

PROJ 1001335

LIST OF DRAWINGS

- |  |                        |
|--|------------------------|
| 1. SITE PLAN                           | 5. BUILDING ELEVATIONS |
| 2. CONCEPTUAL LANDSCAPE PLAN           | 6. BUILDING ELEVATIONS |
| 3. CONCEPTUAL GRADING AND UTILITY PLAN | 7. BUILDING ELEVATIONS |
| 4. BUILDING ELEVATIONS                 |                        |

SITE STATISTICS

LEGAL TRACTS 3, 4, 5, & 6	
SITE AREA	4.04 AC 175982 SF
ZONING	SU-11/P USES
BUILDING TYPE	SINGLE STORY OFFICE
BUILDING AREA	BUILDING 100 11328 SF
	BUILDING 200 8826 SF
	BUILDING 300 8853 SF
	BUILDING 400 11335 SF
	TOTAL 40342 SF
F.A.R./ GROUND COVERAGE	22

PARKING PROVIDED	45
COMPACT	110
STANDARD	8
HANDICAP	163
TOTAL	1726
PARKING RATIO	1/250
PARKING REQUIRED	
ZONING ORDINANCE	1/200 (202 SPACES)

BICYCLE RACK

NUMBER OF BICYCLES REQUIRED	10
	9

SIGNAGE (SEE SHEET 4)

- A PROJECT MONUMENT SIGN
- B DIRECTORY
- C DIRECTIONAL SIGNS
- D BUILDING MOUNTED NUMBER I.D.

SITE LIGHTING

- E RECESSED SOFFIT DOWNLIGHTS
- F BUILDING MOUNTED AREA LIGHTING
- G BOLLARD LIGHTING 3'-6" HEIGHT

CELL TOWERS

NO FREESTANDING CELL TOWERS OR ANTENNA PERMITTED

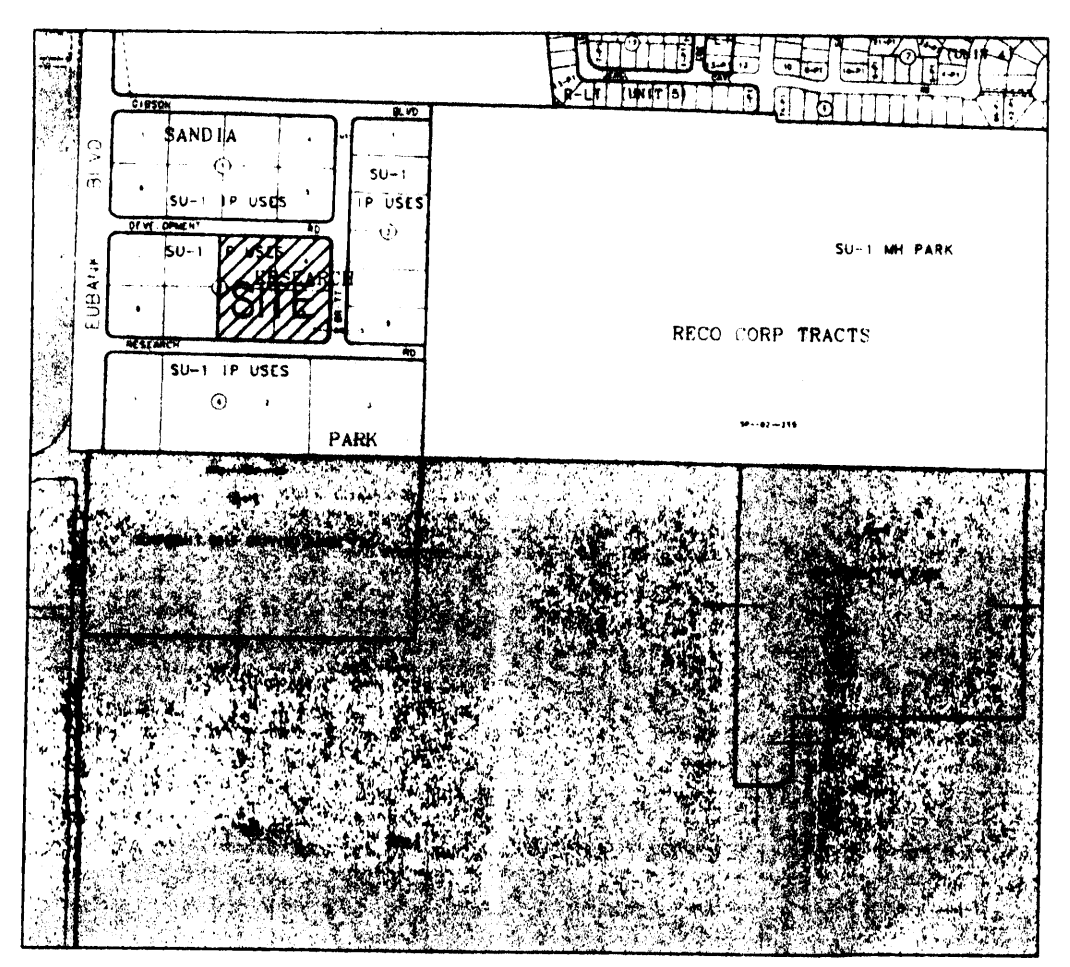
APPLICATION NO. 01450-00000-01332  
 PROJECT NO. 1001335  
 EPC NO. 01128-00000-00914

APPROVALS

<i>John F. [Signature]</i>	10/6/01
Planning Director	Date
<i>Richard [Signature]</i>	02-02-01
Transportation Development	Date
<i>Brady L. Brygman</i>	9/26/01
City Engineer/AMA/CA	Date
<i>Nancy [Signature]</i>	9/26/2001
Utility Development	Date
<i>Wendee E. [Signature]</i>	9/29/01
Parks and Recreation Department	Date
Solid Waste Department	Date

VICINITY MAP

(ZONE ATLAS M-21)



**ECHSTAEDT**  
 ARCHITECTS/PLANNERS  
 903 STATE STREET SUITE 203  
 SANTA BARBARA CA 93101  
 TEL. 805 965 6000  
 FAX 805 965 4947  
 e-mail: echarch@calcom.com

CONSULTANTS

REVISIONS

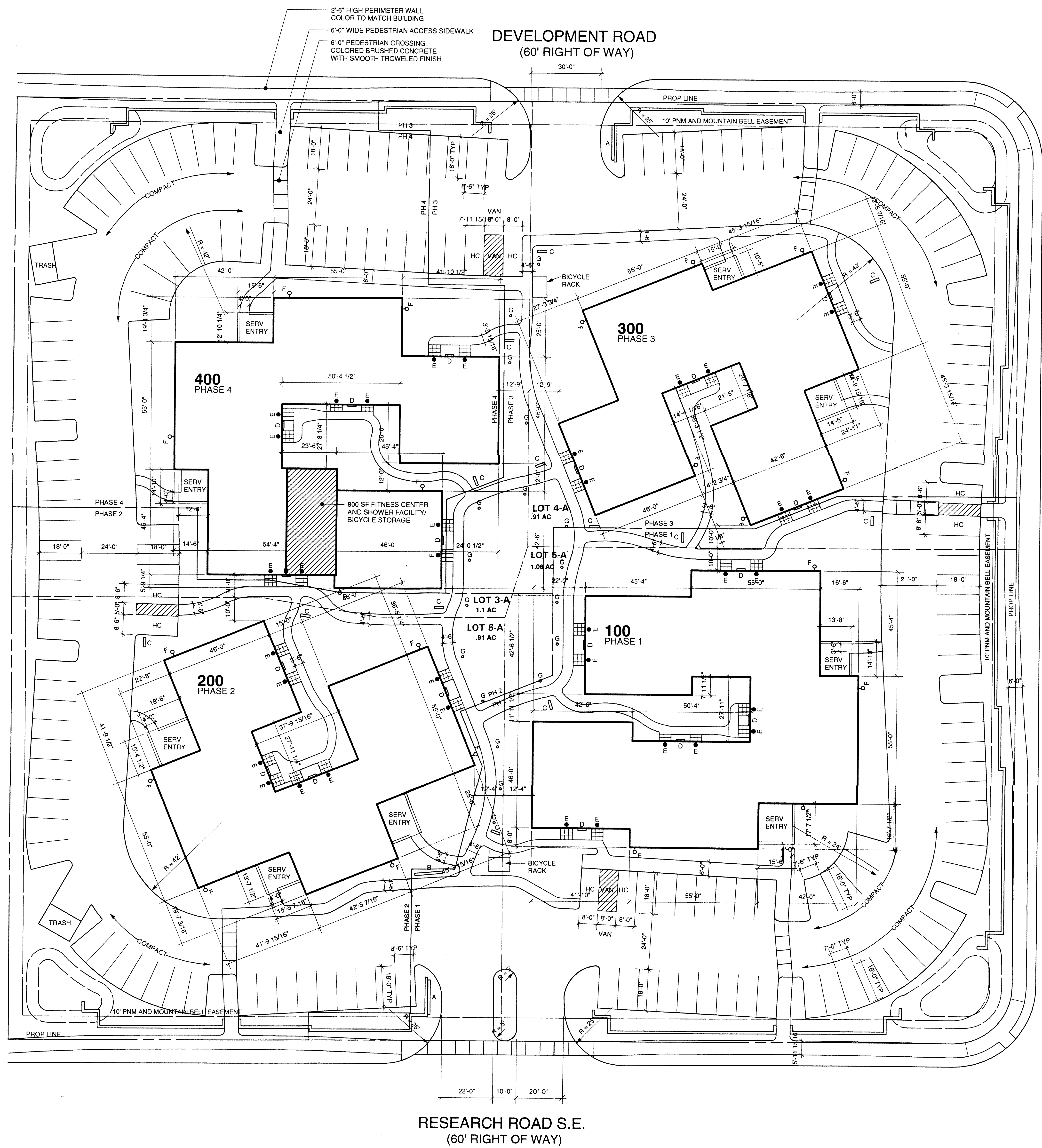
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2	PHASE LINES	
	WALLS/ SIDEWALKS/ 09/14/01	
	PHASE LINES	

