

LEGAL DESCRIPTION:
TRACTS 33, 34, AND 35 TOWN OF ATRISCO GRANT

- GENERAL NOTES:**
1. WALLS:
A 5' SPLIT CMU BLOCK SCREEN WALL SHALL BE PROVIDED AROUND THE PERIMETER.
 2. CURBS AND GUTTERS:
4" MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
 3. BUILDING HEIGHT: STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.
 4. ALL OF THE STREETS ARE TO BE PUBLIC.
 5. SEE SHEET 2 FOR TYPICAL LOT LAYOUT AND TYPICAL LOT LANDSCAPING.

LEGEND

---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	SIDEWALKS TO BE DEFERRED
---	PROPOSED RETAINING WALL (RW)
---	PROPOSED SCREEN WALL
---	PROPOSED MOUNTABLE CURB & GUTTER
---	PROPOSED DEPRESSED MOUNTABLE CURB & GUTTER
---	PROPOSED STANDARD CURB & GUTTER

CASE NUMBER: 01420-0000-01468 **DRB PROJ#:** 1001289

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on NOVEMBER 7, 2001 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>[Signature]</i>	11/7/01
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	11/7/01
Design and Development, CIP	Date
<i>[Signature]</i>	11-7-01
Public Works, Water Utilities Division	Date
<i>[Signature]</i>	11/7/01
City Engineer, Engineering Division / AMAFCA	Date

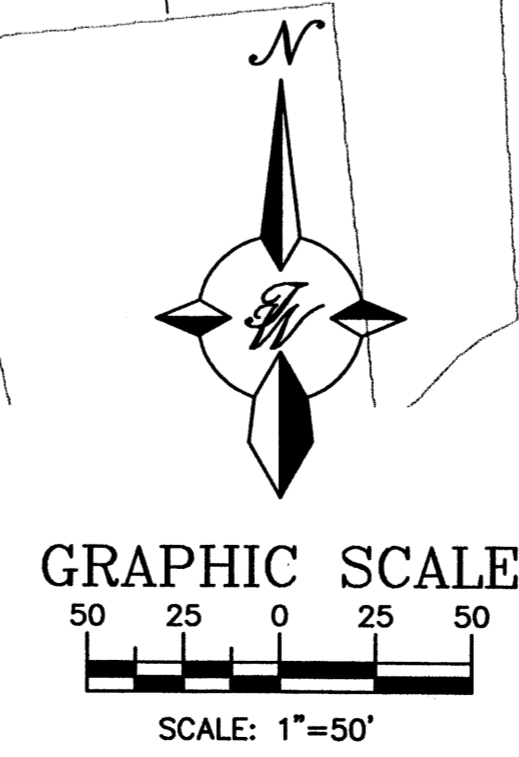
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

<i>[Signature]</i>	12/13/01
City Planner, Albuquerque / <i>[Signature]</i>	Date
<i>[Signature]</i>	12-4-01
Solid Waste	Date

PLNZ (10706) 4/96

SITE DATA

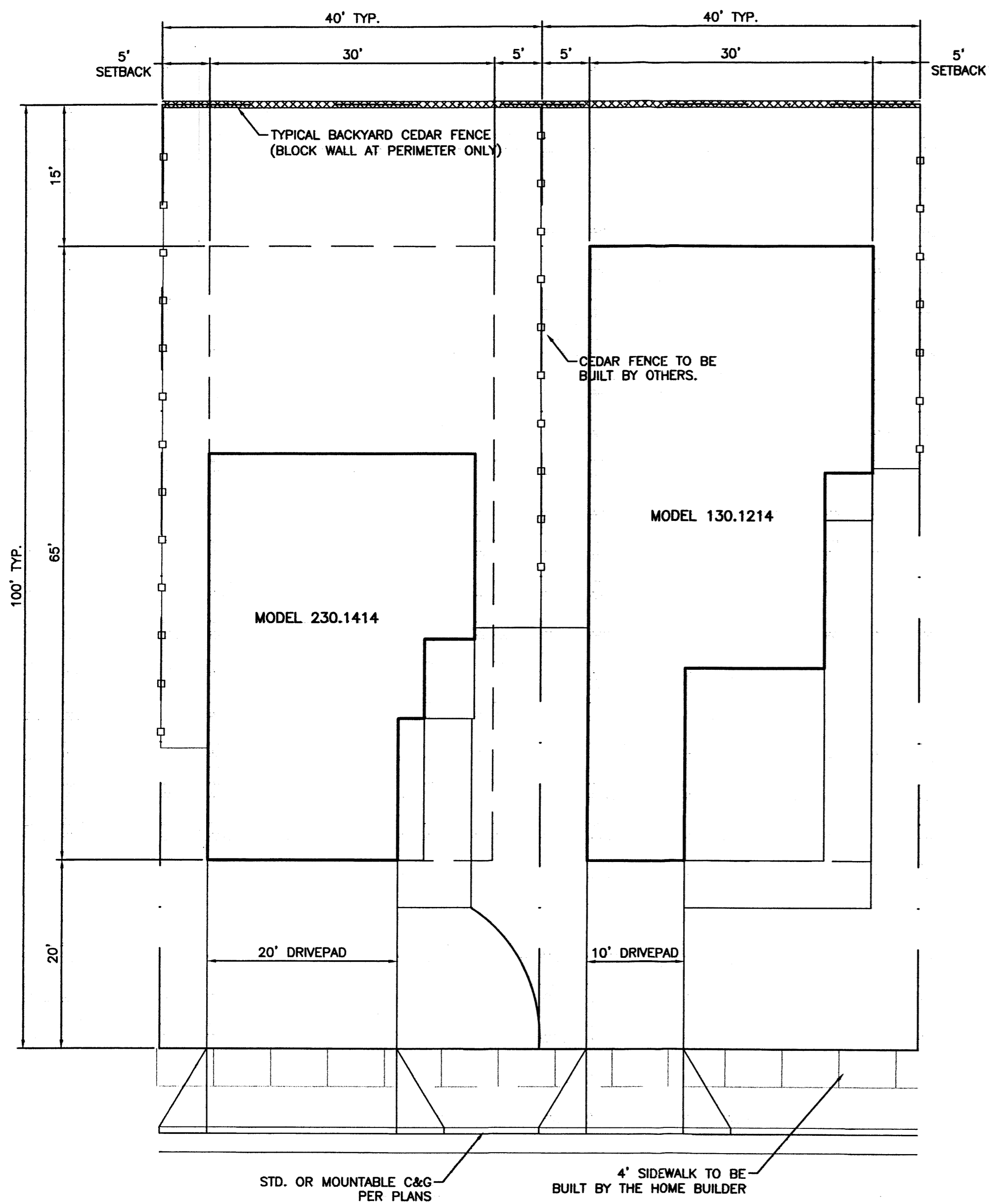
PROPOSED USAGE:	SINGLE FAMILY HOUSING
LOT AREA:	662,752 SF (15.21 ACRE)
NUMBER OF LOTS:	114
DENSITY:	7.50 UNITS PER ACRE
ZONING:	RD (20 DWELLING UNITS PER ACRE)



