

Dear Ms. Stephens:

The purpose of this letter is to respond and demonstrate compliance with the conditions for the approval of the following cases: 01128 01076, a Site Development Plan for Subdivision; and 01128 01077, a Site Development Plan for Building Permit. These approvals were granted at the EPC hearing on January 17, 2002.

Action/Responses to the conditions are in italics following the conditions:

Conditions/Responses for 01128-01076 (Site Plan for Subdivision):

The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the to the internal pedestrian paths with clearly defined entries that are architecturally integrated to the building and structures on the subject site.

Agreed, the Site Plan for Subdivision clearly shows the trail connections to the recreation facility. An architecturally integrated entry element has been added to the Site Plan for Building Permit (01128-01077) to define the change from public domain to the recreation site. (See Site Plan, Sheet A1)

**SEE SITE PLAN FOR BUILDING PERMIT FOR SITE PLAN SPECIFIC CONDITIONS FOR 01128 01077**

**LEGAL DESCRIPTION**

TRACTS 18A-1 AND 18A-2 OF VENTANA RANCH  
CURRENT ZONING

SU-1 FOR COMMUNITY CENTER WITH RECREATIONAL FACILITIES AND PERMISSIVE C1 USES WITH EXCEPTIONS

**TOTAL ACREAGE**

TRACT 18A-2 = 2.8430 ACRES

**BICYCLE REQUIREMENTS**

1 BIKE PER 20 CARS REQUIRED  
59 CARS / 20 = 3 BIKE SPACES REQUIRED  
5 BIKE SPACES PROVIDED

**PARKING NOTES:**

OFFICE/ BATH HOUSE/MEETING ROOM  
1630 SF/15= 109 OCCUPANTS

POOL  
3300SF MAX / 50 = 66 OCCUPANTS

COURTS  
VOLLEYBALL /BASKETBALL 40 OCCUPANTS

215 OCCUPANTS/ 4 = 54 REQUIRED SPACES

TYPICAL STANDARD SPACES ARE -----8'-6" x 18'-0"

TYPICAL SMALL CAR SPACES ARE -----7'-6" x 15'-0"

TYPICAL HANDICAP SPACES ARE -----8'-0" x 18'-0"

WITH A 8' WIDE ACCESS AISLE

\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

TOTAL STANDARD PARKING SPACES PROVIDED 55 SPACES

TOTAL HC PARKING SPACES PROVIDED 4 SPACES

(INCLUDES 1 VAN SPACES)

TOTAL PROVIDED 59 SPACES

TOTAL REQUIRED SPACES = 54 SPACES

TOTAL PROVIDED SPACES = 59 SPACES

**CURB RADIUS DESIGNATION**

(3) = 3' RADIUS (6) = 8' RADIUS

(5) = 15' RADIUS (7) = 25' RADIUS



**VICINITY MAP**

**PROJECT # 1001372**

EPC CASE # 01128-01076 DRB CASE # 02528-00240  
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on January 17, 2002 and that the findings and conditions in the Official Notice of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

*Robert D. ...* Traffic Engineer, Transportation Division 2/23/02 Date  
*Thomas E. ...* Planning and Recreation Department 2-27-02 Date  
*Roger A. ...* Public Works, Water Utilities Division 2-27-02 Date  
*Bruce D. ...* City Engineer, Engineering Division / AMAFCA 5-15-02 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.  
*James ...* Planner, All other use 5/23/02 Date  
*Thomas ...* Solid Waste Department, Albuquerque Metropolitan Council of Governments 2-15-2002 Date

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

Tract 18 Site Plan for Subdivision

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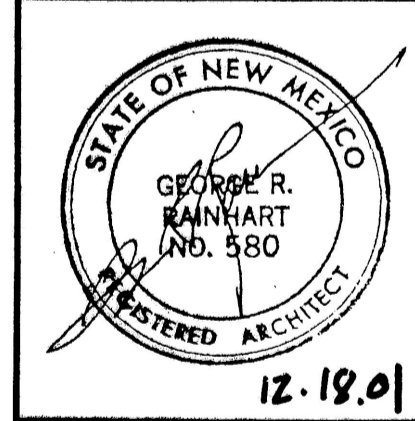
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DATE: 06.25.01  
SCALE: 1"=40'  
sheet: A1.0  
of:

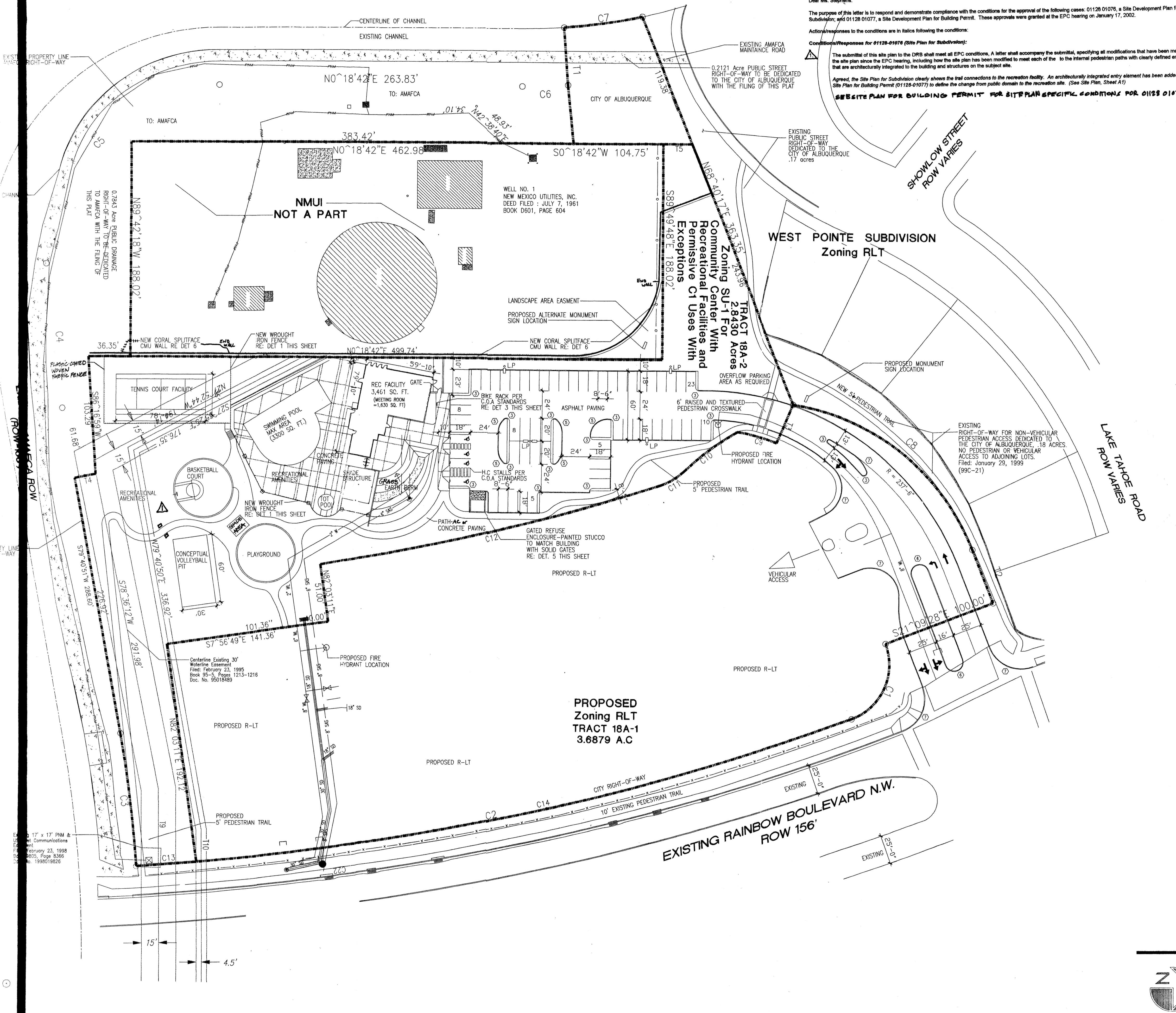
REV	DATE	BY	REVISION
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2			
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**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE RAINBOW BOULEVARD NW ALBUQUERQUE, NM	JOB NO. 0105	DRAWN BY SD
PROJECT MANAGER GEORGE RAINHART AA	SHEET TITLE TRACT 18 VENTANA RANCH SITE PLAN FOR SUBDIVISION	

