

**LEGAL DESCRIPTION:**

TRACK A, BLOCK 35, TRACK A, UNIT B, NORTH ALBUQUERQUE ACRES.  
 LOCATED ON THE EAST SIDE OF SAN PEDRO NE. AND BETWEEN PASEO DEL NORTE AND HOLLY AVE.  
 ALBUQUERQUE, BERNALLILLO COUNTY, NEW MEXICO.

CURRENT ZONING: SU-2 FOR IP, PERMISSIVE USES

TOTAL ACREAGE: 1.575 ACRES/68,625 SF  
 ZONE ATLAS: C-18-Z

**BUILDING AREA & PARKING CALCULATIONS:**

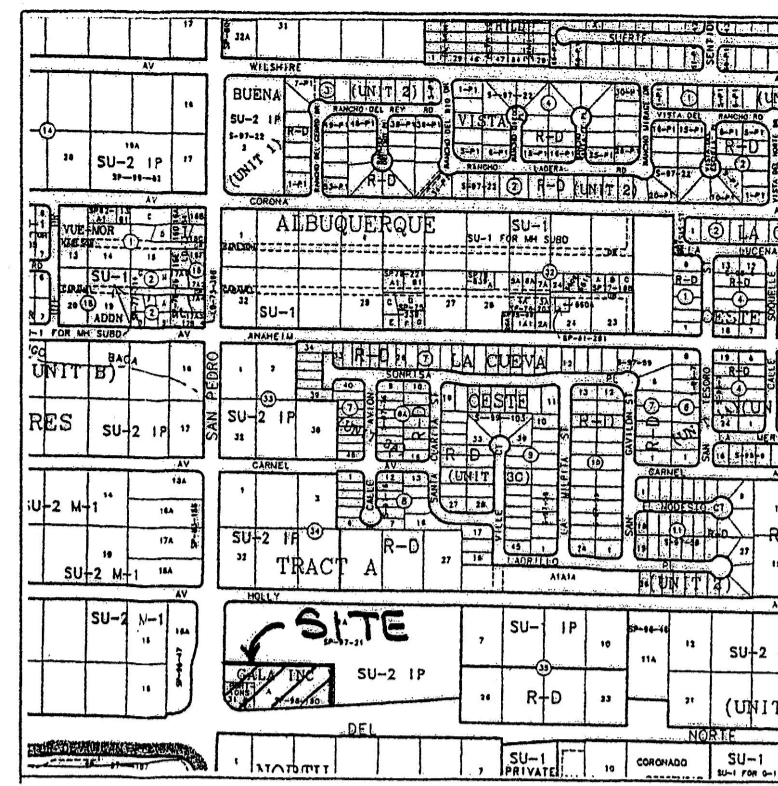
<b>BUILDING AREA</b>	
OCTOPUS CAR WASH:	9,875 SF. BUILDING
PARKING REQUIRED:	28
NUMBER OF EMPLOYEES PER SHIFT:	8
1/200 SF (OFFICE SPACE 120 SF):	1
PROVISION FOR ACCESSIBLE SPACE:	2
TOTAL REQUIRED:	28 11
TOTAL PROVIDED:	28 28

**PARKING NOTES:**

TYPICAL STANDARD SPACES ARE 8'-6" x 18'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0" WITH A 8' WIDE ACCESS AISLE  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

**RADIUS:**

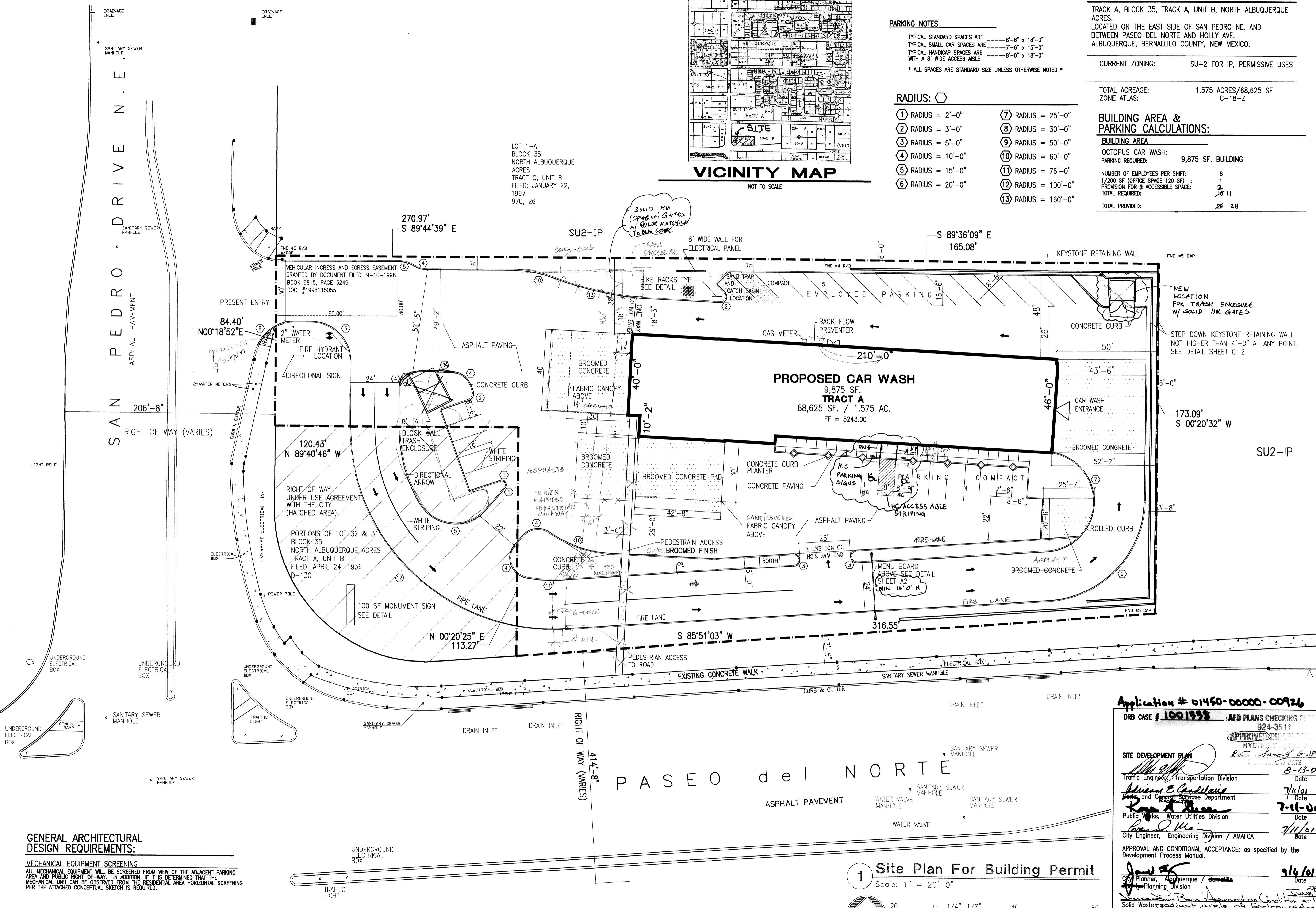
- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
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- ⑩ RADIUS = 60'-0"
- ⑪ RADIUS = 76'-0"
- ⑫ RADIUS = 100'-0"
- ⑬ RADIUS = 160'-0"



**VICINITY MAP**

NOT TO SCALE

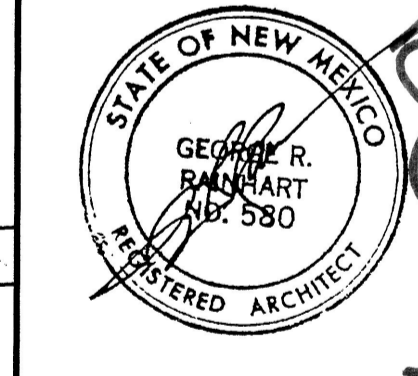
LOT 1-A  
 BLOCK 35  
 NORTH ALBUQUERQUE  
 ACRES  
 TRACT Q, UNIT B  
 FILED: JANUARY 22,  
 1997  
 97C, 26



**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:**

**MECHANICAL EQUIPMENT SCREENING**  
 ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY. IN ADDITION, IF IT IS DETERMINED THAT THE MECHANICAL UNIT CAN BE OBSERVED FROM THE RESIDENTIAL AREA HORIZONTAL SCREENING PER THE ATTACHED CONCEPTUAL SKETCH IS REQUIRED.