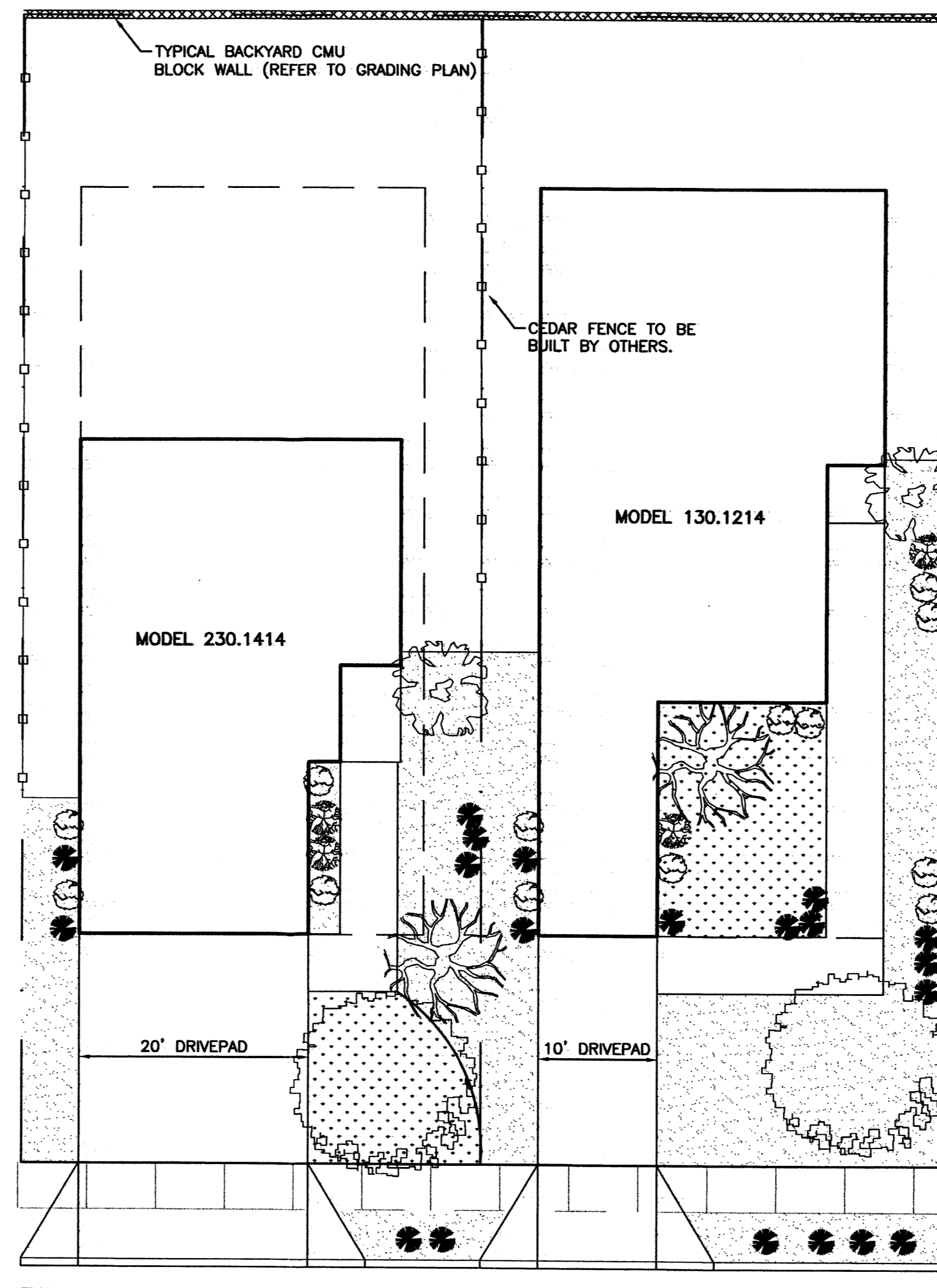
- INDEX TO DRAWINGS**
1. SITE PLAN FOR BUILDING PERMIT
 2. TYPICAL LOT LAYOUT AND LANDSCAPING
 3. GRADING AND DRAINAGE PLAN
 4. GRADING AND DRAINAGE PLAN DETAILS
 5. MASTER UTILITY PLAN

	DESERT PINE SUBDIVISION, PHASE 2	DRAWN BY BDC
	SITE PLAN FOR BUILDING PERMIT	DATE 10/18/01
	TERRA WEST, LLC	2134SK-1.DWG
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 1
RONALD R. BOHANNON P.E. #7868		JOB # 210034

PRJ 1001289



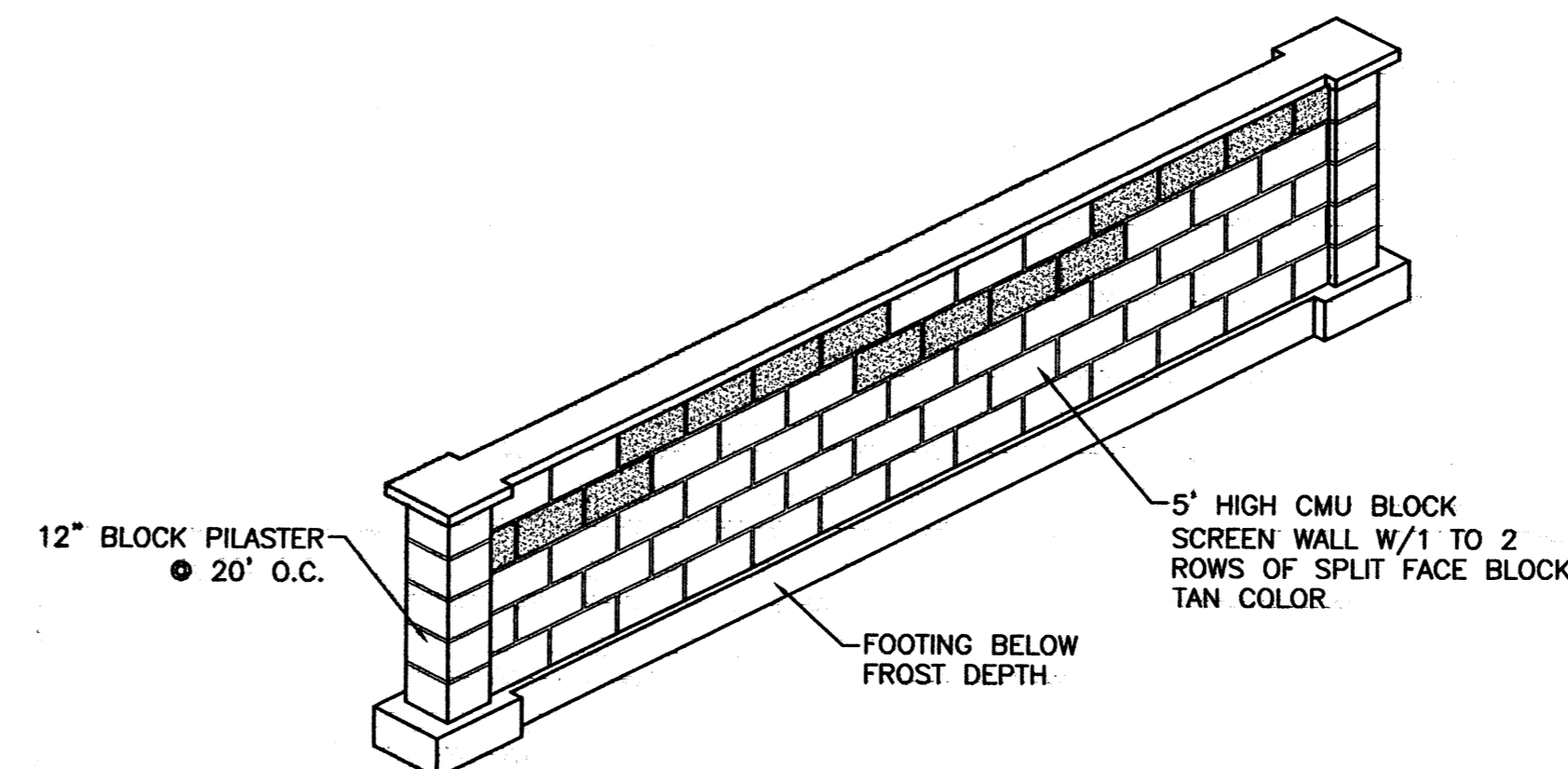
TYPICAL LOT LAYOUT
SCALE: 1"=20'