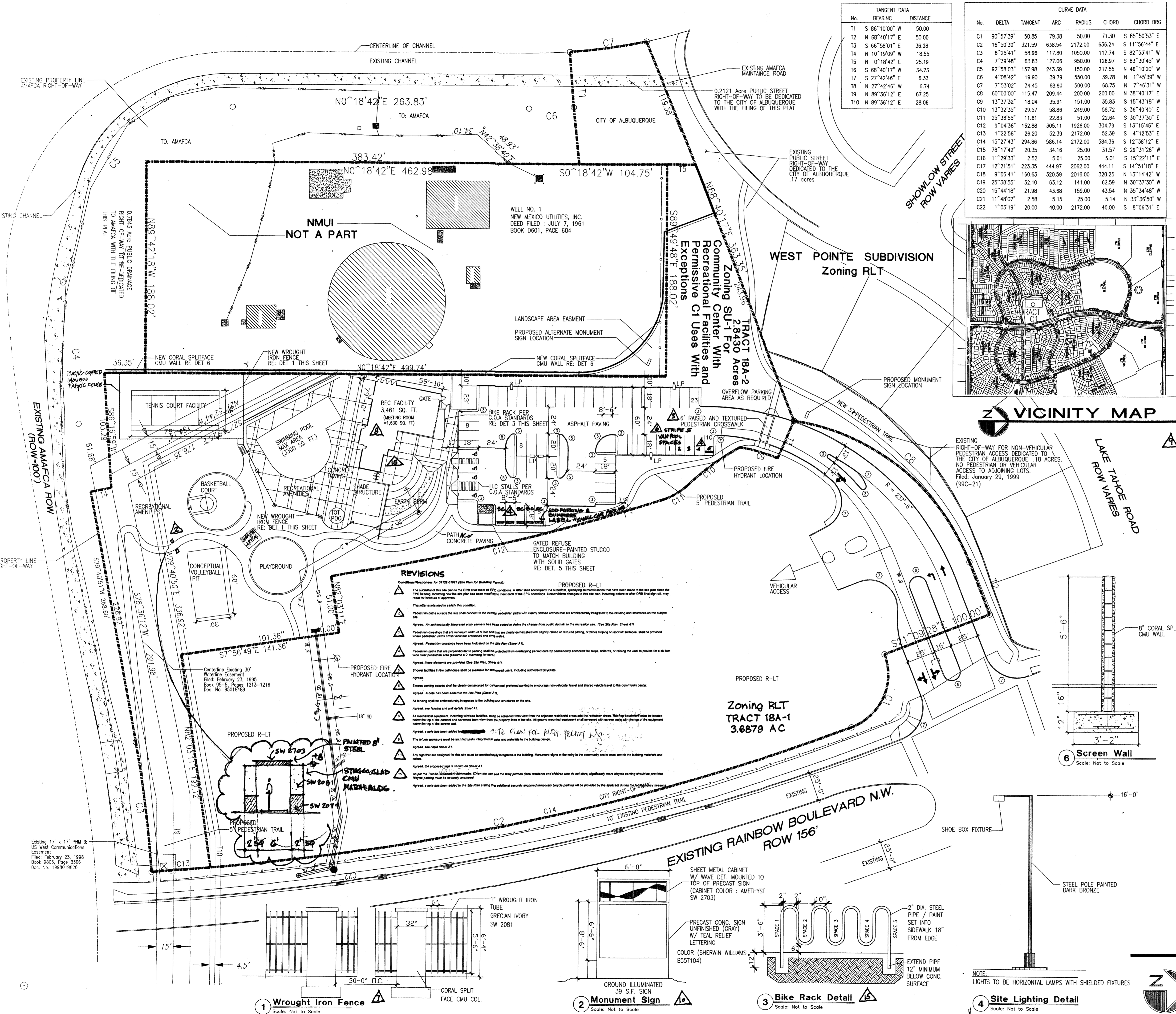
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SCALE: 1"=40'	of:



**PROPOSED Zoning RL TTRACT 18A-1 3.6879 A.C**

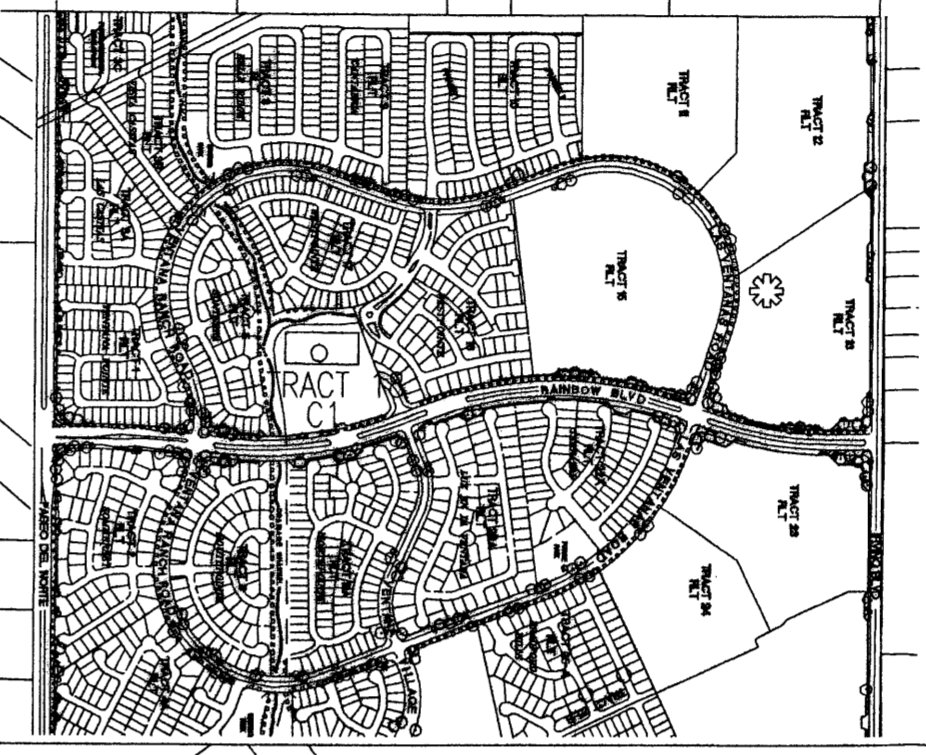
17' x 17' PIM & Communications  
February 23, 1998  
8605, Page 8366  
1998019026