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 864-9110 FAX (505) 837-9877



Application # 01450-00000-00926  
 DRB CASE # 1001338

**APPROVED**  
 APPROVED FOR THE CITY ENGINEER  
 R.C. Sanchez 6-28-01  
 8-13-01

**SITE DEVELOPMENT PLAN**  
 Traffic Engineer, Transportation Division  
 Date

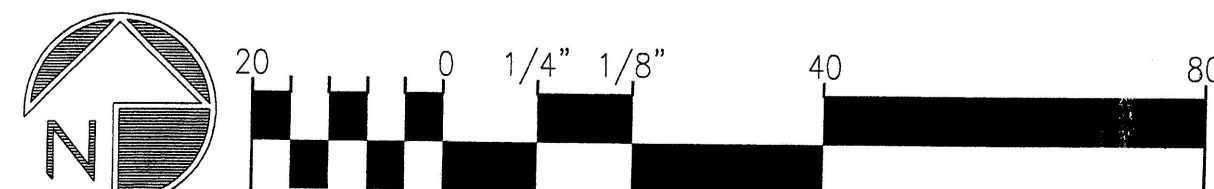
**Public Works, Water Utilities Division**  
 Date

**City Engineer, Engineering Division / AMAFCA**  
 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

DATE: 06/25/01  
 SCALE: 1"=20'-0"

1 Site Plan For Building Permit  
 Scale: 1" = 20'-0"



**OCTOPUS CAR WASH**  
 Paseo Del Norte and San Pedro NE  
 Albuquerque, New Mexico

PROJECT MANAGER: George Rainhart, AA  
 SHEET TITLE: Site Plan

DATE: 06/25/01  
 SCALE: 1"=20'-0"

1 of 1

1001338

- RADIUS:** ○
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 5'-0"
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 WITH A 8' WIDE ACCESS AISLE

\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

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TRACK A, BLOCK 35, TRACK A, UNIT B, NORTH ALBUQUERQUE ACRES.  
 LOCATED ON THE EAST SIDE OF SAN PEDRO NE. AND BETWEEN PASEO DEL NORTE AND HOLLY AVE.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

CURRENT ZONING: SU-2 FOR IP, PERMISSIVE USES

TOTAL ACREAGE: 1.575 ACRES/68,625 SF  
 ZONE ATLAS: C-18-Z

**BUILDING AREA & PARKING CALCULATIONS:**

REVISION	BY	DATE	COMMENTS
1			
2			
3			
4			
5			
6			

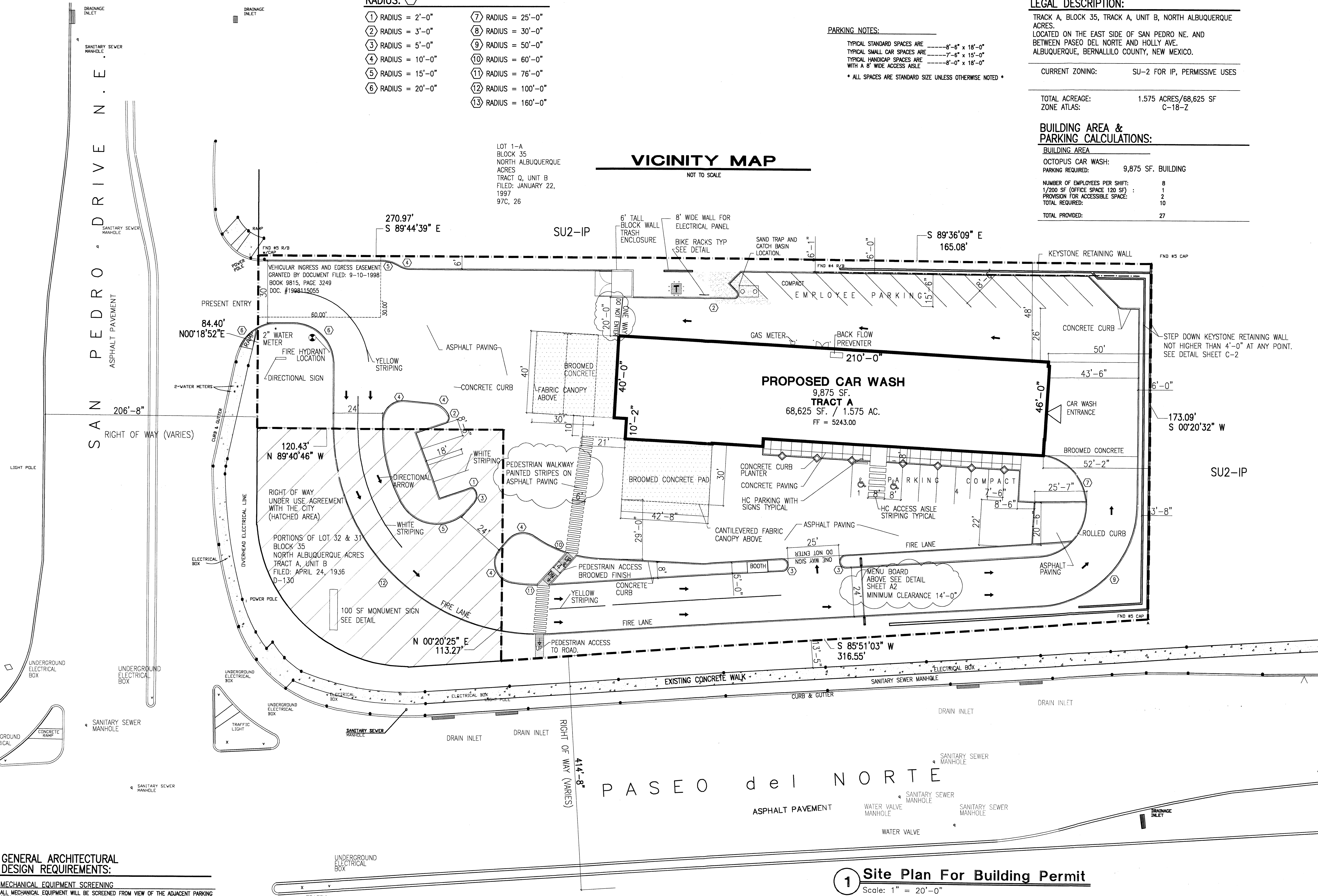
  

BUILDING AREA	
OCTOPUS CAR WASH	9,875 SF. BUILDING
PARKING REQUIRED:	9,875 SF. BUILDING
NUMBER OF EMPLOYEES PER SHIFT:	8
1/200 SF (OFFICE SPACE 120 SF) :	2
PROVISION FOR ACCESSIBLE SPACE:	10
TOTAL REQUIRED:	10
TOTAL PROVIDED:	27

**VICINITY MAP**

NOT TO SCALE

LOT 1-A  
 BLOCK 35  
 NORTH ALBUQUERQUE ACRES  
 TRACT Q, UNIT B  
 FILED: JANUARY 22, 1997  
 97C, 26



**GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:**

**MECHANICAL EQUIPMENT SCREENING**  
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NO FUGITIVE LIGHTS SHALL BE ALLOWED

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

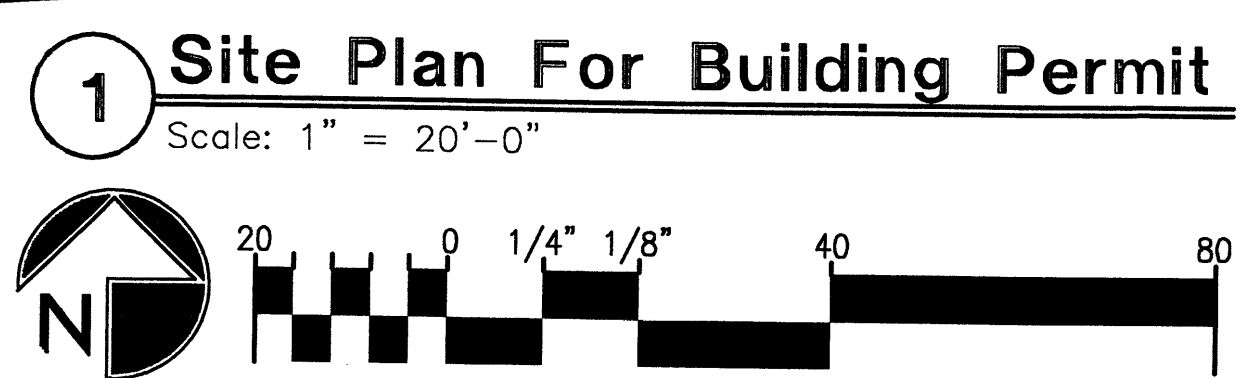
**PROJECT TITLE**  
 OCTOPUS CAR WASH  
 NEC of and San Pedro and Paseo del Norte  
 Albuquerque, New Mexico

