

DRB CASE ACTION LOG - BLUE SHEET

DRB

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project# 1001370

15DRB-70436 EPC APPROVED SDP FOR SUBDIVISION - JUAN TABO HILLS UNIT 2

AGENT: HUNT & DAVIS, PC

Your request was approved on 12-9-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA: address comments

City Engineer:

Parks and Recreation :

Planning: last to sign

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

11/18/15

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Cathy Davis
Applicant name (print)

Applicant signature / date



Form revised October 2007

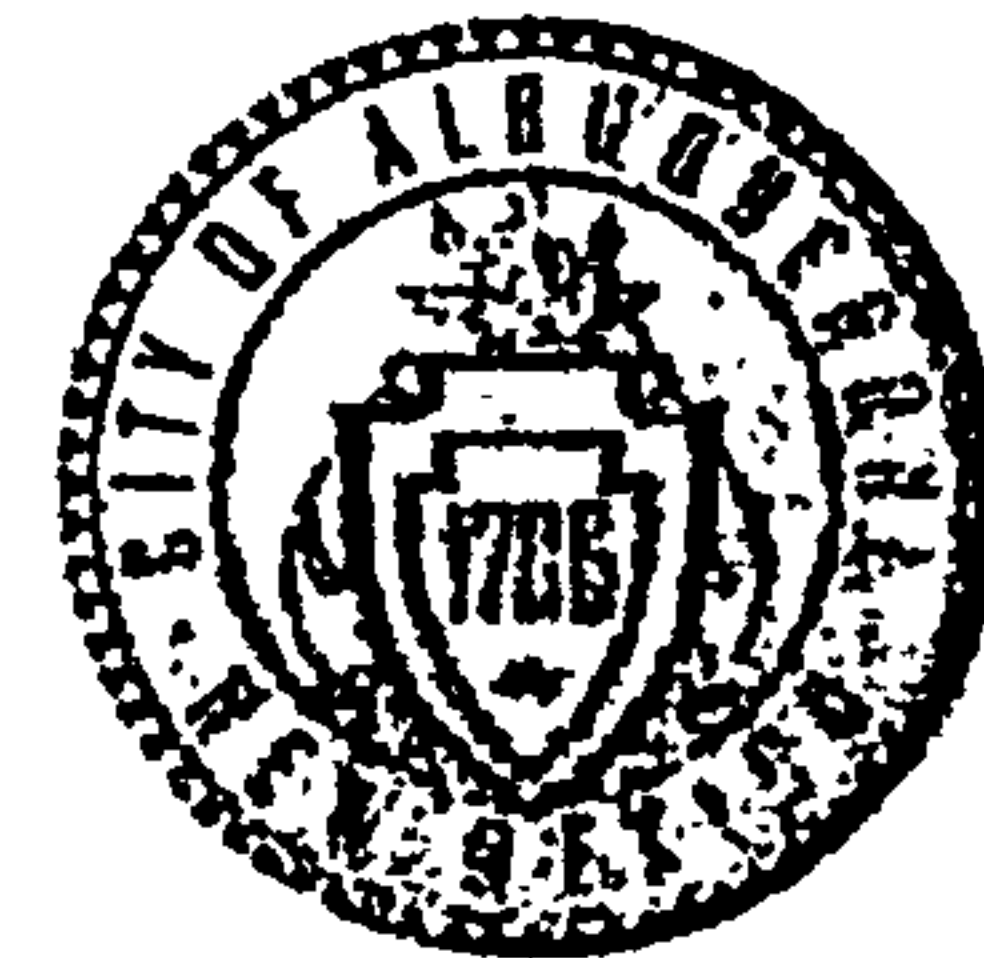
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
5DRB 70436

[Signature] 11-18-15
 Planner signature / date
 Project # 9001370

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

August 14, 2015

Hunt and Davis PC
2632 Mesilla NE
Albuquerque, NM 87110

Project# 1001370
15EPC-40025 Site Development Plan for Subdivision
(Extraordinary Facility in Major Public Open Space)

LEGAL DESCRIPTION:

The above action for all or a portion of Tract 1-A-1, Juan Tabo Hills, Unit 2, zoned SU-1 for Open Space, located on Juan Tabo Hills Boulevard SE, between Open Space/Tijeras Arroyo and Gallant Fox Road SE, containing approximately 13.4 acres. (M-21)
Staff Planner: Maggie Gould

On August 13, 2015, the Environmental Planning Commission (EPC) voted to APPROVE Project PO Box 1293 #1001370/15EPC-40025, Site Development Plan for Subdivision (Extraordinary Facility in Major Public Open Space), based on the following findings and conditions:

FINDINGS:

Albuquerque

New Mexico 87103

www.cabq.gov

1. This is a request for a Site Development Plan for Subdivision for tract A-1-A, Juan Tabo Hills Unit 2 located on Juan Tabo Boulevard between the Tijeras Arroyo and Gallant Fox road, zoned SU-1 for Major Public Open Space and containing approximately 13.4 acres.
2. The EPC has authority to review this Site Development Plan for Subdivision because of the SU-1(14-16-2-22) zoning and for approval of an Extraordinary Facility in Open Space (§14-13-3-2)
3. The subject site is part of a larger subdivision, Juan Tabo Hills, and was annexed into the city in 2004. The road will allow access from the Juan Tabo Hills Subdivision to the Juan Tabo Hills West Subdivision.
4. The proposed public road and associated infrastructure are allowed through the Major Public Open Space (MPOS) because of two prior agreements between the City and the landowner, a settlement agreement in 2007 and a pre-annexation agreement in 2011 allowing for extension of infrastructure through the MPOS if necessary for the future development of the adjacent residential uses.

OFFICIAL NOTICE OF DECISION

Project #1001370

August 13, 2015

Page 2 of 6

5. The subject site constitutes disturbed open space and the Open Space division agrees to the extension.
6. The Albuquerque/Bernalillo County Comprehensive Plan, East Gateway Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The subject site is within the Developing Urban Area of the Comprehensive Plan. Applicable policies include:

Policy II.B.5e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The road is adjacent to existing urban facilities and will connect to programmed facilities, including water, sewer, electricity and other roads. The request further policy II.B.5e.

Transportation and Transit

Policy II.D.4g: Pedestrian opportunities shall be promoted and integrated into development to create safe and pleasant non-motorized travel conditions.

The proposed road will be developed according to City standards and will be required to have sidewalks and landscaping that will provide pedestrian opportunities.

Policy II.D.6a New employment opportunities which will accommodate a wide range of occupational skills and salary levels shall be encouraged and new jobs located convenient to areas of most need.

The proposed road will serve the new development to the west of the existing development. The construction of these homes will provide short term employment for the construction sector. The request partially furthers Policy II.D.6a.

Policy II.D.6b Development of local business enterprises as well as the recruitment of outside firms shall be emphasized.

The applicant, Juan Tabo Hills, LLC is a locally based business. The road will facilitate the development of the new subdivision. The request further Policy II.D.6b.

8. The site is adjacent to the Tijeras Arroyo and is subject to the provisions of the Facility Plan for Arroyos:

General Policies:

Drainage Policy 1- Primacy of Drainage Function- Drainage and flood control are the most important functions of the City arroyos. Other uses within the or adjacent to them should not interfere with these functions.

The proposed road will not be developed within the flood way of the arroyo and will be subject to review by the Development Board and the Design Review Committee. These

11/11/15

reviews include the City Hydrologist and will ensure that the final design does not impede the drainage function of the Tijeras Arroyo.

Major Open Space Arroyos: Specific Policies

Policy 1 Preservation of the Existing Flood Plain:

Where appropriate, as determined through specific arroyo corridor plans, the entire 100 year flood plain of the arroyo shall be dedicated to or purchased by the City as Major Public Open Space. Right of Way beyond the 100 year flood plain should be acquired when development would be imprudent because of potential bank erosion or other environmental factors, or when necessary to ensure continuous trail development. Acquisition of these lands shall be programmed by the City. Portions of the arroyo right of way will also be eligible for park dedication credit. The actual amount of land area is to be determined by the City on a case by case basis.

The Resource Management Plan for Tijeras Arroyo Biological Zone is an arroyo corridor plan that governs the site; the pre-annexation agreement, section 9, states that the conveyance of the MPOS shall satisfy any future obligation that may be required pursuant to the adoption of the Resource Management Plan for Tijeras Arroyo Biological Zone. The proposed road will be developed in accordance with is plan.

