

CROSS ACCESS EASEMENT AND DRAINAGE AGREEMENT

THIS CROSS ACCESS EASEMENT AND DRAINAGE AGREEMENT is made as of the 10 day of March, 2014, by **YOUTH AND FAMILY CENTERED SERVICES OF NEW MEXICO, INC.**, a New Mexico corporation ("Owner").

RECITALS:

A. Owner is the owner of the following described properties (collectively referred to as the "Tracts" and individually referred to as "Tract 22-A" and "Tract 22-B-1"):

Tract Twenty-Two-A (22-A) of the Corrected Replat of Tract 22 of CORONA DEL SOL, a subdivision in the City of Albuquerque, New Mexico, as the same is shown and designated on the replat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 2, 1990, in Volume 90C, Folio 24 ("Tract 22-A"); and

Tract Twenty-Two-B-1 (22-B-1), CORONA DEL SOL, a subdivision in the City of Albuquerque, New Mexico, as the same is shown and designated on that certain plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 20, 1994, in Vol. 94-C, Folio 171 ("Tract 22-B-1").

B. The Tracts abut one another and both front on Sequoia Road, NW.

C. The City of Albuquerque (the "City") has approved a site development plan for building purposes (City Case No. 13EPC-40154) for the Tracts (the "Project"). The City's approval of the Project was conditioned upon the Owner providing a cross access agreement between the Tracts.

D. The conceptual drainage plan for the Project, prepared by Bohannon-Huston, Inc. (the "Drainage Plan"), provides for the flow of storm drainage waters between the two Tracts, with the storm drainage water eventually flowing to an 84" storm drain located in Sequoia Road.



NOW, THEREFORE, in consideration of the covenants and conditions contained herein, the Owner agrees as follows:

1. Grant of Cross-Access Easement. Owner grants a cross access easement to and from the Tracts.

2. Grant of Drainage Easement. The Owner grants a drainage easement over both Tracts for the passage of storm drainage water over and between Tract 22-B-1 and Tract 22-A, as shown on the conceptual Drainage Plan attached hereto as Exhibit "A".

5. Duration. The easements shall be in perpetuity.

6. Exclusivity. The easements shall be non-exclusive.

7. General Provisions.

7.1 Insurance. The Owner shall maintain adequate liability insurance to cover liabilities resulting from the use of the easements.

7.1 Inurement. This Agreement and the easements, covenants, restrictions, benefits and obligations created hereby shall be appurtenant to, run with and inure to the benefit of and be binding upon successor owners of the Tracts, shall run with the Tracts, and be appurtenant thereto.

EXECUTED the day and year first set out above.