TYPICAL LOT LANDSCAPING
SCALE: 1"=20'

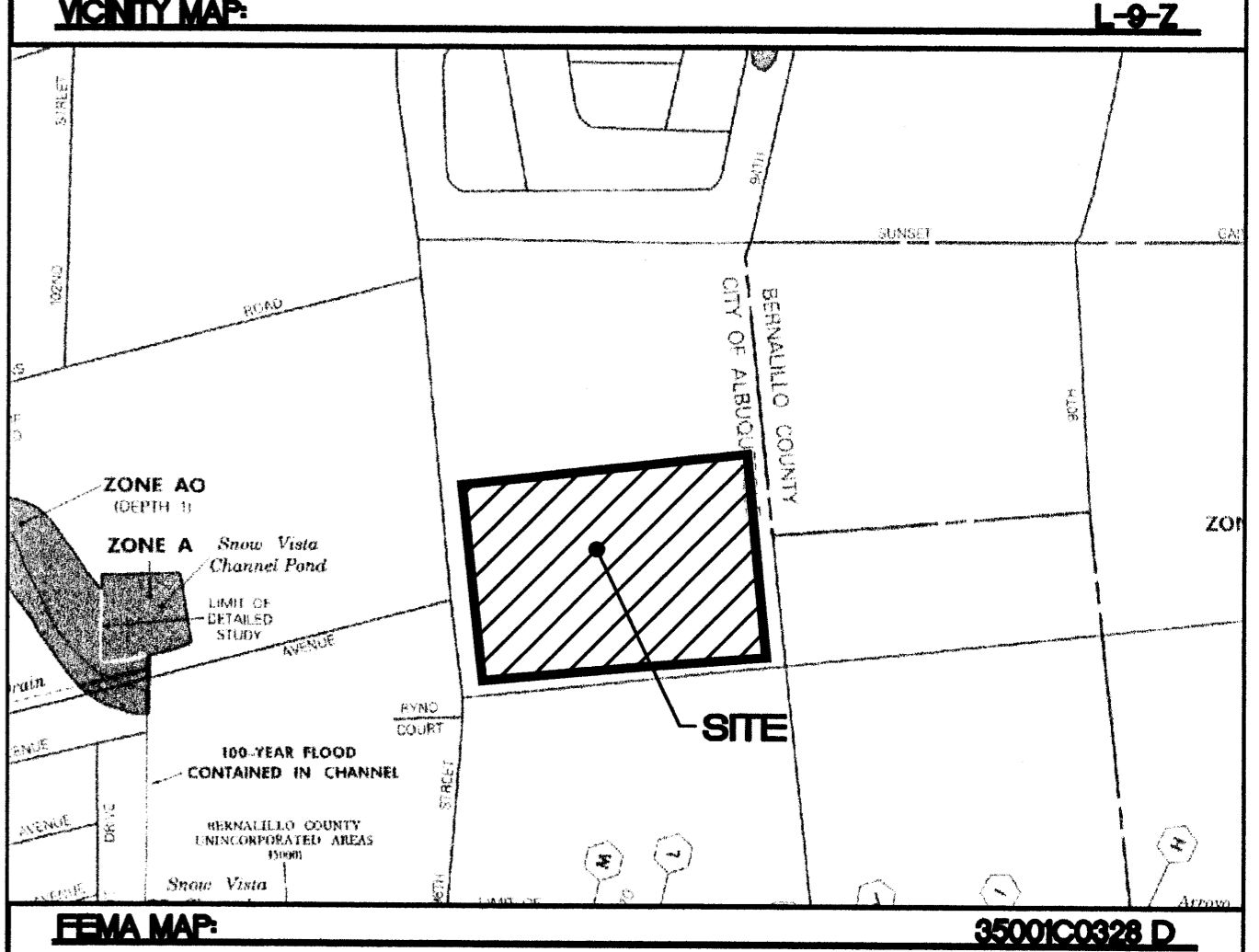
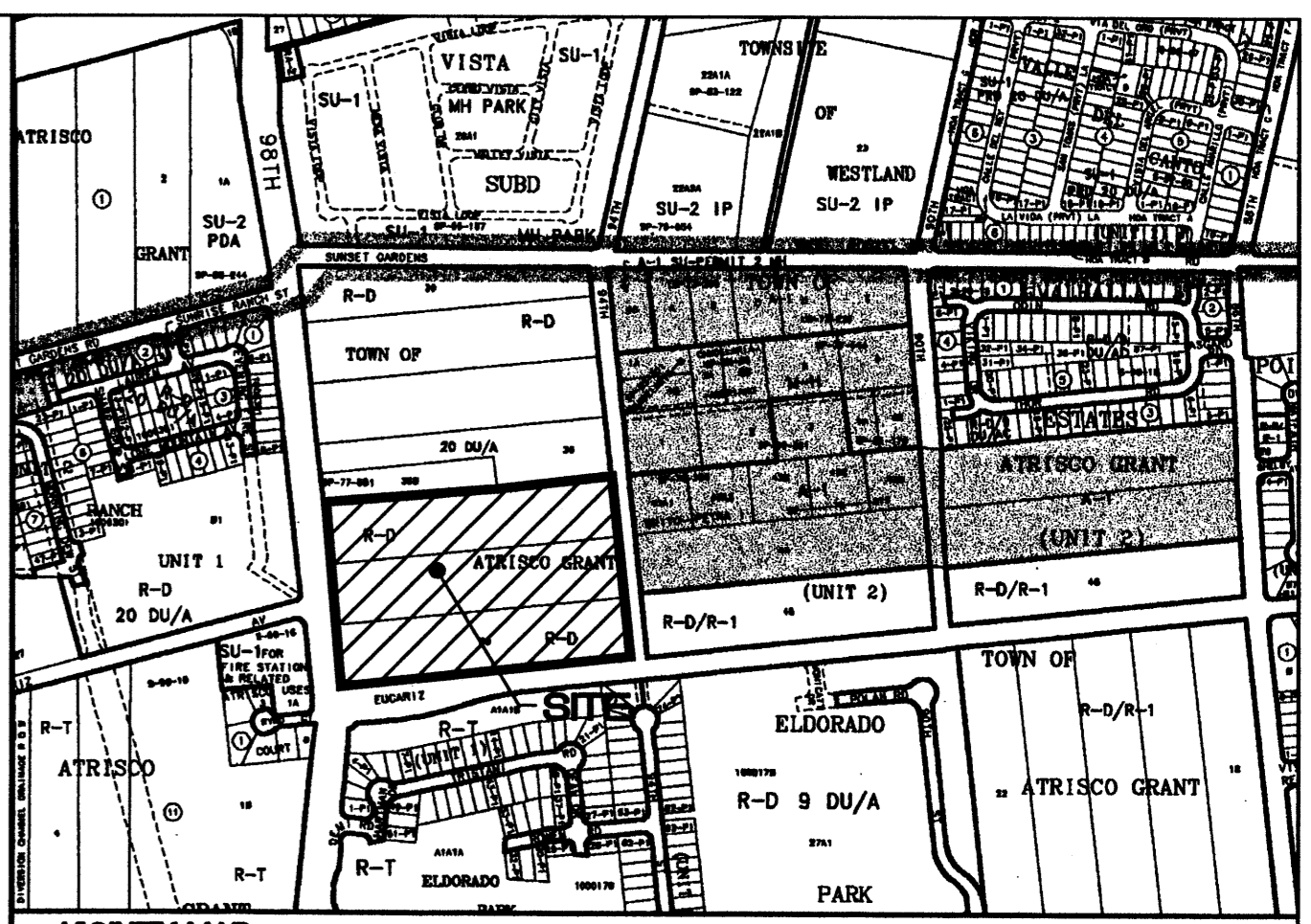
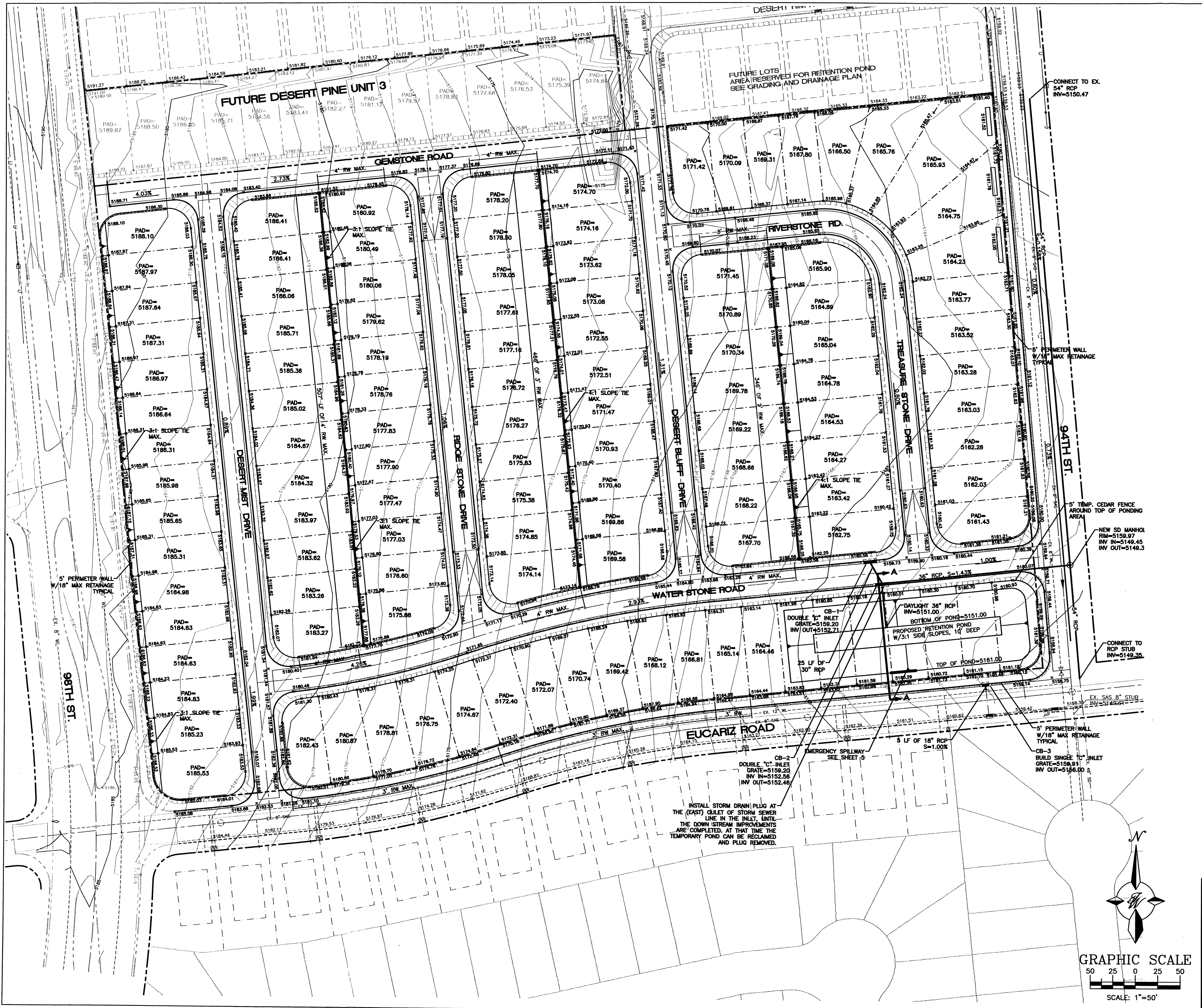
LANDSCAPING SCHEDULE