9. The subject site is within the boundaries of the Resource Management Plan for Tijeras Arroyo Biological Zone, the pre-annexation agreement, section 9, states that the conveyance of the MPOS shall satisfy any future obligation that may be required pursuant to the adoption of the Resource Management Plan for Tijeras Arroyo Biological Zone.

10. The subject site is within the boundaries of the East Gateway Sector Development Plan:

Relevant goals/policies include the following:

Section 7 addresses Parks and Open Space and recommends acquisition of the private parcels along the Tijeras Arroyo and improved public access along the arroyo after the Open Space corridor is established.

The subject site is already part of the Open Space system and is not shown on the map as a possible access area. The initial agreements for the proposed road pre-date the adoption of the plan.

Section 2.3, Plan of Action

2.3.2 Enable the continued existence and development of thriving business to provide jobs and local services.

The proposed road will allow the development of a new subdivision that may provide additional patrons for the existing future businesses. The request partially furthers 2.3.2,

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Project #1001370

August 13, 2015

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11. The proposed road goes through a small area of previously disturbed MPOS. Restoration of the site may not be feasible. The proposed road will be outside of the floodway of the arroyo. The request is consistent with Resource Management Plan for Tijeras Arroyo Biological Zone.
12. The Open Space Advisory Board met on July 28th and determined that the proposed road and associated infrastructure are Extraordinary Facilities in the Major Public Open Space.
13. The final design of the road will be determined by the Development Review Board and the Design Review Committee, including grading, slope treatment, drainage and other infrastructure needed. The infrastructure is considered part of the Extraordinary Facility and is allowed along both sides of the road.
14. The proposed public road will allow the development of a new residential subdivision on the east side of the Rio Grande and may help to improve the jobs/ housing balance on the east side.
15. The Applicant notified the Juan Tabo Hills Neighborhood Association and the East Gateway Coalition. Staff notified property owners within 100 feet of the subject tract. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The final road design shall be approved by both the Development Review Board and the Design Review Committee
4. The applicant shall coordinate with PNM regarding the placement of utilities prior to final approval.

OFFICIAL NOTICE OF DECISION

Project #1001370

August 13, 2015

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5. The applicant shall coordinate with the Open Space Division regarding the landscaping plant palette.
6. The applicant shall coordinate with the Department of Municipal Development regarding trail placement.
7. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **AUGUST 28, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan; within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project

OFFICIAL NOTICE OF DECISION

Project #1001370

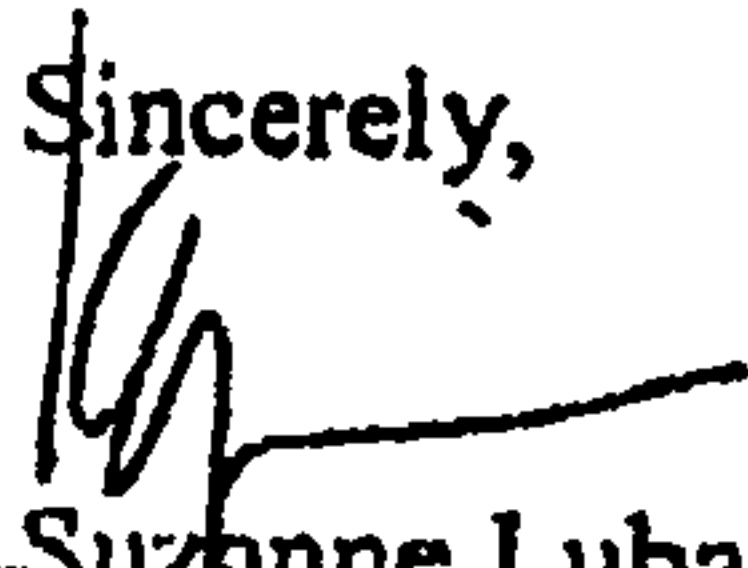
August 13, 2015

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proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

