

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:  
REQUIRED INFORMATION**

**THE SITE:** The site consists of 8 existing lots (Tract 94, Town of Atrisco Grant Unit No. 6; All of lots A and B and Portions of lots C and D, Gonzales Family Lands and all of Tract H, Coors Plaza). The site shall be replatted into 2 bulk tracts. The site contains approximately 18 acres.

**PROPOSED USE:** The zoning for the entire site shall be SU-1 for C-2 Permissive Uses. The proposed use is for Commercial uses.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
There will be no direct access to future Tracts 2A, 2B, 2C, and 2D from Coors Boulevard. Access to Coors Blvd. will be provided from Bjarne Avenue NW and will be (right-in, right-out, and left-in) and from Milligan Drive (right-in and right-out). Amanda Avenue provides access north to Central Avenue and is anticipated to provide access south to Gonzales with the development of the vacant property to the South. Connections to the proposed trail on Central will be via the bike route on Amanda Drive. Access to the bike trail on Coors Boulevard will be provided off Bjarne and Milligan Drive. There will be a future transit location on Coors Boulevard with the exact location to be determined by the Transit Department.

**INTERNAL CIRCULATION REQUIREMENTS:** Internal circulation shall be developed in accordance with the individual Site Plans for Building Permit. Pedestrian connections to individual buildings, transit shelter, external hike/bike trails, and parking areas shall be pursuant to these Design Guidelines (sheets 2 and 3).

**BUILDING HEIGHTS AND SETBACKS:** Pursuant to C-2 zoning requirements.

**MAXIMUM F.A.R.:** Maximum F.A.R. for individual Tracts within Coors Town Center shall be .35.

**LANDSCAPE PLAN:** Detailed Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit and consistent with these landscaping and screening requirements, (sheet 3).

