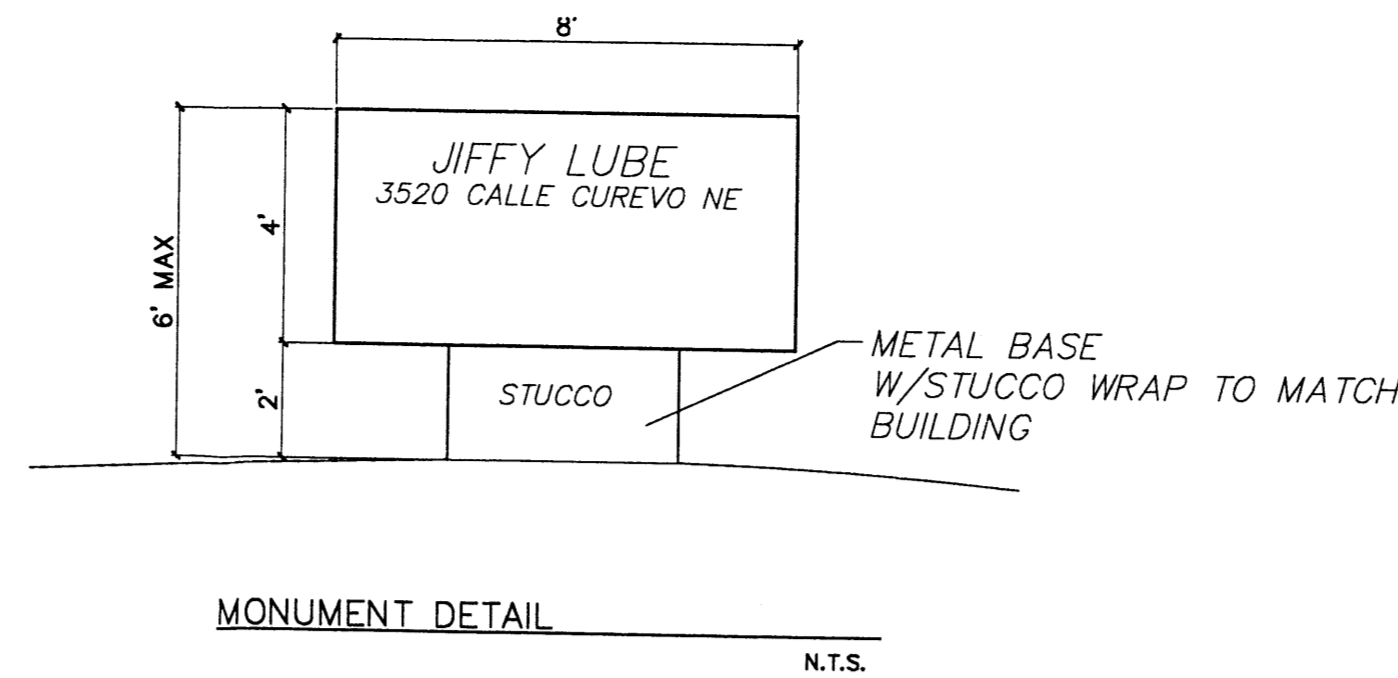


JIFFY LUBE

3520 CALLE CUERVO NW
TRACTS D-4-L-2A
SEVEN BAR RANCH



TOTAL LOT ACRAGE
24067 SQ. FT.

PROJECT DATA

OWNER: JIFFY LUBE, INC
ARCHITECT: MOCK ASSOCIATES
CONTRACTOR: MOCK ASSOCIATES
2820 BROADBENT PKWY NE, SUITE 3
ALBUQUERQUE, NM 87106

LOT SQ. FT.: 24067
BUILDING SQ. FT.: 6000
ZONED: SU-1, IP
OCCUPANCY: B - S1
CONSTRUCTION TYPE: V-N
PARKING SPACES: 4000 SQ. FT. / 200 = 20 SPACES
20-REGULAR 8.5' X 20'
HANDICAPPED SPACES
2-8 X 20 HC WITH VAN ACCESSIBILITY
2-SMALL CAR SPACES 7.5' X 15'

NOTE: IF STORAGE/WAREHOUSE IS CONVERTED TO OTHER USES ALLOWED IN SU-1 FOR I-P ZONE AT A LATER DATE. PARKING WILL NEED TO COMPLY TO CODE.

LANDSCAPE: GROSS AREA 24067 - (BLDG SQ. FT.) = 20067 * .15% = 3010 SQ. FT. FOR LANDSCAPE
3501 SQ. FT. PROVIDED.

ASPHALT: 2 1/2" OVER 4" AGGREGATE BASE COURSE OVERT SUB-GRADE COMPACTED TO 95% OF PROCTOR DENSITY AT 2% ± OPTIMUM MOISTURE CONTENT.