DRAS 1001372



No.	BEARING	DISTANCE
11	S 86°10'00" W	50.00
12	N 68°40'17" E	50.00
13	S 66°58'01" E	36.28
14	N 10°18'09" W	18.55
15	N 0°18'42" E	25.19
16	S 68°40'17" W	34.73
17	S 27°42'46" E	6.33
18	S 27°42'46" E	6.74
19	N 89°36'12" E	67.25
20	N 89°36'12" E	28.06

No.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°57'39"	50.85	79.38	50.00	71.30	S 65°50'53" E
C2	16°50'39"	321.59	638.54	2172.00	636.24	S 11°56'44" E
C3	6°25'41"	58.96	117.80	1050.00	117.74	S 82°53'41" W
C4	7°39'48"	63.63	127.06	950.00	126.97	S 83°30'45" W
C5	92°58'03"	157.98	243.39	150.00	217.55	N 46°10'20" W
C6	4°08'42"	19.90	39.79	550.00	39.78	N 1°46'39" W
C7	7°53'02"	34.45	68.80	500.00	68.75	N 7°46'31" W
C8	60°00'00"	115.47	209.44	200.00	200.00	N 38°40'17" E
C9	13°37'32"	18.04	35.91	151.00	35.83	S 15°43'18" E
C10	13°32'35"	29.57	58.86	249.00	58.72	S 36°40'40" E
C11	25°38'55"	11.61	22.83	51.00	22.64	S 30°37'30" E
C12	9°04'36"	152.88	305.11	1926.00	304.79	S 13°15'45" E
C13	1°22'58"	26.20	52.39	2172.00	52.39	S 4°12'53" E
C14	15°27'43"	294.86	589.14	2172.00	584.36	S 12°38'12" E
C15	78°17'42"	20.35	34.16	25.00	31.57	S 29°31'28" W
C16	11°29'33"	2.52	5.01	25.00	5.01	S 15°22'11" E
C17	12°21'51"	223.35	444.97	2062.00	444.11	S 14°51'19" E
C18	9°06'41"	160.63	320.59	2016.00	320.25	N 13°14'42" W
C19	25°38'55"	32.10	63.12	141.00	62.59	N 30°37'30" W
C20	15°44'18"	21.98	43.68	159.00	43.54	N 35°34'48" W
C21	11°48'07"	2.58	5.15	25.00	5.14	N 33°36'50" W
C22	1°03'19"	20.00	40.00	2172.00	40.00	S 8°06'31" E



**LEGAL DESCRIPTION**  
TRACTS 18A-1 AND 18A-2 OF VENTANA RANCH  
**CURRENT ZONING**  
SU-1 FOR COMMUNITY CENTER WITH RECREATIONAL FACILITIES AND PERMISSIVE C1 USES WITH EXCEPTIONS

**TOTAL ACREAGE**  
TRACT 18A-2 = 2.8430 ACRES

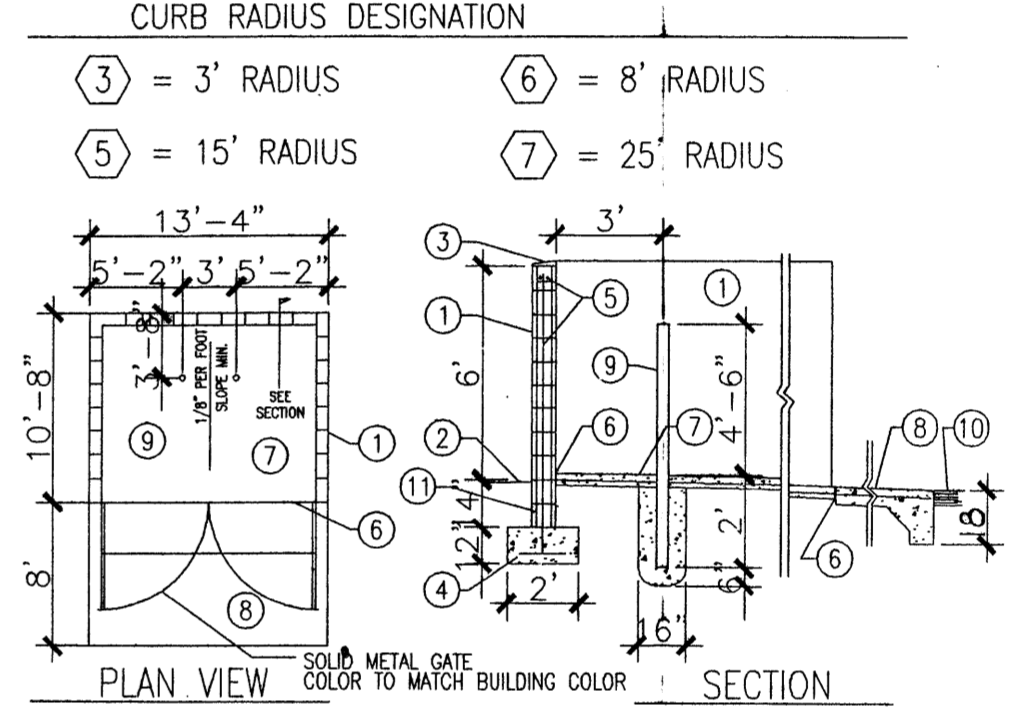
**BICYCLE REQUIREMENTS**  
1 BIKE PER 20 CARS REQUIRED  
59 CARS / 20 = 3 BIKE SPACES REQUIRED  
5 BIKE SPACES PROVIDED

**PARKING NOTES:**  
OFFICE / BATH HOUSE / MEETING ROOM  
1,630 SF / 15 = 109 OCCUPANTS  
POOL  
3,300 SF MAX / 50 = 66 OCCUPANTS  
COURTS  
VOLLEYBALL / BASKETBALL 40 OCCUPANTS  
215 OCCUPANTS / 4 = 54 REQUIRED SPACES

TYPICAL STANDARD SPACES ARE -----8'-6" x 18'-0"  
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WITH A 8' WIDE ACCESS AISLE  
\* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

**TOTAL STANDARD PARKING SPACES PROVIDED** 55 SPACES  
**TOTAL HC PARKING SPACES PROVIDED** 4 SPACES  
**TOTAL PROVIDED** 59 SPACES

**TOTAL REQUIRED SPACES = 54 SPACES**  
**TOTAL PROVIDED SPACES = 59 SPACES**



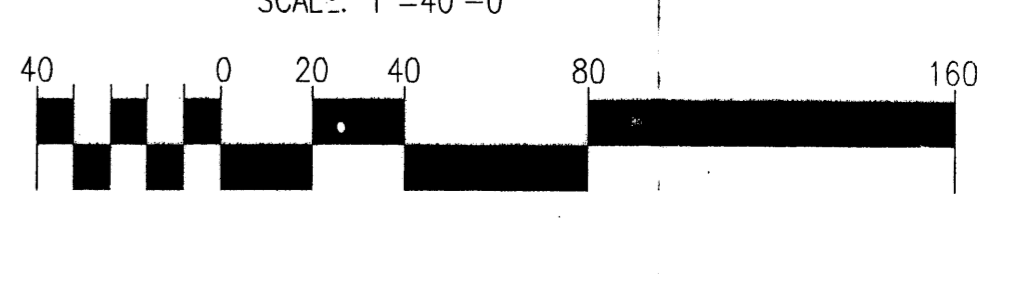
- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4 #4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REIN- FORCE CELLS. BURIAL WALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL.
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/W.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/W / TURNDOWN EDGE.
  - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAVING.
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