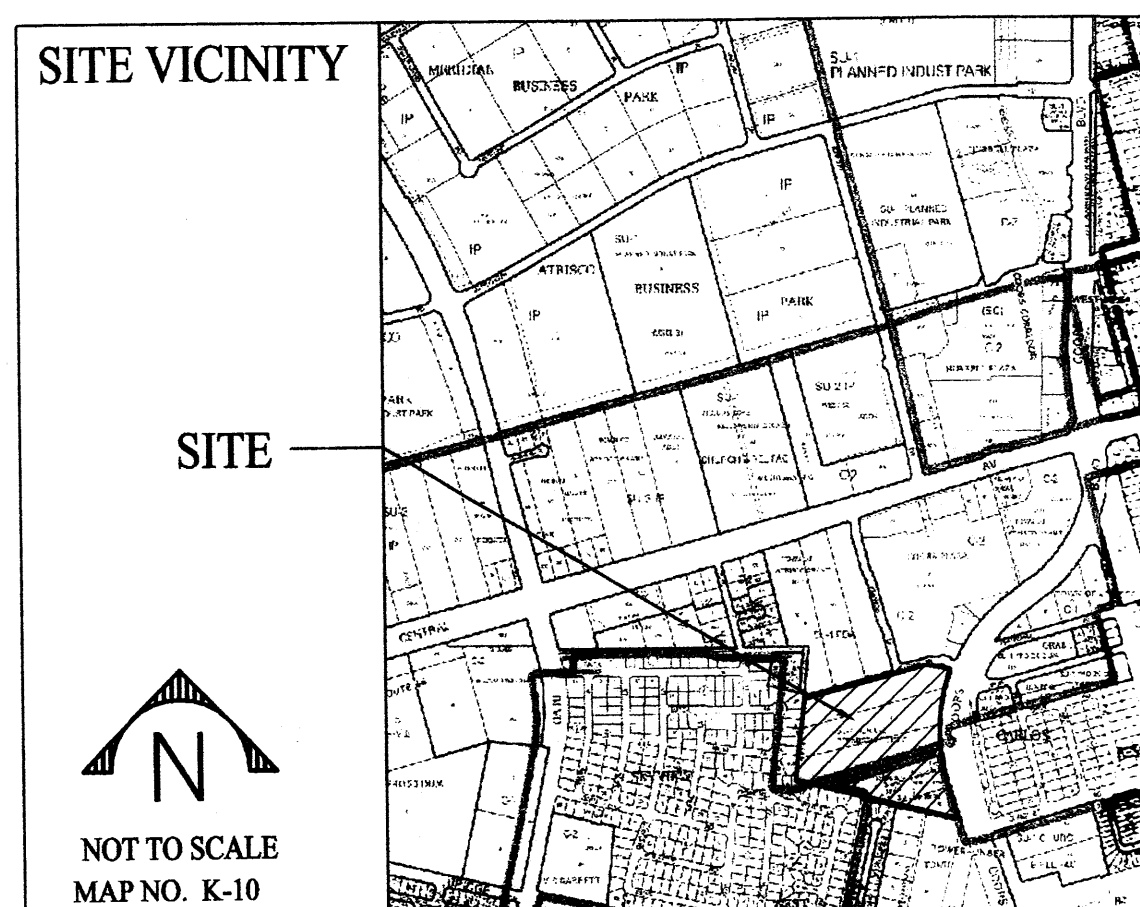
**PROJECT NUMBER:** 1001278

**Application Number:** 07DRB-00150

**Is an Infrastructure List required?** ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

	3-28-07
Traffic Engineering, Transportation Division	Date
	3/28/07
Water Utility Department	Date
	3/28/07
Christina Sandoval	Date
	3/28/07
City Engineer	Date
	3-29-07
DRB Chairperson, Planning Department	Date

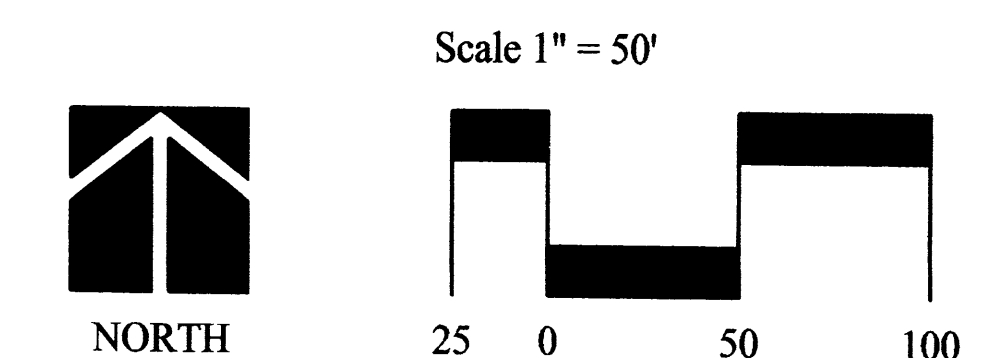


Note: Environmental Planning Commission Review and Approval is required for any and all future site development plans for building permit.

Site Plan for Subdivision  
**COORS TOWNE  
CENTER**

Prepared for: Pat and Lillie R. Milligan  
7805 Hendrix NE  
Albuquerque, NM 87110

Prepared by: Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



PROJECT 1001278

## DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for Coors Town Plaza. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. Environmental Planning Commission Review and Approval is required for any and all future site development plans for building permit unless otherwise delegated by the EPC.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

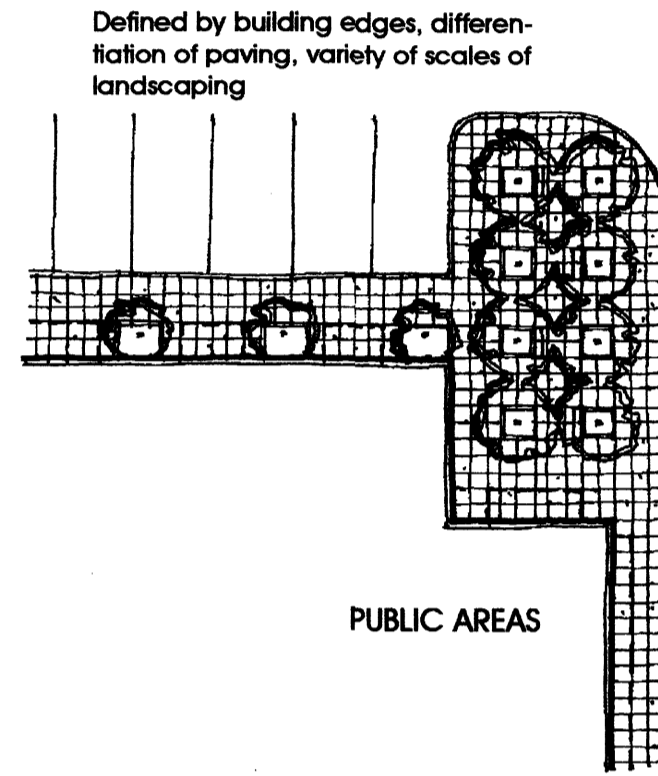
## SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines were created to encourage the use of pedestrian, bicycle, and transit modes and to create the opportunity for reduced automobile use.

### General

#### Standards:

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).
- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.
- Parking located adjacent to Coors Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms at a height of 2 1/2 to 3'. Screening shall be compatible with edge treatments at adjacent properties.
- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.
- The approved wall design guidelines by the City shall apply.
- All loading docks shall be screened and covered with architecturally integrated walls and roofs.
- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.
- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.
- Each tract shall be required to provide a plaza area.
- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.
- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.



#### Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.
- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.
- Public entries to the project shall be designed to:
  - be compatible with one another
  - create a sense of arrival
  - provide strong visual impact
  - provide a unified project identification
- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

### Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

#### Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.
- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.
- Entrances and exits to buildings shall be flush with the adjacent sidewalk.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.
- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.
- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

#### Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

### Circulation

#### Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.
- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.
- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with shade trees at 25' on center in 5x5 planters or landscaping areas.
- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.
- Bicycle parking shall be provided to promote alternative vehicle use as follows:
  - Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.
- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.
- Trail connections shall be provided within the interior roadway to the City-planned trail along Coors Boulevard.
- Pedestrian connections shall be provided to the proposed transit shelter along Coors Boulevard (see Sheet 1).
- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactilely for safe pedestrian crossing.
- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area.
- There shall be no parking requirement applied to any second floor housing above retail.
- The maximum parking allowed is the minimum required plus 10 percent.
- Landscaped islands shall be distributed throughout parking areas.
- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.
- Loading docks and truck delivery routes shall be designed to minimize any and all adverse impacts on adjacent residential zoned areas.
- Every development shall provide employee bicycle lockers and every development with over fifty employees shall provide showers and lockers at the worksite.

#### Guidelines:

- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

### Setbacks

#### Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.
- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).
- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.
- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

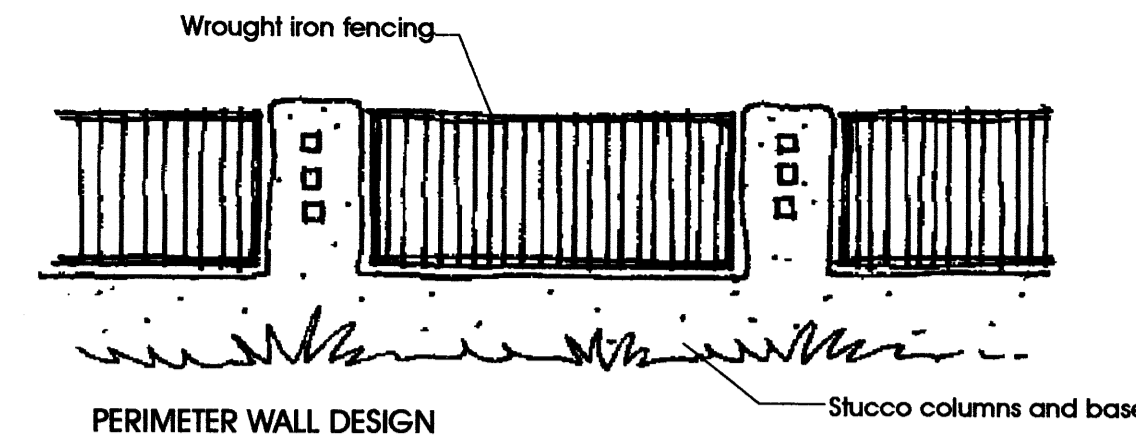
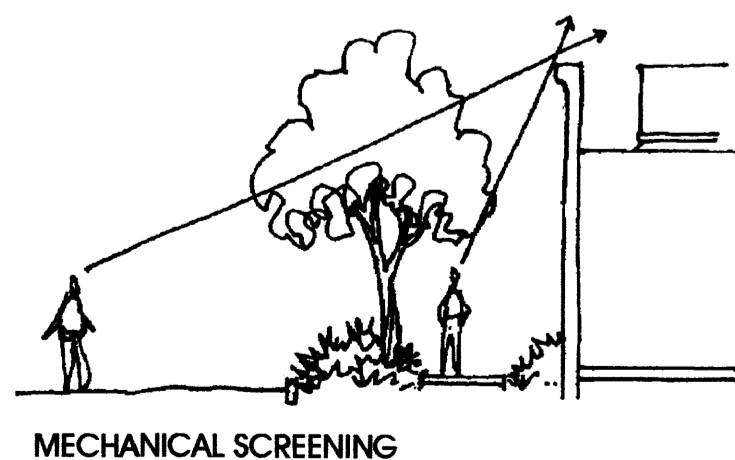
- 20 feet from the R.O.W. line of Coors Boulevard.
- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and 80 feet from the property line of a residential zone. A 20 foot landscape buffer with evergreen trees, spaced a minimum of 15 feet on center, is required immediately adjacent to the property line of a residential zone.
- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Coors Boulevard.
- 15 feet from the R.O.W. of interior roads.

### Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.



#### Standards:

- Visual openings shall be provided in perimeter walls every 100 feet at commercial and office properties for visual relief.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.
- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.
- Mechanical equipment for commercial and office properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.
- Roof mounted equipment shall be screened. The top of the parapet shall be equal to the height of the roof mounted equipment.