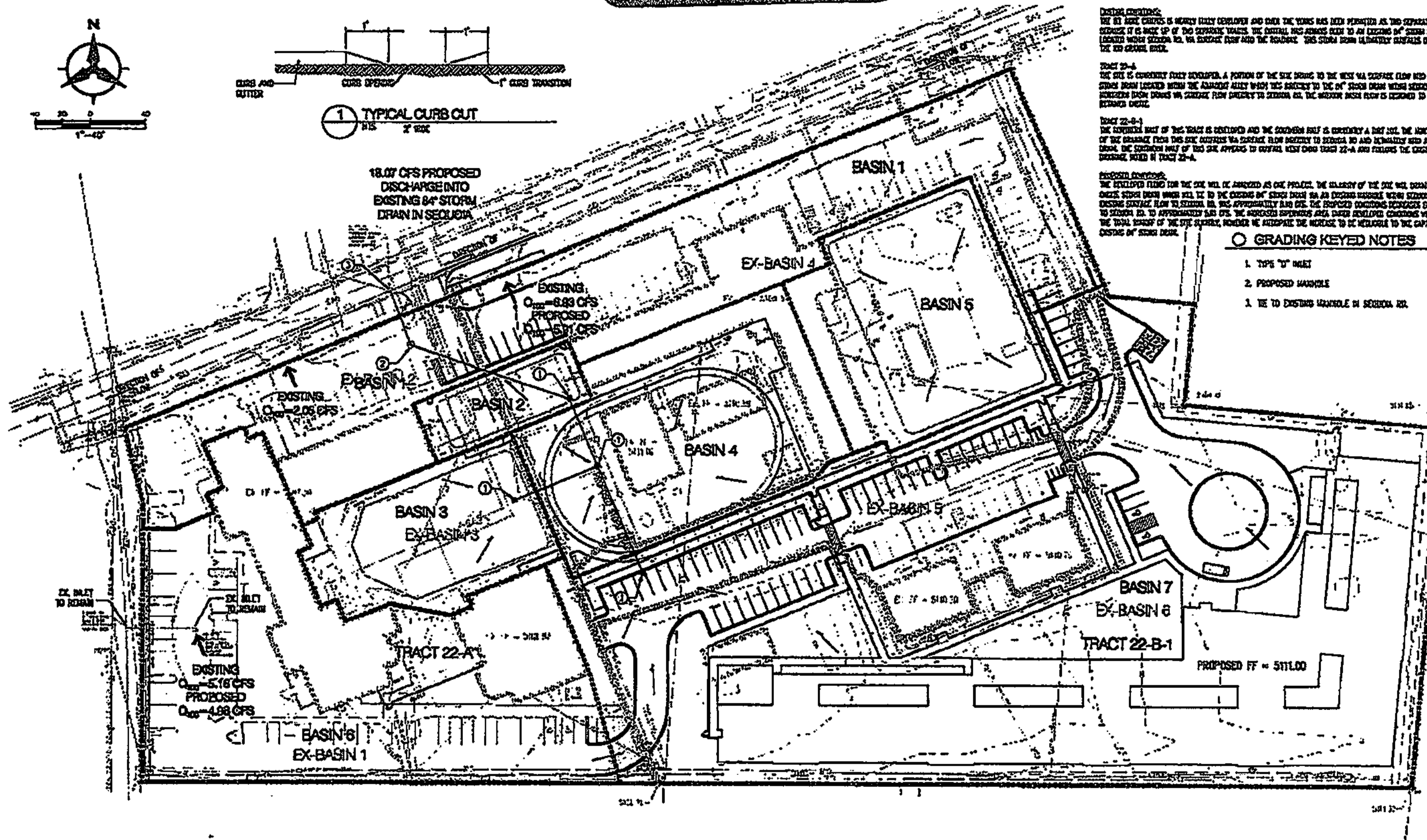
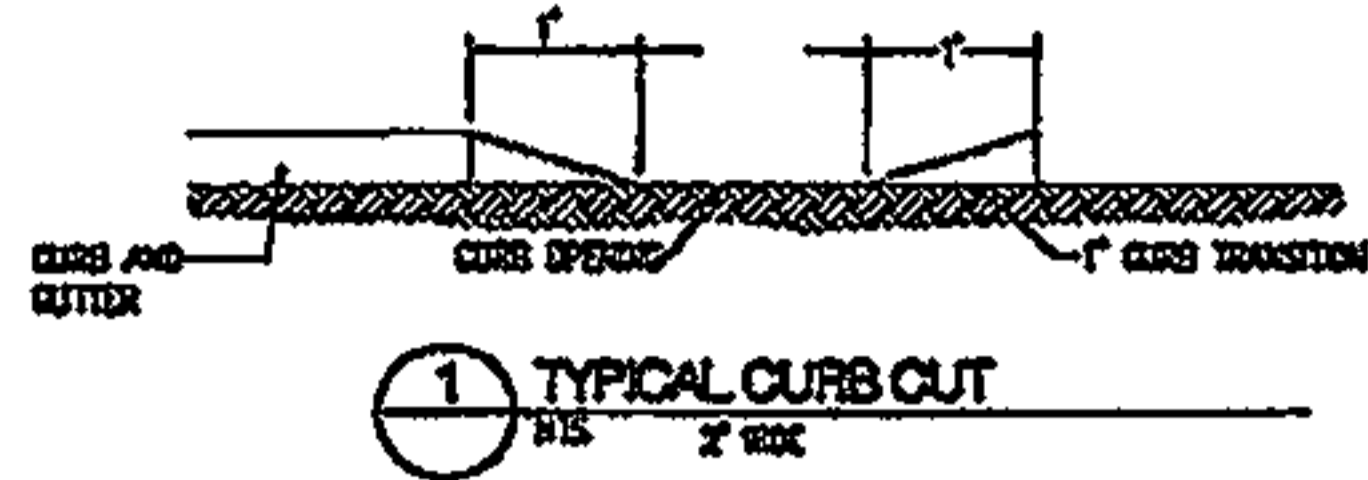
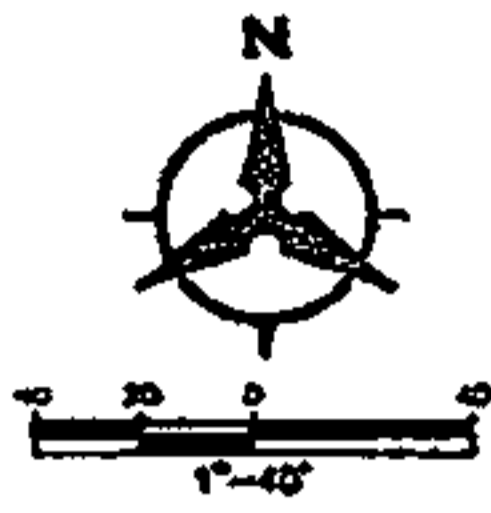
YOUTH AND FAMILY CENTERED SERVICES
OF NEW MEXICO, INC., a New Mexico
corporation

