

LANDSCAPE NOTES

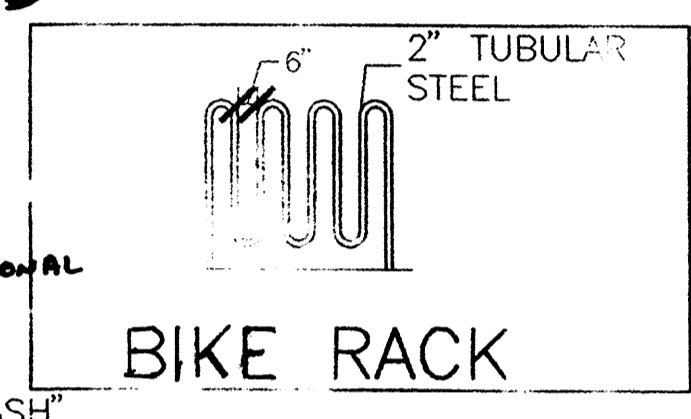
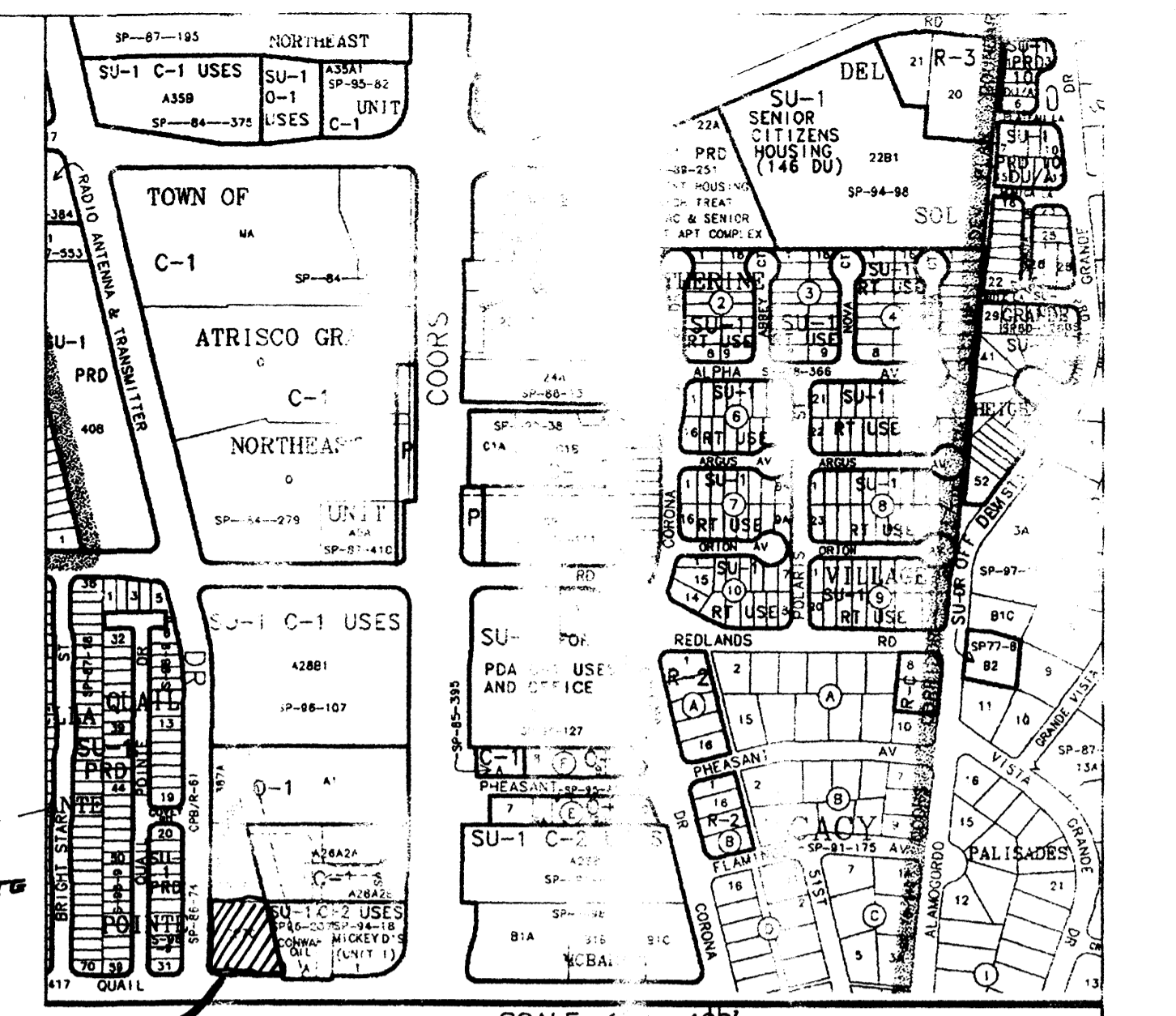
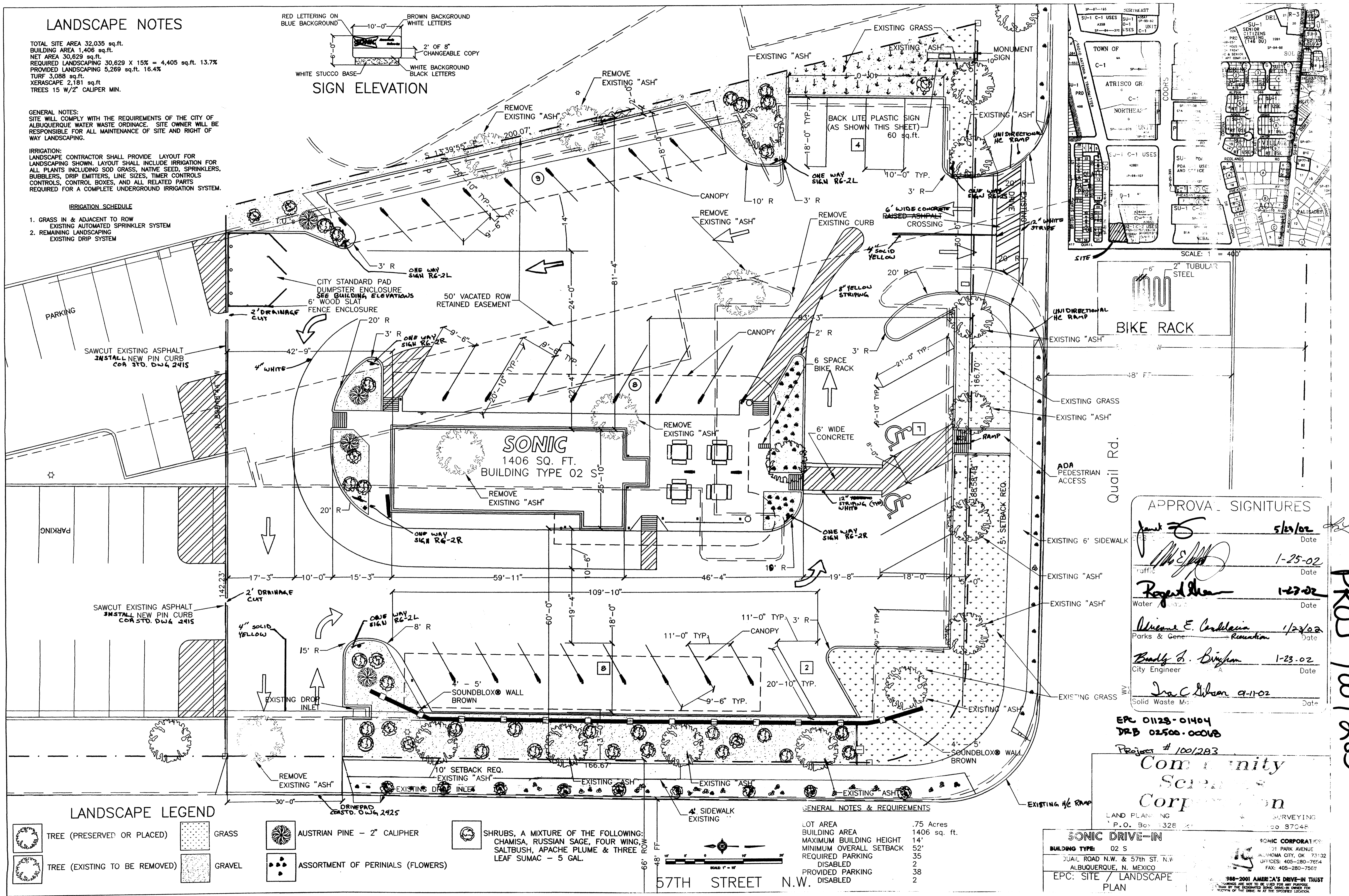
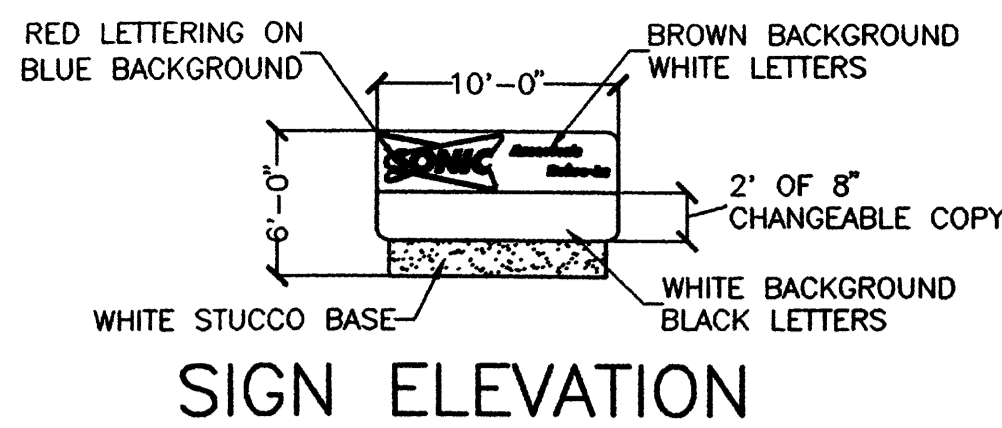
TOTAL SITE AREA 32,035 sq.ft.
 BUILDING AREA 1,406 sq.ft.
 NET AREA 30,629 sq.ft.
 REQUIRED LANDSCAPING 30,629 X 15% = 4,405 sq.ft. 13.7%
 PROVIDED LANDSCAPING 5,269 sq.ft. 16.4%
 TURF 3,088 sq.ft.
 XERASCAPE 2,181 sq.ft.
 TREES 15 W/2" CALIPER MIN.