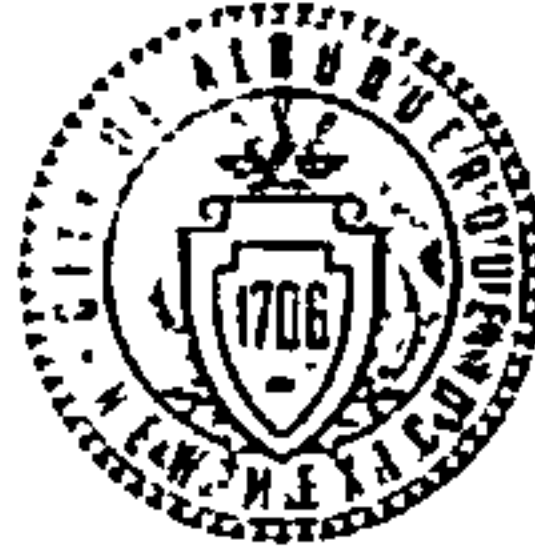


Suzanne Lubar
Planning Director

SL/MG

cc: Hunt and Davis PC,
Mark Goodwin and Associates
COA, Open Space,
Roger Mikelson

2632 Mesilla NE, ABQ, NM 87110
PO Box 90606 ABQ, NM 87199
P.O. Box 1293 ABQ, NM 87102
1432 Catron Ave. SE ABQ, NM 87123



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1001370 / 15EPC - 40025

TO: Application No. 15DRB-70436

ALL MEMBERS

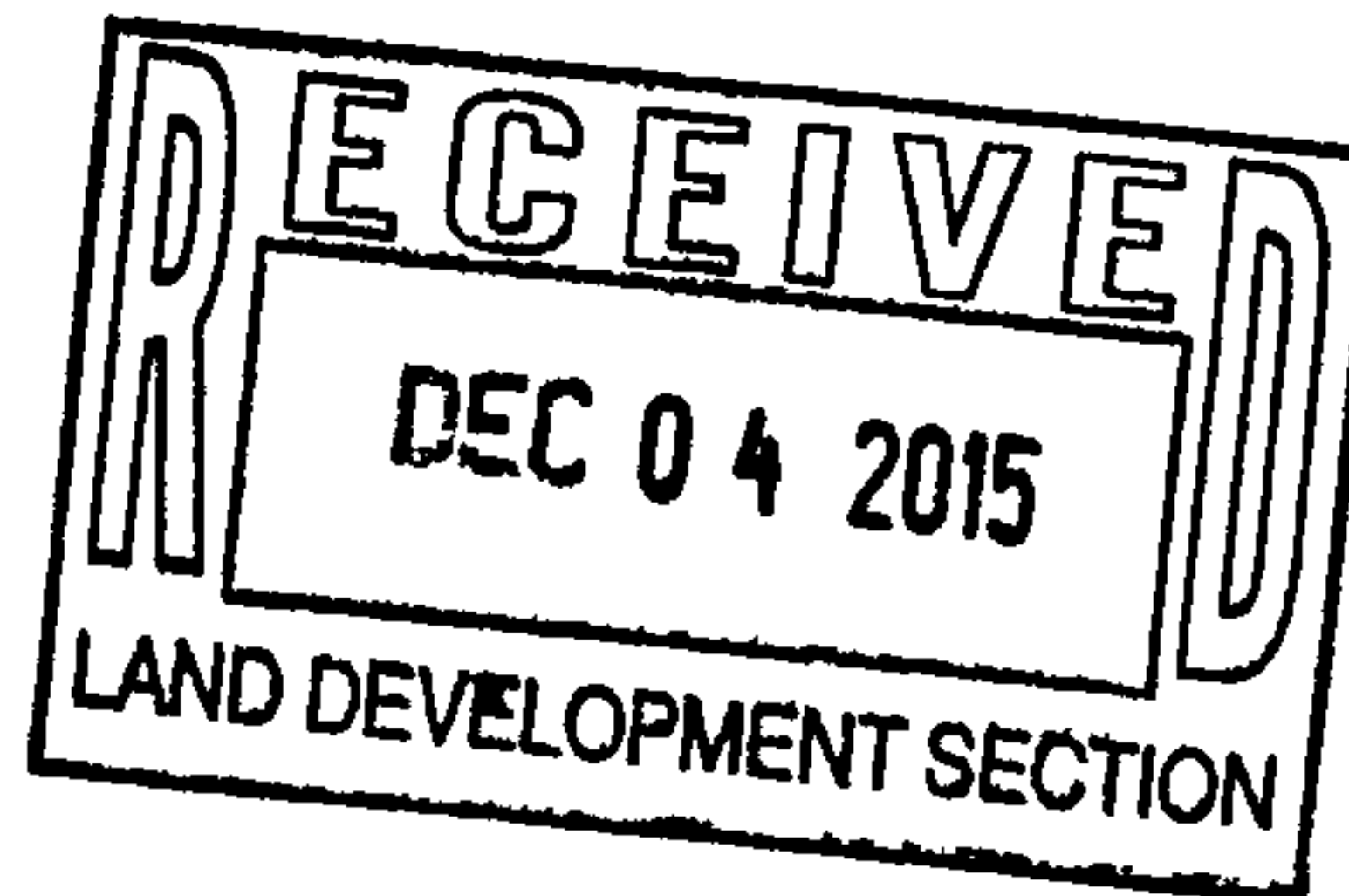
- Jack Cloud, DRB Chairman, Planning Department
- Rita Harmon, P.E., Hydrology
- Racquel Michel, P.E., Transportation Development
- Kris Cadena, P.E., Albuquerque/ Bernalillo Co.WUA
- Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: December 9, 15