ARCHITECTS PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE NM

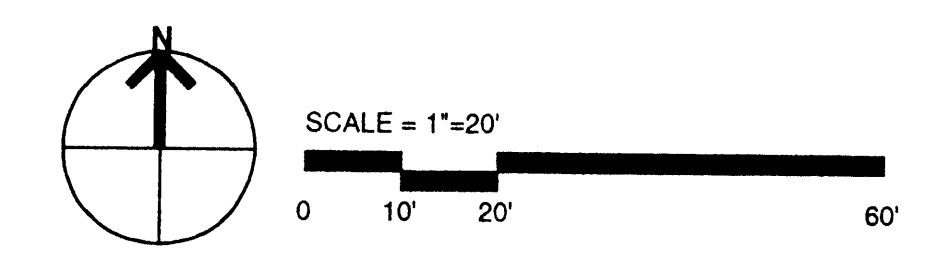
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SITE PLAN

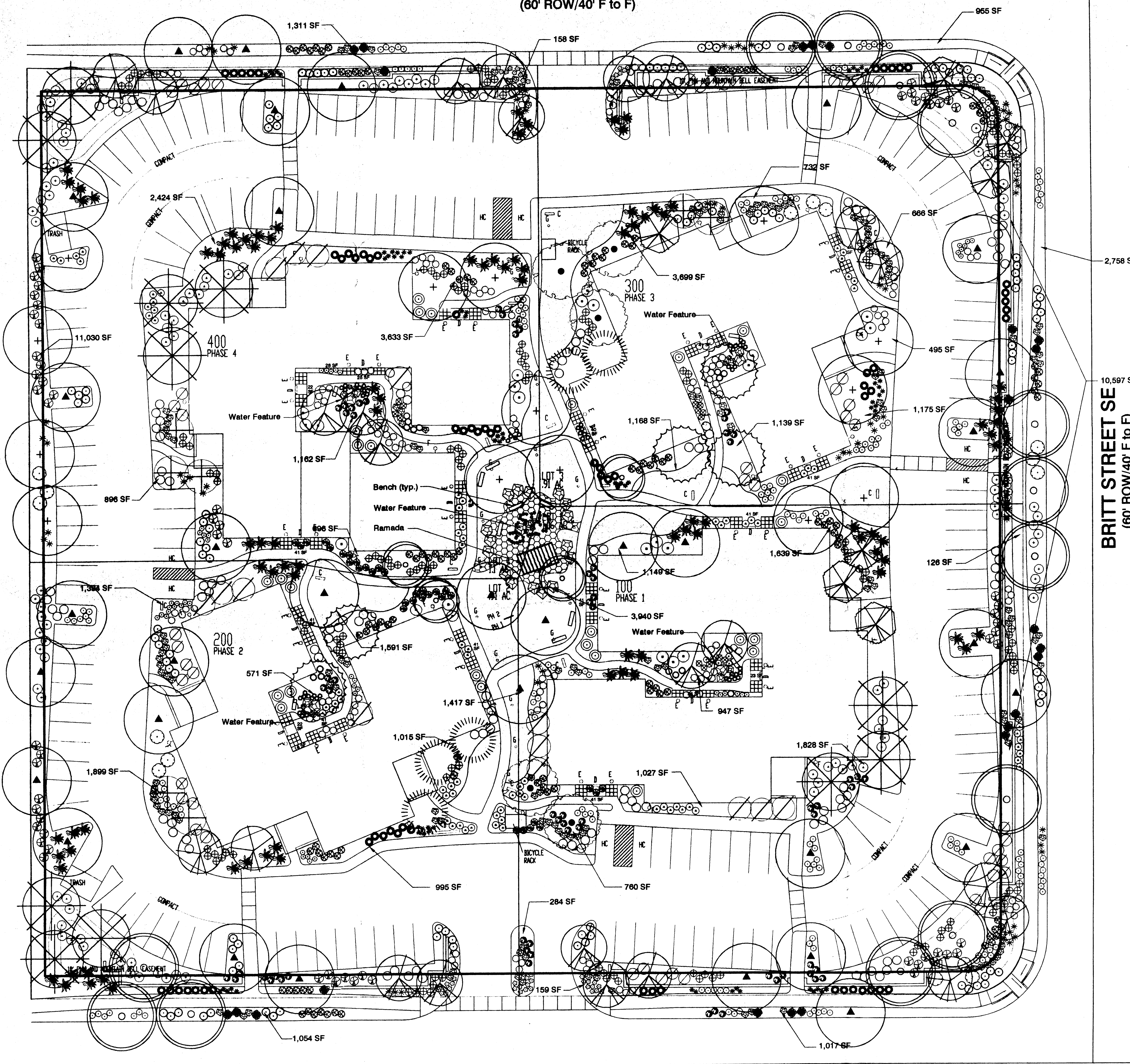
DATE	08/02/01
DRAWN BY	EE
CHECKED BY	AE
SCALE	1" = 20'
DRAWING NO.	1



SITE PLAN  
 1" = 20'



**DEVELOPMENT ROAD SE**  
(60' ROW/40' F to F)



**RESEARCH ROAD SE**  
(60' ROW/40' F to F)

TREE REQUIREMENTS		
Street trees required:	Required	35
	Provided	35
Parking lot trees required:	Required	16
	Provided	31
Zoning Code Landscape Requirements		
Total Site Area	173,252 SF	
Building Footprint/Service Areas	- 42,003 SF	
Landscape within R.O.M.	- 7,042 SF	
Total Area	124,204 SF	
Required Percentage	15	
Landscape Area Required	18,608 SF	
Landscape Area Provided	61,021 SF	
Turf Area Allowed	12,204 SF (20%)	
Turf Area Provided	7,621 SF	

**GENERAL**  
The design and provision of landscape features within the Sandia Research Road Office Center Site will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated turf spray and drip irrigation system will be utilized to irrigate tree, shrub, and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the Owner.

Note: Per the City Zoning Code, at plant maturity, a minimum of 75% of the landscape area shall be covered with living vegetative material.