GENERAL NOTES:
 SITE WILL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE WATER WASTE ORDINANCE. SITE OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE AND RIGHT OF WAY LANDSCAPING.

IRRIGATION:
 LANDSCAPE CONTRACTOR SHALL PROVIDE LAYOUT FOR LANDSCAPING SHOWN. LAYOUT SHALL INCLUDE IRRIGATION FOR ALL PLANTS INCLUDING SOD GRASS, NATIVE SEED, SPRINKLERS, BUBBLERS, DRIP EMITTERS, LINE SIZES, TIMER CONTROLS, CONTROLS, CONTROL BOXES, AND ALL RELATED PARTS REQUIRED FOR A COMPLETE UNDERGROUND IRRIGATION SYSTEM.

IRRIGATION SCHEDULE

1. GRASS IN & ADJACENT TO ROW EXISTING AUTOMATED SPRINKLER SYSTEM
2. REMAINING LANDSCAPING EXISTING DRIP SYSTEM



APPROVAL SIGNITURES	
<i>[Signature]</i>	5/29/02 Date
<i>[Signature]</i>	1-25-02 Date
<i>[Signature]</i>	1-23-02 Date
<i>[Signature]</i>	1/23/02 Date
<i>[Signature]</i>	1-23-02 Date
<i>[Signature]</i>	9-11-02 Date

EPC 01125-01404
 DRB 02500-0000B
 Project # 1001283

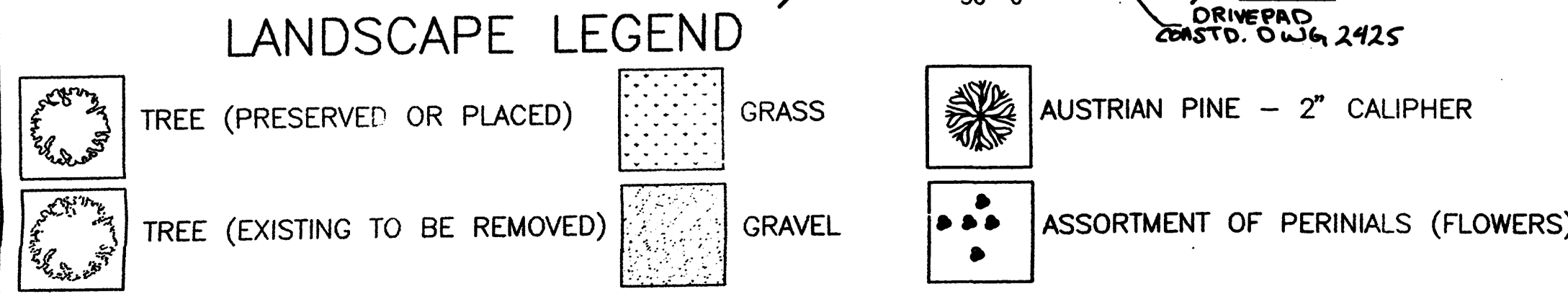
Community
 Services
 Corporation

LAND PLANNING SURVEYING
 P.O. Box 1328 ALBUQUERQUE, NM 87248

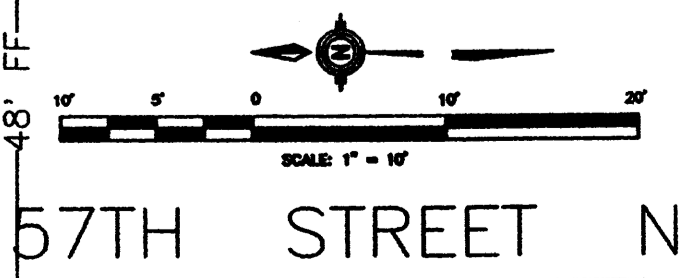
SONIC DRIVE-IN
 BUILDING TYPE: 02 S
 271 PARK AVENUE
 ALBUQUERQUE, N.M. 87102
 OFFICES: 405-280-7614
 FAX: 405-280-7569