**PROJECT # 1001372**  
EPC CASE # 01128-01076 DRB CASE # 020RB-00240

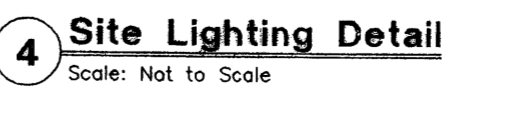
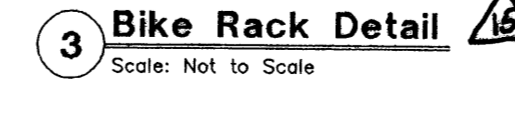
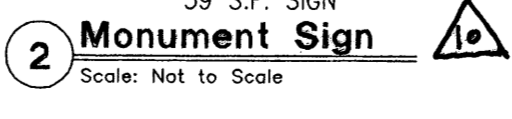
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on January 17, 2002 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN**  
Traffic Engineer, Transportation Division: *2-27-02*  
Parks and Recreation Department: *2-27-02*  
Public Works, Water Utilities Division: *2-27-02*  
City Engineer, Engineering Division / AMAFCA: *5-15-02*

**APPROVAL AND CONDITIONAL ACCEPTANCE:** as specified by the Development Process Manual.  
*5/15/02*  
*5-15-2002*

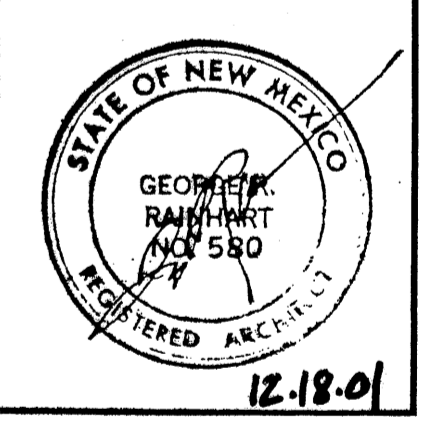


- REVISIONS**
- Conditioned Response for 01128-01076 (Site Plan for Building Permit): The submitted site plan to the DRB must meet all EPC conditions. A letter shall accompany the submittal, reporting any modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorised changes to the site plan, including those after DRB staff sign-off, may result in forfeiture of approval.
  - Recreation paths outside the site shall connect to the existing recreation paths with clearly defined entries that are architecturally integrated to the building and structures on the subject site.
  - Approved: An accessibility ramped entry element has been added to enable the change from public domain to the recreation area. (See Site Plan Sheet A1)
  - Proposition: Coverings that are minimum width of 5 feet and that are clearly demarcated with highly raised or textured paving, or other slip-resistant paving materials, shall be provided where pedestrian paths cross vehicular, airports and other areas.
  - Approved: Pedestrian crossings have been indicated on the site plan (Sheet A1).
  - Proposition: Paving shall be perpendicular to parking stalls be provided from overlapping parking cars by permanently anchored the stucco, masonry, or masonry wall to provide for a six-foot clear pedestrian area (assume a 7' parking stall).
  - Approved: These elements are provided (See Site Plan Sheet A1).
  - Shower facilities in the bathroom shall be available for disabled persons, including authorized bicycles.
  - Approved: Shower facilities shall be clearly demarcated for convenient pedestrian access to encourage non-vehicular travel and shared vehicle travel to the community center.
  - Approved: A note has been added to the Site Plan (Sheet A1).
  - All paving shall be architecturally integrated to the building and structures on the site.
  - Approved: see paving and roof details Sheet A1.
  - All recreation equipment, including wireless facilities, shall be screened from view from the adjacent residential areas and the recreation area. (Warning: Recreational equipment shall be located below the top of the ground and screened from view from the property line of the site. All ground-mounted equipment shall be screened with screen walls up the top of the equipment below the top of the screen wall.)
  - The refuse enclosure must be architecturally integrated in color and materials to the building design.
  - Approved: see detail Sheet A1.
  - Approved: signs designed for this site must be architecturally integrated to the building. Monument signs at the entry to the community center must match the building materials and colors.
  - Approved: the proposed sign is shown on Sheet A1.
  - As per the Transit Department Guidelines: Over the site and the Study partners shall maintain and children who do not ride significantly more bicycle parking should be provided. Bicycle parking must be securely anchored.
  - Approved: a note has been added to the Site Plan stating that additional securely anchored temporary bicycle parking will be provided by the applicant during the building process.



REV	DATE	BY	REVISION

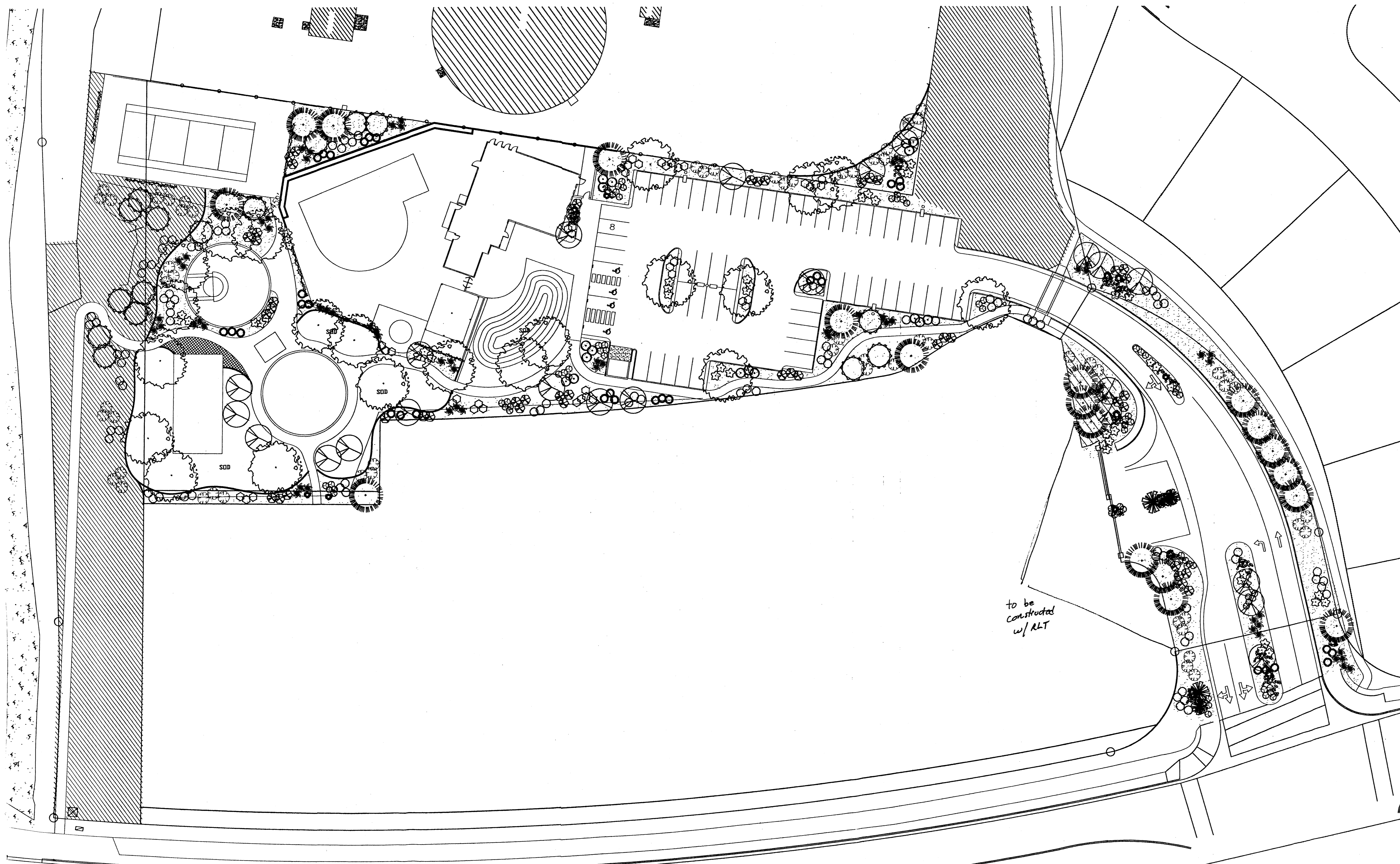
**GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.**  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