**PLANT LEGEND**

Symbol	Scientific Name Common Name	Size	Remarks	Water Use
⊗	<i>Chilopsis linearis</i> Desert Willow	15-Gal	20' ht. x 20' spr.	Low
⊗	<i>Chitpa tashkentensis</i> Chitpa	15-Gal	30' ht. x 25' spr.	Medium
⊗	<i>Crataegus phoenopyrum</i> Washington Hawthorn	2" B&B	25' ht. x 25' spr.	High
⊗	<i>Fraxinus oxycarpa</i> Raywood Ash (female)	2" B&B	35' ht. x 30' spr.	Medium +
⊗	<i>Forestiera neomexicana</i> New Mexico Olive	15-Gal	15' ht. x 15' spr.	Medium
⊗	<i>Gleditsia triacanthos 'Imperial'</i> Honeylocust	2" B&B	35' ht. x 30' spr.	High
⊗	<i>Lagerstroemia indica</i> Crape Myrtle	15-Gal	16' ht. x 8' spr.	High
⊗	<i>Pinus leucodermis</i> Bosnian Pine	6" B&B	30' ht. x 20' spr.	Medium
⊗	<i>Pinus nigra</i> Austrian Pine	6" B&B	35' ht. x 25' spr.	Medium
⊗	<i>Platanus occidentalis</i> Sycamore	2" B&B	16' ht. x 6' spr.	High
⊗	<i>Pyrus calleryana 'Aristocrat'</i> Flowering Pear	2" B&B	30' ht. x 20' spr.	Medium +
⊗	<i>Quercus buckleyi</i> Texas Red Oak	2" B&B	30' ht. x 25' spr.	Medium
⊗	<i>Robinia ambigua 'Purple Robe'</i> Purple Robe Locust	2" B&B	35' ht. x 25' spr.	Medium
⊗	<i>Artemesia 'Fovis Castle'</i> 'Fovis Castle' Sage	1-Gal	4' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Baccharis 'Starr'</i> Thompson Baccharis	5-Gal	4' o.c. 2' ht. x 4' spr.	Low +
⊗	<i>Buddleia davidii</i> Butterfly Bush	5-Gal	6' o.c. 5' ht. x 3' spr.	Medium
⊗	<i>Caesalpinia pulcherrima</i> Red Bird of Paradise	1-Gal	6' o.c. 6' ht. x 6' spr.	Low
⊗	<i>Caryopteris clandonensis</i> Blue Mist	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Chrysothamnus nauseosus</i> Chamisa	1-Gal	5' o.c. 4' ht. x 4' spr.	Low
⊗	<i>Delosperma cooperi</i> Purple Ice Plant	1-Gal	3' o.c. 3' ht. x 3' spr.	Low
⊗	<i>Ericameria laricifolia 'Aguirre'</i> Turpentine Bush	1-Gal	2' o.c. 2' ht. x 2' spr.	Low
⊗	<i>Fallugia paradoxa</i> Apache Plume	1-Gal	5' o.c. 4' ht. x 4' spr.	Low
⊗	<i>Guara lindheimeri</i> Guara	5-Gal	5' o.c. 4' ht. x 4' spr.	Medium
⊗	<i>Hemerocallis hyp.</i> Daylilies	1-Gal	2' o.c. 2' ht. x 2' spr.	Medium +
⊗	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Hymenoxys acaulis</i> Angelita Daisy	1-Gal	2' o.c. 18" ht. x 18" spr.	Low +
⊗	<i>Juniperus sabinia 'Buffalo'</i> Buffalo Juniper (female)	5-Gal	6' o.c. 2' ht. x 6' spr.	Low +
⊗	<i>Liatris punctata</i> Spotted Gayfeather	1-Gal	2' o.c. 3' ht. x 2' spr.	Low +
⊗	<i>Mulhenbergia cap. 'Regal Mist'</i> Muhly Grass	5-Gal	3' o.c. 3' ht. x 3' spr.	Medium
⊗	<i>Nasella tenuissima</i> Threadgrass	1-Gal	3' o.c. 3' ht. x 2' spr.	Low +
⊗	<i>Nepeta x faassenii 'Six Hills Giant'</i> Giant Catmint	1-Gal	3' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Nolina texana</i> Beargrass	1-Gal	4' o.c. 4' ht. x 4' spr.	Low
⊗	<i>Oenothera berlandieri</i> Mexican Evening Primrose	1-Gal	4' o.c. 1' ht. x 4' spr.	Low +
⊗	<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal	2' o.c. 2' ht. x 2' spr.	Low
⊗	<i>Penstemon barbatus</i> Scarlet Bugler	1-Gal	2' o.c. 3' ht. x 2' spr.	Medium
⊗	<i>Penstemon pinifolius</i> Pineleaf Penstemon	1-Gal	3' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal	5' o.c. 4' ht. x 5' spr.	Medium
⊗	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal	3' o.c. 3' ht. x 3' spr.	Low +
⊗	<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal	4' o.c. 4' ht. x 4' spr.	High
⊗	<i>Rudbeckia fulgida</i> Goldsturm Rudbeckia	1-Gal	2' o.c. 2' ht. x 2' spr.	Medium
⊗	<i>Salvia greggii</i> Cherry Sage	1-Gal	3' o.c. 3' ht. x 3' spr.	Medium
⊗	Kentucky Bluegrass/Fescue Sod			
⊗	Moss Rock Boulders	3' Min. Dia.		
⊗	Mulches: Santa Fe Brown Rock Mulch, Santa Ana Tan Cobble, Crusher Fines, and Shredded Bark Mulch			

**ECHSTAEDT**  
EICHSTAEDT ARCHITECTS/PLANNERS  
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e-mail: eicharch@ellicom.com

**CONSULTANTS**

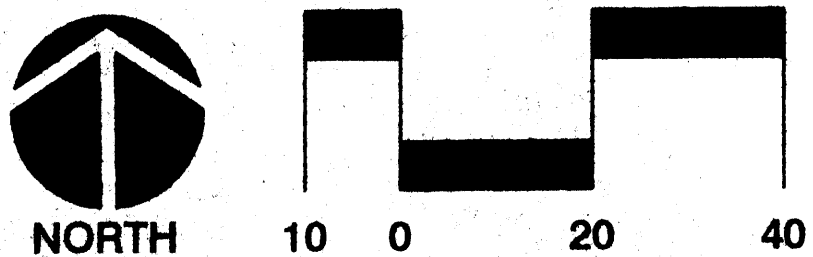
**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

ARCHITECTS PROJECT  
**RESEARCH ROAD  
OFFICE CENTER  
ALBUQUERQUE NM**

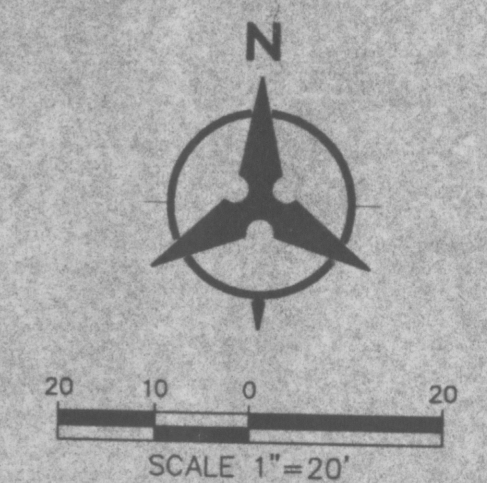
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**LANDSCAPE PLAN**

DATE 08/02/01  
DRAWN BY SIM  
CHECKED BY CUG  
SCALE 1" = 20'  
DRAWING NO. **L-1**

SCALE: 1" = 20'



NORTH



ZONE ATLAS MAP No. M-21-Z

**LEGAL DESCRIPTION**  
 Lots Numbered Three (3), Four (4), Five (5) and Six (6) in Block Numbered Two (2), Sandia Research Park as the same are shown and designated on the plat entitled "SUBDIVISION PLAT FOR SANDIA RESEARCH PARK", filed in the office of the County Clerk of Bernalillo County, New Mexico on May 6, 1988 in Volume C36, Folio 115.

- LEGEND**
- PROPERTY LINE
  - POWER POLE
  - SEWER CLEANOUT
  - CONCRETE AREA
  - PLANTED AREA
  - CONCRETE CURB & GUTTER
  - TELEPHONE PEDESTAL
  - TRAFFIC CONTROL BOX
  - TREE
  - WATER METER
  - DIRT AREA
  - TRANSFORMER
  - WATER VALVE
  - HYDRANT
  - CATCH BASIN
  - WHEELCHAIR RAMP
  - EXISTING INDEX CONTOUR
  - EXISTING INTERMEDIATE CONTOUR
  - PROPOSED SAS
  - PROPOSED WL
  - CLEANOUT

**REVISIONS**

NO.	DESCRIPTION	DATE

ARCHITECT'S PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE, NM

DRAWING TITLE  
 CONCEPTUAL  
 GRADING/  
 DRAINAGE/  
 UTILITY PLAN

DATE	08/01/01
DRAWN BY	EE
CHECKED BY	HE
SCALE	1" = 20'
DRAWING NO.	3

**Boltmann + Huston**  
 Civil Engineers  
 7500 JEFFERSON NE Albuquerque, NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submission is to present a conceptual drainage and grading plan for the proposed Research Road office center project, consisting of approximately 4.0 acres. The project is being submitted for EPC review at the Aug meeting.

**II. SITE LOCATION**  
 The site is located east of the intersection of Gibson (also known as Opportunity) and Esbark, within the existing platted lands of Sandia Research Park. The site is bounded on the east by Britt Street and on the north by Development Road and on the south by Research Road. Please see the vicinity map on this sheet.

**III. EXISTING HYDROLOGIC CONDITIONS**  
 The site is vacant land, sparse vegetation exists. Currently the southern half of the site sheet drains to the southwest and onto Research Road. The north half of the site sheet drains to the northeast and onto Development Rd. There is currently a small berm along the south property line of the site. That berm directs drainage from the site to the north and south before site drainage enters the adjacent lots to the west.