SONIC CORPORATION
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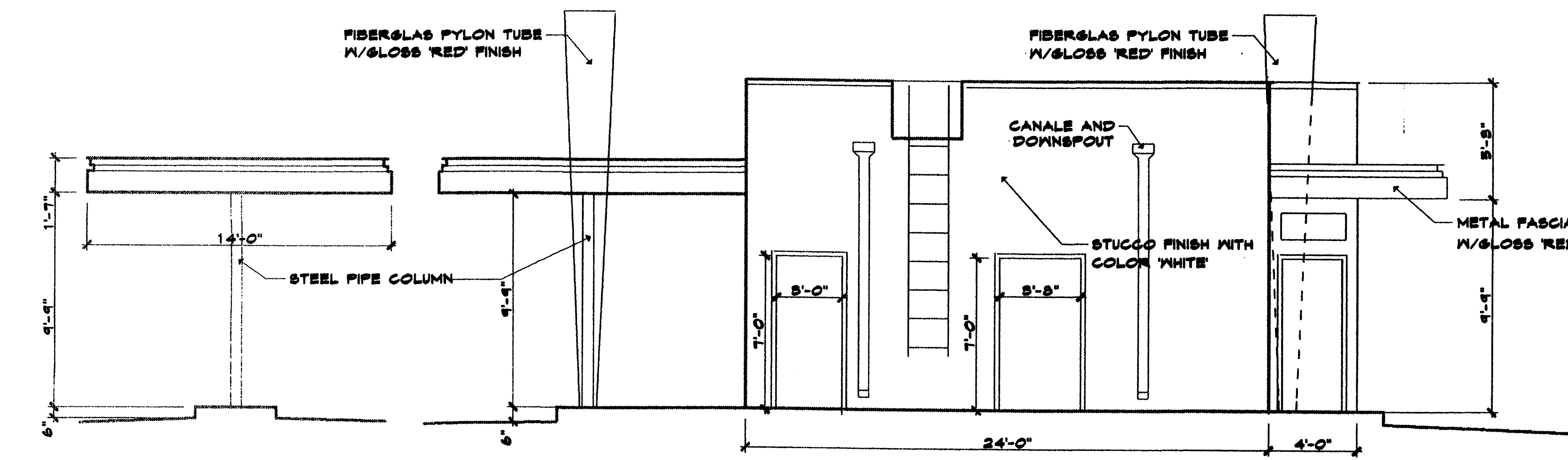
988-2001 AMERICA'S DRIVE-IN TRUST
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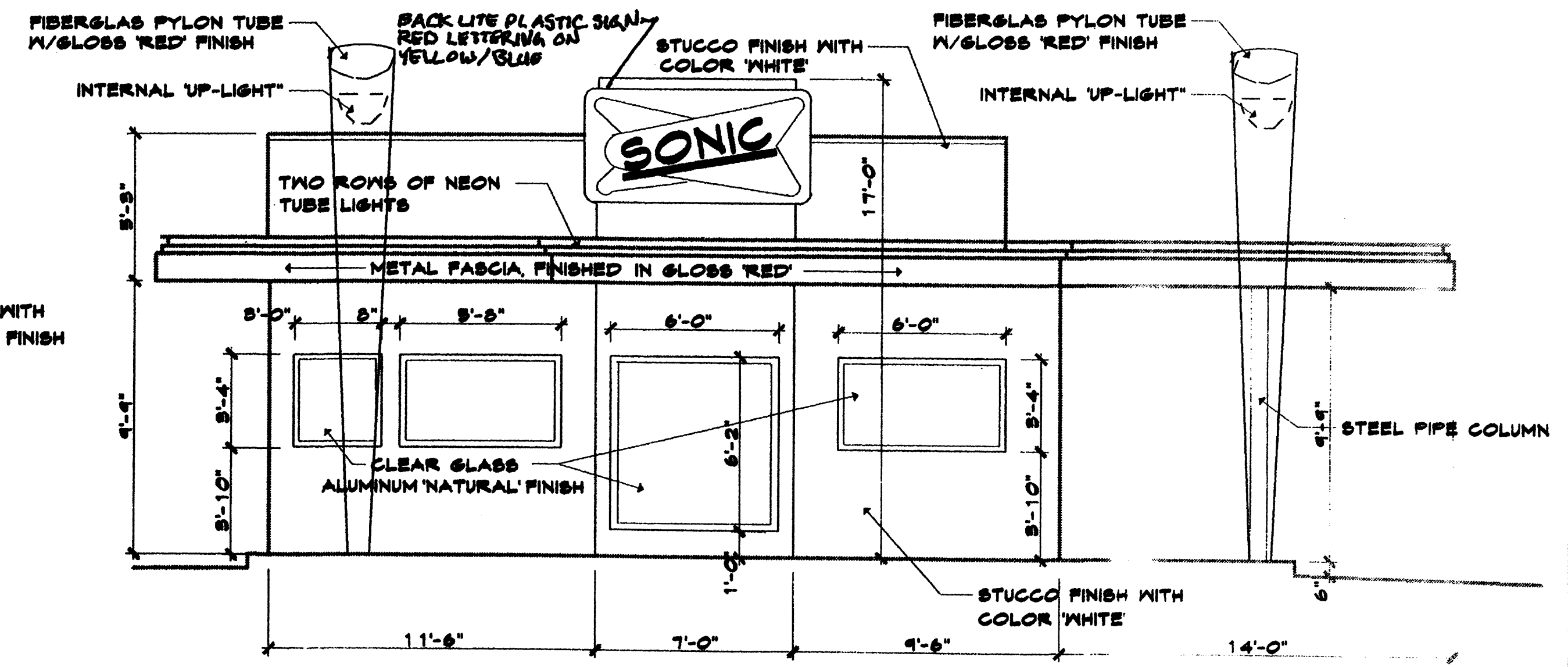
GENERAL NOTES & REQUIREMENTS	
LOT AREA	.75 Acres
BUILDING AREA	1406 sq. ft.
MAXIMUM BUILDING HEIGHT	14'
MINIMUM OVERALL SETBACK	52'
REQUIRED PARKING	35
DISABLED	2
PROVIDED PARKING	38
DISABLED	2