### SIGNAGE & GRAPHICS

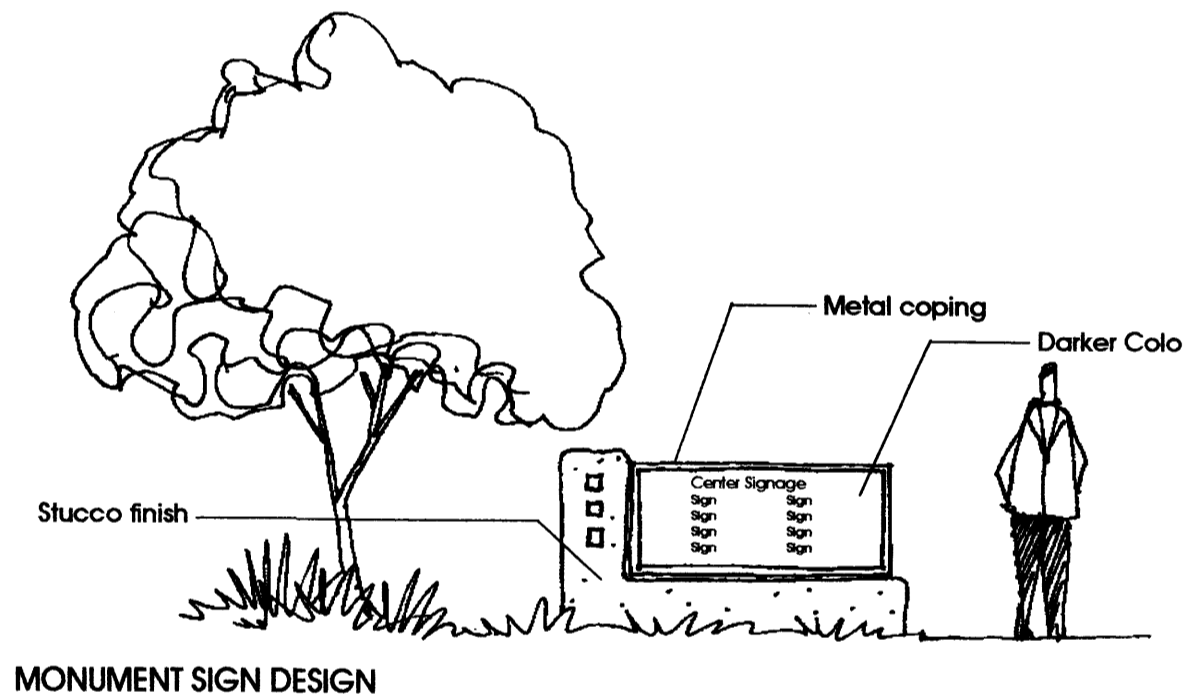
The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

#### Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner. The signs shall be designed in the adobe style.
- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No off-premise signs.

#### Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location
- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spot-lighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists



#### Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights
- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features
- One monument sign is allowed on Coors Boulevard and one monument sign is allowed on Amanda Drive, off Tract A as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.
- All freestanding signs shall be monument signs only.
- Monument signs are allowed for individual projects within the Town Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.
- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.
- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.
- No backlit plastic/vinyl signage shall be permitted except for logo designs.

#### Guidelines:

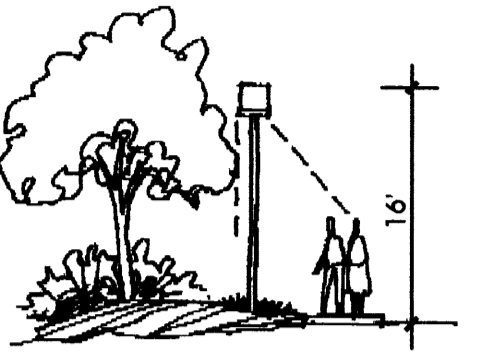
The following guidelines were developed to assist designers in understanding the signage program.

#### Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease.

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere.
- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable.
- Avoid too many different colors on a sign. Too many colors can be confusing and usually fails to communicate the intended message.
- There should be a significant contrast between the background and the text. If the colors are too close in value or hue the sign will be difficult to read.
- Minimize the amount of words on a sign. A brief message is easier to read and is usually more attractive.

- Avoid signs with unusual shapes. The viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey.
- Letters shall not appear to occupy more than seventy-five percent of the sign area. The sign is harder to read if the type takes up too much of the sign area.
- Pedestrian-oriented signs shall be smaller than vehicle-oriented signs. A pedestrian-oriented sign is usually read from a distance of 15-20 feet.