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Cover letter with response to comments and Site Development

Plan for Subdivision



CONTACT NAME: Mark Goodwin / Doug Hughes

TELEPHONE: 828-2200 EMAIL: mark@goodwinengineers.com
doug@goodwinengineers.com



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

October 14, 2015

Mr. Jack Cloud, DRB Chair
City of Albuquerque
PO BOX 1293
Albuquerque, NM 87103

**Re: Site Development Plan for Subdivision for Tract 1-A-1 of Juan Tabo Hills, Unit 2
CPN # 1001370**

Dear Mr. Cloud,

The purpose of this letter is to respond to the comments received at the DRB meeting on December 2, 2015. Please see responses in red below.

**TRANSPORTATION DEVELOPMENT
ENGINEERING COMMENTS:**

1. Please provide an overall site plan showing the proposed road as well as the roadway section. The typical sections were/will be provided with the Preliminary Plat (see e-mail sent 11/12/2015)
2. For final plat, any access easements need to be shown with all beneficiaries and maintenance responsibilities listed. Easements have been shown and note 5 added on site plan, and will be shown on both the preliminary and final plats.
3. All improvements located in the Right of Way must be included on a work order. Note 2 on the site plan addressed further approvals.

**HYDROLOGY SECTION
ENGINEERING COMMENTS:**

1. The apparent limits of the "Public Drainage & Infrastructure" easement do not coincide with the drainage infrastructure on the site. Easement line locations have been revised.
2. "Public Drainage & Infrastructure" needs to be separated into a Slope Easement for the retaining wall system and a Drainage Easement for the drainage structures within Tract 1-A-1 (pond, outlet & inlet pipes within tract). A private Slope easement has been added for maintenance of the retaining wall. Easement 'F' is an existing Blanket Drainage Easement over the entire site that already included the pond, outlet & inlet pipes. However an additional easement has been added per your request
3. The plan needs to show the AMAFCA easement which clips the tract. A new AMAFCA Drainage easement has been added for the Bank Protection and thalweg of the Tijeras Arroyo.
4. The footprint of the drainage features needs to be approximately shown on the site plan. The footprint of the drainage features has been added back on the site plan even though the EPC requested that they be removed.
5. New easements need to include language regarding the beneficiaries and maintenance responsibilities. Beneficiaries and maintenance responsibilities have been added to the new easement notes..
6. It is Hydrology's understanding that the pond must be maintained by the private development (HOA or other agent). Neither the developer nor the HOA of that previously constructed

development is a party to the Juan Tabo Hills Estates development. On the other hand, if you are aware of a maintenance agreement or covenant that assigns that responsibility to either that previous developer or that HOA then please provide a copy so it can be referenced in the existing easement notes on the site plan and plats.


ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Does the proposed 20' waterline easement include the stub which terminates at the western property line? Is the intent only to connect the two existing 8" waterlines along both Blue Ribbon Rd. and arroyo, or is it for future extension into Juan Tabo Hills Estates to the west as well? The conceptual utility plan (emailed 9/29/15) did not include these connections. Please see new e-mail 11/02/2015. It shows looping of the two existing dead end water lines in Blue Ribbon and in the "arroyo" and a connection to Juan Tabo Hills Estates.
2. Include the existing public water and sanitary sewer easements along the arroyo, just south of Gallant Fox Rd. Labels have been added to the existing easements.
3. Easement D (existing 20' sanitary sewer easement) has an existing 8" sanitary sewer line located within it. How will the easement vacation be addressed as the sanitary sewer line is to be removed and disposed? The Vacation request is pending approval by the DRB in conjunction with the Preliminary Plat. The portion of the easement being vacated on that Plat has been hatched on the site plan, the hatch has been added to the site plan legend, and note 5 has been added to the site plan stating that the final location of those easements will be determined on the preliminary and final plats.
4. What is the purpose of the new 30' sanitary sewer easement on the north side of Rocky Top Dr.? It is for relocation of the SAS trunk line. The easement location has been adjusted on the site plan and now includes SAS to be maintained by ABCWUA and Access to be maintained by AMAFCA.
5. As the existing 8" sanitary sewer mentioned in #3 above is to be removed and disposed, what is. The question got cut off. Please note that the new easements for the relocated 8" SAS are west of Tract 1-A-1 and show up on the plat of the adjacent parcel but not on this site plan. Please see Conceptual Utility Plan e-mailed on 11/02/2015 and Preliminary Plat e-mailed on 11/12/2015.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA


Mark Goodwin, PE
President

Xc: Maggie Gould, City Planner

City of Albuquerque

PO Box 1293

Albuquerque, NM 87103



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1010378

TO: Application No. DRB 15-70261

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

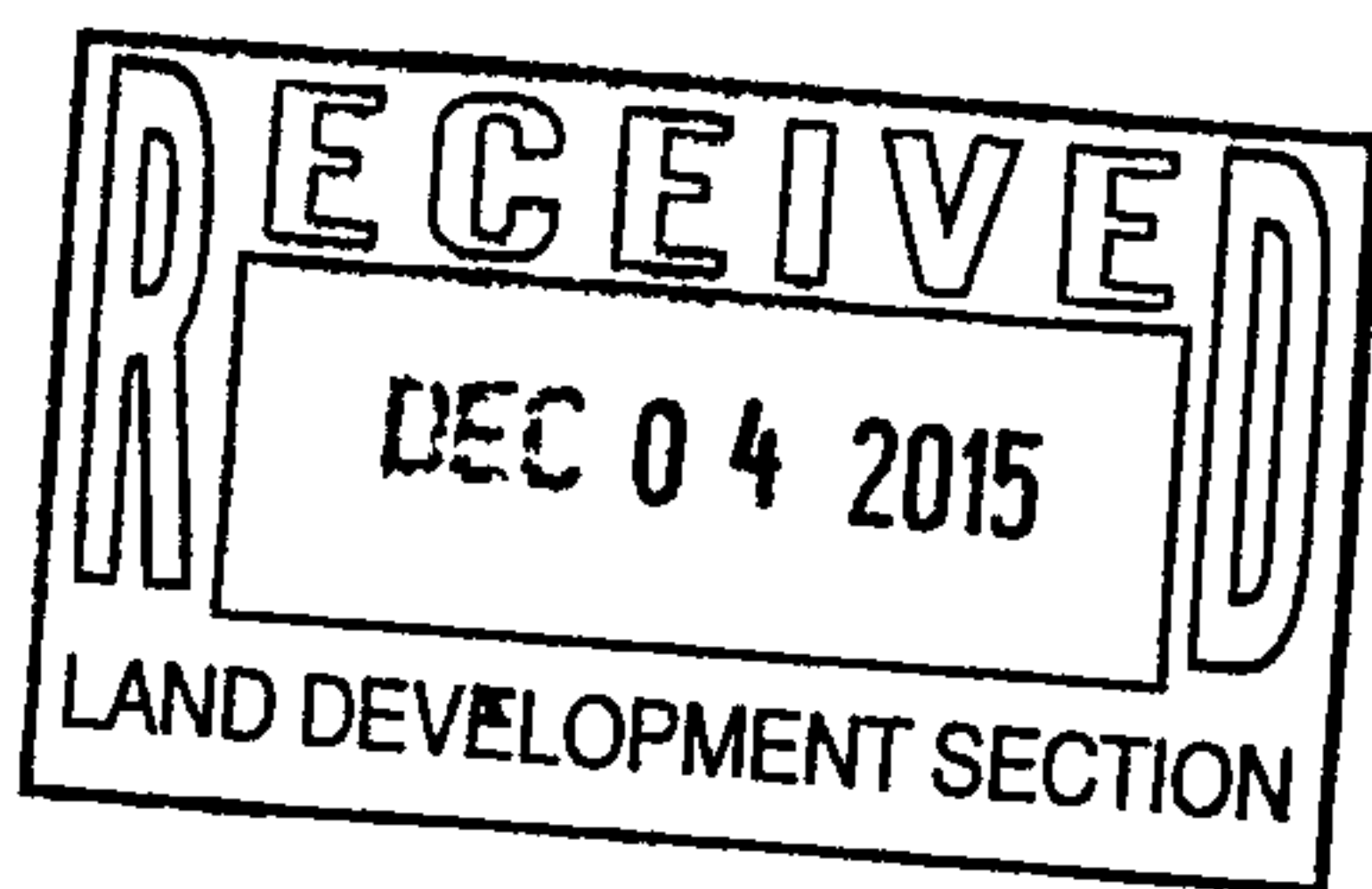
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 12/9/15