SYMBOL	COMMON NAME	SIZE
	CAL. ASH	2" - 2 1/2"
	CAL. BRADFORD PEAR	1/2" - 2"
	PINON PINE OR WASHINGTON HAWTHORN	4-6' 8-10'
	ORNAMENTAL SHRUBS PHOTINIA, RAPHIOLEPIS, ENONYMUS, SILVERBERRY, HOLLY, NANDINA, MAHONIA	5 GAL.
	NATIVE SHRUBS CHAMISA, APACHEPLUME, RUSSIAN SAGE, BLUEMIST SPIRAEA, AUTUMN SAGE, POTENTILLA	5 GAL.
	GROUND COVERS BUFFALO JUNIPER HORIZONTAL COTONEASTER	5 GAL.
	BLUEGRASS SOD LAWN	5 GAL.
	CRUSHED GRAVEL W/FILTER FABRIC	3/4"
	COMMERCIAL GRADE STEEL EDGING	



PERIMETER WALL DETAIL
NTS

	DESERT PINE SUBDIVISION, PHASE 2	DRAWN BY BDG
	TYPICAL LOT LAYOUT AND LANDSCAPING	DATE 08/22/01
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2
RONALD R. BOHANNAN P.E. #7868		JOB # 210034



LEGAL DESCRIPTION:
Proposed Desert Pine Subdivision, Comprising of Lot 36-A and all of Lots 37, 38 and 39, Unit 2