GROUND COVER: 3/4" SANTA ANN TAN GRAVEL W/WEED FILTER.
RIVER ROCK ACCENTS AS SHOWN.

PLANT LEGEND:

COMMON NAME	SCIENTIFIC NAME
5 GAL. GREYLEAF COTONEASTER	COTONEASTER BUXIFOLIUS
5 GAL. UPRIGHT ROSEMARY	
5 GAL. INDIA HAWTHORNE	RAPHIOLEPIS INDICA
5 GAL. POTENTILLA	POTENTILLA FRUTICOSA
5 GAL. MUGO PINE	PINUS MUGO
5 GAL. RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
5 GAL. APACHE PLUME	FALLUGIA PARADOXA
5 GAL. SPANISH BROOM	GENISTA HISPANICA
5 GAL. SEBRA GRASS	MISCANTHUS SINENSIS
7 FT. PINON PINE TREE	PINUS EDULIS
2" CAL. PURPLE ROBE LOCUST	ROBINIA X AMBIGUA

IRRIGATION SYSTEM - DRIP SYSTEM TO BE INSTALLED

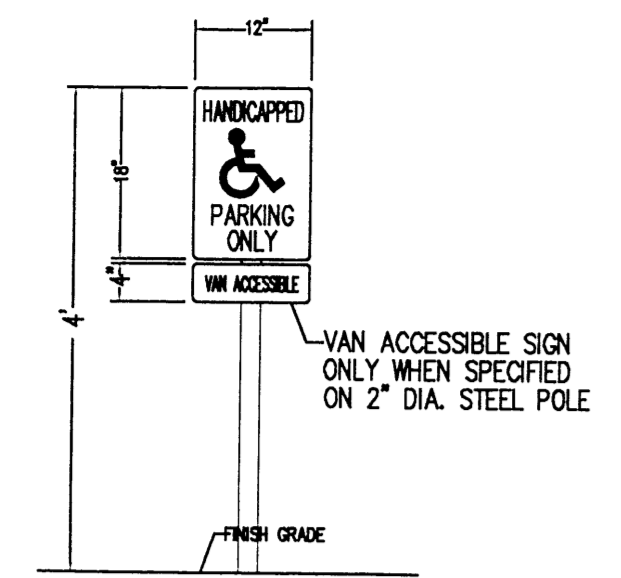
NOTE:

OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE PLANTS AND WILL REPLACE ANY PLANT MATTER WHICH DIE.

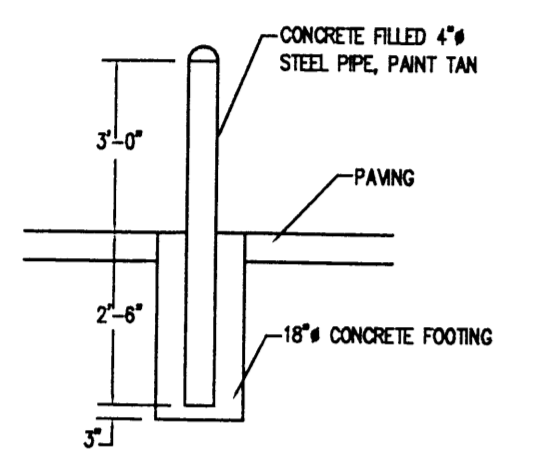
EPC 2-99-61

PROJECT NUMBER: [REDACTED]	APPLICATION NUMBER: 01450-0000-01141
<i>Rafael J. Diaz</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	8/29/01 DATE
<i>Alfonso E. Cardenas</i> PARKS & RECREATION SERVICES DEPARTMENT	8/29/01 DATE
<i>Rafael J. Diaz</i> PUBLIC WORKS, WATER UTILITIES DIVISION	8/29/01 DATE
<i>Brenda D. Bishop</i> CITY ENGINEER, ENGINEERING DIVISION/AMAFCA	8/29/01 DATE
FIRE MARSHALL	DATE
<i>[Signature]</i>	8/29/01 DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	9/5/01 DATE
CITY PLANNER, ALBUQUERQUE/BERNALILLO	
COUNTY PLANNING, ALBUQUERQUE/BERNALILLO	