Carol Bickelman

By: Carol Bickelman

Its: Carol Bickelman

EXHIBIT
A



DESIGN CRITERIA:
THE 60 YEAR STORM IS BASED ON THE 60 YEAR STORM AS SET FORTH IN THE DESIGN CRITERIA. THE 60 YEAR STORM IS BASED ON THE 60 YEAR STORM AS SET FORTH IN THE DESIGN CRITERIA. THE 60 YEAR STORM IS BASED ON THE 60 YEAR STORM AS SET FORTH IN THE DESIGN CRITERIA.

TRACT 22-A:
THE TRACT 22-A IS CURRENTLY DEVELOPED. A PORTION OF THE SIX DRAIN TO THE WEST WAS CONVEYED AS A DESIGN CRITERIA. THE TRACT 22-A IS CURRENTLY DEVELOPED. A PORTION OF THE SIX DRAIN TO THE WEST WAS CONVEYED AS A DESIGN CRITERIA.

TRACT 22-B-1:
THE TRACT 22-B-1 IS CURRENTLY DEVELOPED. A PORTION OF THE SIX DRAIN TO THE WEST WAS CONVEYED AS A DESIGN CRITERIA. THE TRACT 22-B-1 IS CURRENTLY DEVELOPED. A PORTION OF THE SIX DRAIN TO THE WEST WAS CONVEYED AS A DESIGN CRITERIA.

GRADING KEYED NOTES

1. TYPE "T" MILE
2. PROPOSED MANHOLE
3. SEE TO EXISTING MANHOLE IN SECTION 10.

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
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GRADING NOTES

1. EXISTING AS SHOWN BEFORE CONSTRUCTION SHALL BE REPEATED AT THE ELEVATIONS AND AS ACCORDANCE WITH THE NOTES SHOWN ON THIS PLAN.
2. THE ELEVATIONS FOR EXISTING CONSTRUCTION SHALL BE REPEATED AT THE ELEVATIONS AND AS ACCORDANCE WITH THE NOTES SHOWN ON THIS PLAN.
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DESERT HILLS
Existing Conditions Basin Data Table