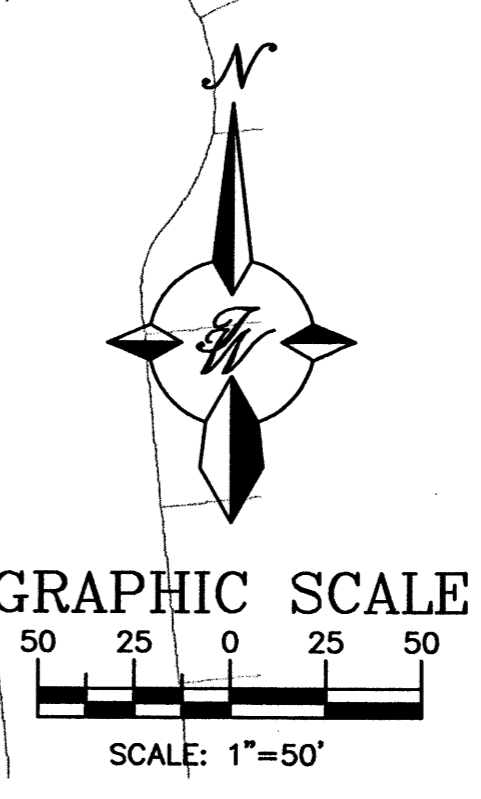
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT THE FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. SEE SHEET 5 FOR TYPICAL LOT LAYOUT AND GRADING
 3. 98TH STREET IS PART OF SAD 222 AND WILL BE BUILT BY OTHERS ALONG WITH A 6' WIDE SIDEWALK.
 4. LIMITS OF STANDARD CURB AND GUTTER AS SHOWN. VERIFY WITH PLAN AND PROFILE SHEETS.

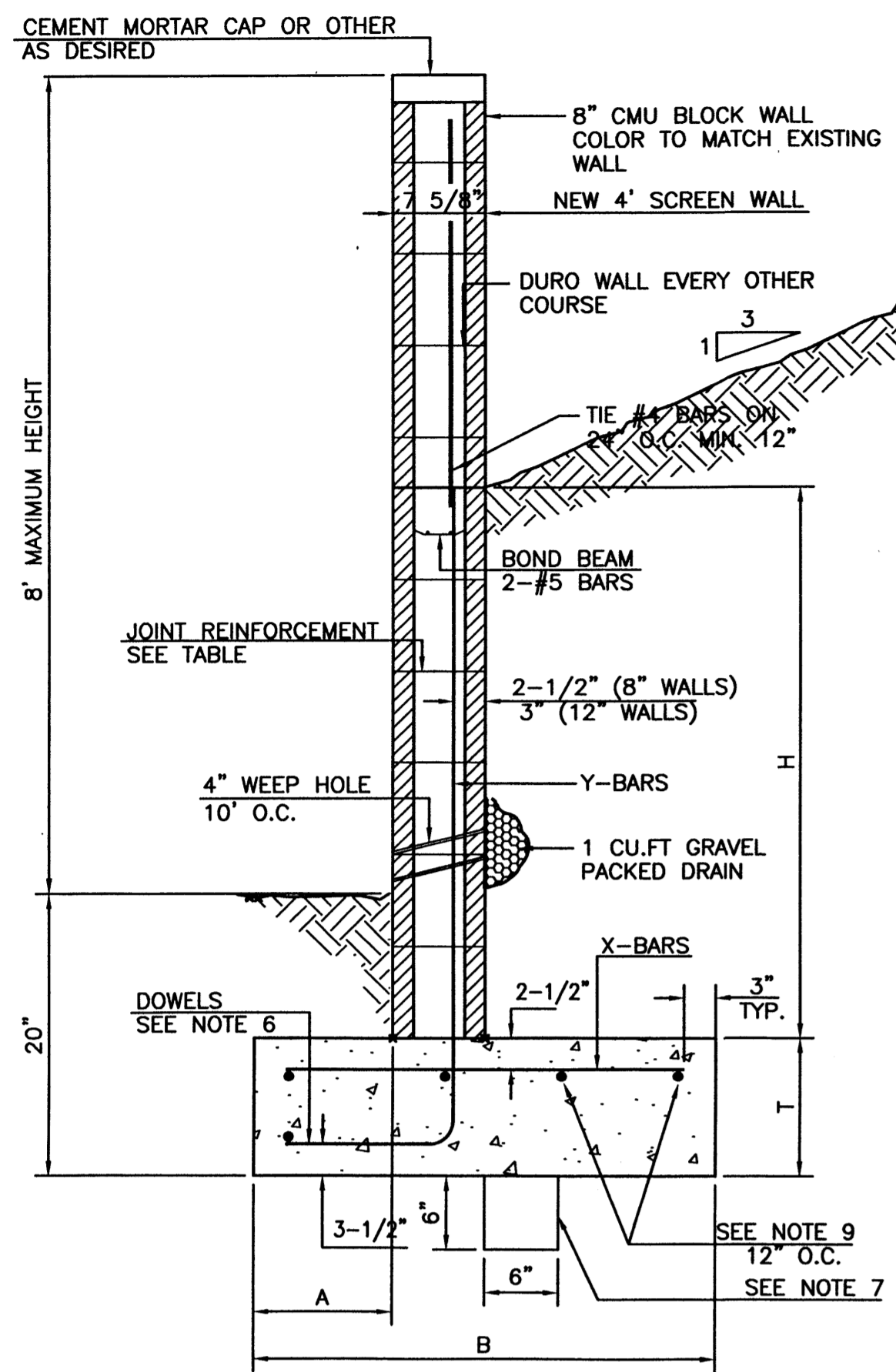
LEGEND

---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	SIDEWALKS TO BE DEFERRED
---	PROPOSED RETAINING WALL (RW)
---	PROPOSED SCREEN WALL
---	PROPOSED MOUNTABLE CURB & GUTTER
---	PROPOSED DEPRESSED MOUNTABLE C & G
---	PROPOSED STANDARD CURB & GUTTER

ROUGH GRADING APPROVAL _____ DATE _____

	DESERT PINE SUBDIVISION PHASE 2 GRADING AND DRAINAGE PLAN	DRAWN BY: BDG DATE: 10/18/01 2134GRA.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 3 JOB # 200048





RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

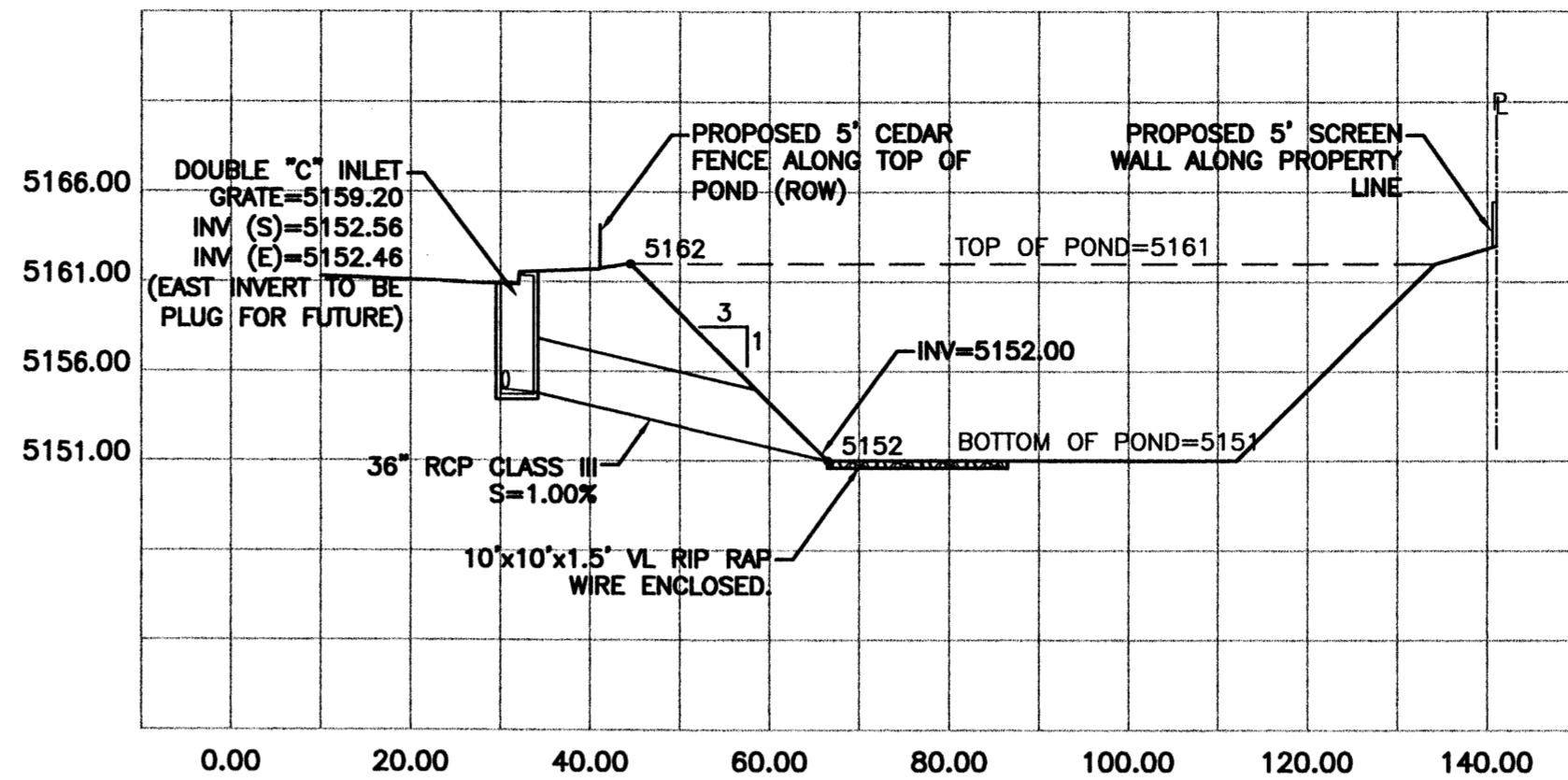
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

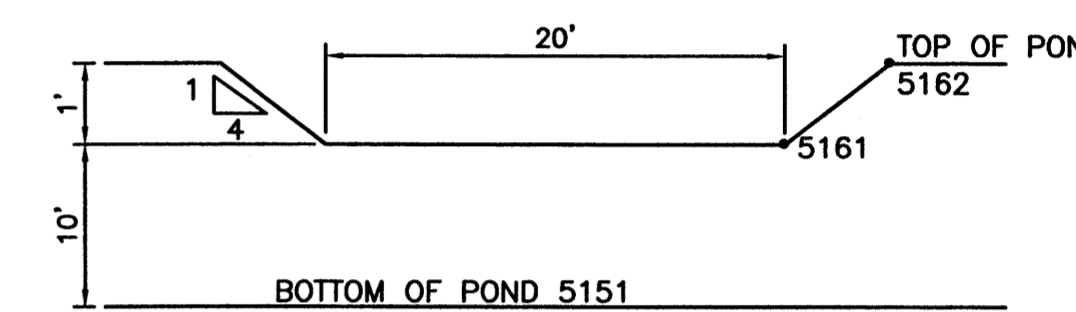
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

GENERAL NOTES:

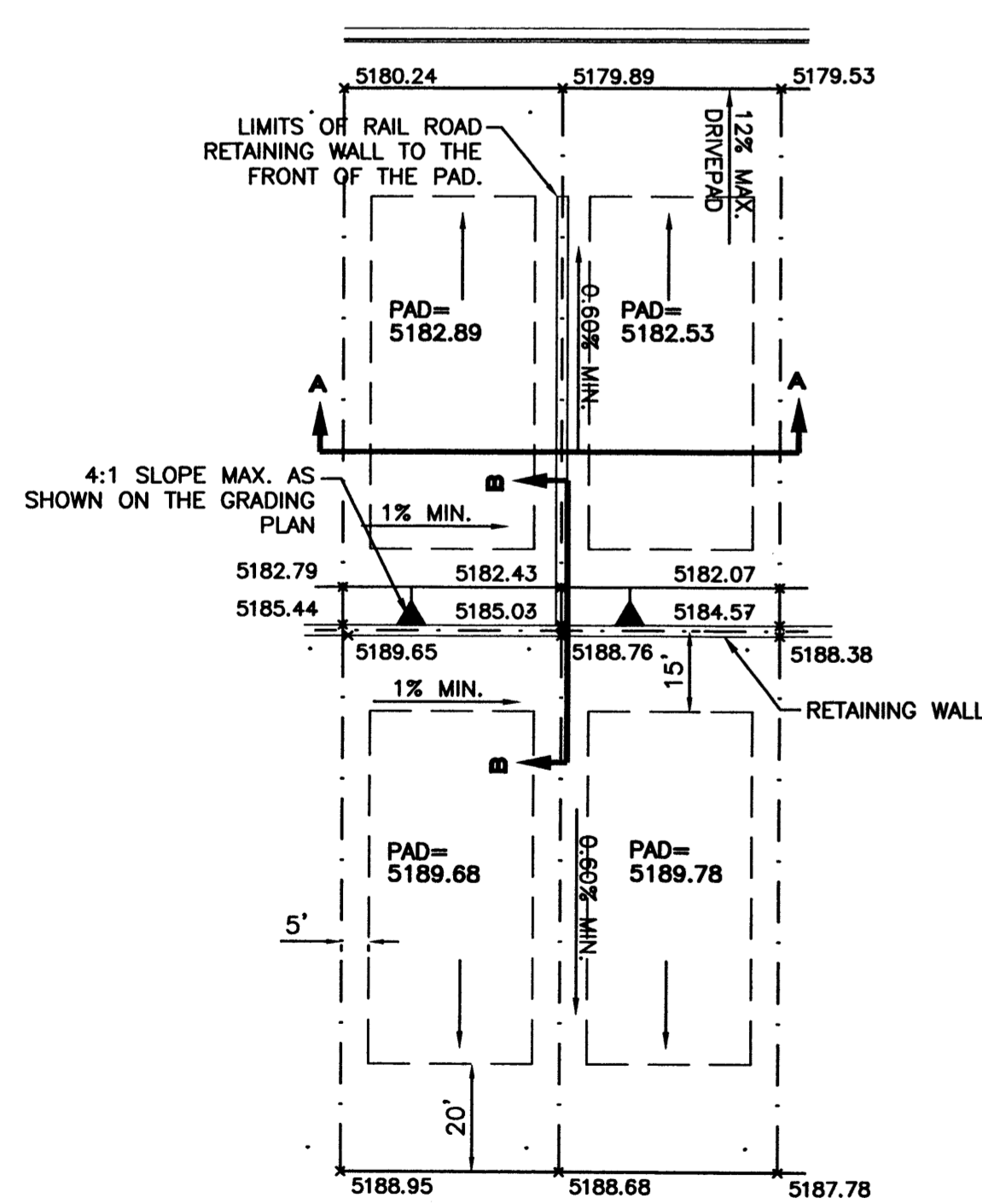
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'
- #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