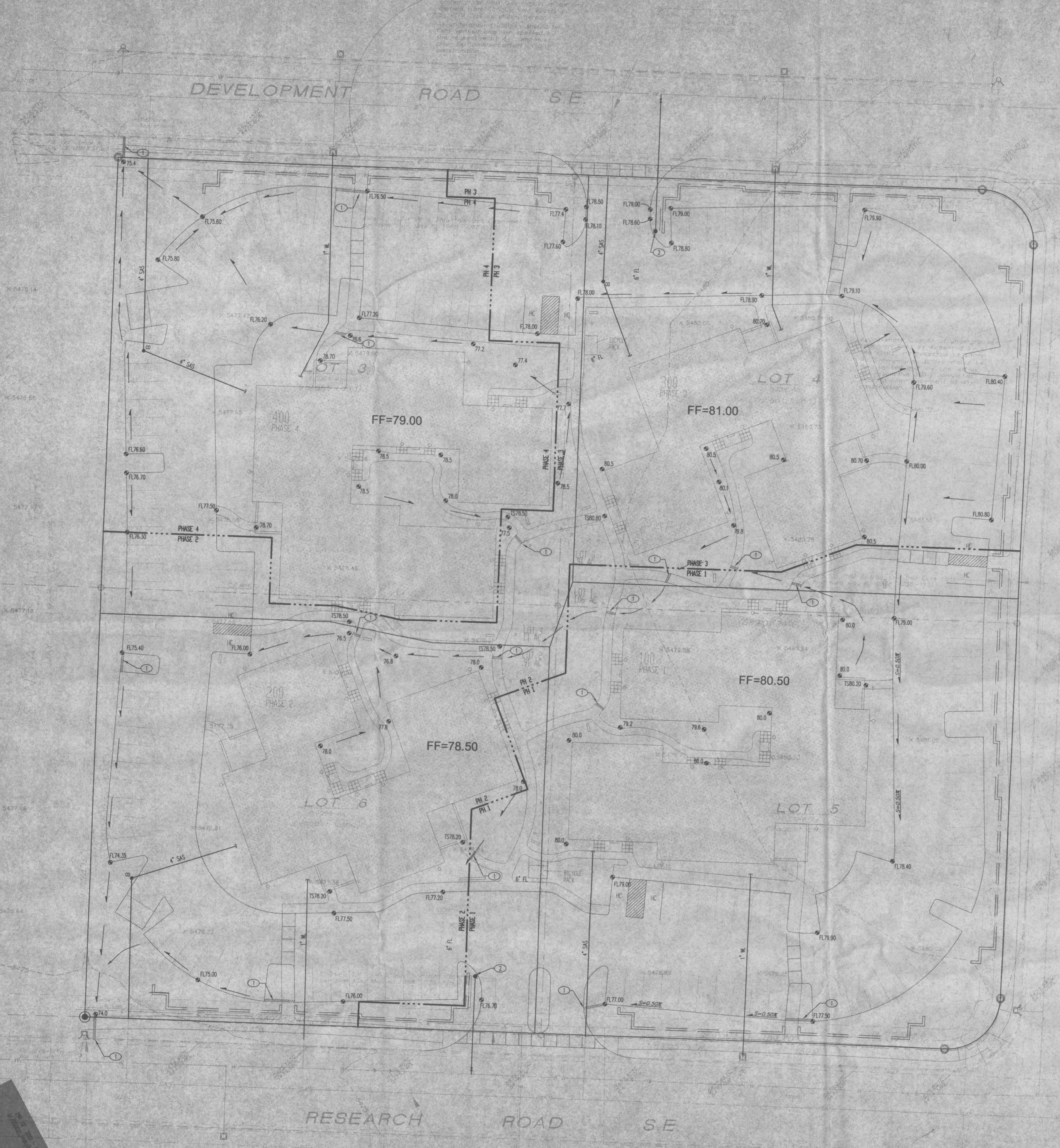
**IV. PROPOSED HYDROLOGIC CONDITIONS**  
 This project proposes to construct 4 new office bldgs. The existing approved Drainage Report for the Sandia Research Park allows for free discharge of developed flows to the adjacent streets. There are no storm drains in the adjacent streets and no underground onsite storm drainage is proposed. Under proposed developed conditions, the site will drain in substantially the same manner as under existing. Runoff from the developed site will be directed to Development Road and Research Road.

**V. CONCLUSION**  
 This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report for the Sandia Research Park, and which honor city drainage requirements. With this submission, we are seeking site plan for building permit approval and final plot approval (note the plot is only required to adjust the existing lot lines to match the proposed site plan).

**ON-SITE EXISTING CONDITIONS CALCULATIONS**  
 Basin A (existing lots 1,4,5 & 6) 4.0 acres, Zone 3  
 Land Treatment 2 - "C" = 30% "A" = 70%  
 $Q_{100} = 0.34(0.345) + 0.7(4.0)0.87 = 8.4 \text{ cfs}$   
 NOTE: Approximately 50% of Undeveloped  
 Basin A drains to Research and 50% to Development Road

**ON-SITE PROPOSED CONDITIONS CALCULATIONS**  
 Land Treatment 2 - "B" = 10% "C" = 5% "D" = 90%  
 $Q_{100} = 0.05(4.0)(2.60+3.45) + 0.9(0.5)0.87 = 19.3 \text{ cfs}$   
 NOTE: Approximately 50% of the Developed site drains to Research and 50% to Development Road