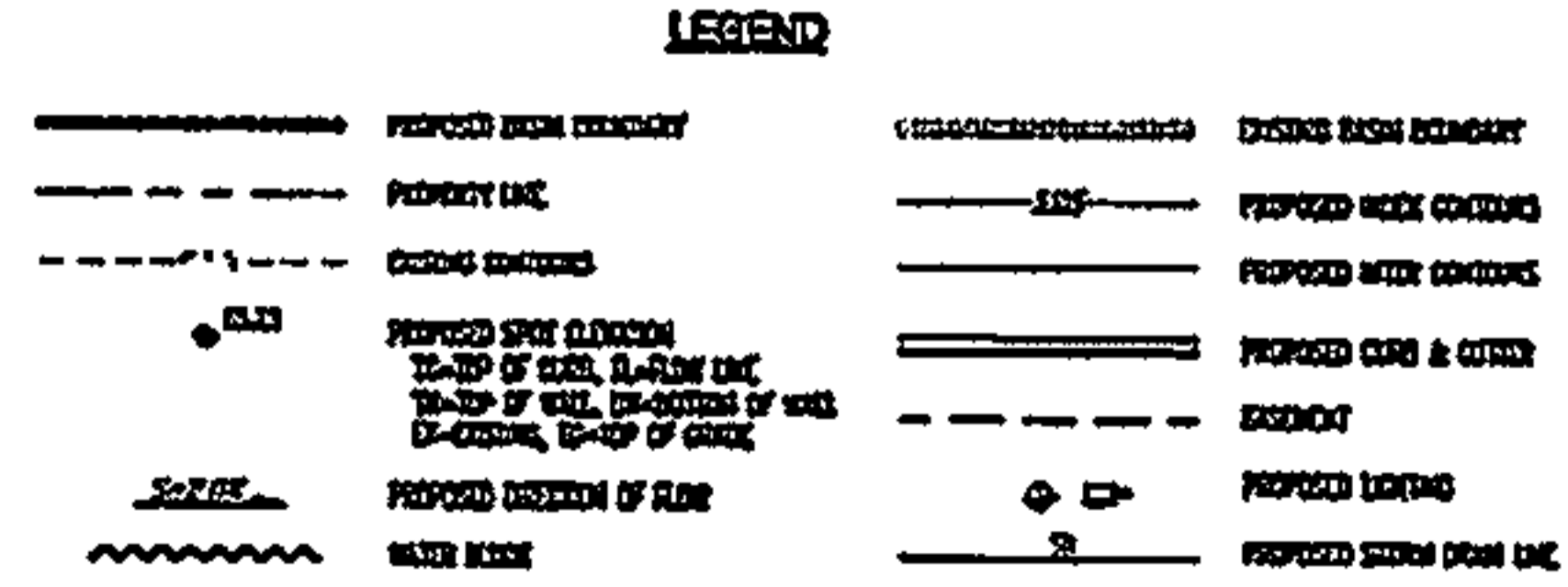
This table is based on the DFR Section 22.1, Table 1

Basin ID	Area (SQ. FT.)	Area (A.C.)	Land Treatment Percentages				Disposal (cubic ft.)	Compost (CFS)	WY E (Inches)	WY P (Inches)	WY T (Inches)
			A	B	C	D					
1	67008	1.23	0.0%	20.0%	0.0%	80.0%	3.50	3.96	7.77	6299	12933
2	24376	0.45	0.0%	30.0%	0.0%	70.0%	3.67	2.95	1.50	3969	2598
3	15376	0.28	0.0%	100.0%	0.0%	0.0%	2.03	0.78	0.67	974	974
TOTAL	66760	2.36									20967
Relative (Good Property)											
4	101850	2.33	0.0%	15.0%	70.0%	15.0%	2.67	6.92	1.08	2239	11294
5	30910	0.71	0.0%	0.0%	0.0%	100.0%	4.50	3.29	7.52	4948	6948
6	122188	2.51	0.0%	30.0%	80.0%	10.0%	2.77	2.70	0.00	10922	11294
TOTAL	264148	5.85									32464

DESERT HILLS
Proposed Ultimate Development Conditions Basin Data Table

This table is based on the DFR Section 22.1, Table 1

Basin ID	Area (SQ. FT.)	Area (A.C.)	Land Treatment Percentages				Disposal (cubic ft.)	Compost (CFS)	WY E (Inches)	WY P (Inches)	WY T (Inches)
			A	B	C	D					
1	67008	1.23	0.0%	0.0%	10.0%	90.0%	4.50	3.97	1.92	6937	16379
2	24376	0.45	0.0%	40.0%	10.0%	50.0%	2.95	6.57	1.92	268	646
3	15376	0.28	0.0%	45.0%	45.0%	10.0%	2.64	0.00	0.94	1399	1433
4	38647	0.70	0.0%	40.0%	40.0%	20.0%	2.93	1.69	1.98	2272	3437
5	30910	0.57	0.0%	40.0%	40.0%	20.0%	3.63	1.62	1.98	2792	2907
6	64458	1.20	0.0%	10.0%	70.0%	20.0%	3.89	4.86	1.74	7820	12242
7	181950	3.70	0.0%	15.0%	15.0%	70.0%	3.78	14.03	1.83	21949	32853
TOTAL	385185	8.91									52771



Bohannon & Huston
ARCHITECTS

ACADIA
HEALTHCARE

CONCEPTUAL GRADING PLAN
CAMPUS MODERNIZATION
AHC-DESERT HILLS OF NEW MEXICO
ALBUQUERQUE, NEW MEXICO

DRB SUBMITTAL

C1.2

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

See 4-168-224 - Addendum, Revised by 10/20/2014
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