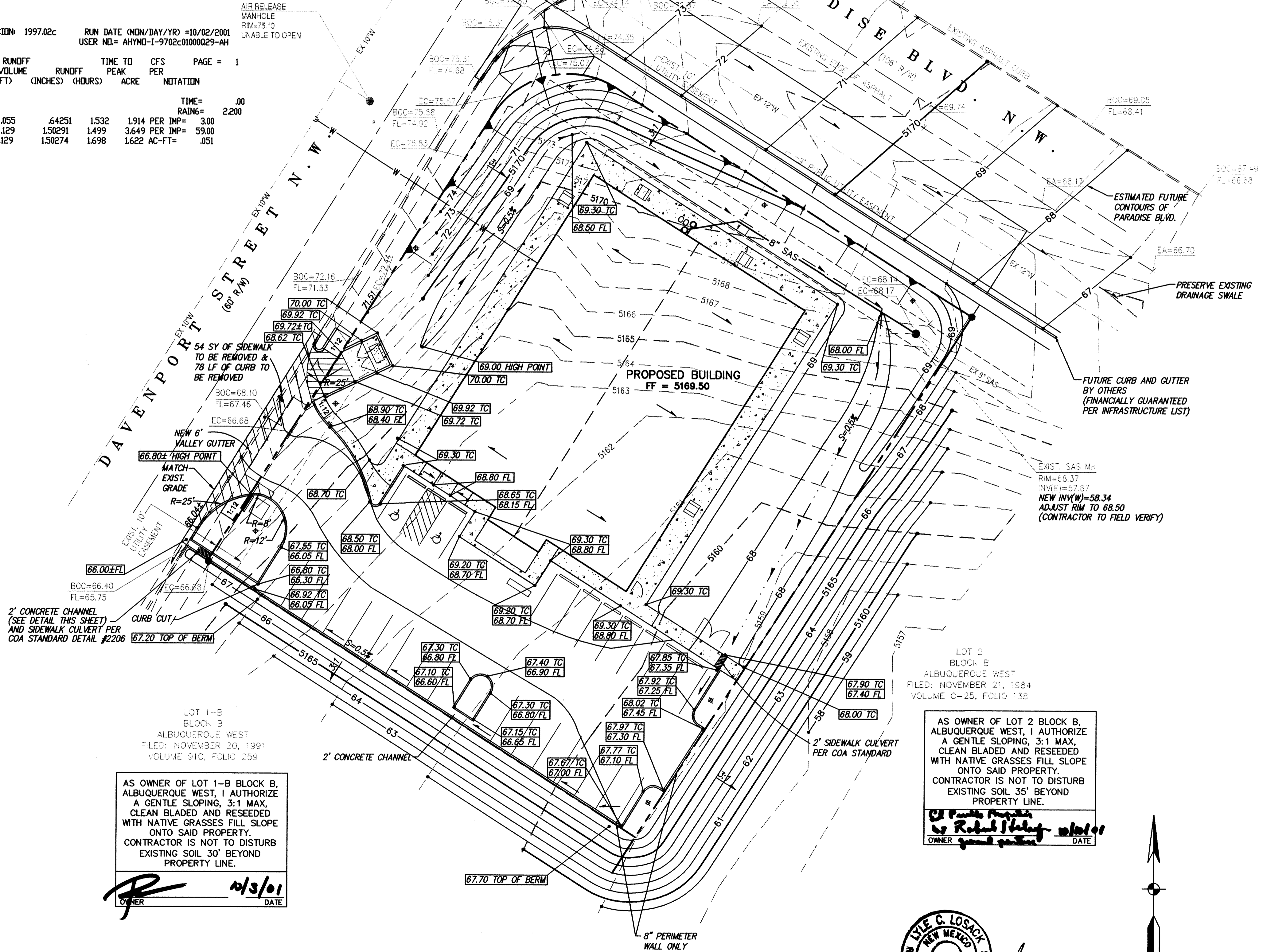