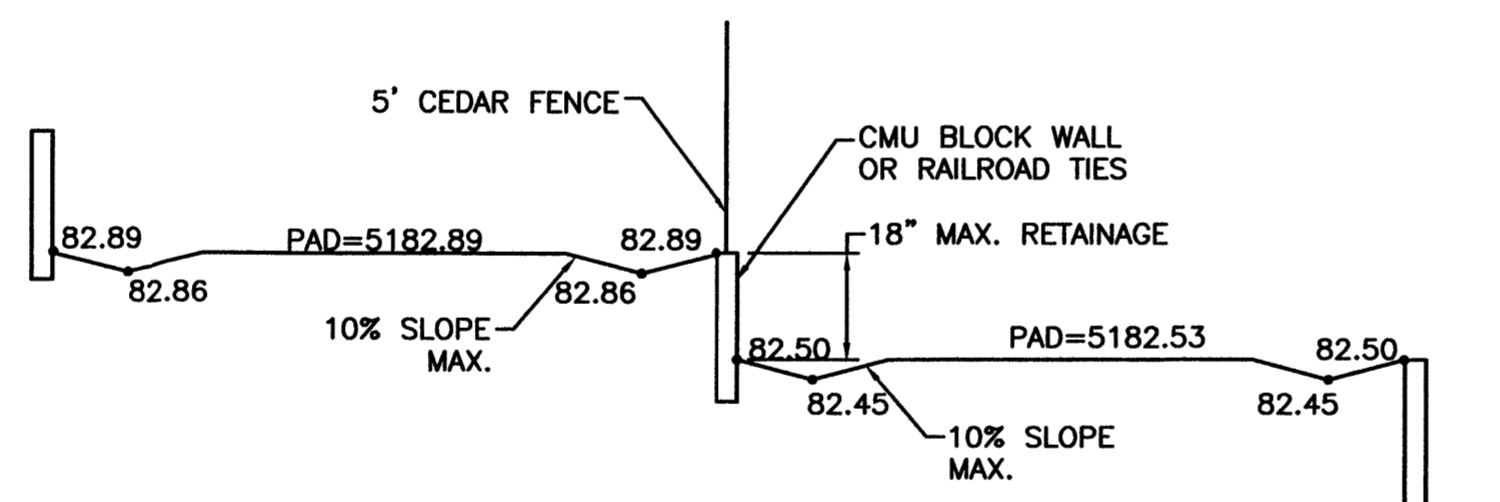
SECTION A-A
HORZ SCALE: 1"=20'
VERT. SCALE: 1"=10'



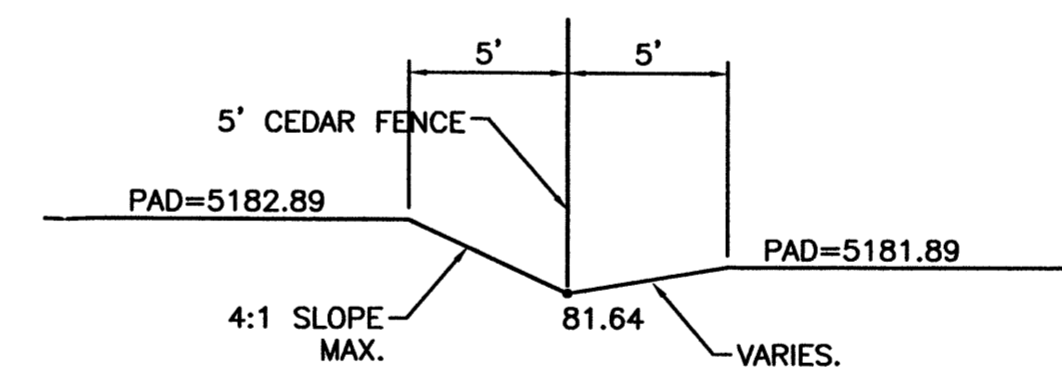
EMERGENCY SPILLWAY #1
NTS



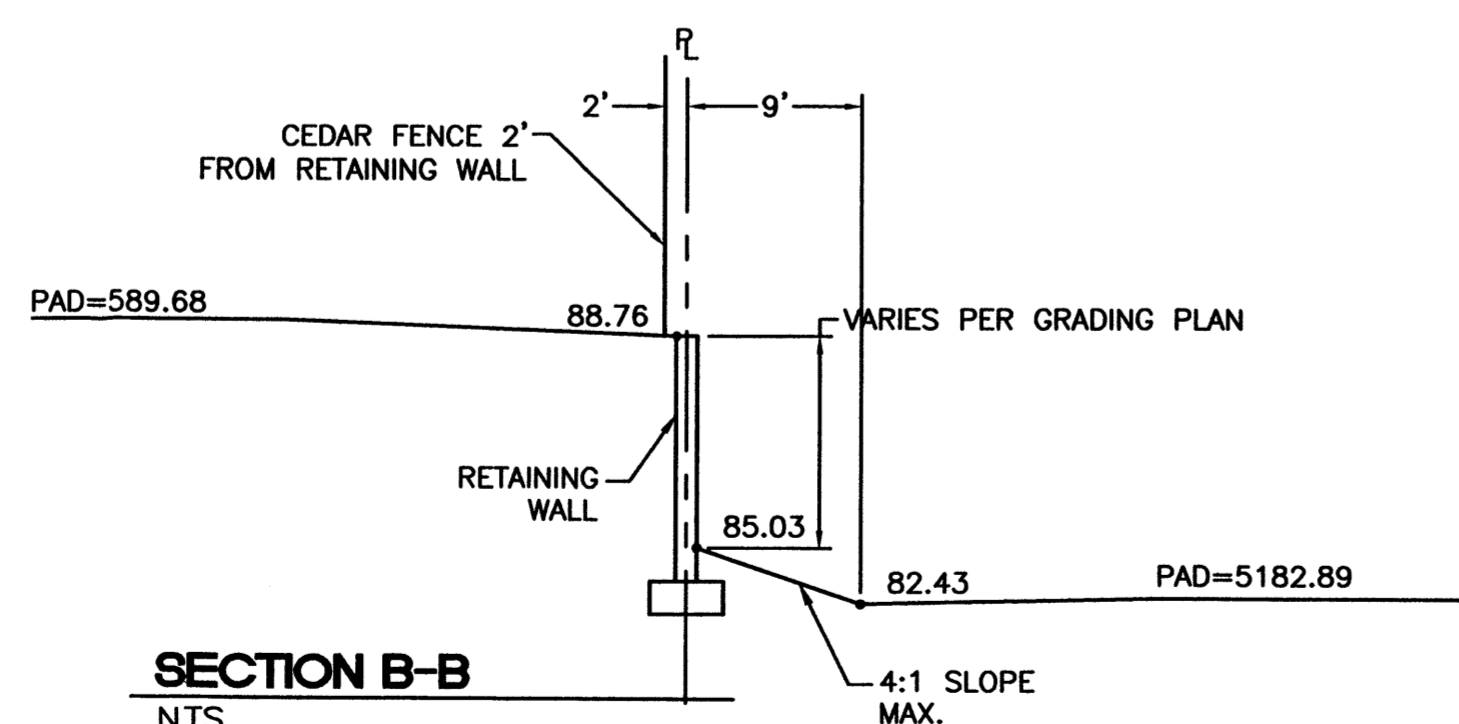
TYPICAL LOT GRADING
SCALE: 1"=30'