**PROJECT MANAGER**  
 George Rainhart, AIA  
 JOB NO. 99040

**DRAWN BY:**  
 CS

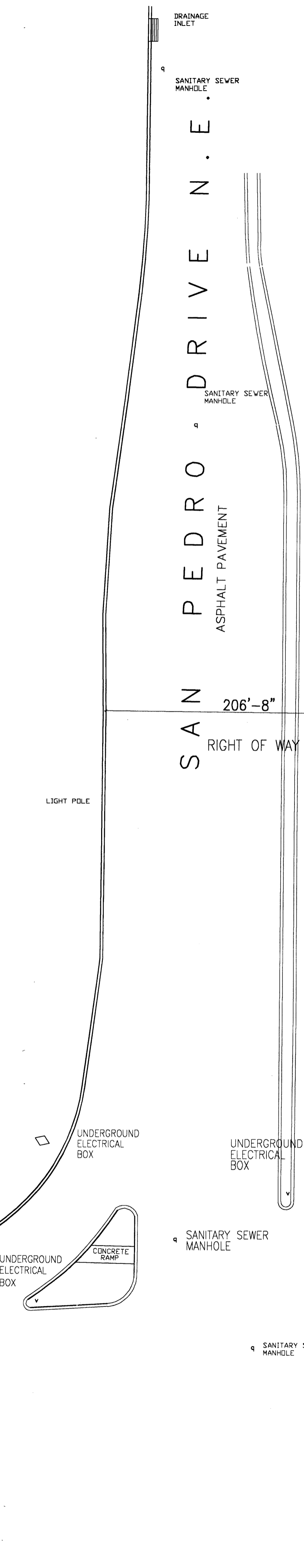
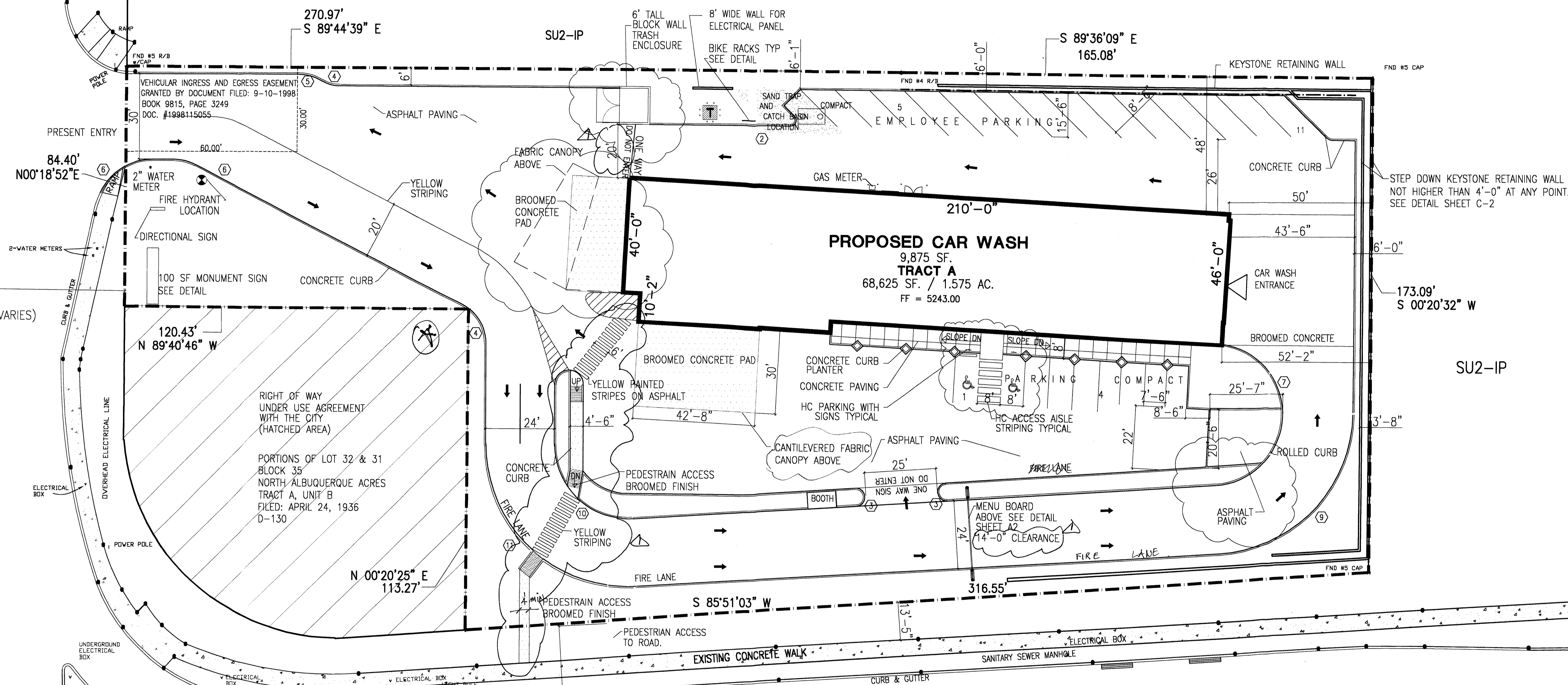
**SHEET TITLE**  
 Site Plan

**DATE:** 07/09/01  
**SCALE:** 1"=20'-0"  
**SHEET:** C1  
**OF:**



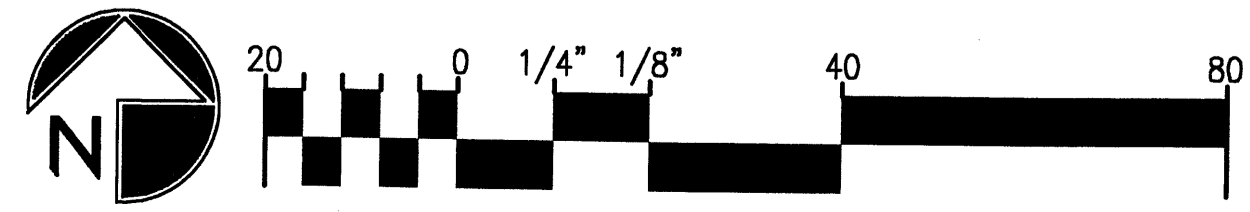
- RADIUS:** ○
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LOT 1-A  
BLOCK 35  
NORTH ALBUQUERQUE  
ACRES  
TRACT Q, UNIT B  
FILED: JANUARY 22,  
1997  
97C, 26



PASEO del NORTE

**1 Site Plan For Building Permit**  
Scale: 1" = 20'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PROJECT TITLE**  
OCTOPUS CAR WASH  
NEC of San Pedro and Paseo del Norte  
Albuquerque, New Mexico