**PROJECT TITLE**  
T-18 RECREATIONAL FACILITY  
RAINBOW BOULEVARD NW  
ALBUQUERQUE, NM

**DRAWN BY:** SD  
**JOB NO.:** 0105  
**PROJECT MANAGER:** GEORGE RAINHART, AIA  
**SHEET TITLE:** TRACT 18 VENTANA RANCH  
SITE PLAN FOR BUILDING PERMIT


**DATE:** 06.25.01  
**SCALE:** 1"=40'  
**sheet:** A1.0  
of

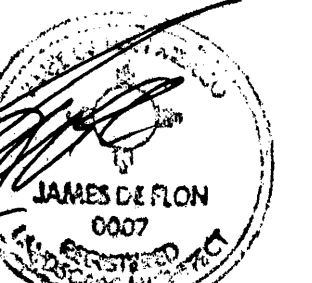


**PLANT LEGEND**

- SHADE TREE  
Redwood Ash, Honeylocust  
2' Gal.
- ORNAMENTAL TREES  
New Mexico Olive, Vitex, Wash. Hawthorn  
Flowering Crabapple  
1 1/2" Gal.
- AUSTRIAN PINE (H)  
Pinus nigra  
6'-8'
- PALM YUCCA (L)
- DESERT WILLOW (L)  
Chilopsis linearis  
15 Gal.
- POTENTILLA (M)  
Potentilla fruticosa  
5 Gal.
- ROSEMARY (M)  
Rosmarinus officinalis  
5 Gal.
- SILVERBERRY (M)  
Elaeagnus pungens  
5 Gal.
- MAIDENGRASS (M)  
Miscanthus sinensis  
5 Gal.
- THREE-LEAF SUMAC (L)  
Rhus trilobata  
5 Gal.
- APACHE PLUME (L)  
Fallugia paradoxa  
5 Gal.
- AUTUMN SAGE (M)  
Salvia greggii  
2 Gal.
- CHAMISA (L)  
Chrysothamnus nauseosus  
1 Gal.
- WILDFLOWER  
1 Gal.
- VINE
- OVERSIZED GRAVEL  
& BOULDERS
- 3/4" SANTA ANA TAN GRAVEL  
WITH FILTER FABRIC
- SOD
- NON-IRRIGATED CRIMP STRAW NATIVE SEED
- COMPACTED CRUSHER FINES
- COMMERCIAL GRADE  
STEEL EDGING

REV	DATE	BY	REVISION
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 GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-4877

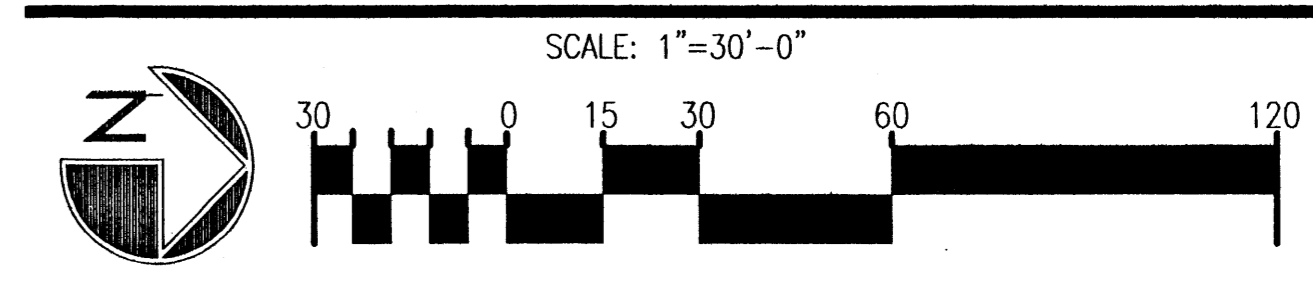
  
 JAMES DEFLON  
 0007  
 12-17-01

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 it@hilltoplandscaping.com

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**Tract 18 Landscape Plan for Building Permit**