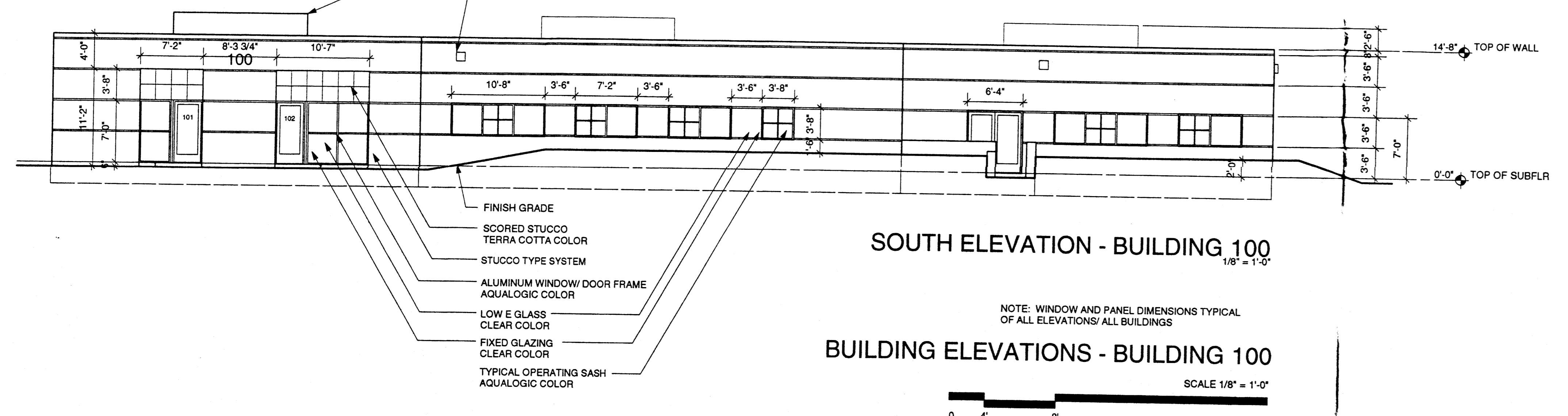
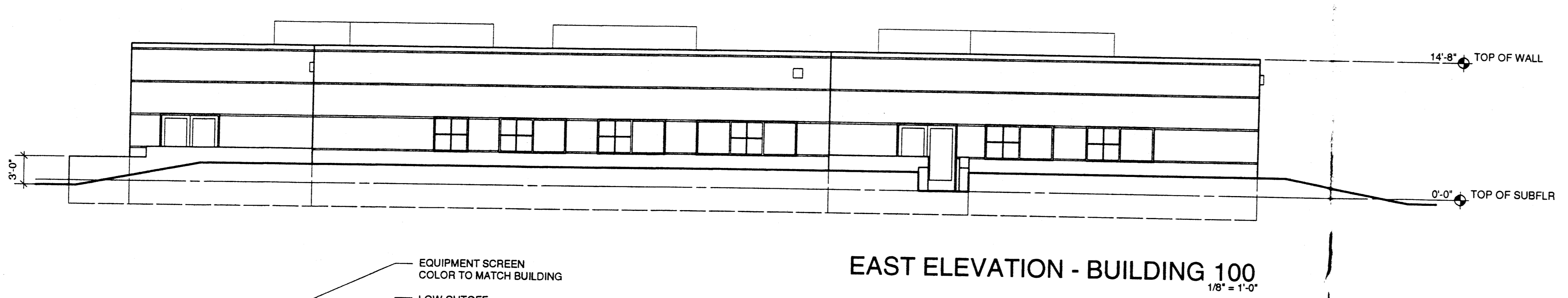
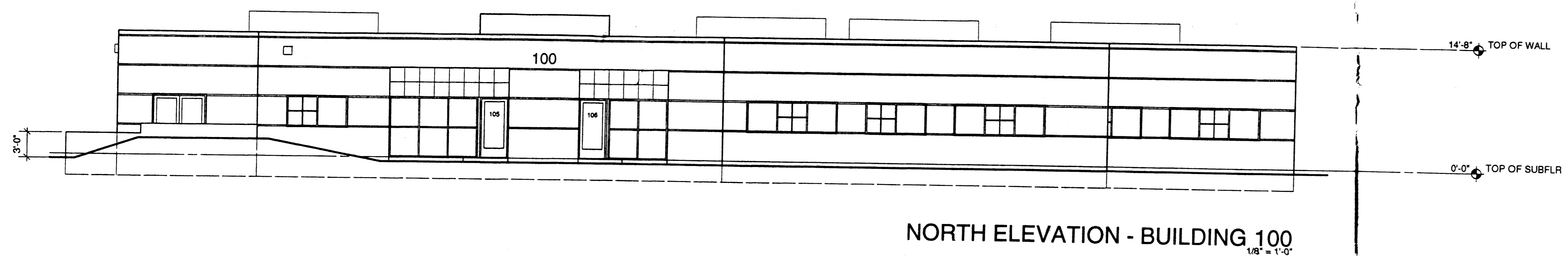
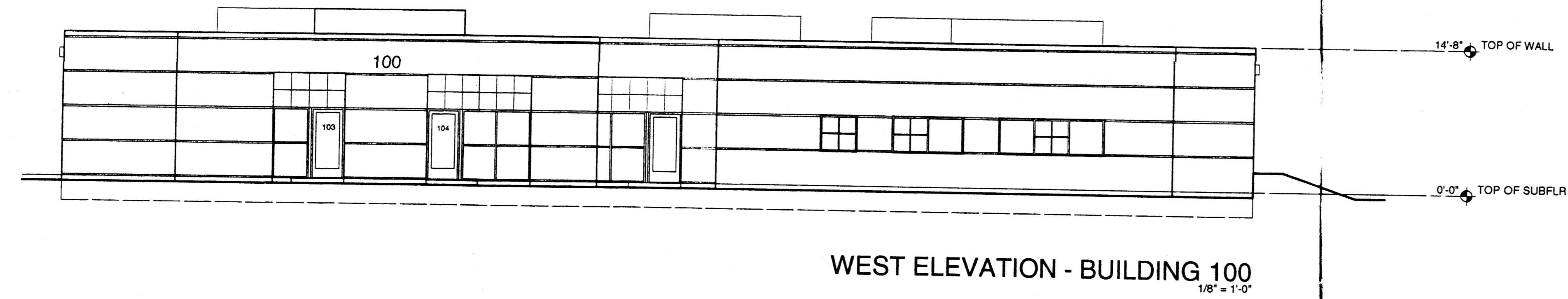
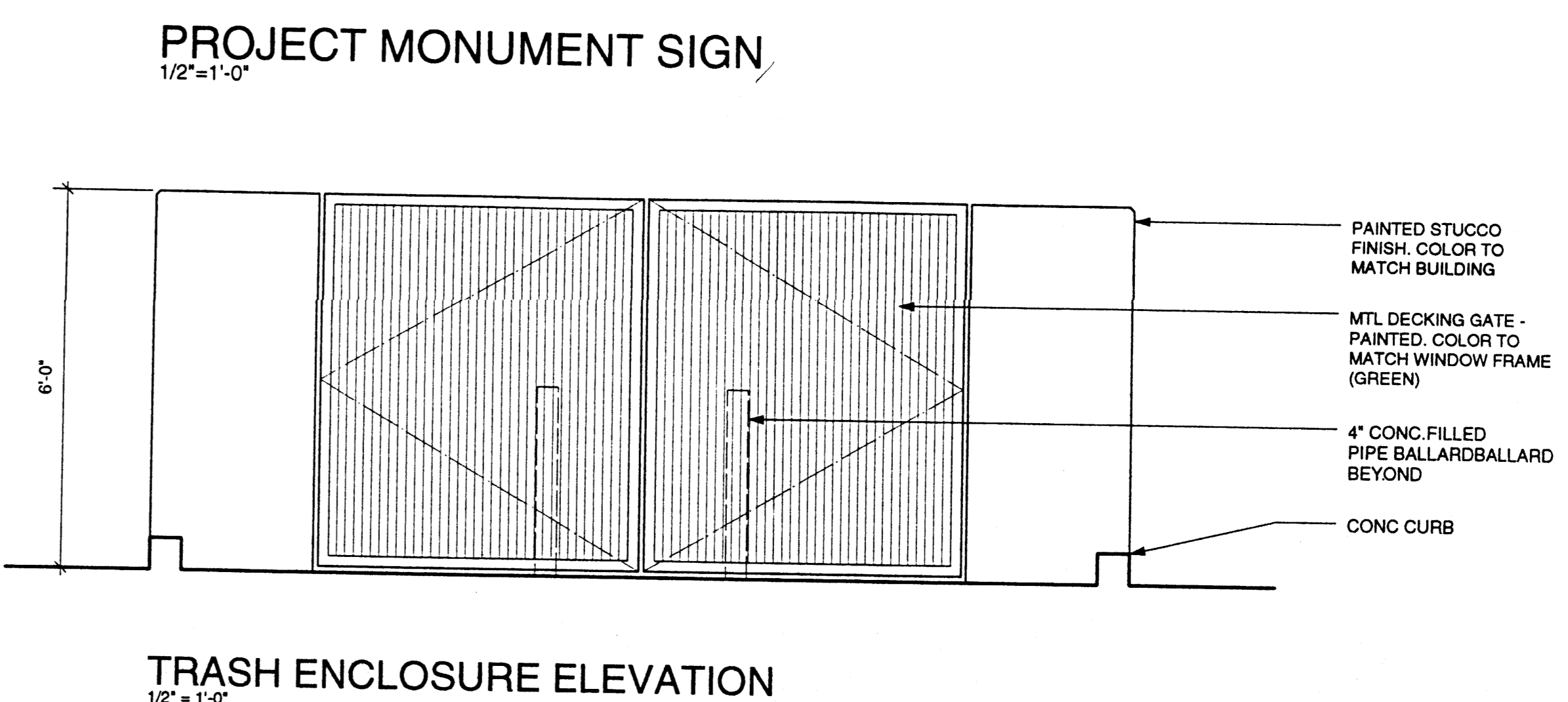