**PROJECT MANAGER**  
George Rainhart, AIA

**JOB NO.**  
99040

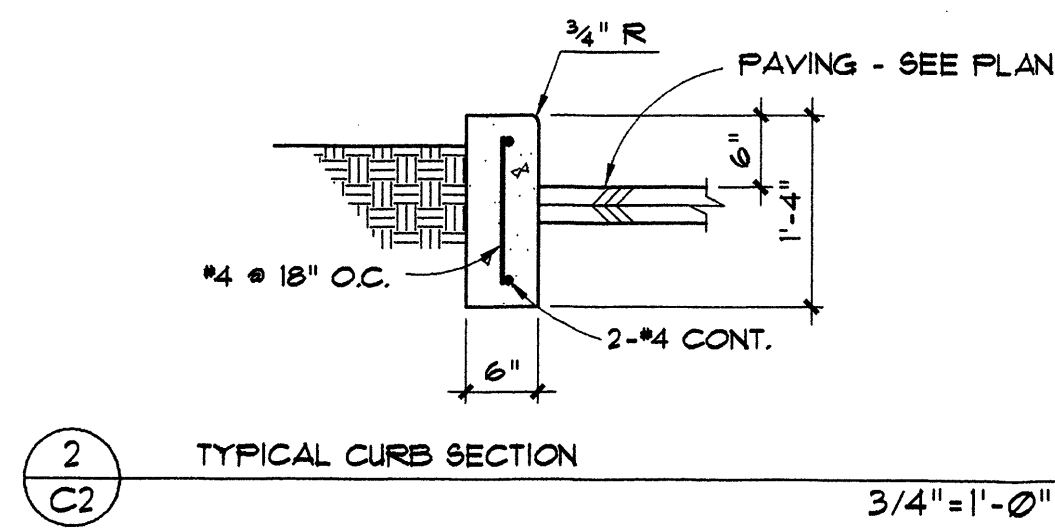
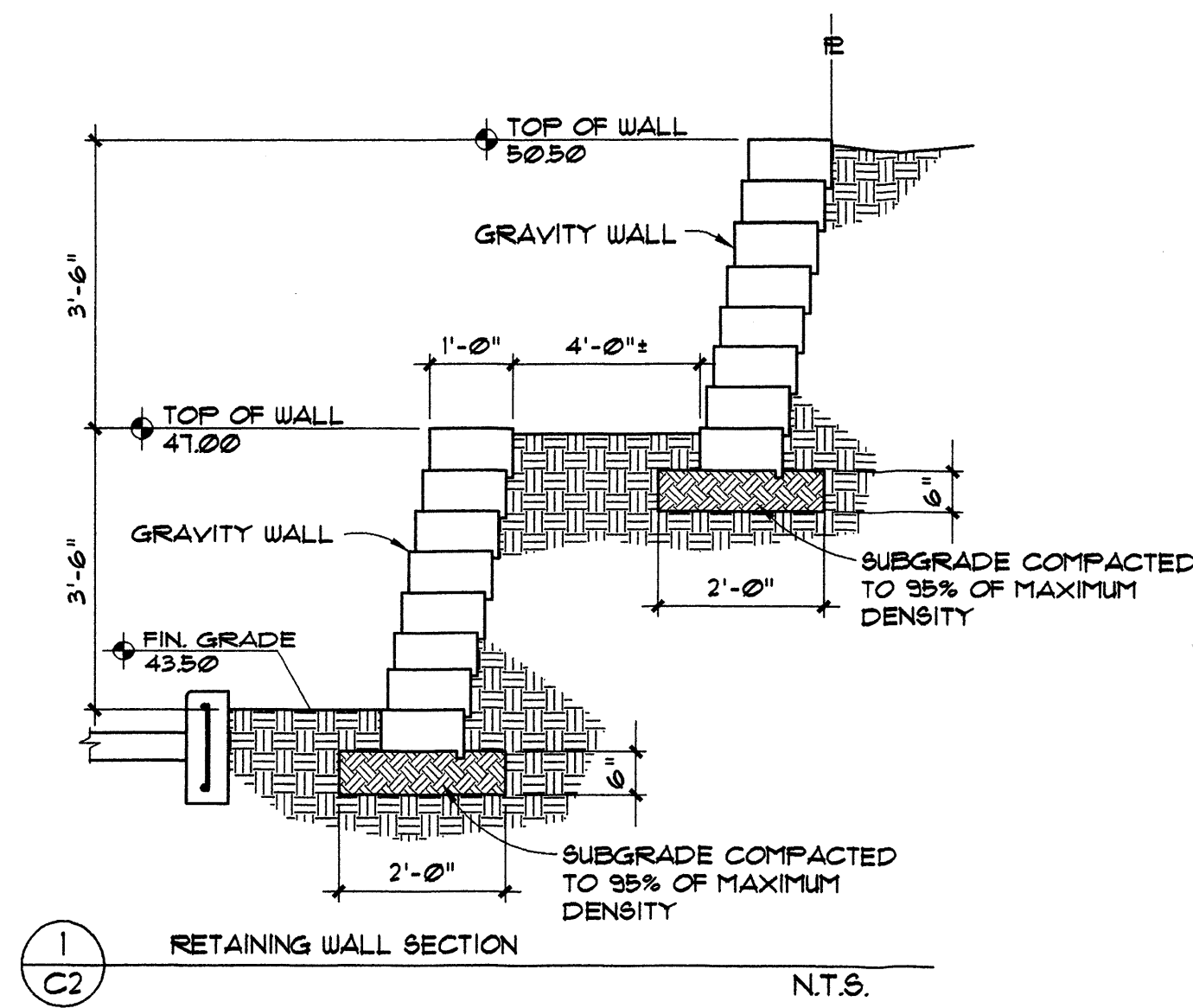
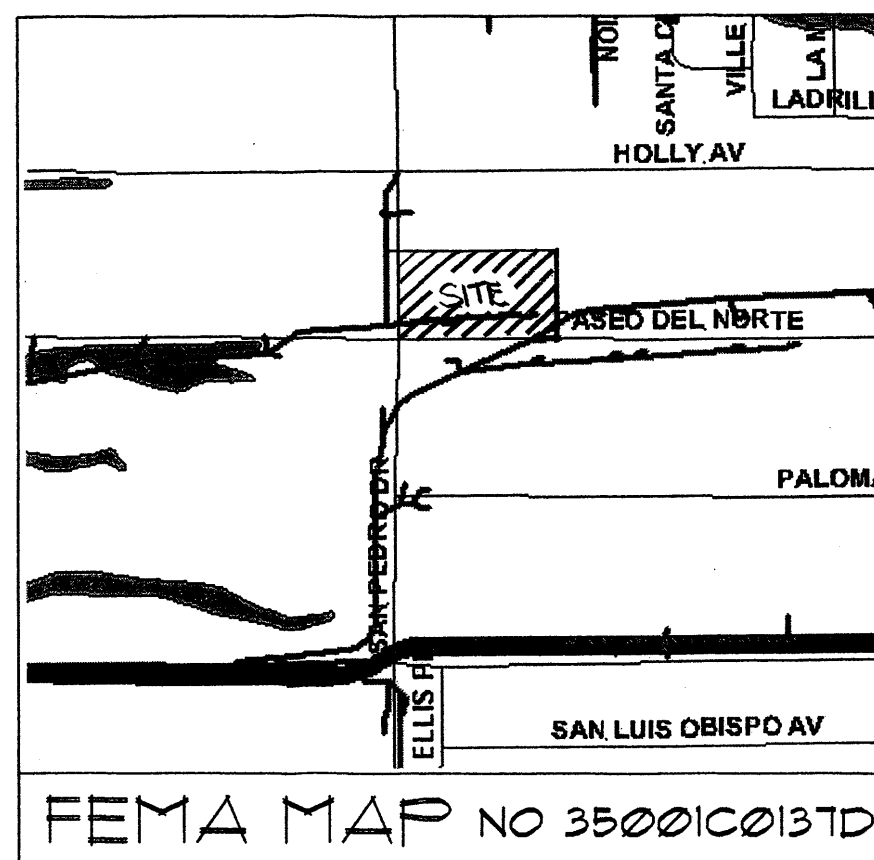
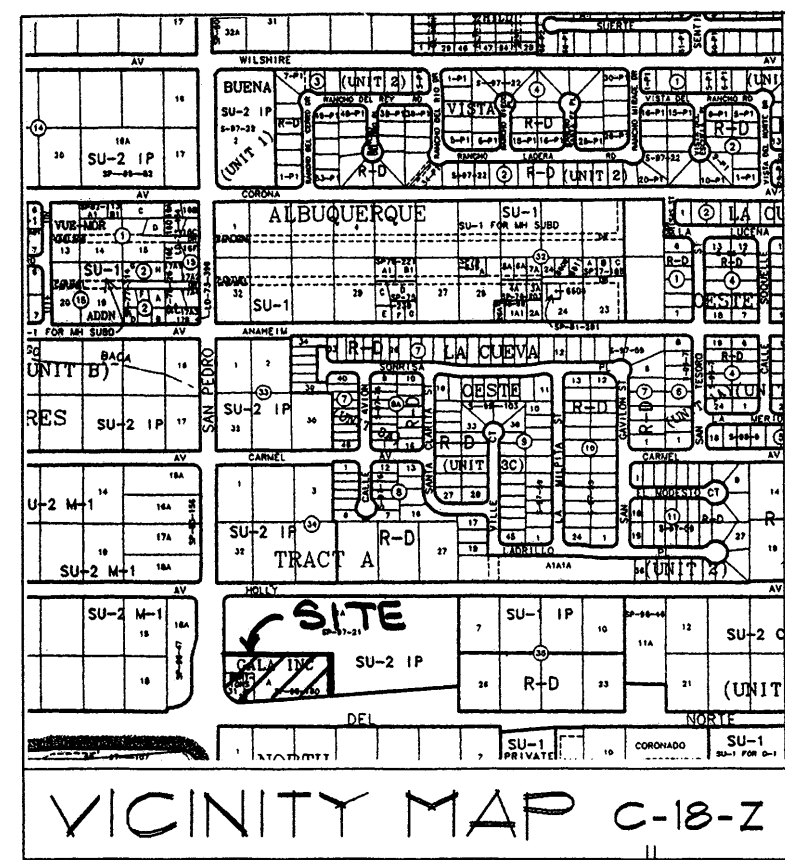
**DRAWN BY:**  
GS

**SHEET TITLE**  
Site Plan

**DATE:**  
07/09/01

**SCALE:**  
1"=20'-0"

**SHEET:**  
C1 of



### KEYED NOTES

- 2" AC PAVING OVER 6" AGGREGATE BASE COURSE OVER SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY
- 4'-0" WIDE CURB BREAK
- 6" THICK, 4000 PSI, AIR-ENTRAINED CONCRETE PAVING REINFORCED WITH #4 BARS @ 16" O.C. EACH WAY

### HYDROLOGY CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE  
 PRECIPITATION ZONE 3 - PER DPM 22.2  
 100 - YR Design Storm (P) Depth (in)  
 1hr 6hr 24hr 4day 10day  
 2.14 2.60 3.10 3.95 4.90

EXISTING CONDITIONS TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	1.850	100%	0.66	1.87	3.46	4,432	4,432	4,432	4,432
B	0.000	0%	0.92	2.60	0.00	0	0	0	0
C	0.000	0%	1.29	3.45	0.00	0	0	0	0
D	0.000	0%	2.36	5.02	0.00	0	0	0	0
TOTALS	1.85	100%			3.46	4,432	4,432	4,432	4,432

DEVELOPED CONDITIONS TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.000	0%	0.66	1.87	0.00	0	0	0	0
B	0.000	0%	0.92	2.60	0.00	0	0	0	0
C	0.807	44%	1.29	3.45	2.78	3,779	3,779	3,779	3,779
D	1.043	56%	2.36	5.02	5.24	8,935	10,828	14,046	17,643
TOTALS	1.850	100%			8.02	12,714	14,607	17,825	21,422

OFFSITE BASIN TREATMENT CLASS	AREA (ACRE)	AREA %	P6 (IN/AC)	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	3.000	100%	0.66	1.87	5.61	7,187	7,187	7,187	7,187
B	0.000	0%	0.92	2.60	0.00	0	0	0	0
C	0.000	0%	1.29	3.45	2.78	0	0	0	0
D	0.000	0%	2.36	5.02	5.24	0	0	0	0
TOTALS	3.000	100%			5.61	7,187	7,187	7,187	7,187