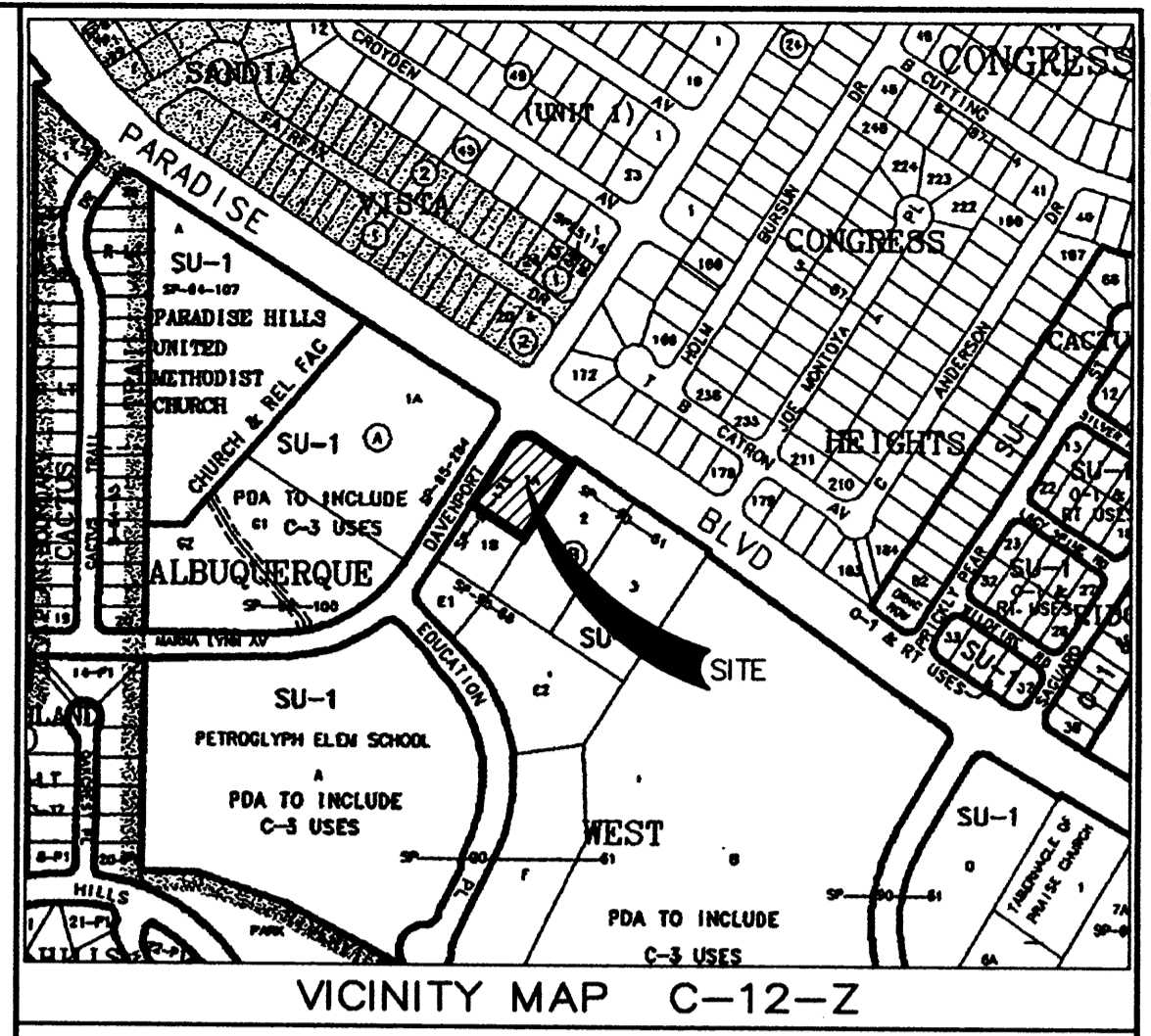
 PRINT HYD
 ID=3 CODE=1

 FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
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VERSION 1997.02c RUN DATE (MON/DAY/YR) = 10/02/2001
 USER NO = AHYMO-1-9702c01000029-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID	TO ID	AREA (SQ MD)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START RAINFALL	TYPE=1									00
COMPUTE NM HYD	EXIST	1		.00161	1.97	.055	.64251	1.532	1.914 PER IMP=	3.00
COMPUTE NM HYD	PROP	2		.00161	3.76	.129	1.50291	1.499	3.649 PER IMP=	59.00
ROUTE RESERVOIR	POND	2	3	.00161	1.67	.129	1.50274	1.698	1.622 AC-FT=	.051
FINISH										



CONCRETE CHANNEL DETAIL

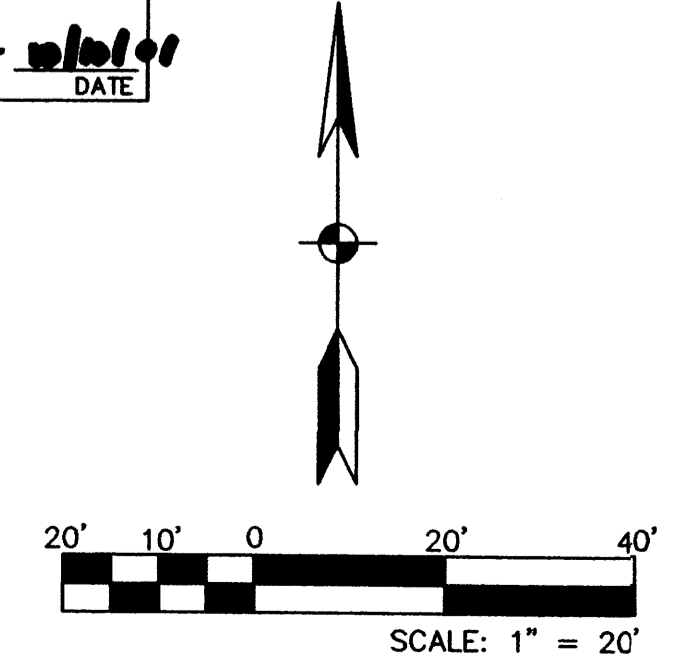
AS OWNER OF LOT 1-B BLOCK B, ALBUQUERQUE WEST, I AUTHORIZE A GENTLE SLOPING, 3:1 MAX. CLEAN BLADED AND RESEDED WITH NATIVE GRASSES FILL SLOPE ONTO SAID PROPERTY. CONTRACTOR IS NOT TO DISTURB EXISTING SOIL 30' BEYOND PROPERTY LINE.

OWNER: [Signature] DATE: 10/3/01

AS OWNER OF LOT 2 BLOCK B, ALBUQUERQUE WEST, I AUTHORIZE A GENTLE SLOPING, 3:1 MAX. CLEAN BLADED AND RESEDED WITH NATIVE GRASSES FILL SLOPE ONTO SAID PROPERTY. CONTRACTOR IS NOT TO DISTURB EXISTING SOIL 35' BEYOND PROPERTY LINE.

OWNER: [Signature] DATE: 10/3/01

Professional Engineer Seal: Lyle C. Losack, State of New Mexico, License No. 14825, dated 10/3/2001.