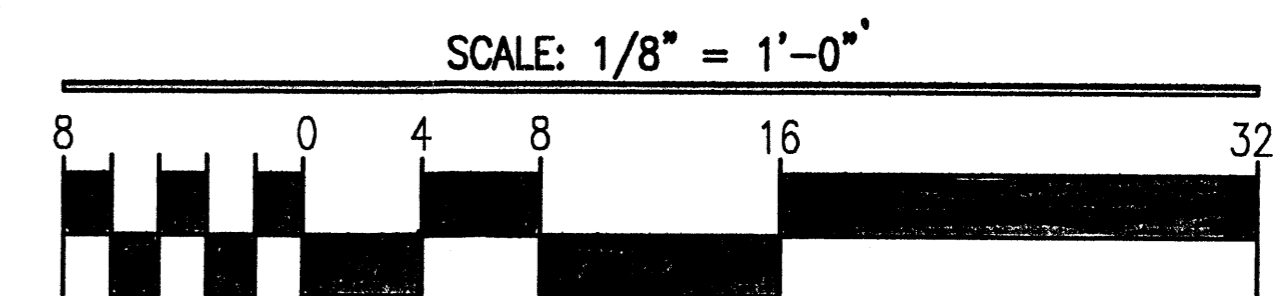
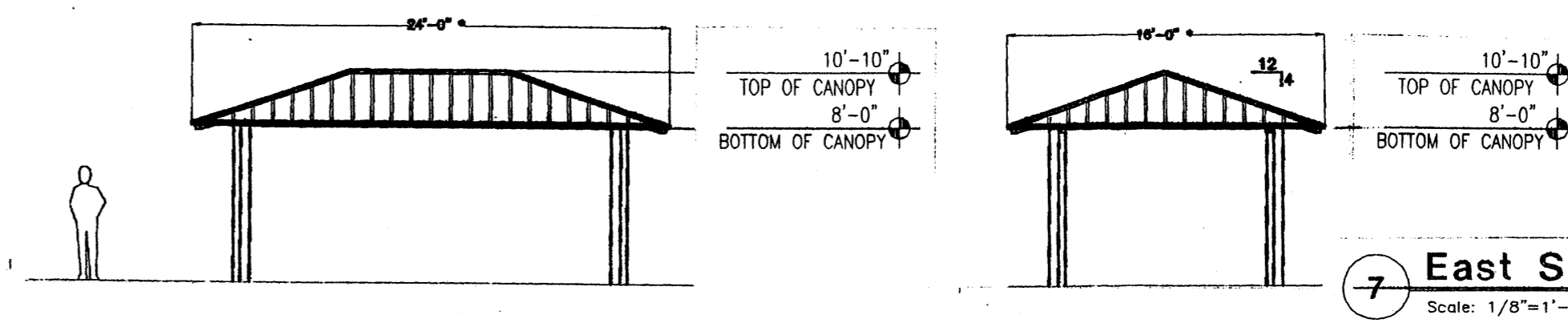
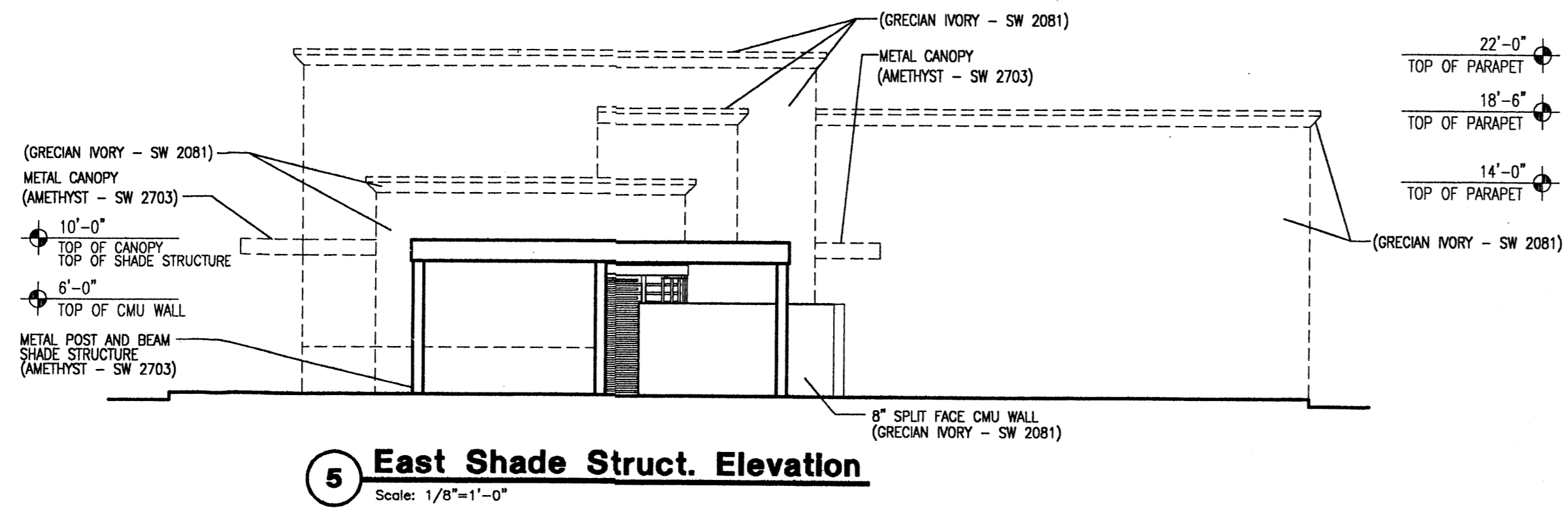
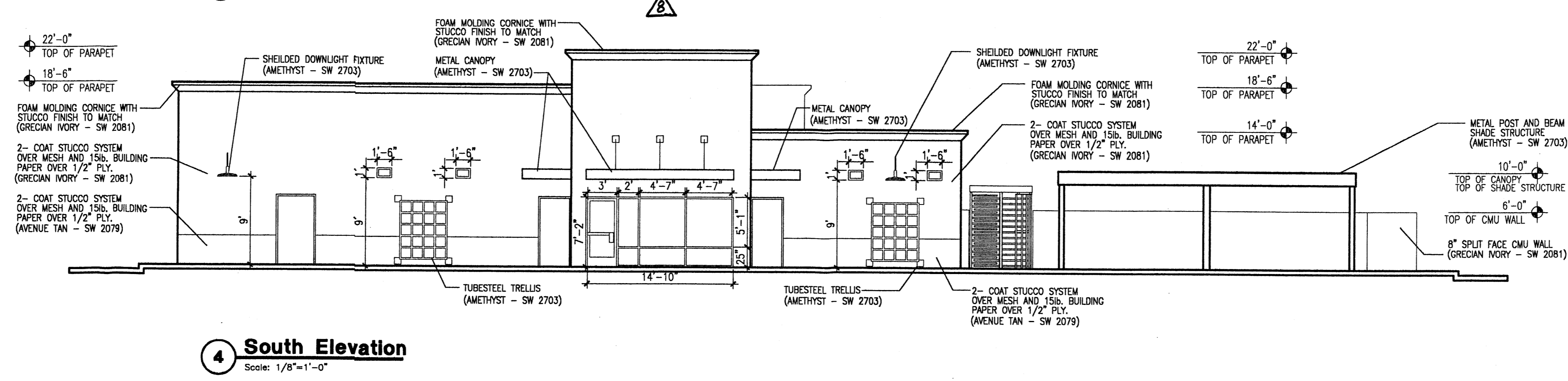
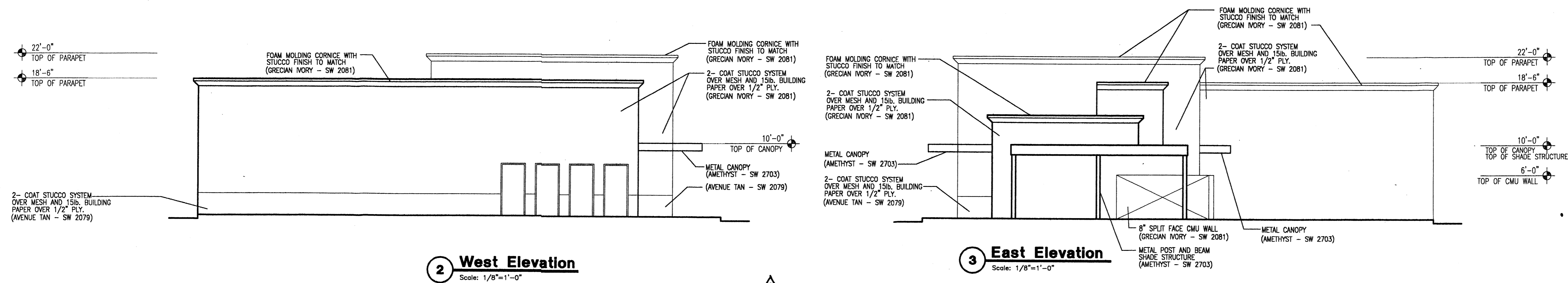
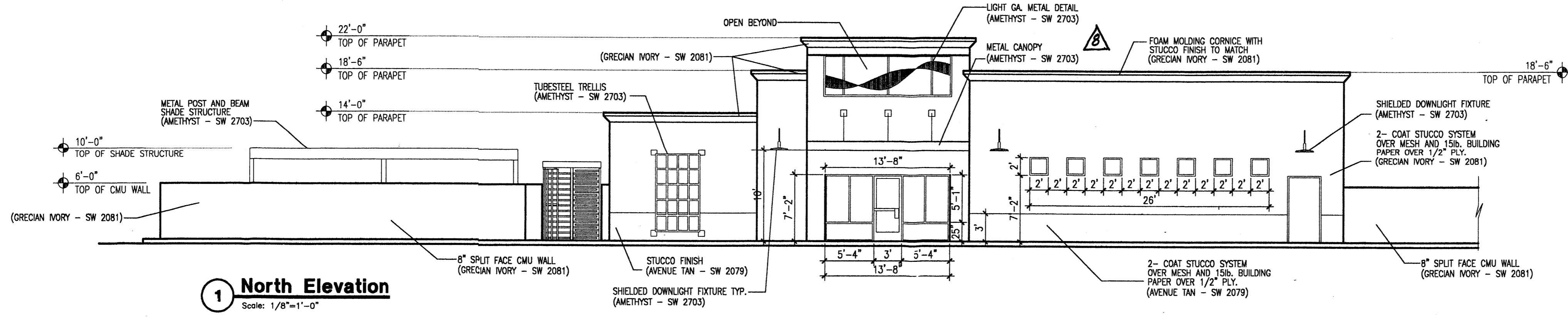
**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.  
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.  
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.  
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.  
 Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner.  
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.  
 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
 Plant beds shall achieve 75% live ground cover at maturity.  
 Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