### LEGEND

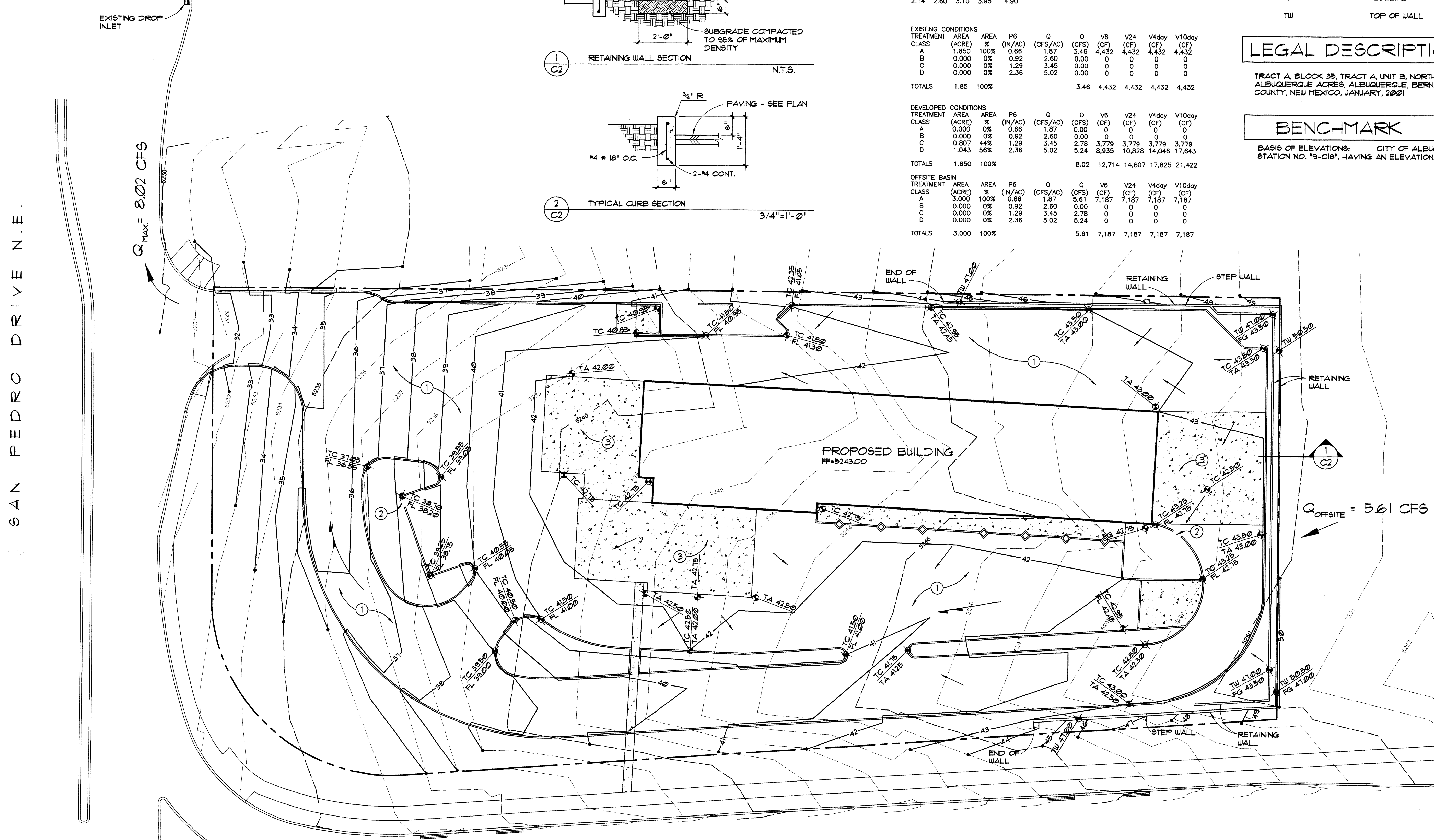
- 4970 --- EXISTING CONTOUR
- 43 — PROPOSED CONTOUR
- FG FINISHED GRADE
- FF FINISHED FLOOR
- TC TOP OF CONCRETE/TOP OF CURB
- FLOW DIRECTION
- ↘ SWALE
- ↘ PROPOSED SPOT ELEVATION
- INV INVERT ELEVATION
- TA TOP OF ASPHALT
- FL FLOWLINE
- TW TOP OF WALL

### LEGAL DESCRIPTION

TRACT A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY, 2001

### BENCHMARK

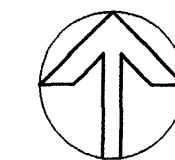
BASIS OF ELEVATIONS: CITY OF ALBUQUERQUE STATION NO. "S-C18", HAVING AN ELEVATION OF 5229.75



PASEO del NORTE

### GRADING and DRAINAGE PLAN

1" = 20'



**Walla** Structural Engineering  
 ENGINEERING CIVIL  
 8100 Indian School Road NE • Suite 210  
 Albuquerque • New Mexico • 87110  
 881-3008 • Facsimile 884-5390

REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



**PROJECT TITLE**  
 Octopus Car Wash  
 NEC of San Pedro and Paseo del Norte  
 Albuquerque, NM

**PROJECT MANAGER**  
 George Rainhart, AIA

**JOB NO.**  
 99040

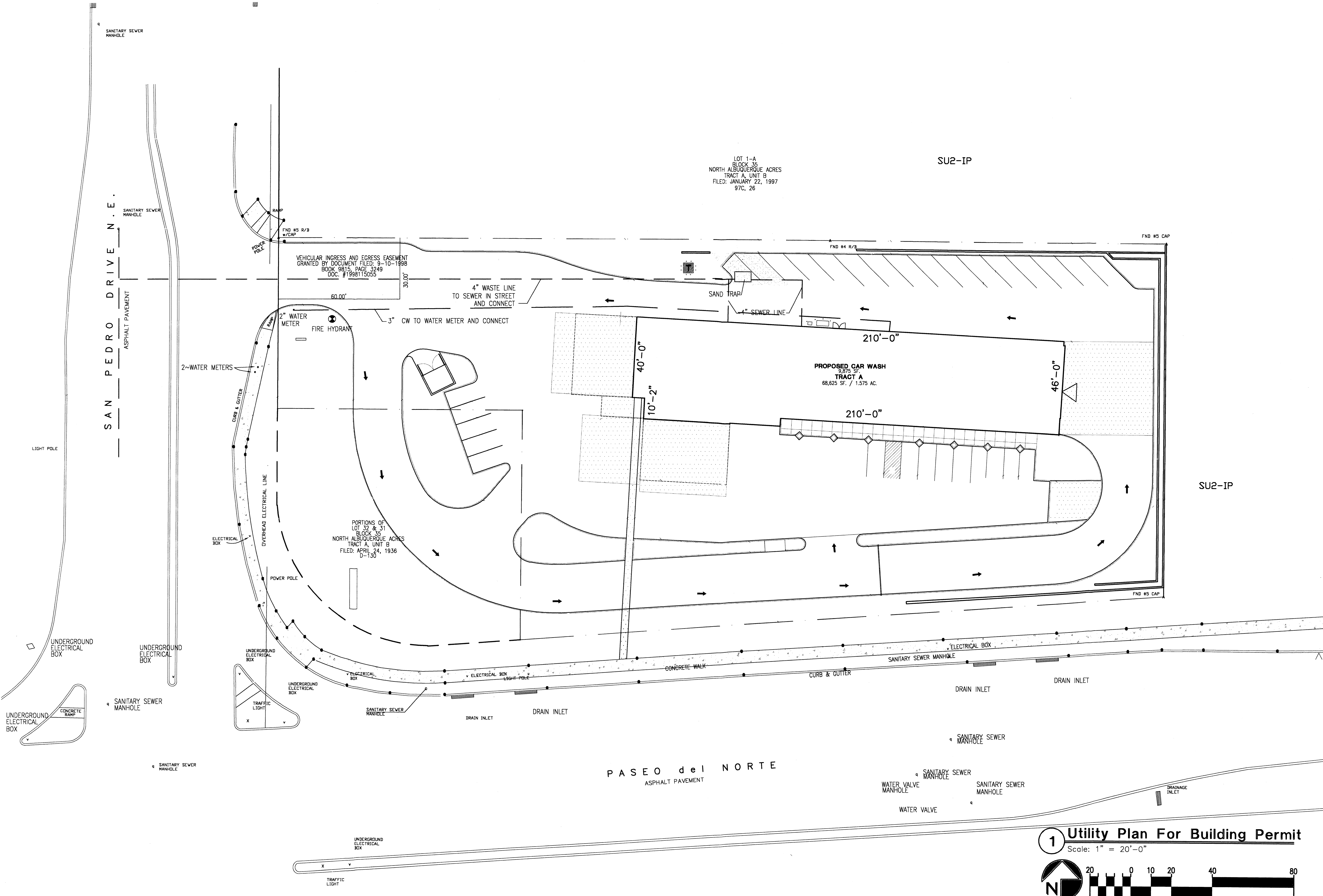
**DRAWN BY:**  
 LEK

**SHEET TITLE**  
 Grading and Drainage Plan

**DATE:** 08/01/01

**SCALE:** 1" = 20'

**sheet:** C2



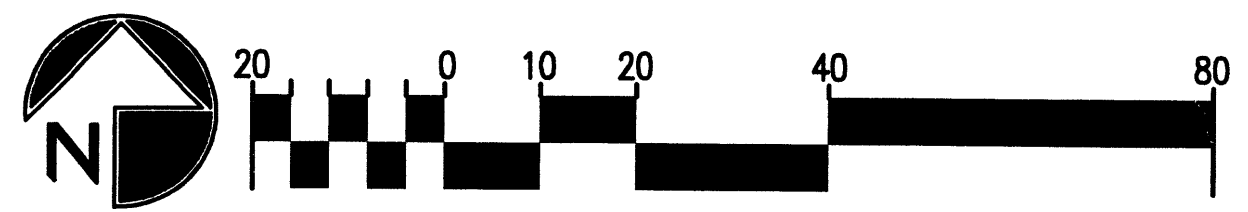
LOT 1-A  
BLOCK 35  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
FILED: JANUARY 22, 1997  
97C, 26

VEHICULAR INGRESS AND EGRESS EASEMENT  
GRANTED BY DOCUMENT FILED: 9-10-1998  
BOOK 9815, PAGE 3249  
DOC. #1998115055

PORTIONS OF  
LOT 32 & 31  
BLOCK 35  
NORTH ALBUQUERQUE ACRES  
TRACT A, UNIT B  
FILED: APRIL 24, 1936  
D-130

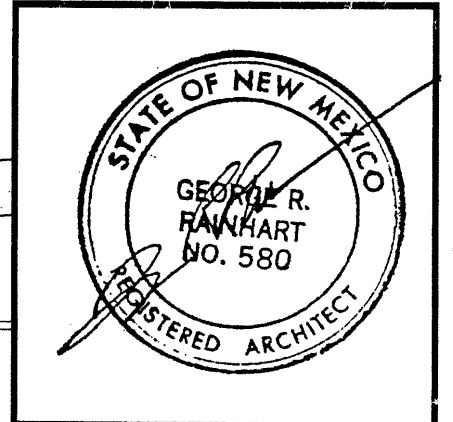
PROPOSED CAR WASH  
9,875 SF  
TRACT A  
68,625 SF. / 1.575 AC.