PROJ 1001283

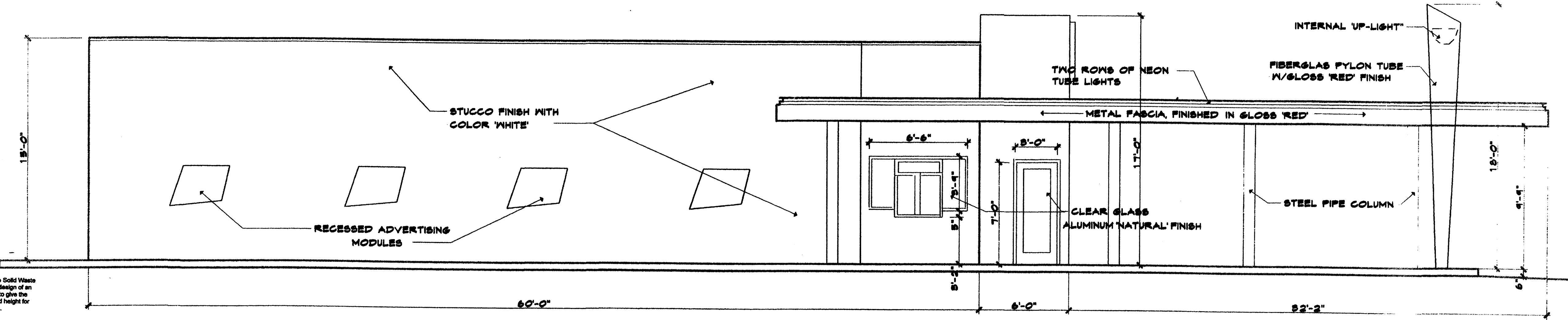


NORTH ELEVATION 1/4" = 1'-0"

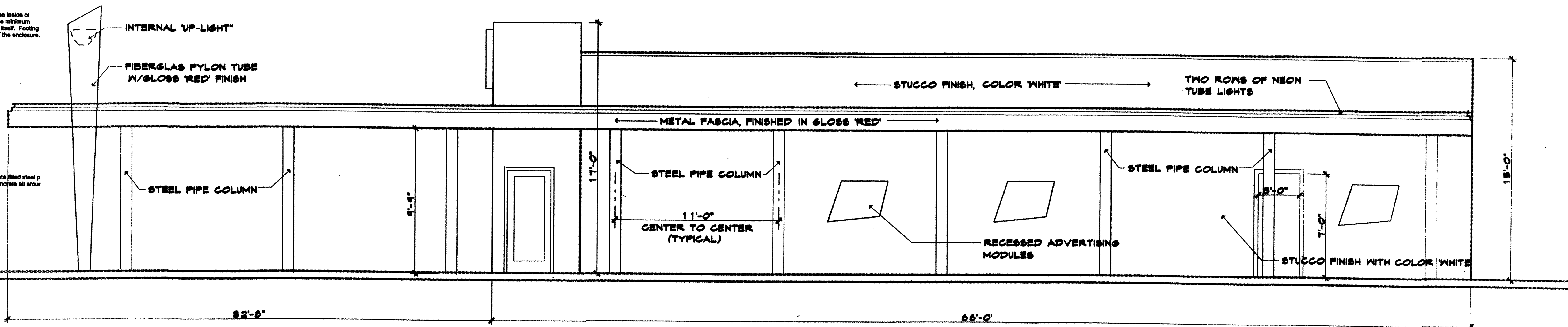


SOUTH ELEVATION 1/4" = 1'-0"

CANOPY ELEVATION 1/4" = 1'-0"
FREE STANDING CANOPY



WEST ELEVATION 1/4" = 1'-0"



EAST ELEVATION 1/4" = 1'-0"

City of Albuquerque

VIP Compactor 13'-6"
Standard Enclosure 12'-0"
4'-6" 3'-0" 4'-6"

It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length and height for varied types of enclosures.

Side bollards may be required. Bollards are to be 6-13" from wall.

CONCRETE SLAB: 6" thick, 4,000 psi, 3/4" aggregate w/ 6x6-1010 WWM or equal. Slope to drain 1/8" per foot.

APRON: 6" thick, 4,000 psi, 3/4" aggregate w/ 2x5-1010 WWM or equal. 12'-0" x 8'-0" with 1/2" expansion joint.

FOOTING: As required by design.

APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" with reinforcing to withstand 57,000 lbs.)

6" outside diameter concrete filled steel p shall be encased in 12" concrete at error and embedded 2'-0".

Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department at 761-8100.

DUMPSTER DETAIL
N/S

JOB NO. _____

DATE _____

REVISION _____

DRAWN BY _____

CHECKED BY _____

BUILDING ELEVATIONS

SHEET TITLE

MILLER AND ASSOCIATES ARCHITECTS PLANNERS

2815 RICHMOND S.E. ALBUQUERQUE, N.M. 87106

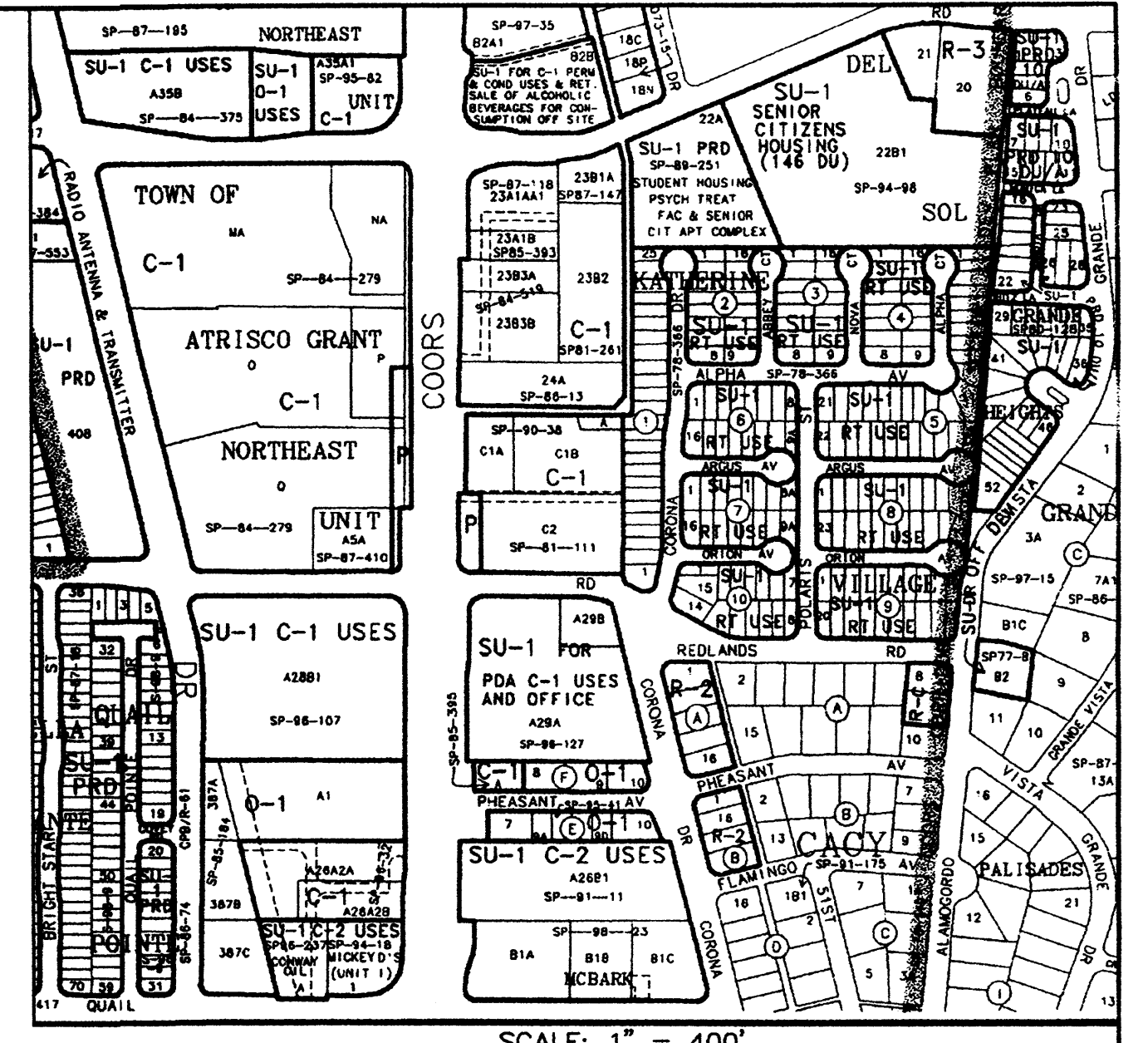
SONIC

JOB TITLE _____

SUB-AREA A
 AREA = .2874 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION B=0.67, D=1.97 {TABLE A-8}
 WEIGHTED E = $(E_a A_a + E_b A_b + E_d A_d) / (A_a + A_b + A_d) = .67(.0287) + 1.97(.2587) / .2874 = 1.84$ in {EQN. A-5 DPM}
 VOLUME = $E * (A_a + A_b + A_d) / 12 = 2874 ac * 1.84 / 12 = 0.44$ Ac/Fl. {EQN. A-6 DPM}
 PEAK DISCHARGE $Q_p = (Q_{pA} + Q_{pB} + Q_{pD}) = 2.03(.0287) + 4.37(.2587) = 1.19$ cfs {TABLE A-9 DPM}