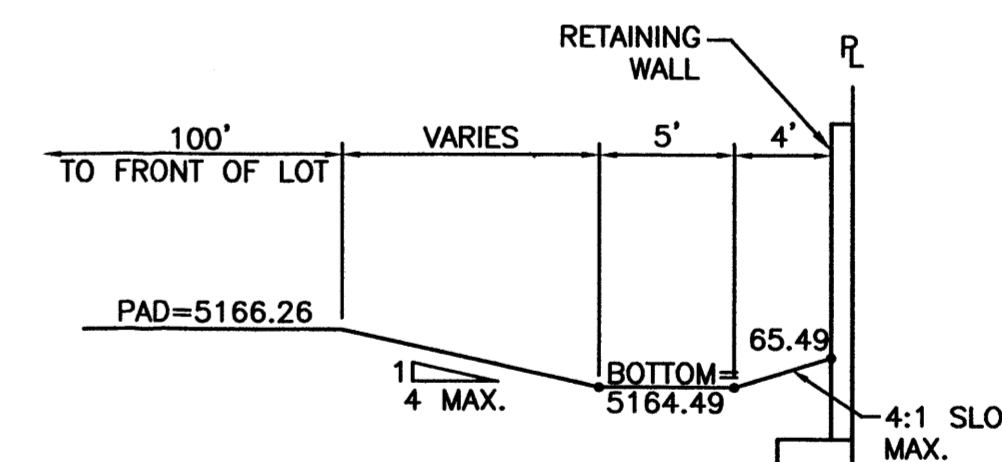
SECTION A-A TYPICAL SIDE YARD GRADING
NTS



(OPTIONAL) SECTION A-A TYPICAL SIDE YARD GRADING
NTS

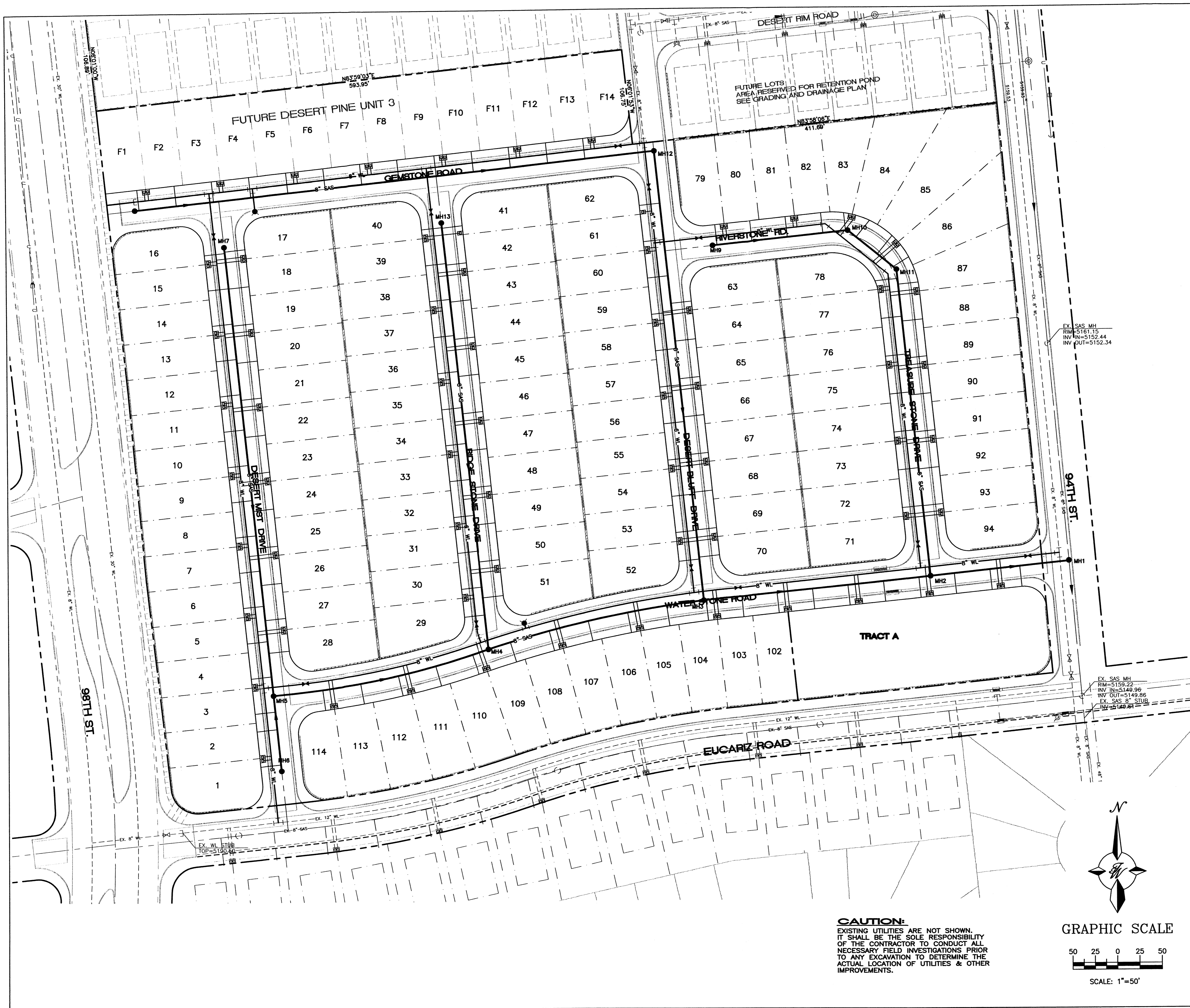


SECTION B-B
NTS



TYPICAL BACK YARD PONDING SECTION
NTS

	DESERT PINE SUBDIVISION	DRAWN BY: BDG
	GRADING AND DRAINAGE PLAN DETAILS	DATE: 10/18/01
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2134GRA.DWG
RONALD R. BOHANNON P.E. #7868		SHEET # 4 JOB # 200048



WATER SHUT-OFF PLAN

- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

- NOTES:
1. SEE SHEET 6 FOR SANITARY SEWER SERVICE DETAILS.

LEGEND

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT

 ENGINEER'S SEAL	DESERT PINE SUBDIVISION, PHASE 2	DRAWN BY: BDG DATE: 10/18/01
	MASTER UTILITY PLAN	2134MU.DWG
 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	5	SHEET # 5 JOB # 210034

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