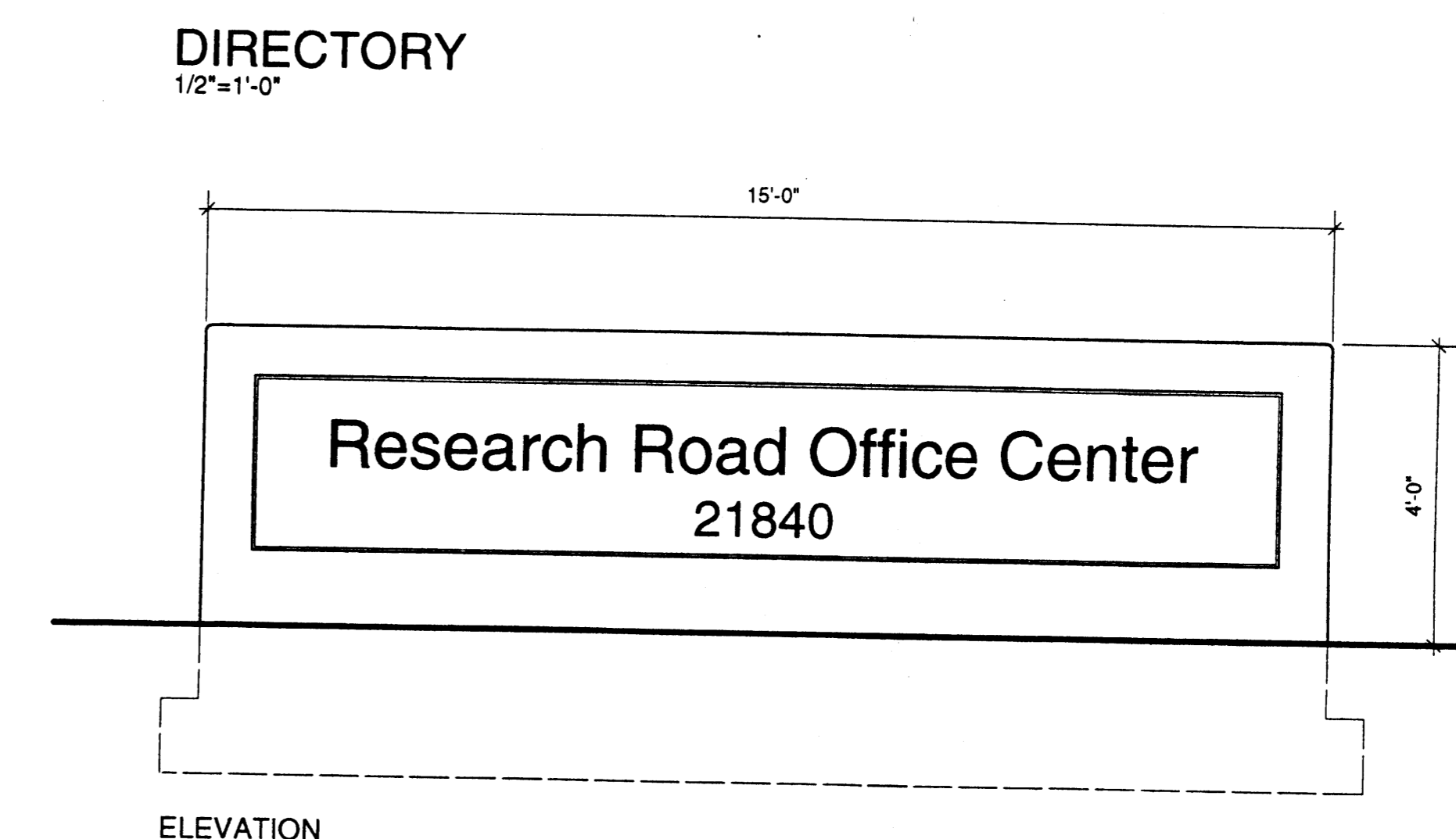
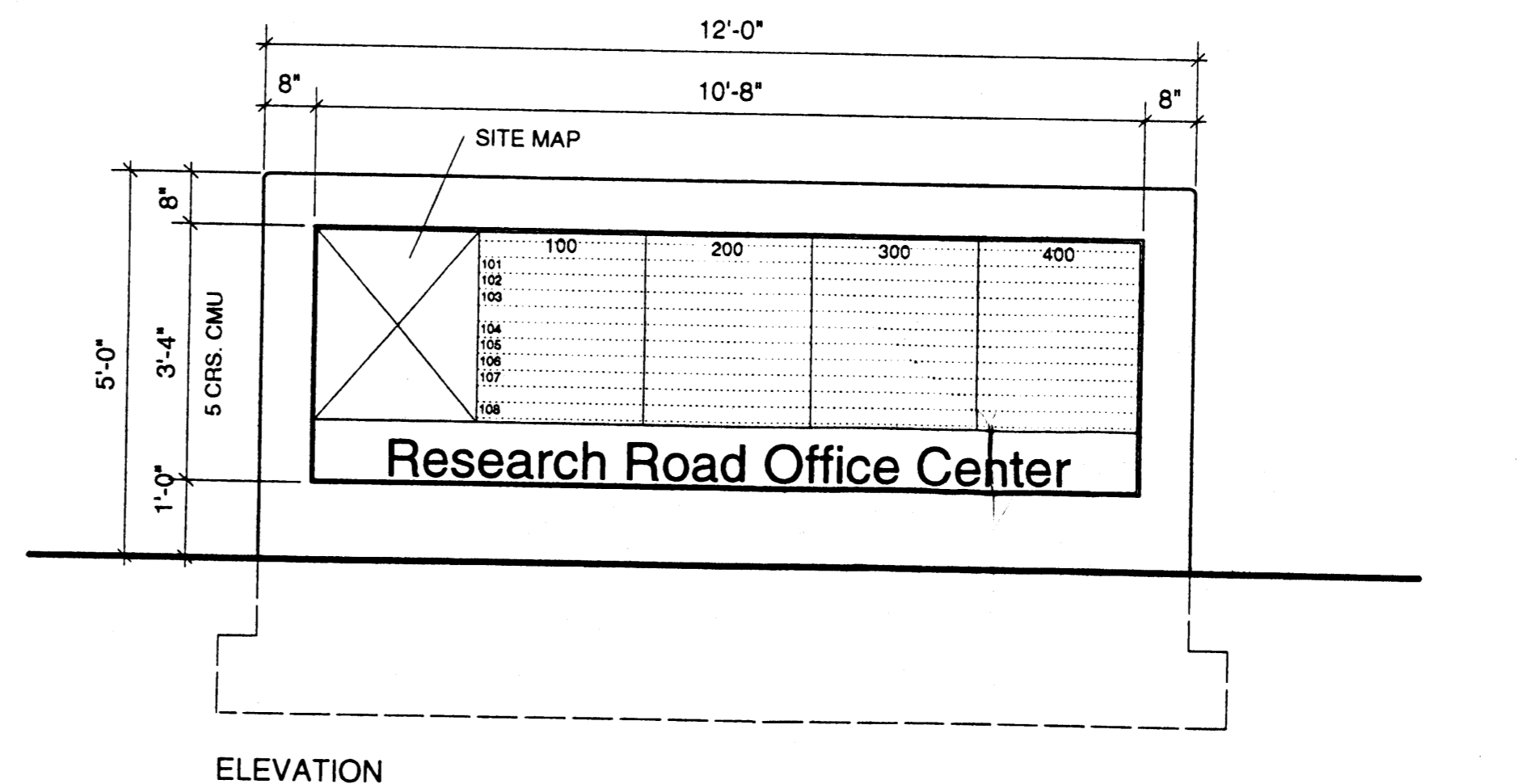
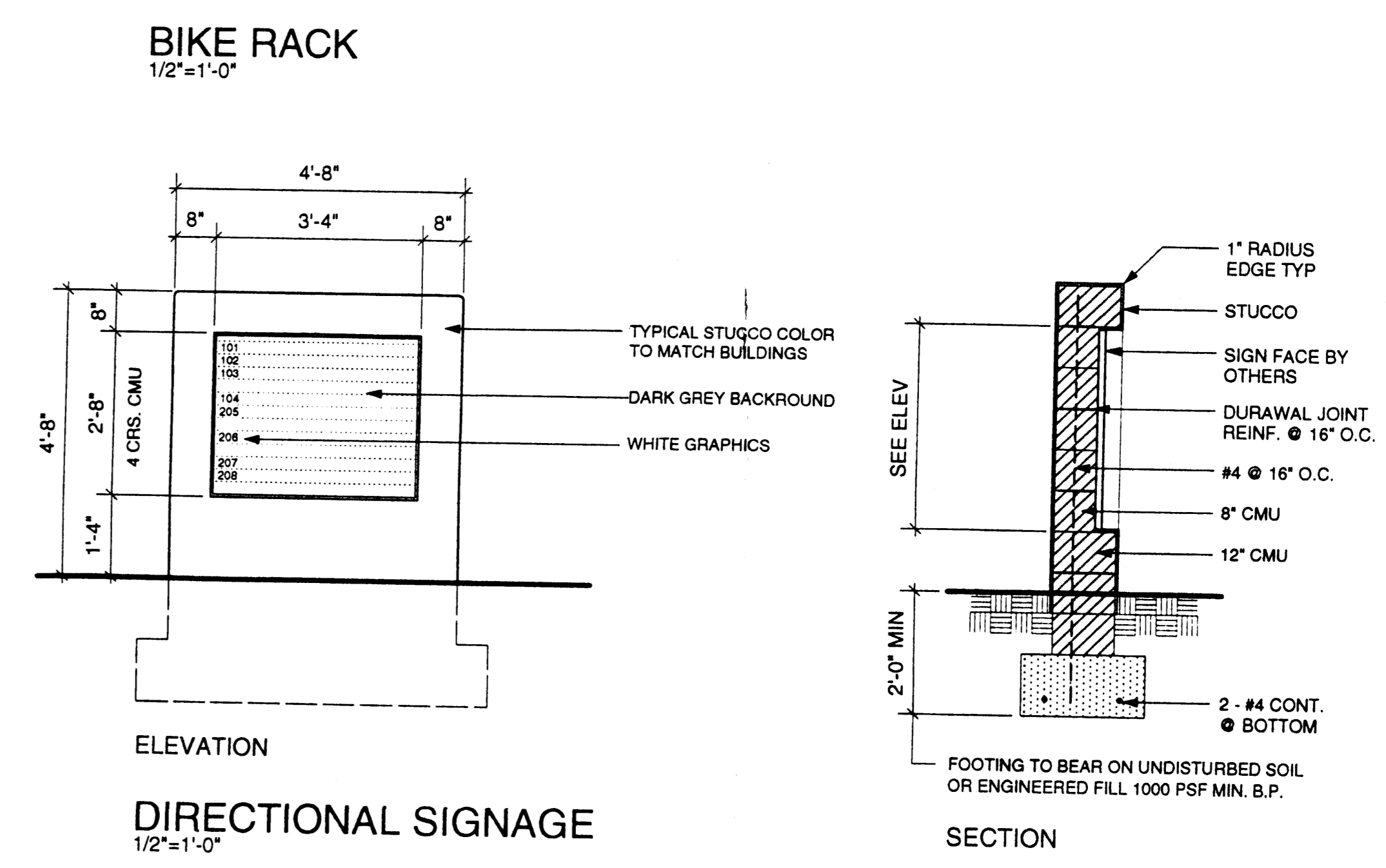
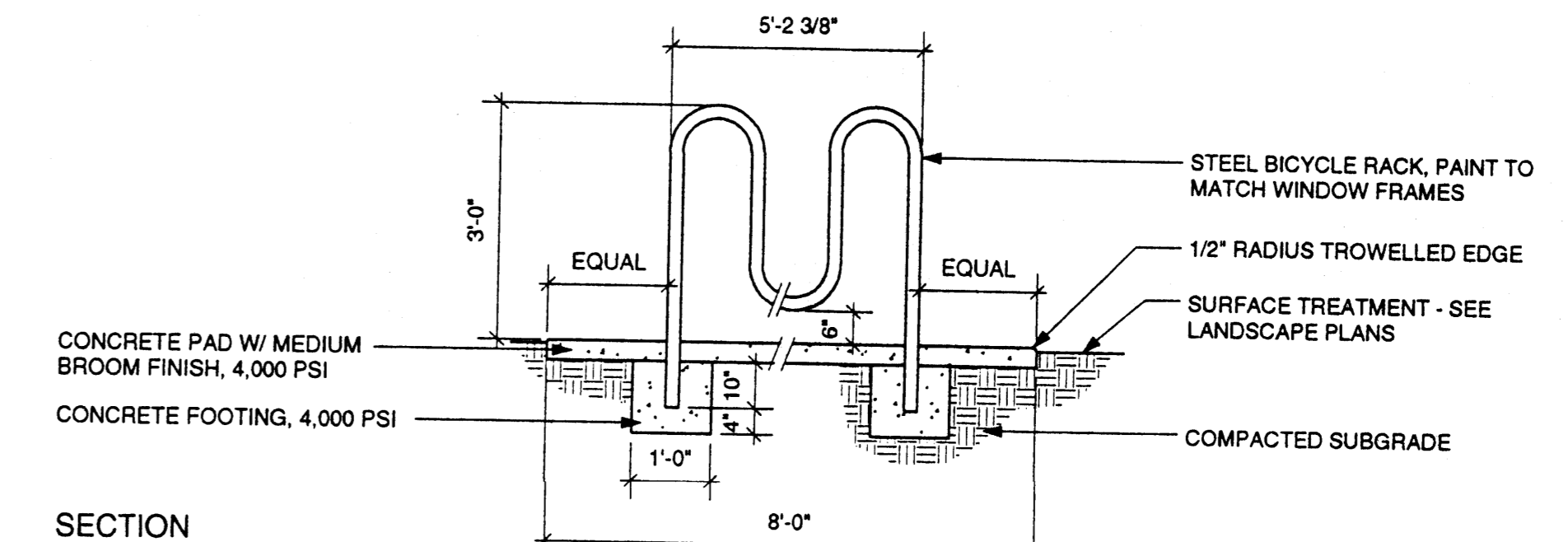
- KEYED NOTES**
- ① SIDEWALK QUVERT
  - ② NEW PRIVATE FIRE HYDRANT