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: INFRASTRUCTURE LIST, ZONING LETTER



CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

DRB Application No.: 1010378

**LOT 10A-1,10B-1,10B-2 BLOCK A CANDELARIA PLAZA ADDITION
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 10A AND 10B, BLOCK A CANDELARIA PLAZA ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PHASE 1									
<input type="text"/>	<input type="text"/>	4'	SIDEWALK	PUBLIC SIDEWALK EASEMENT	NORTH PROPERTY LINE	SOUTH PROPERTY LINE	/	/	/
<input type="text"/>	<input type="text"/>	N/A	PUBLIC FIRE HYDRANT	SAN ISIDRO	PUBLIC WATER MAIN	HYDRANT	/	/	/
<input type="text"/>	<input type="text"/>	22'	GRAVEL ROADWAY	PRIVATE ACCESS EASEMENT	SAN ISIDRO	LOT 10B2	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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NAME (print)	DRB CHAIR - date	PARKS & RECREATION DEPARTMENT - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	_____ - date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

October 14, 2015

Mr. Jack Cloud, DRB Chair
City of Albuquerque
PO BOX 1293
Albuquerque, NM 87103

**Re: Site Development Plan for Subdivision for Tract 1-A-1 of Juan Tabo Hills, Unit 2
CPN # 1001370**

Dear Mr. Cloud,

The purpose of this letter is to describe the modifications that have been made to the Site Plan since the EPC Hearing, including how the Site Plan has been modified to meet each of the EPC Conditions.

Condition 1 requires this letter. Condition 2 requires a meeting with the Staff Planner prior to DRB Application which was conducted on October 23rd.

Condition 3 has been added to note #2 on the Site Plan.

Condition 4 requiring coordination with PNM resulted in the addition of a new 10' PUE in Tract 1-A-1-A so that the existing underground electric line can be relocated prior to constructing the Rocky Top Roadway fill over the top of the existing line.


Condition 5 requiring the landscape palette consisting of Street Trees has been added as Note 4 on the Site Plan.

Condition 6, coordination with DMD regarding trail placement includes DMD concurrence with the Sidewalk Exhibits being submitted for DRB Approval with the Preliminary Plat.

Condition 7 was added as note 3 on the Site Plan.

Additional changes include the addition of a waterline easement in the southwest corner of Tract 1-A-1-B and on a 3' reduction in the width of Rocky Top Dr. Right of Way width.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA


Mark Goodwin, PE
President

Xc: Maggie Gould, City Planner
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

PROJECT #

1001370

DECEMBER 2, 2015

SFS