TEMPORARY BENCHMARK

TEMPORARY BENCHMARK FOR THIS PROJECT IS AN EXISTING SANITARY SEWER MANHOLE LOCATED AT THE NORTHEAST CORNER OF THIS SITE (LOT 1-A, BLOCK B, ALBUQUERQUE WEST) AS SHOWN ON THIS PLAN. RIM ELEV. = 5168.37

LEGAL DESCRIPTION

LOT 1-A, BLOCK B, ALBUQUERQUE WEST, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

HYDROLOGY NOTES

- CURRENTLY THIS SITE IS UNDEVELOPED. THIS SITE IS NOT IN A 100 YEAR FLOODPLAIN.
- THE SITE WILL DISCHARGE 1.7 cfs THRU A 1' CURB CUT (LESS THAN HISTORIC). PONDING WILL BE ACCOMPLISHED WITH DEPRESSION IN PARKING LOT S.W. CORNER AND THROTTLED TO THE STREET WITH A 2' WIDE CONCRETE CHANNEL.

LEGEND

---	5165	EXISTING CONTOUR (MAJOR)
---	5168	EXISTING CONTOUR (MINOR)
BOC=75.3'		EXISTING BACK OF CURB SPOT ELEVATION
EA=75.51		EXISTING EDGE ASPHALT SPOT ELEVATION
EC=75.31		EXISTING EDGE CONCRETE SPOT ELEVATION
FL=75.31		EXISTING FLOW LINE SPOT ELEVATION
GA=75.51		EXISTING GROUND SPOT ELEVATION
---		EXISTING CURB & GUTTER
TC		PROPOSED TOP OF CURB ELEVATION
FL		PROPOSED FLOW LINE ELEVATION
---		PROPOSED CURB & GUTTER
0.5%		PROPOSED FLOW ARROW
---		PROPOSED EARTHEN SWALE 0.5% SLOPE
---		PROPOSED CONTOURS

GENERAL NOTE

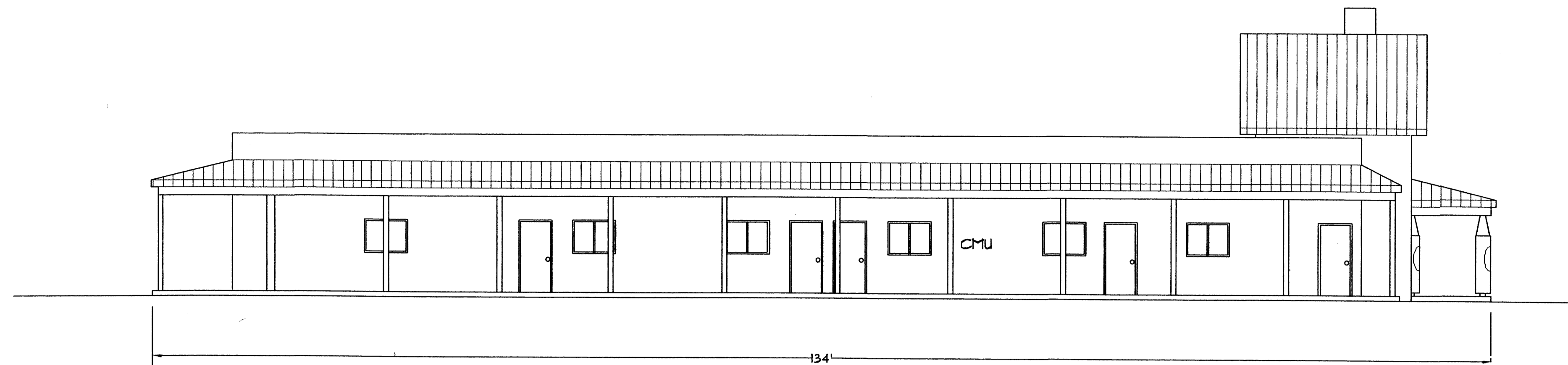
- PROPOSED 8" CMU WALL ALONG NORTH SIDE PER ARCHITECT DRAWINGS IS DECORATIVE. MAINTAIN BOTTOM 8" BELOW FINISHED GRADE IF CONSTRUCTIVE.

CHILDREN'S LEARNING CENTER
 GRADING AND DRAINAGE PLAN

DATE: 10/20/01
 SCALE: AS SHOWN
 DESIGNED: P.J.M.
 DRAWN: P.J.M.
 CHECKED: L.C.L.