**COLOR/ MATERIAL SCHEDULE**

BUILDING	WALL STUCCO	WINDOW/DOOR PREFINISHED ALUMINUM	SCORED STUCCO ABOVE ENTRY	GLASS
100	8814M BRINDEL (WARM GREY)	8065D AQUALOGIC (GREEN)	TERRA COTTA	CLEAR LOW E
200	8834M FAUX MARBLE (WARM TAN)			
300	8524M VANDERBILT GRAY (COOL GREY)			
400	8694 WOOD CUT (PUTTY GREY)			
SIGNAGE	STUCCO BRINDEL (WARM GREY) SIGN FACE AQUALOGIC GREEN			
TRASH SCREEN WALLS	BRINDEL (WARM GREY)			

COLORS ARE FROM FRAZEE COLOR SYSTEM



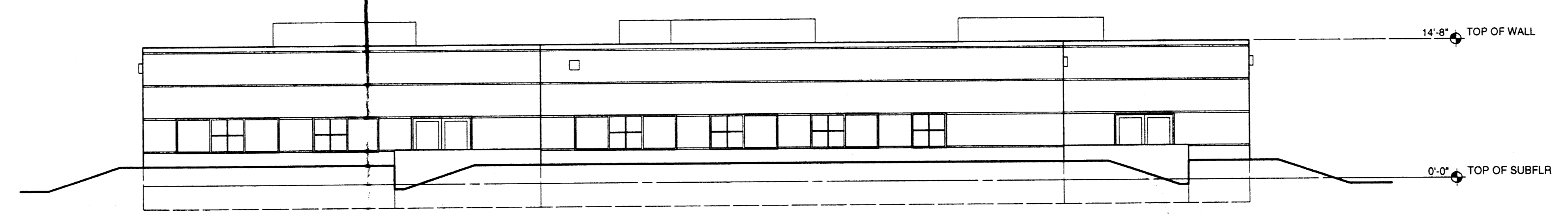
REVISIONS

NO.	DESCRIPTION	DATE
1		08/14/01

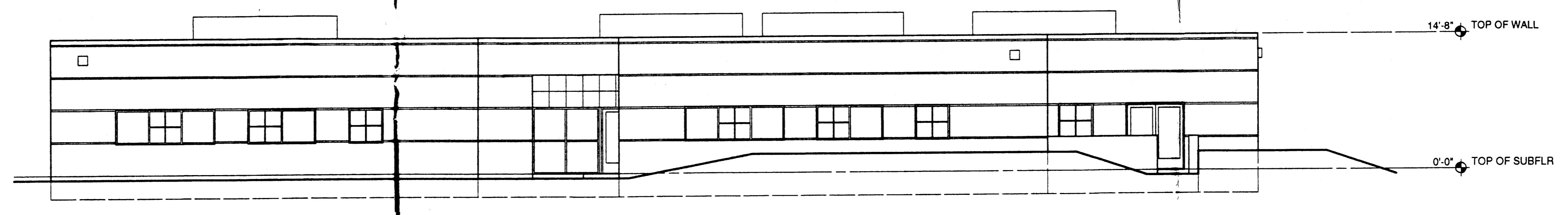
ARCHITECTS PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE NM

DRAWING TITLE  
 SIGNAGE DETAILS/  
 ELEVATIONS  
 BUILDING 100  
 DATE 07/03/01  
 DRAWN BY EE  
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 SCALE AS NOTED  
 DRAWING NO 4

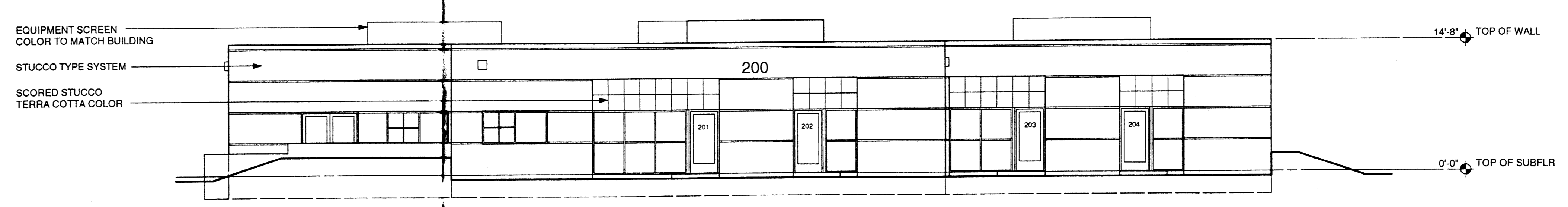
CONSULTANTS



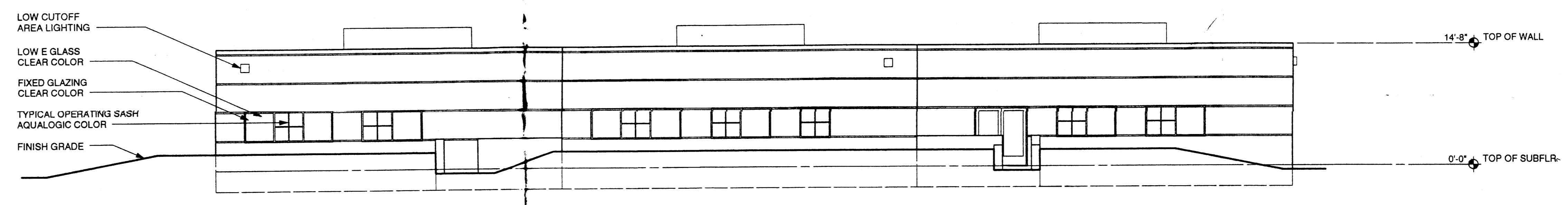
WEST ELEVATION - BUILDING 200  
 1/8" = 1'-0"



NORTH ELEVATION - BUILDING 200  
 1/8" = 1'-0"



EAST ELEVATION - BUILDING 200  
 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 200  
 1/8" = 1'-0"

BUILDING ELEVATIONS - BUILDING 200

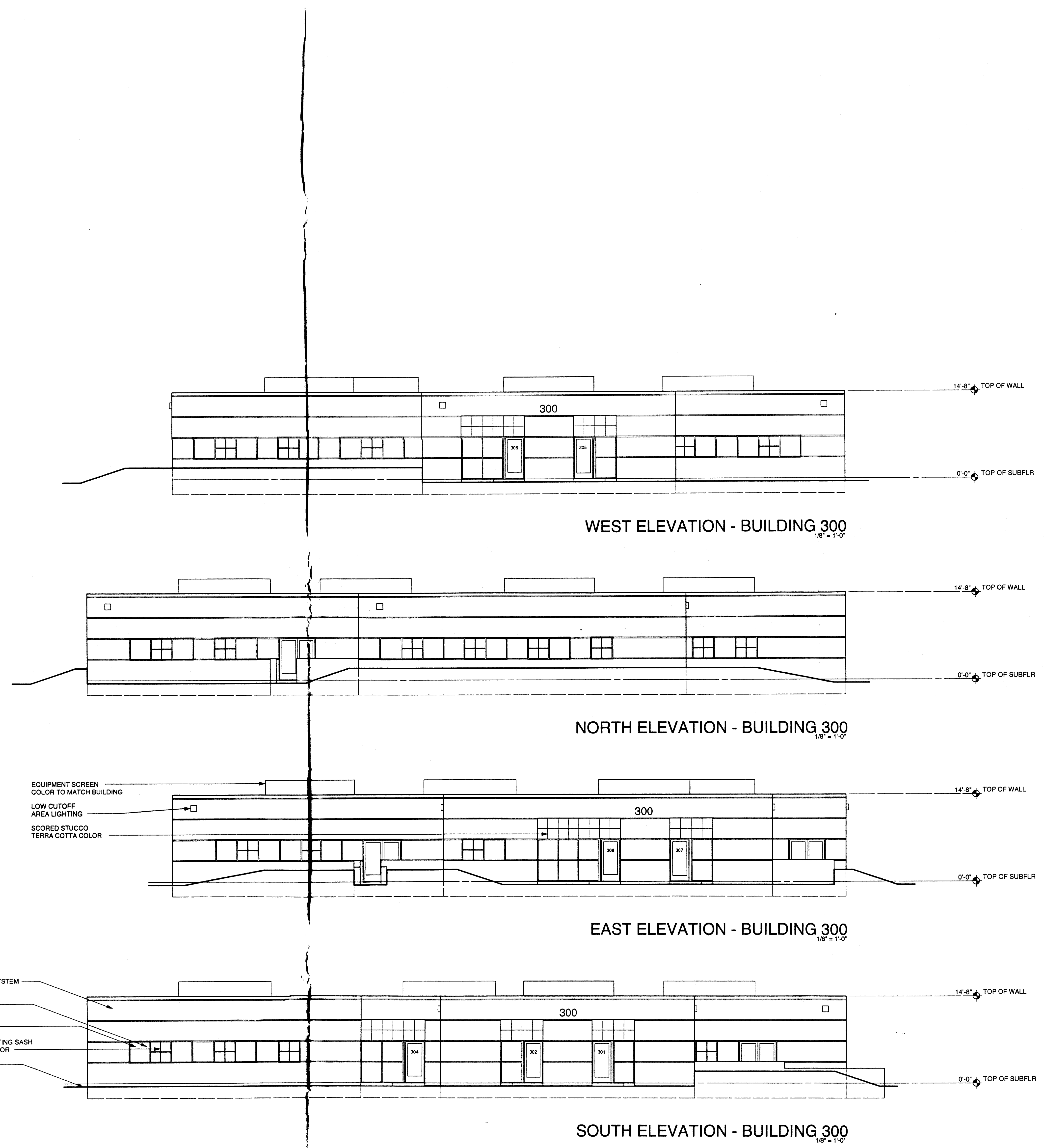


NO.	DESCRIPTION	DATE
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ARCHITECTS PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE NM