**1 Utility Plan For Building Permit**  
Scale: 1" = 20'-0"



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



**PROJECT TITLE**  
**OCTOPUS CAR WASH**  
Paseo Del Norte and San Pedro NE  
Albuquerque, New Mexico

**PROJECT MANAGER**  
George Rainhart, AA

**JOB NO.**  
99040

**DRAWN BY:**  
GS

**SHEET TITLE**  
**Utility Plan**

**DATE:**  
06/25/01

**SCALE:**  
1"=30'-0"

**sheet-**  
**C3**  
of

**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
GT	9	GLEDITSIA	HONEY LOCUST	2" CAL	
FR	6	FRAXINUS	ASH	2" CAL	
CR	3	CRATAEGUS	HAWTHORN	15 GAL	
CH	4	CHILOPSIS	DESERT WILLOW	15 GAL	
PY	3	PYRUS	FLOWERING PEAR	15 GAL	
PI	5	PINUS	BOSNIAN PINE	6' HT	
	21	COTONEASTER	CLUSTERBERRY	1 GAL	
	15	FALLUGIA	APACHE PLUME		
	17	BUDDEIA	BUTTERFLY BUSH		
	5	CHRYSOTHAMNUS	CHAMISA		
	19	PHOTINIA	PHOTINIA		
	8	JUNIPERUS	BUFFALO JUNIPER		
	13	RAPHIOLEPIS	INDIA HAWTHORN		
	18	ROSMARINUS	ROSEMARY		
	15	CARYOPTERIS	BLUE MIST		
	13	MISCANTHUS	LAVENDER		
	15	LAVANDULA	LAVANDULA		
	22	SALVIA GREGGII	CHERRY SAGE		

**SITE DATA**

GROSS LOT AREA	68,681 SF
LESS BUILDING	9,875 SF
LESS OFF SITE LANDSCAPE PROVIDED	18,000 SF
NET LOT AREA	40,806 SF
REQUIRED LANDSCAPE	6,120 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	29,930 SF
PERCENT OF NET LOT AREA	73%

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET FRONTAGE  
 REQUIRED PARKING LOT TREES PROVIDED AT ONE PER 10 SPACES

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

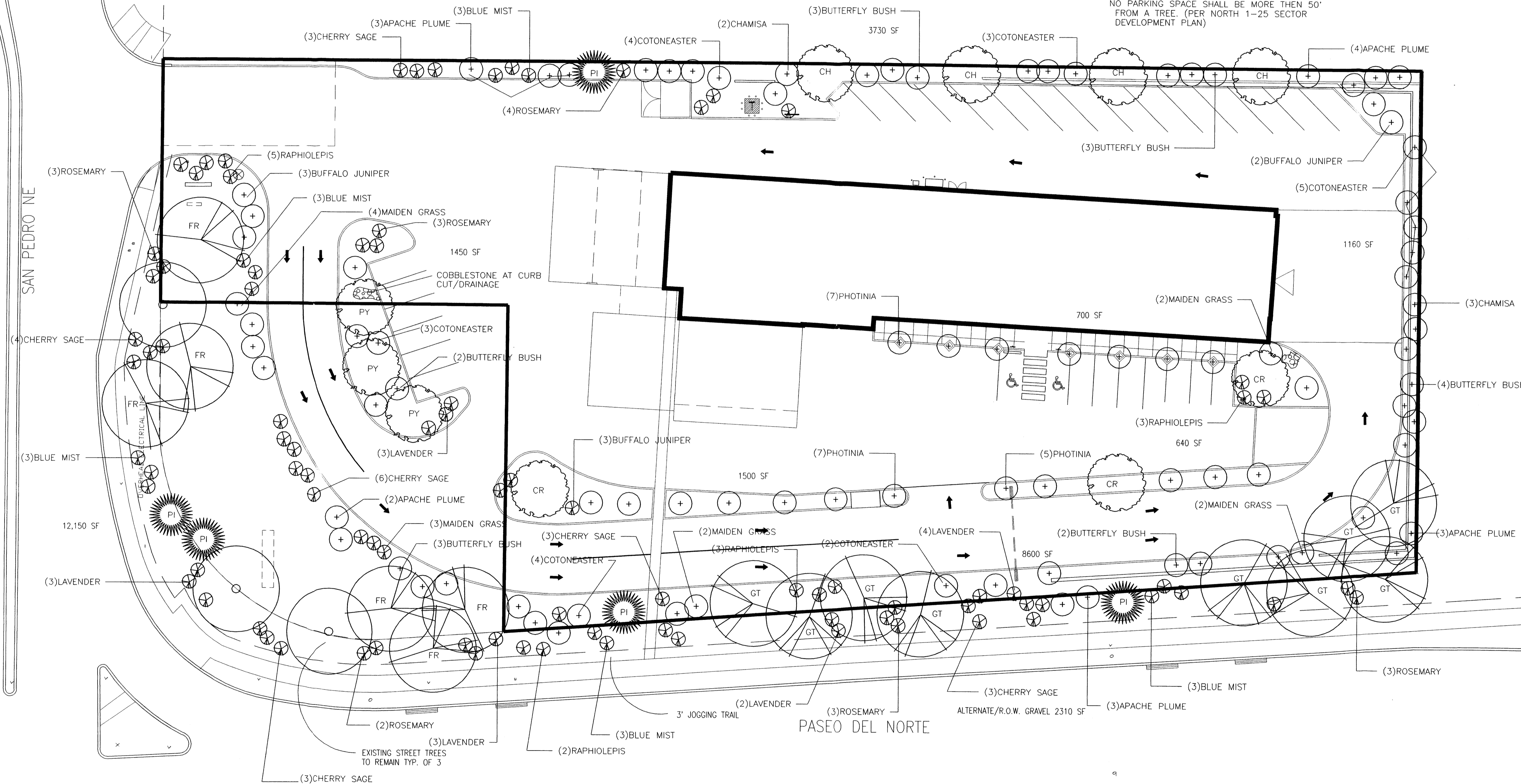
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

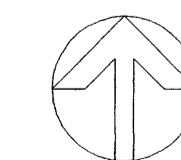
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE. (PER NORTH 1-25 SECTOR DEVELOPMENT PLAN)



LANDSCAPE PLAN

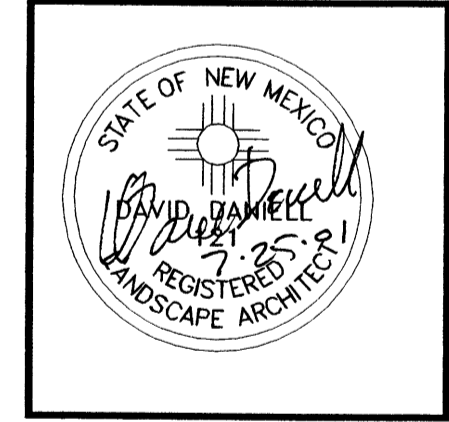
1"=20'-0"



**HeadUp**  
 LANDSCAPE CONTRACTORS  
 7525 SECOND ST. NW  
 ALBUQUERQUE, NM  
 (505) 898-9615  
 LICENSE 18890  
 www.headuplandscape.com

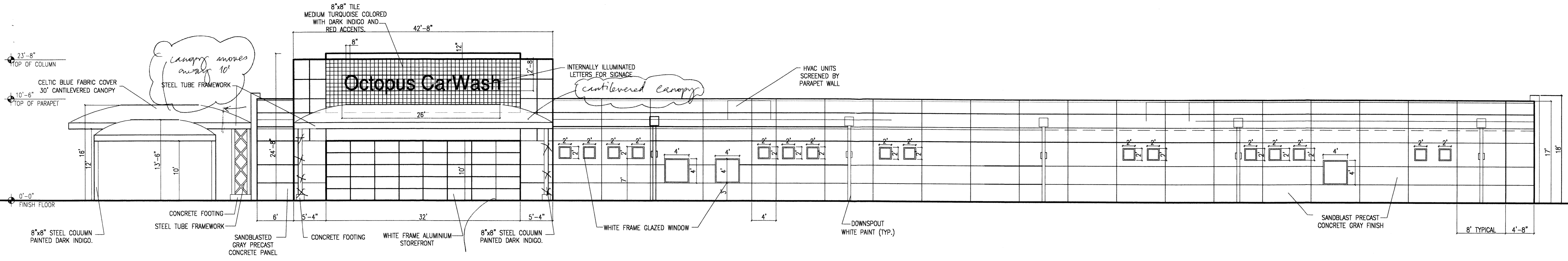
REV	DATE	BY	REVISION
1	7/25/01		DUMPSTER RELOCATED
2	7/12/01		DRB COMMENT REVISIONS
3	6/26/01		