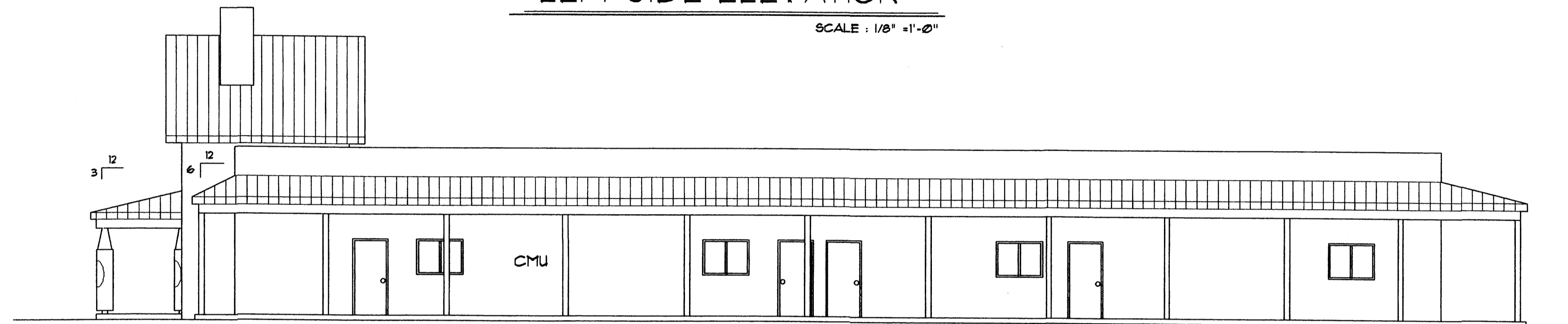
QuikDraw ENGINEERING/DESIGN
 P.O. Box 729
 Corrales, NM 87048
 Office (505) 886-0389 Cell (505) 934-5039

SHEET 3 OF 5



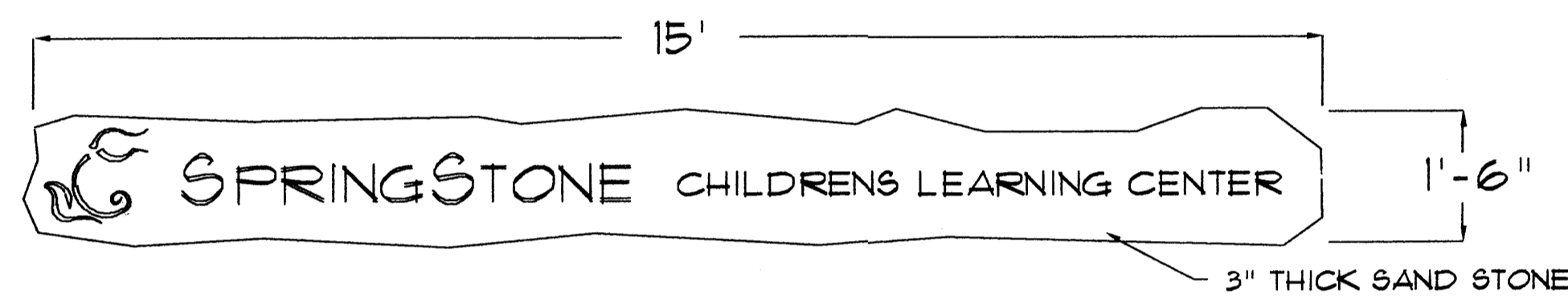
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