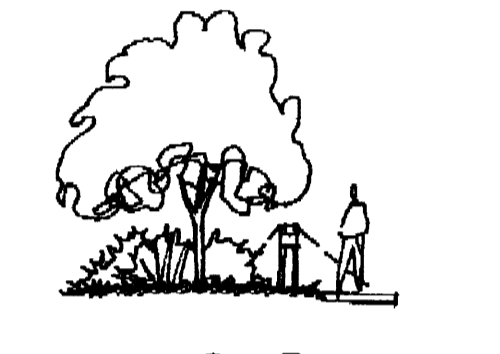
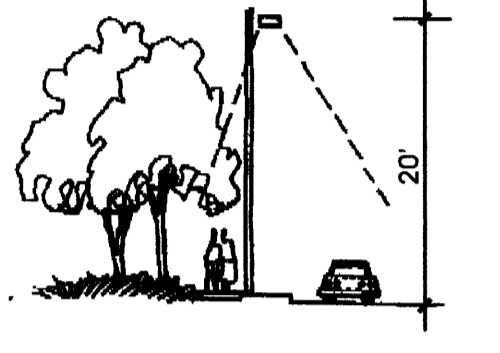


## LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

#### Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

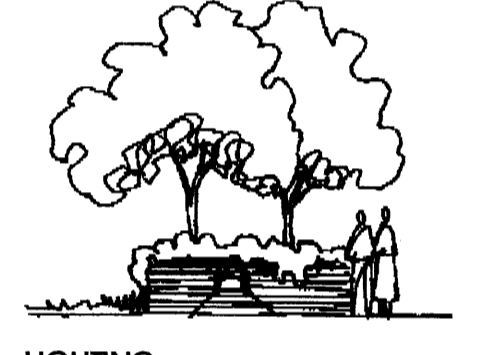


The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.



- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Coors/Bjarne & Coors/Milligan Drive intersections), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

# SITE PLAN FOR SUBDIVISION COORS TOWNE CENTER

Prepared For:

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Prepared By:

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302 Eighth Street NW  
Albuquerque, NM 87102

February 5, 2007

Sheet 2 of 4

- The proposed transit shelter shall include shelter facilities, benches, lighting, and bicycle storage.

**Guidelines:**

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.
- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.
- Outdoor materials shall be chosen for their durability and resistance to weathering.
- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambiance of the Village Center.

**ARCHITECTURAL DESIGN**

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects. The following shall apply to all commercial, office, and apartment uses within the Town Center.

**Standards:**

- The height for commercial and office development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainage right-of-way center line.
- No generic franchise elevation design shall be allowed.
- Commercial and office uses shall be horizontally connected in a variety of ways through the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, or sitting areas.

**Guidelines:**

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

- Roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses should be distributed among a variety of volumes, introducing the use of dormers, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

**Facades**

**Standards:**

- No plastic or vinyl building panels or awnings shall be permitted.
- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

**Facades SHALL:**

- vary in height, depth and articulation to create a pedestrian-scaled environment
- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces
- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
- be treated with a consistent level of detail at all sides of all buildings and structures
- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

**Guidelines:**

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

**Roofs & Parapets**

**Guidelines:**

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.
- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.
- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.
- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.
- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

**Entryways**

**Standards:**

- Entries shall be clearly defined and connect to pedestrian linkages.
- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.
- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

**Guidelines:**

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.
- Entryways shall be accented with lighting to enhance the perception of surface variety.

**Fenestration & Shading**

**Guidelines:**

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.
- Buildings shall not obstruct solar access to neighboring residential structures.

**Building Materials & Colors**

**Standards:**

- Materials prohibited as the main architectural feature include the following:
  - exposed, untreated precision block or wood walls
  - highly reflective surfaces
  - chain link fence or barbed wire
  - metal paneling
  - materials with high maintenance requirements

**Guidelines:**

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.
- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.
- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.
- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

**UTILITIES**

**Standards:**

- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.
- Any cell towers shall be concealed and architecturally integrated.

**NOISE**

Mitigation of excessive noise brought about by the commercial and office development on the site will ensure quality design that has little impact on the surrounding neighborhood and residences. Mitigation of noise will also make the pedestrian's experience more enjoyable.

**Standards**

- Outdoor paging is not permitted.
- Drive in facilities shall be permitted provided that there is a roof and the speaker is oriented so as not to be nuisance to the adjacent residential neighborhood.