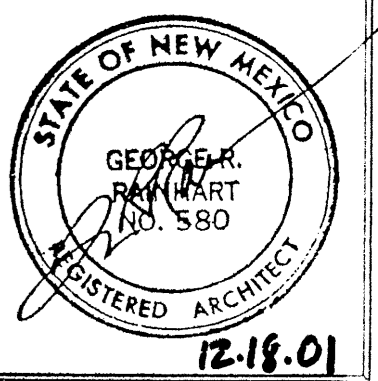
PROJECT TITLE	Tract 18 Recreational Facility
PROJECT MANAGER	IRW
DRAWN BY:	IRW
JOB NO.	
SHEET TITLE	Tract 18 Ventana Ranch

DATE:	12/17/01	sheet-	
SCALE:	1" = 30'	A2	of-

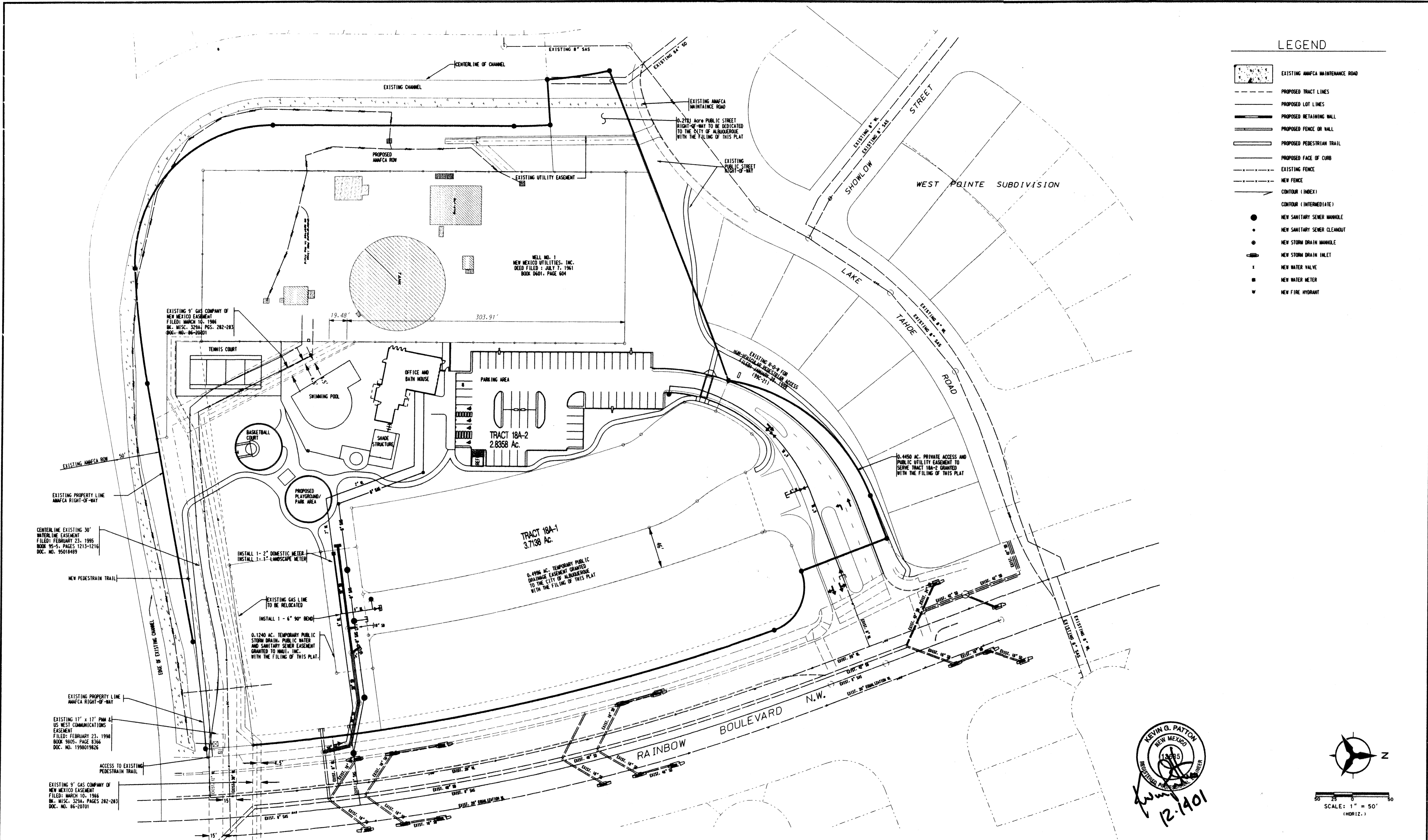


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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



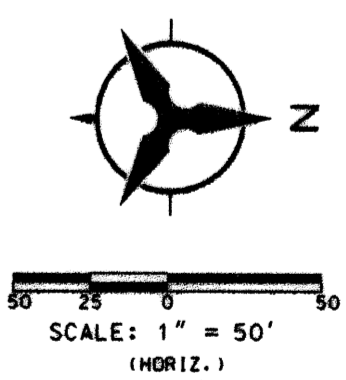
PROJECT TITLE <b>TRACT 18 RECREATIONAL FACILITY</b> NW HIGHWAY 7 AND STATE ROAD 6 RAINBOW BOULEVARD	PROJECT MANAGER SD	DRAWN BY: FAW	SHEET TITLE <b>ELEVATIONS</b>
	JOB NO. 0105		
	DATE: 10.22.01		
SCALE: 1/8"=1'-0"			sheet: <b>A3.0</b> of:



LEGEND

- EXISTING AMFCA MAINTENANCE ROAD
- PROPOSED TRACT LINES
- PROPOSED LOT LINES
- PROPOSED RETAINING WALL
- PROPOSED FENCE OR WALL
- PROPOSED PEDESTRIAN TRAIL
- PROPOSED FACE OF CURB
- EXISTING FENCE
- NEW FENCE
- CONTOUR (INTERMEDIATE)
- CONTOUR (INTERMEDIATE)
- NEW SANITARY SEWER MANHOLE
- NEW SANITARY SEWER CLEANOUT
- NEW STORM DRAIN MANHOLE
- NEW STORM DRAIN INLET
- NEW WATER VALVE
- NEW WATER METER
- NEW FIRE HYDRANT

KEVIN G. PATTON  
 NEW MEXICO  
 18995  
 REGISTERED PROFESSIONAL ENGINEER  
 12-1401



# TRACT 18A-2 VENTANA RANCH

## CONCEPTUAL UTILITY PLAN

ALBUQUERQUE, NEW MEXICO

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

14-002-0001  
 11/28  
 20081116

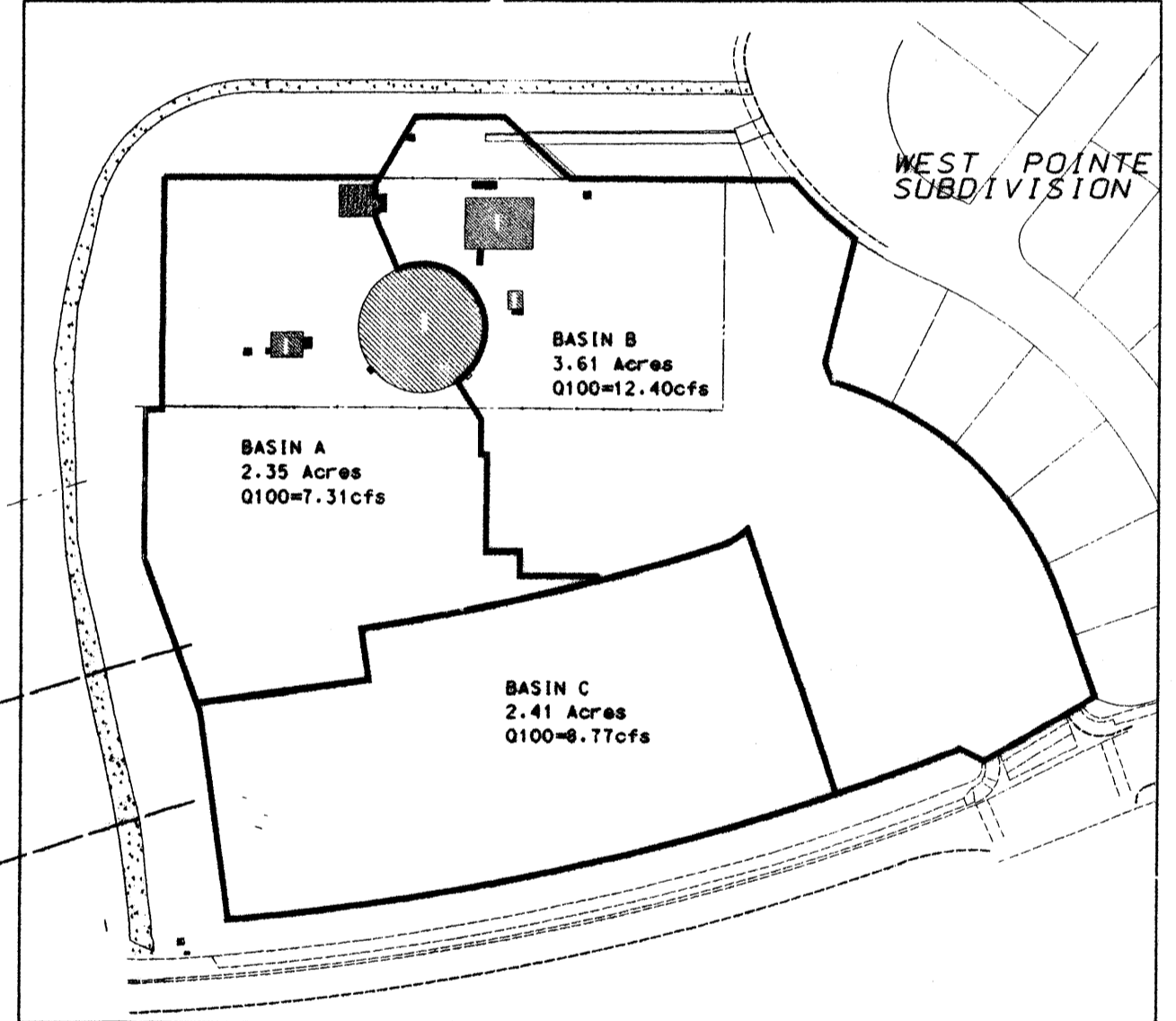
TRACT 18A-2 VENTANA RANCH								
BASIN ID.	AREA (AC)	#	% LAND TREATMENT				DISCHARGE (CFD)	
			A	B	C	D	10 YR	100 YR
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING)								
A	236	0	50.0%	50.0%	0.0%	0.0%	1.2	3.9
B	241	0	60.0%	40.0%	0.0%	0.0%	1.6	5.7
C	241	0	60.0%	30.0%	0.0%	0.0%	0.8	3.4
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (DEVELOPED)								
A	236	0	0.0%	35.0%	35.0%	30.0%	3.9	7.1
B	241	0	0.0%	0.0%	40.0%	60.0%	6.4	13.6
C	241	23	0.0%	8.75%	8.75%	82.50%	6.2	9.7
TOTAL	827	23					16.5	30.4

NOTES: 1) Impervious percentages were calculated from the DPM equation A-4, with the remaining percentages distributed to land treatment type B, due to the roadway flat terrain.

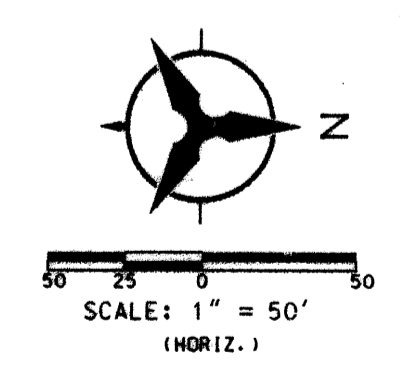
2) UNITS: BASINS = 1.5  
 3) % IMPERVIOUS (DPM) = 82.5 %

Table A-4  
 Table A-11

- LEGEND**
- EXISTING AMAFA MAINTENANCE ROAD
  - PROPOSED TRACT LINES
  - PROPOSED LOT LINES
  - PROPOSED RETAINING WALL
  - PROPOSED FENCE OR WALL
  - PROPOSED PEDESTRIAN TRAIL
  - PROPOSED FACE OF CURB
  - EXISTING FENCE
  - NEW FENCE
  - CONTOUR (INDEX)
  - CONTOUR (INTERMEDIATE)
  - NEW SANITARY SEWER MANHOLE
  - NEW SANITARY SEWER CLEANOUT
  - NEW STORM DRAIN MANHOLE
  - NEW STORM DRAIN INLET
  - NEW WATER VALVE
  - NEW WATER METER
  - NEW FIRE HYDRANT



KEVIN B. PATTON  
 NEW MEXICO  
 13869  
 REGISTERED PROFESSIONAL ENGINEER  
 12-14-01



# TRACT 18A-2 VENTANA RANCH

## CONCEPTUAL GRADING PLAN

ALBUQUERQUE, NEW MEXICO

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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