SUB-AREA B
 AREA = .4484 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION B=0.67, D=1.97 {TABLE A-8}
 WEIGHTED E = $(E_a A_a + E_b A_b + E_d A_d) / (A_a + A_b + A_d) = .67(.0448) + 1.97(.4036) / .4484 = 1.84$ in {EQN. A-5 DPM}
 VOLUME = $E * (A_a + A_b + A_d) / 12 = .4484 ac * 1.84 / 12 = 0.069$ Ac/Fl. {EQN. A-6 DPM}
 PEAK DISCHARGE $Q_p = (Q_{pA} + Q_{pB} + Q_{pD}) = 2.03(.0448) + 4.37(.4036) = 1.85$ cfs {TABLE A-9 DPM}

SUB-AREA A TO DRAIN TO EXISTING DI TO NE. DI DRAINS TO DI AT NW CORNER. NW CORNER DI DRAINS TO EXISTING SD IN 57TH.



LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PROJECT BOUNDARY
●	●	TOP OF ASPHALT ELEVATION
—	—	FLOW LINE ELEVATION
—	—	BACK OF CURB ELEVATION
---	---	CONTOUR MAJOR
---	---	CONTOUR MINOR
---	---	6" CURB AND GUTTER
→	→	FLOW ARROW
●	●	LANDSCAPING
—	—	SOUND WALL

LEGAL DESCRIPTION
 LOT 387C, TOWN OF ATRISCO GRANT. THE EXISTING SITE OF .75 ACRES IS DEVELOPED AS A PARKING LOT. THE PARCEL SLOPES FROM SOUTH TO NORTH AT LESS THAN 0.5%.

FLOOD HAZARD
 THE SITE IS LOCATED WITHIN ZONE "X" COMMUNITY PANEL NO. 350002 0327D, DATED SEPTEMBER 20, 1996, AND IS NOT WITHIN A SPECIAL FLOOD HAZARD BOUNDARY INDICATED BY FEMA FLOOD INSURANCE RATE MAPS (FIRM).

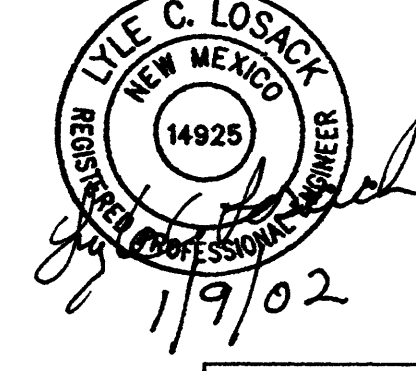
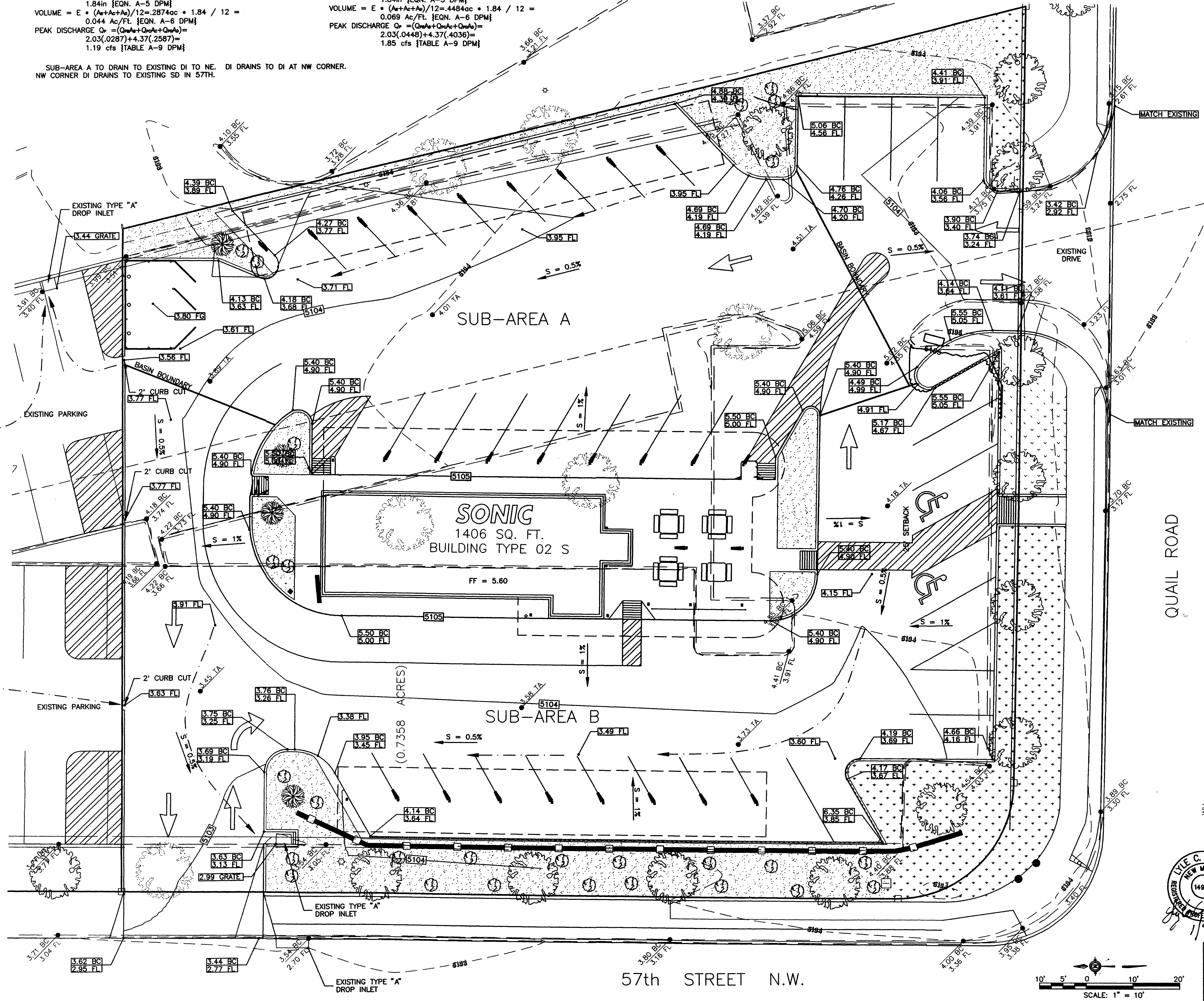
DESIGN CRITERIA
 THE DESIGN CRITERIA WAS BASED ON SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME 2, JANUARY 1993.