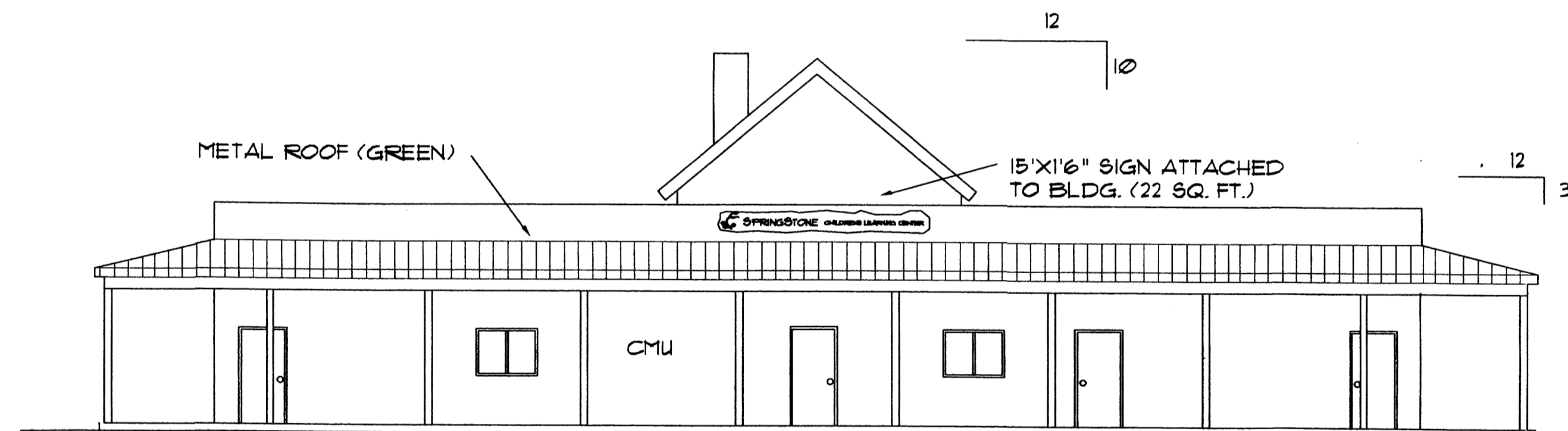


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

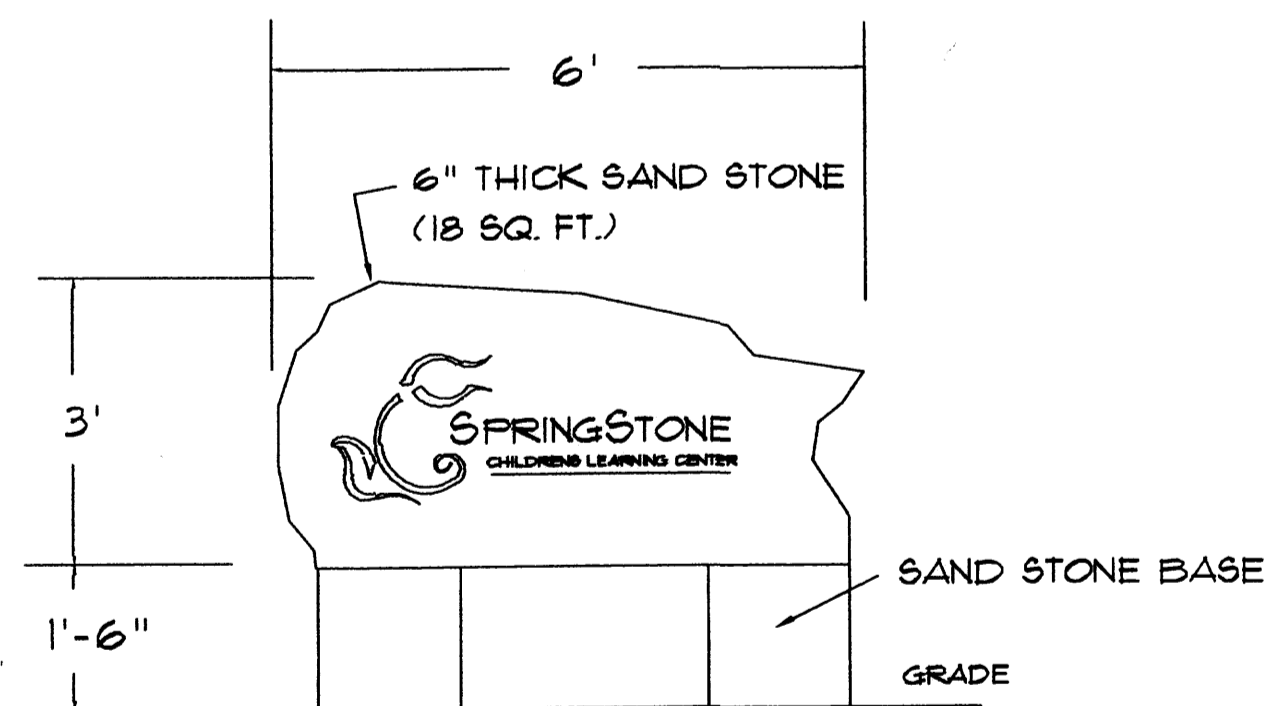


SIGN ON BUILDING REAR

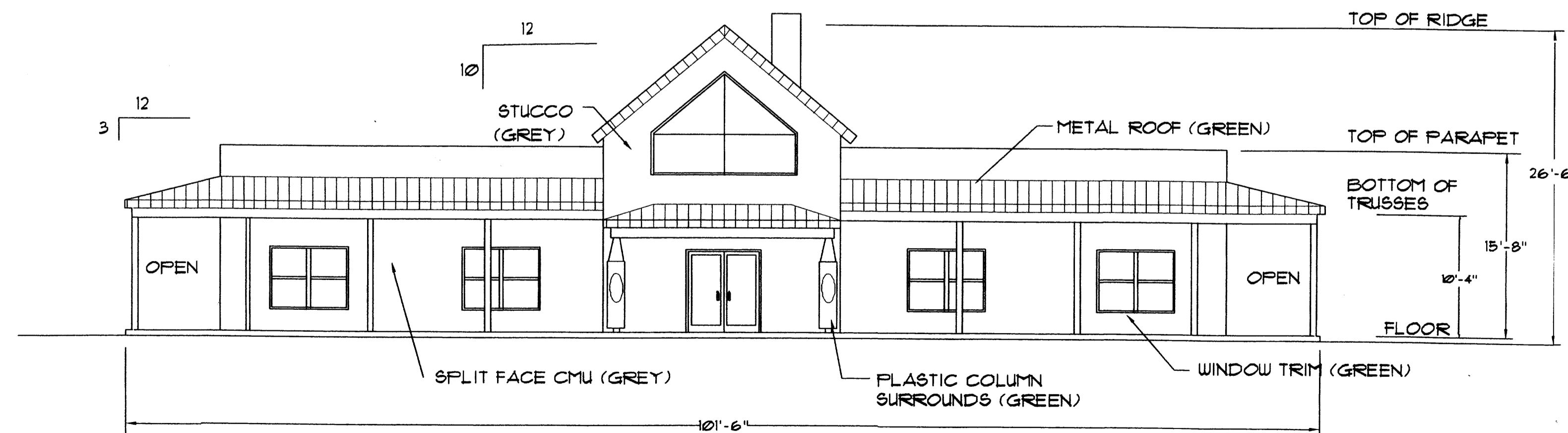


REAR ELEVATION

SCALE: 1/8" = 1'-0"



SIGN AT STREET ENTRY



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

4-HILLS DESIGNERS
1605 SOPLO RD. SE
ALBUQUERQUE, NM 87123
(505) 294-1296

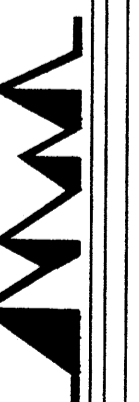
ELEVATIONS
SSPELEVtal

lee l. robinson
architect

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SPRINGSTONE - PARADISE
CHILDREN'S LEARNING CENTER

4-HILLS
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4

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