**LANDSCAPE**

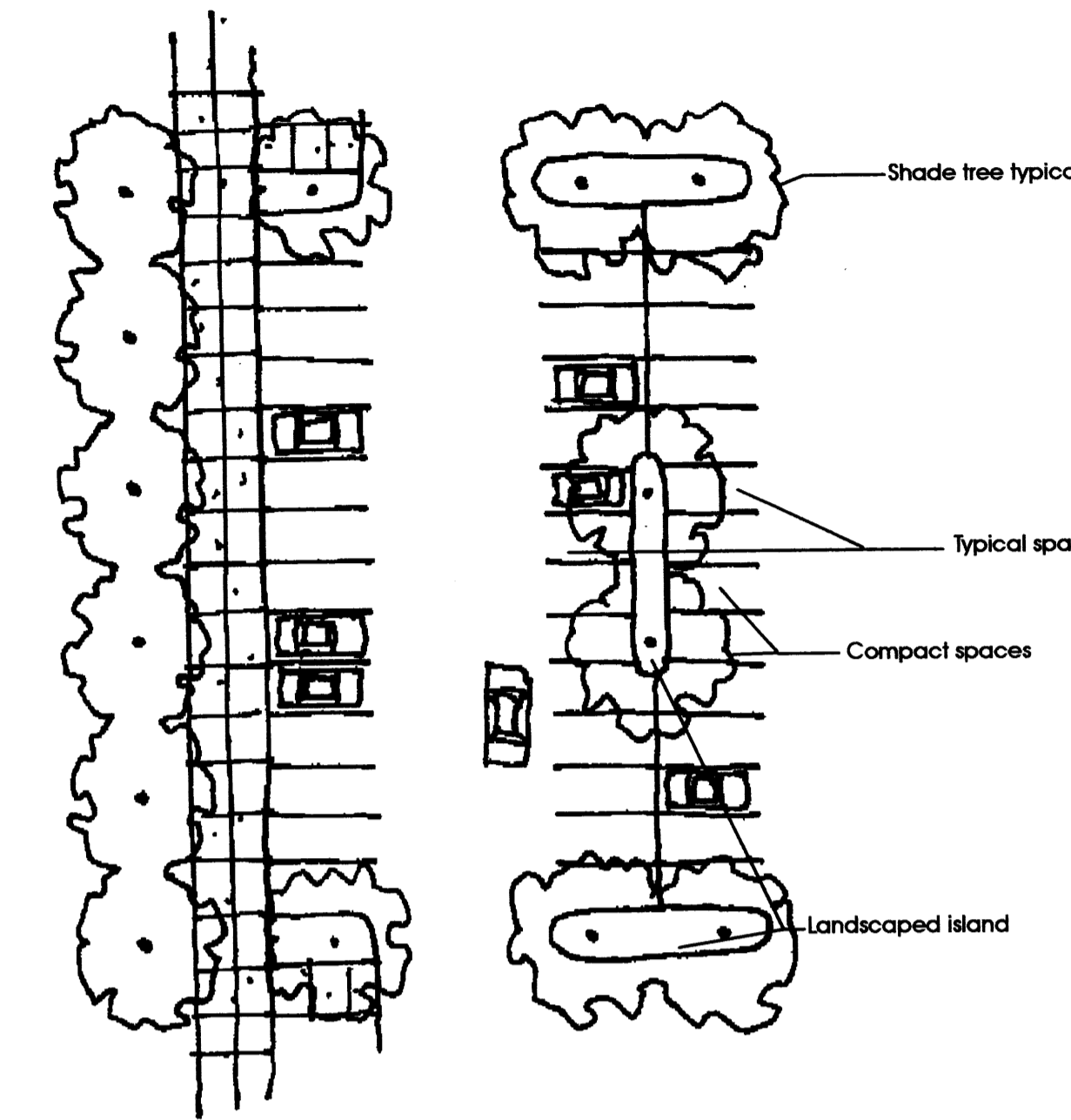
The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

**Standards:**

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.
- Street trees shall be provided along Coors Boulevard, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.
- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.
- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, how-

ever, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), steel construction, or other similar material.
- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will



TYPICAL PARKING LOT LANDSCAPING

SITE PLAN FOR SUBDIVISION  
**COORS TOWNE  
CENTER**

Prepared For:

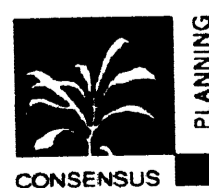
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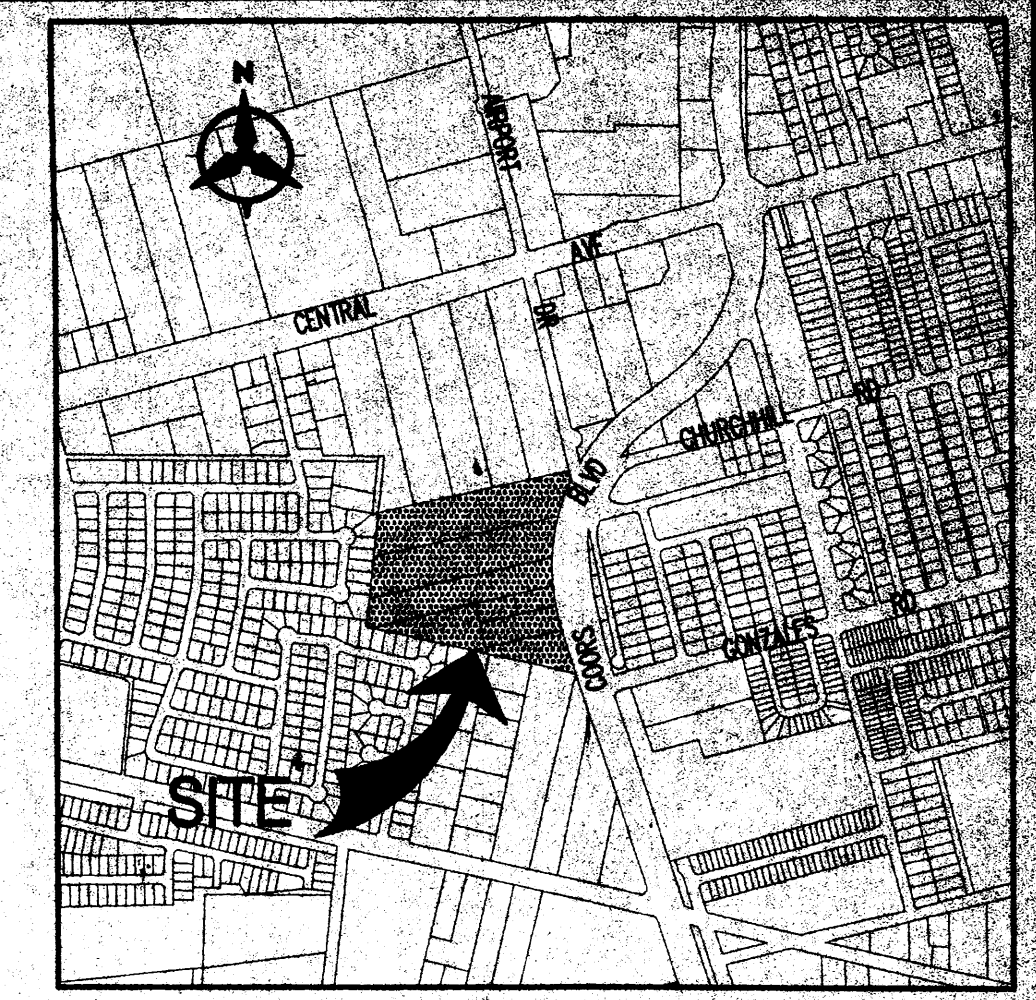
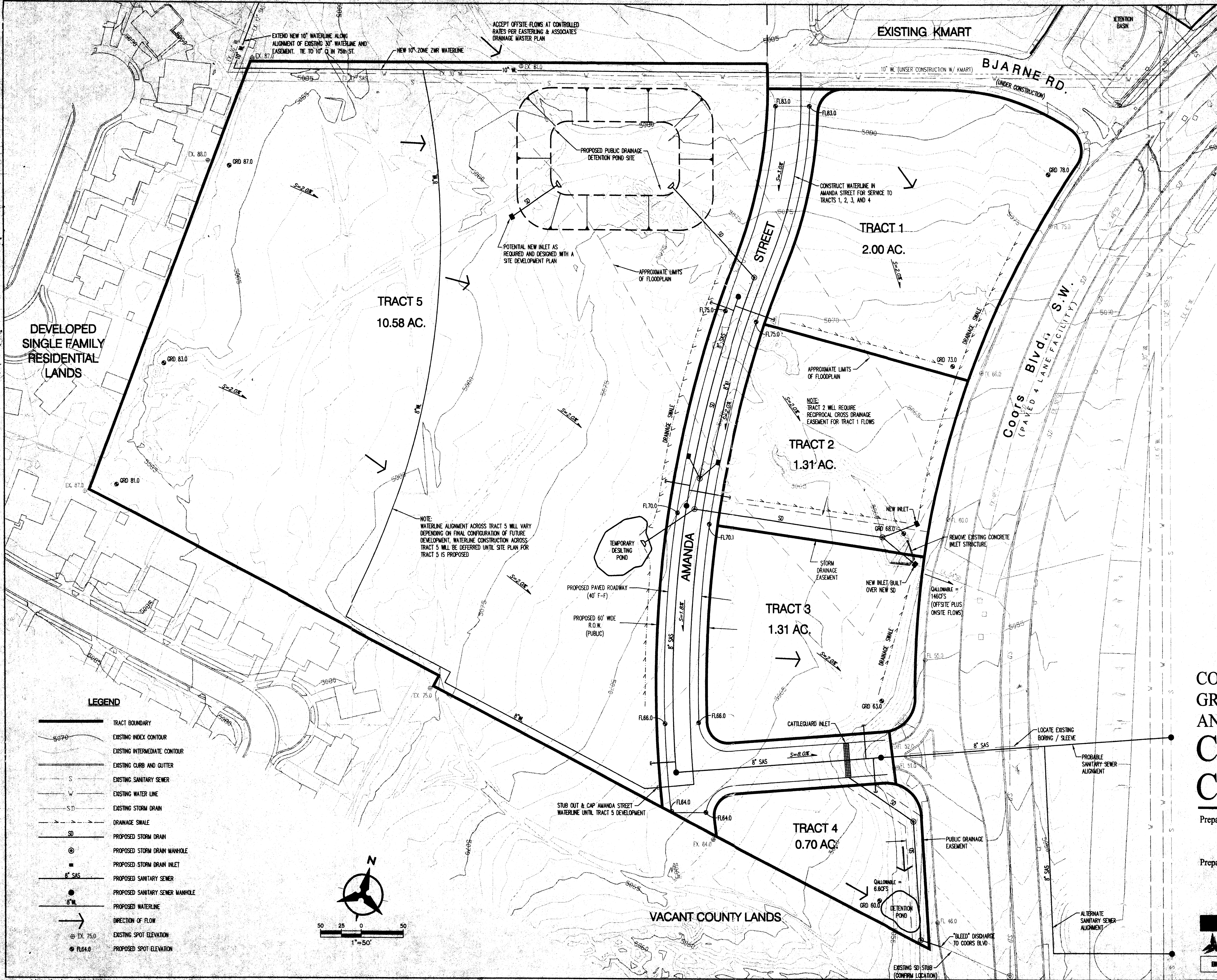
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February 5, 2007