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
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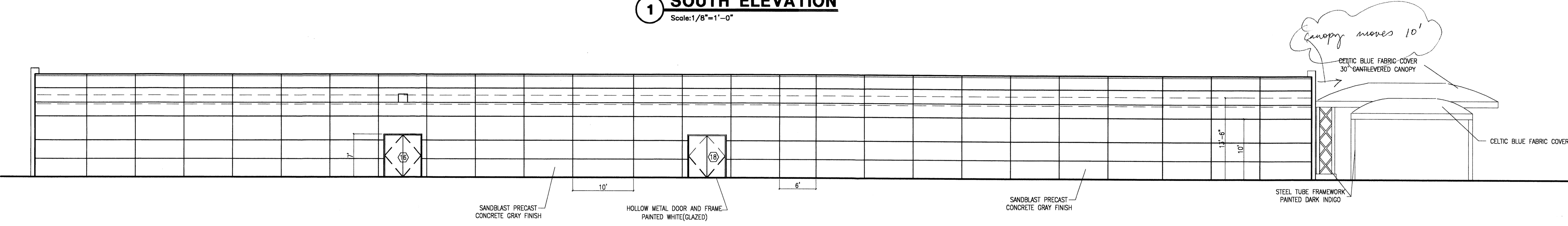


PROJECT TITLE	OCTOPUS CAR WASH
PROJECT LOCATION	NEC OF SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NM
PROJECT MANAGER	GEORGE RAINHART
JOB NO.	98000
DRAWN BY:	HEADS UP
SHEET TITLE	LANDSCAPE PLAN

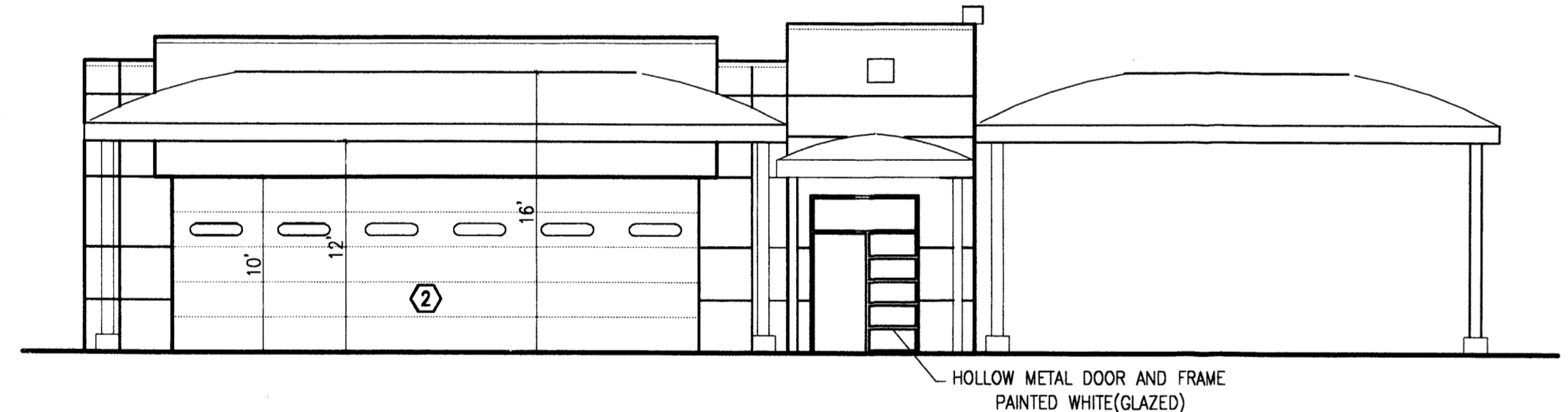
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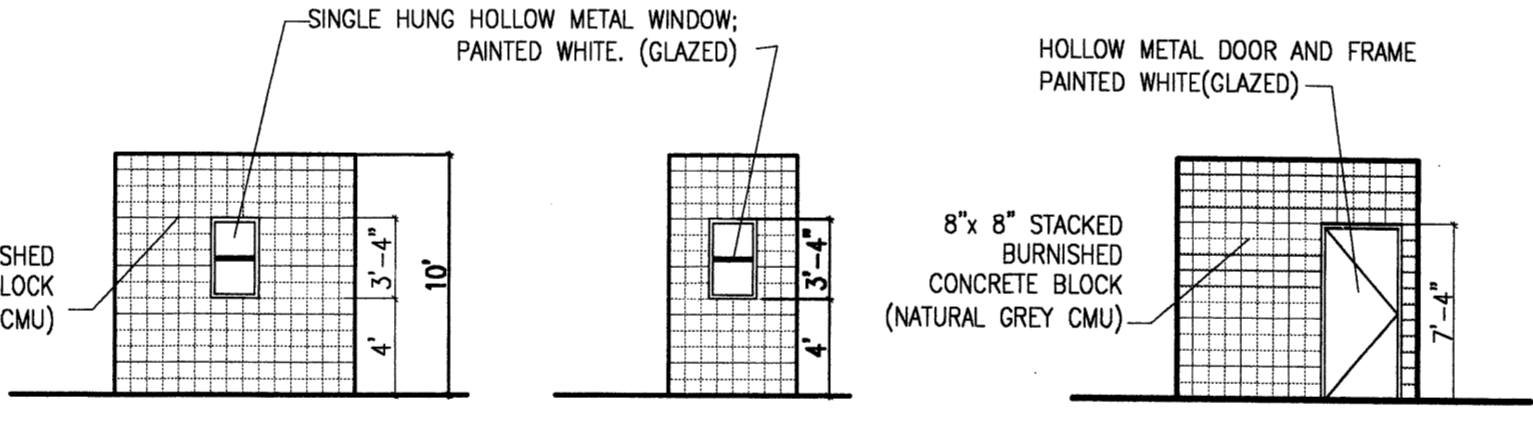
**1 SOUTH ELEVATION**  
Scale: 1/8"=1'-0"



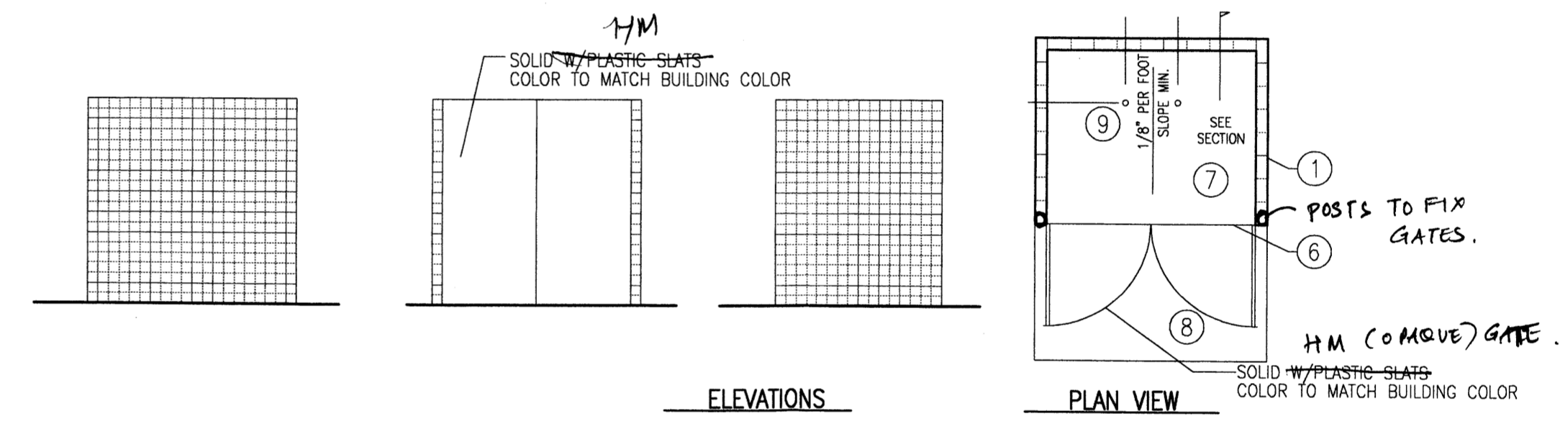
**2 NORTH ELEVATION**  
Scale: 1/8"=1'-0"



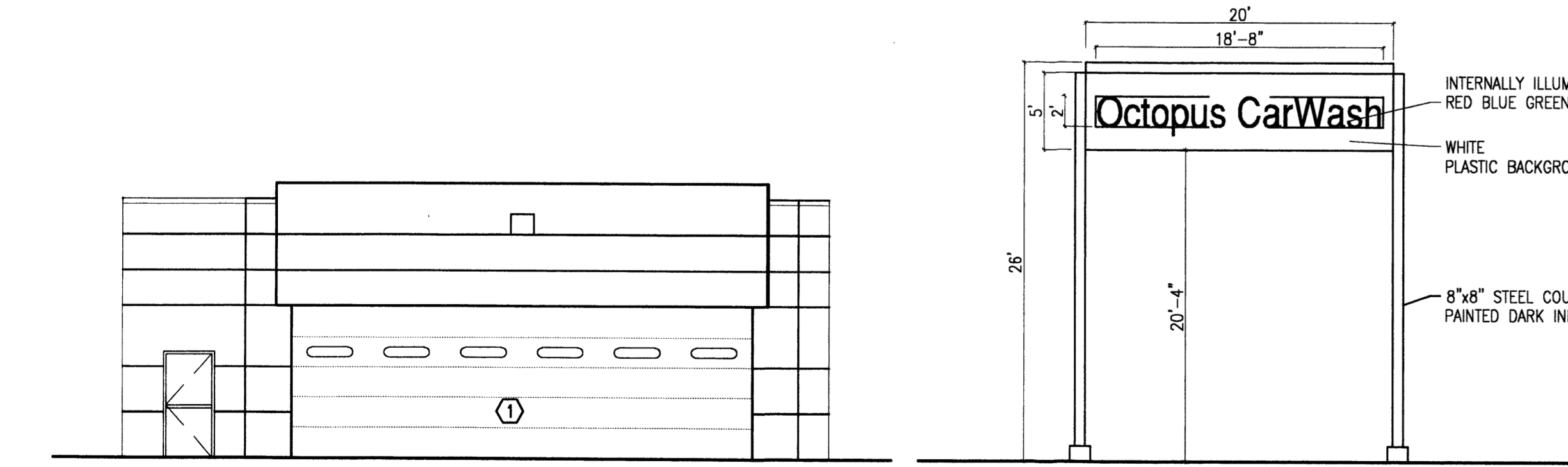
**3 WEST ELEVATION**  
Scale: 1/8"=1'-0"