DRAWING TITLE  
 ELEVATIONS  
 BUILDING 200  
 DATE 07/03/01  
 DRAWN BY EE  
 CHECKED BY AE  
 SCALE AS NOTED  
 DRAWING NO. 5

CONSULTANTS



BUILDING ELEVATIONS - BUILDING 300

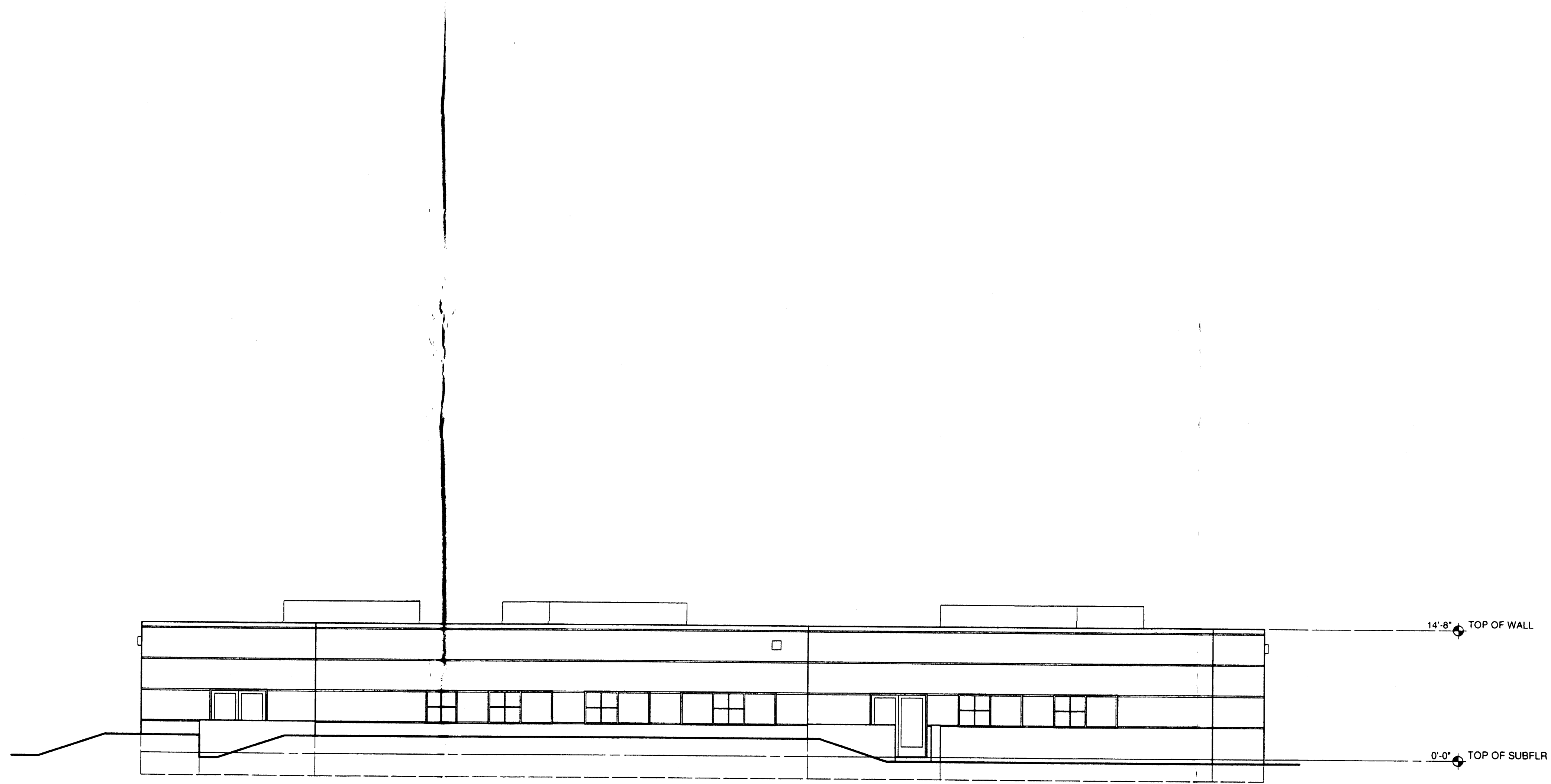
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NO.	DESCRIPTION	DATE
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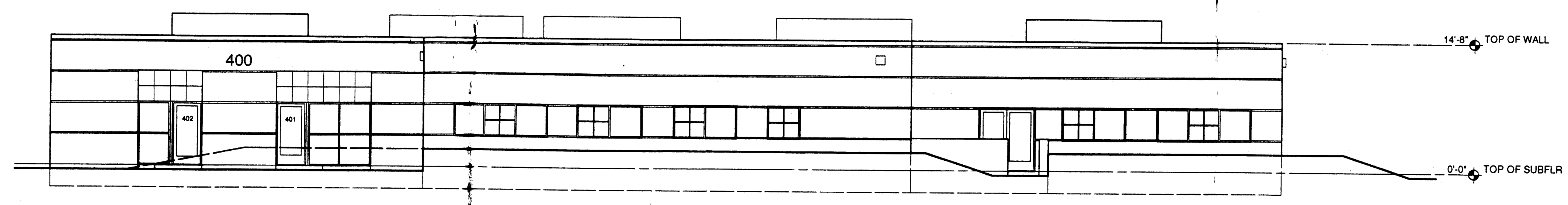
ARCHITECTS PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE NM

DRAWING TITLE  
 ELEVATIONS  
 BUILDING 300

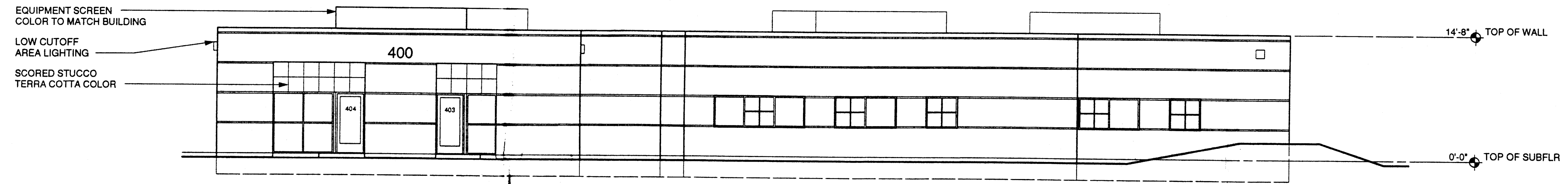
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 CHECKED BY AE  
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 DRAWING NO



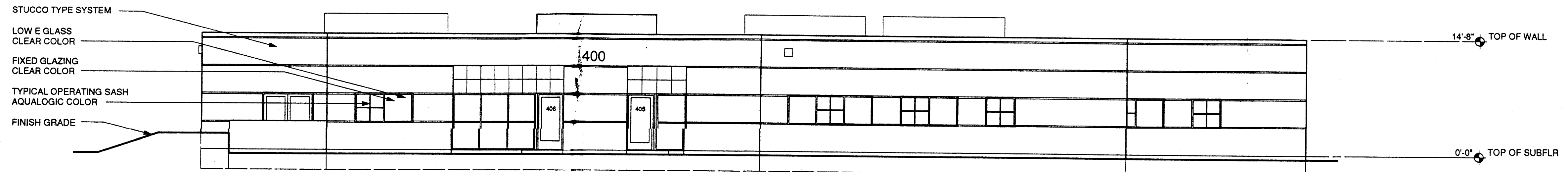
WEST ELEVATION - BUILDING 400  
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NORTH ELEVATION - BUILDING 400  
 1/8" = 1'-0"



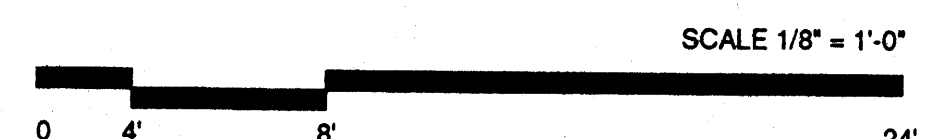
EAST ELEVATION - BUILDING 400  
 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 400  
 1/8" = 1'-0"

- EQUIPMENT SCREEN  
COLOR TO MATCH BUILDING
- LOW CUTOFF  
AREA LIGHTING
- SCORED STUCCO  
TERRA GOTTA COLOR
- STUCCO TYPE SYSTEM
- LOW E GLASS  
CLEAR COLOR
- FIXED GLAZING  
CLEAR COLOR
- TYPICAL OPERATING SASH  
AQUALOGIC COLOR
- FINISH GRADE

BUILDING ELEVATIONS - BUILDING 400



NO.	DESCRIPTION	DATE
1		08/14/01

ARCHITECTS PROJECT  
 RESEARCH ROAD  
 OFFICE CENTER  
 ALBUQUERQUE NM

DRAWING TITLE  
 ELEVATIONS  
 BUILDING 400

DATE	07/03/01
DRAWN BY	EE
CHECKED BY	AE
SCALE	AS NOTED
DRAWING NO	7