EXISTING DRAINAGE CONDITION
 THE SITE IS LOCATED WITHIN THE PRECIPITATION ZONE 1. AT PRESENT THE RUNOFF FROM THE SITE IS DIRECTED TO TWO DROP INLETS LOCATED NEAR THE NORTHEAST AND NORTHWEST CORNERS OF THE PROPERTY. IN ADDITION, THERE ARE CROSS DRAINAGE EASEMENTS BETWEEN THIS PARCEL AND THE ADJOINING PARCELS TO THE NORTH.

LOT AREA = .7358 ACRES
 LAND TREATMENTS - B = 9%, C=15%, D=76%
100-YEAR
 EXCESS PRECIPITATION B=0.67, C=0.99, D=1.97 {TABLE A-8}
 WEIGHTED E = $(E_a A_a + E_b A_b + E_c A_c + E_d A_d) / (A_a + A_b + A_c + A_d) = .67(.0658) + .99(.1115) + 1.97(.5585) / .7358 = 1.22$ in {EQN. A-5 DPM}
 VOLUME = $E * (A_a + A_b + A_c + A_d) / 12 = .7358 ac * 1.22 / 12 = 0.075$ Ac/Fl. {EQN. A-6 DPM}
 PEAK DISCHARGE $Q_p = (Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}) = 2.03(.0658) + 2.87(.1115) + 4.37(.5585) = 2.89$ cfs {TABLE A-9 DPM}

PROPOSED DRAINAGE CONDITION
 THE 100 YEAR IS DETERMINED AS
100-YEAR
 LOT AREA = .7354 ACRES
 LAND TREATMENTS - B=10%, D=90%
 EXCESS PRECIPITATION B=0.67, D=1.97 {TABLE A-8}
 WEIGHTED E = $(E_a A_a + E_b A_b + E_d A_d) / (A_a + A_b + A_d) = .67(.0736) + 1.97(.6622) / .7358 = 1.84$ in {EQN. A-5 DPM}
 VOLUME = $E * (A_a + A_b + A_d) / 12 = .7354 ac * 1.84 / 12 = 0.113$ Ac/Fl. {EQN. A-6 DPM}
 PEAK DISCHARGE $Q_p = (Q_{pA} + Q_{pB} + Q_{pD}) = 2.03(.0736) + 4.37(.6622) = 3.04$ cfs {TABLE A-9 DPM}

QUAIL ROAD

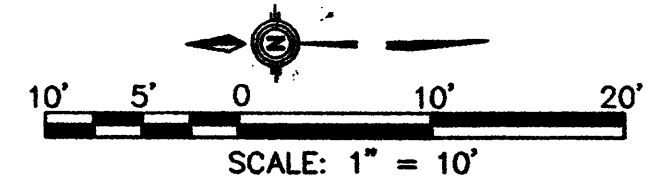


Community Sciences Corporation
 LAND PLANNING ENGINEERING SURVEYING
 P.O. Box 1328 Corrales, New Mexico 87048

SONIC DRIVE-IN
 BUILDING TYPE: 02 S
 QUAIL ROAD N.W. & 57th ST. N.W.
 ALBUQUERQUE, N. MEXICO
 EPC: DRAINAGE

SONIC CORPORATION
 101 PARK AVENUE
 OKLAHOMA CITY, OK 73102
 OFFICES: 405-280-7654
 FAX: 405-280-7566

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57th STREET N.W.