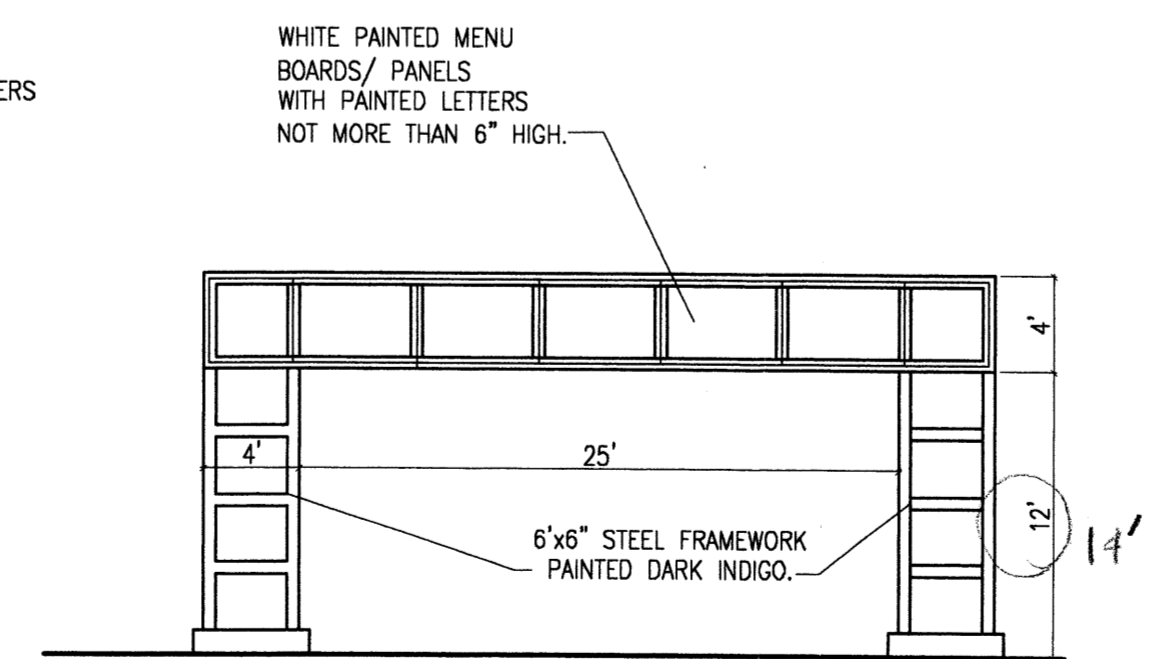
**5 BOOTH ELEVATIONS**  
Scale: 1/8"=1'-0"



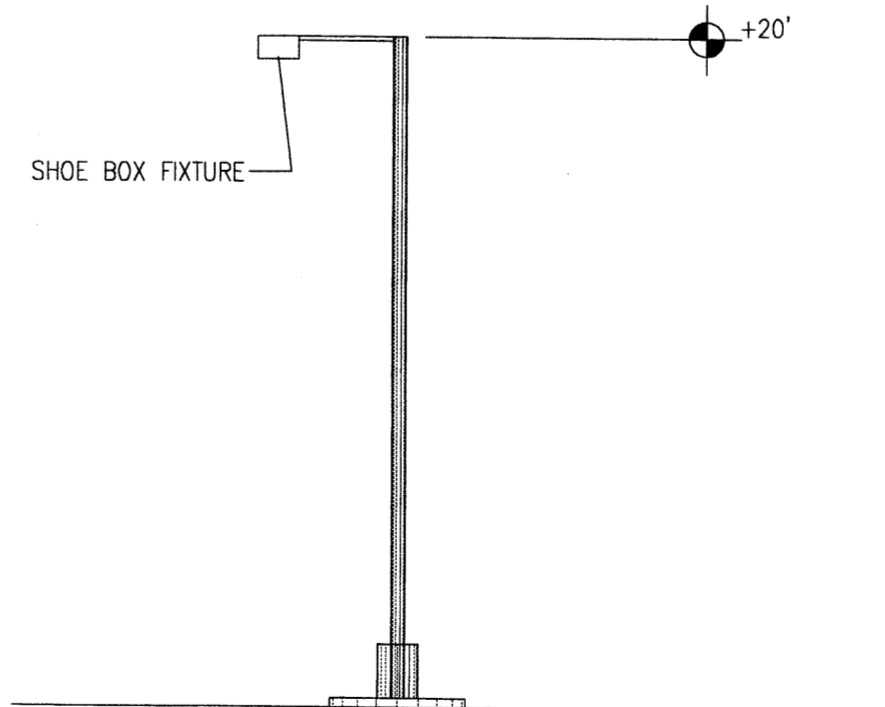
**8 BIKE RACK DETAIL**  
NTS



**4 EAST ELEVATION**  
Scale: 1/8"=1'-0"

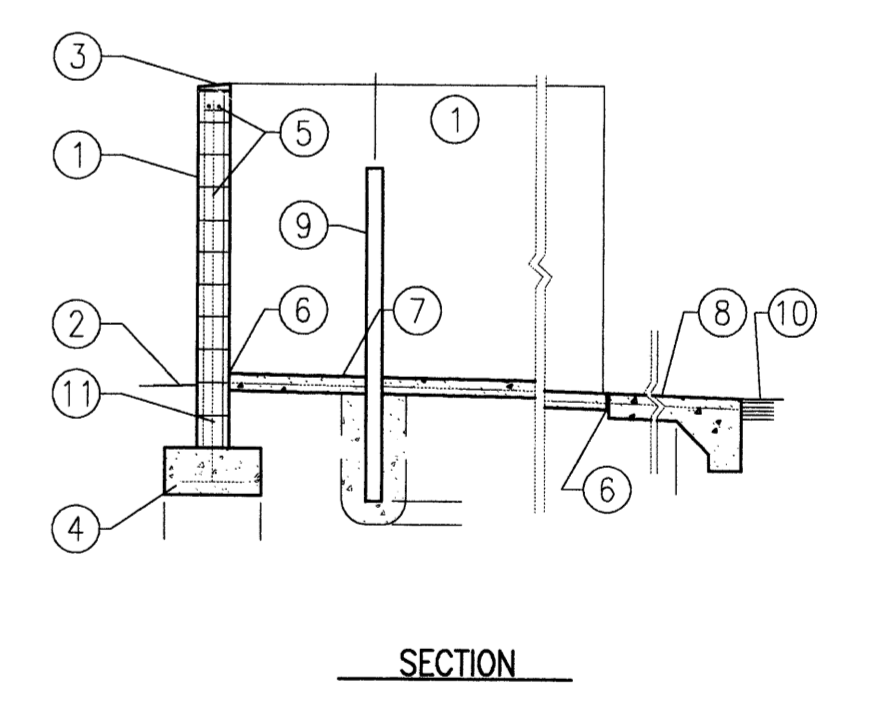


**7 MENU BOARD ELEVATION**  
Scale: 1/8"=1'-0"



**9 SITE LIGHTING DETAIL**  
NTS

**6 MONUMENT SIGN ELEVATION**  
Scale: 1/8"=1'-0"



**10 REFUSE ENCLOSURE**  
NTS

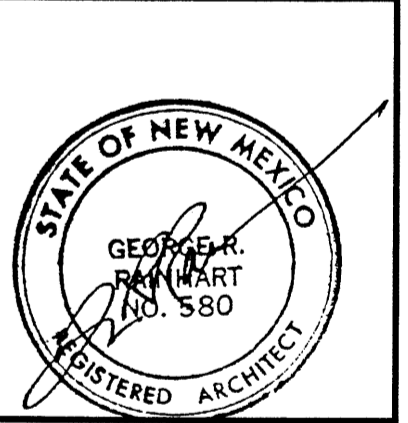
**KEYED NOTES**

- 8" CMU WALL USING BURNISHED NATURAL GRAY BLOCK.
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
- SLOPE STUCCO CAP.
- 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL
- 4" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
- 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
- ASPHALT PAVING
- GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

SIGHT LIGHTING PROVIDED ON THE BUILDING FACADES SHALL BE ANGLED TO BE NON-INTRUSIVE INTO ADJACENT AREAS.  
SITE LIGHTING LOCATIONS: PHOTOMETRIC SITE PLAN WILL BE PROVIDED WITH THE BUILDING PERMIT.

REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
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**PROJECT TITLE**  
Octopus Car Wash  
San Pedro and Paseo Del Norte  
Albuquerque, NM

**PROJECT MANAGER**  
George Rainhart, AIA

**JOB NO.**  
99040

**DRAWN BY**  
GS

**SHEET TITLE**  
Elevations

**DATE**  
06/05/01

**SCALE**  
1/8"=1'-0"

**SHEET**  
A3

**OF**