Sheet 3 of 4



PLANNING  
CONSENSUS



VICINITY MAP  
ZONE MAP NO. K-10-7

**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to present a conceptual drainage management plan for the Coors Towne Center project. The site contains approximately 17.5 acres. The project must go through the EPC for zone change approval and "site plan/subdivision purposes" approval. Due to the preliminary nature of this submittal, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

**II. SITE LOCATION**  
The site is located on the west side of Coors Boulevard south of Central. In its current condition, the majority of the site is undisturbed. The site contains an arroyo which enters the site along the north boundary and drains to the existing storm drain in Coors. The general slope of the land is from west to east. The site is located within zone atlas map #K-10, and hydrologic zone 1.

**III. EXISTING HYDROLOGIC CONDITIONS**  
The existing site is within the area covered by the "Atrisco Business Park Master Drainage Plan" prepared by Easterling and Associates, September 1992. More specifically, the site is located within basins 270.1 and 280.1 of the Easterling DMP. The drainage outfall for the site is the existing storm drain in Coors Blvd.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
As noted above, the site lies within two existing basins shown on the current master drainage plan for the area. The majority of the site is within basin 270.1. That basin is grouped together with a number of other, upstream basins which have a combined allowable peak discharge of 146cfs to the existing 54" SD stubout in Coors. Preliminary analysis indicates that this works out to about 1.3cfs per acre. When the final detailed drainage plan for the site is prepared, an AHMO analysis will be prepared to analyze the hydrology of the area and to determine the required pond volume for the site. The controlling criteria will be that the discharge to the Coors storm drain (from the basins identified in the DMP) shall not be more than 146cfs. Tracts 1, 2, 3 and 5 are anticipated to drain to the existing 54" SD stubout in Coors.

A smaller portion of the site along the south edge is identified in the DMP as basin 280.1, with an allowable discharge of 6.6cfs. Tract 4 and a portion of the proposed right-of-way are anticipated to drain to this outfall point.

**V. EXISTING FLOODPLAIN**  
There is an existing floodplain on the site. The floodwaters will be redirected with the pond and storm drain system shown. A CLOMR will be prepared and will be a part of the infrastructure list for the project.

**VI. CONCLUSION**  
This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

**CONCEPTUAL GRADING/DRAINAGE AND UTILITY PLAN  
COORS TOWNE CENTER**

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- LEGEND**
- TRACT BOUNDARY
  - EXISTING INDEX CONTOUR
  - EXISTING INTERMEDIATE CONTOUR
  - EXISTING CURB AND GUTTER
  - EXISTING SANITARY SEWER
  - EXISTING WATER LINE
  - EXISTING STORM DRAIN
  - DRAINAGE SWALE
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - 8" SAS PROPOSED SANITARY SEWER
  - PROPOSED SANITARY SEWER MANHOLE
  - 8" WL PROPOSED WATERLINE
  - DIRECTION OF FLOW
  - EX 75.0 EXISTING SPOT ELEVATION
  - FL 64.0 PROPOSED SPOT ELEVATION