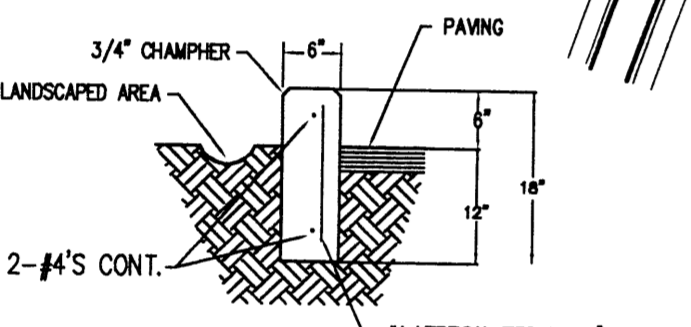
OFFICE BLDG SITE PLAN SHEET 1 OF 1
 JIFFY LUBE
 3520 CALLE CUERVO NW
 TRACT D-4-L-2A
 SEVEN BAR RANCH
 BERNALILLO COUNTY, NM
 MOCK ASSOCIATES, INC. ©2000
 REVISIONS: DATE: 8/20/01 TRAFFIC ENG. COMMENTS FROM 8/15/01 DRB MEETING
 SCALE: 1"=20'
 DATE: 03/25/01
 DRAFTER: PAO



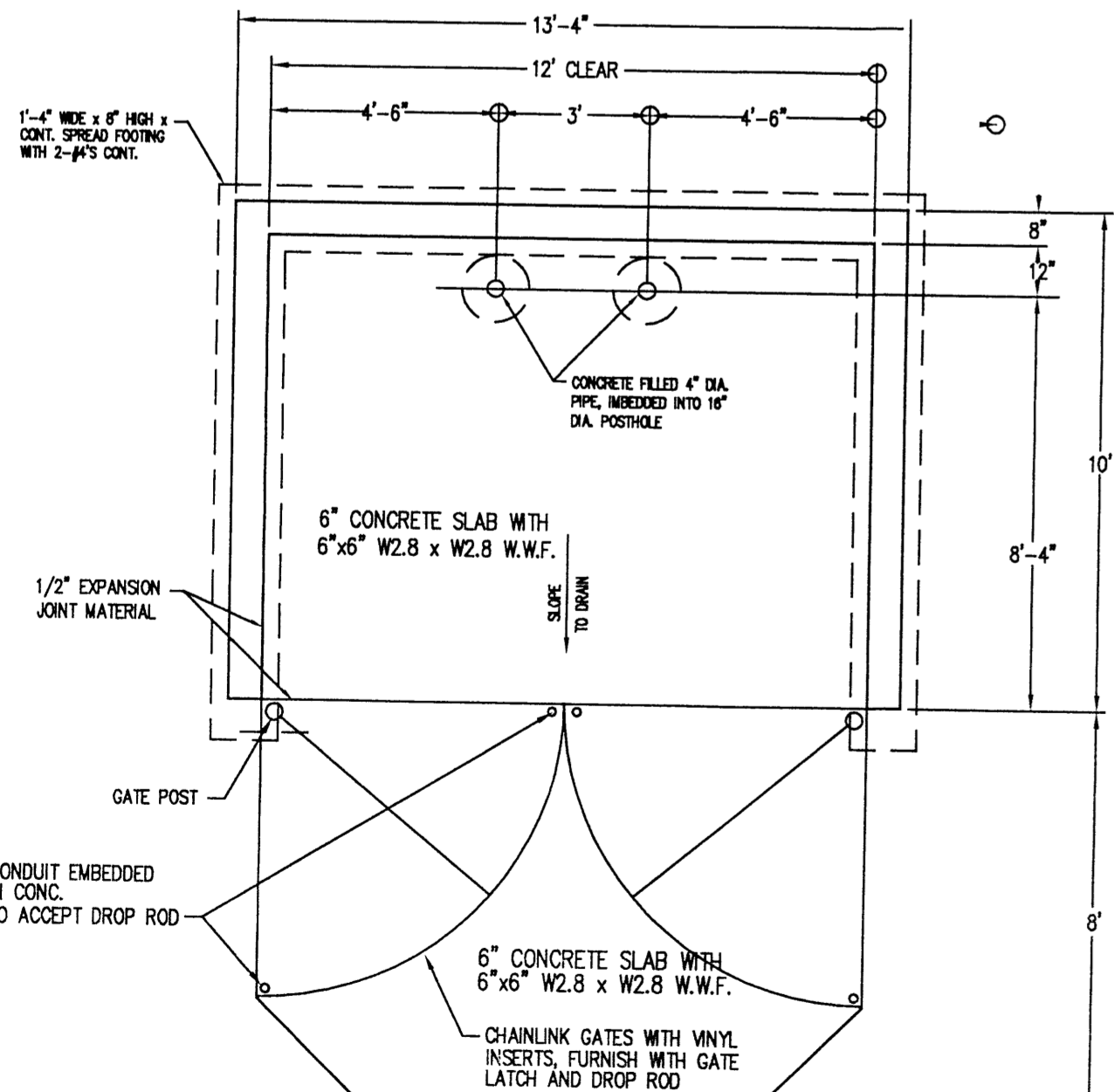
HC Sign Detail
Scale: NONE



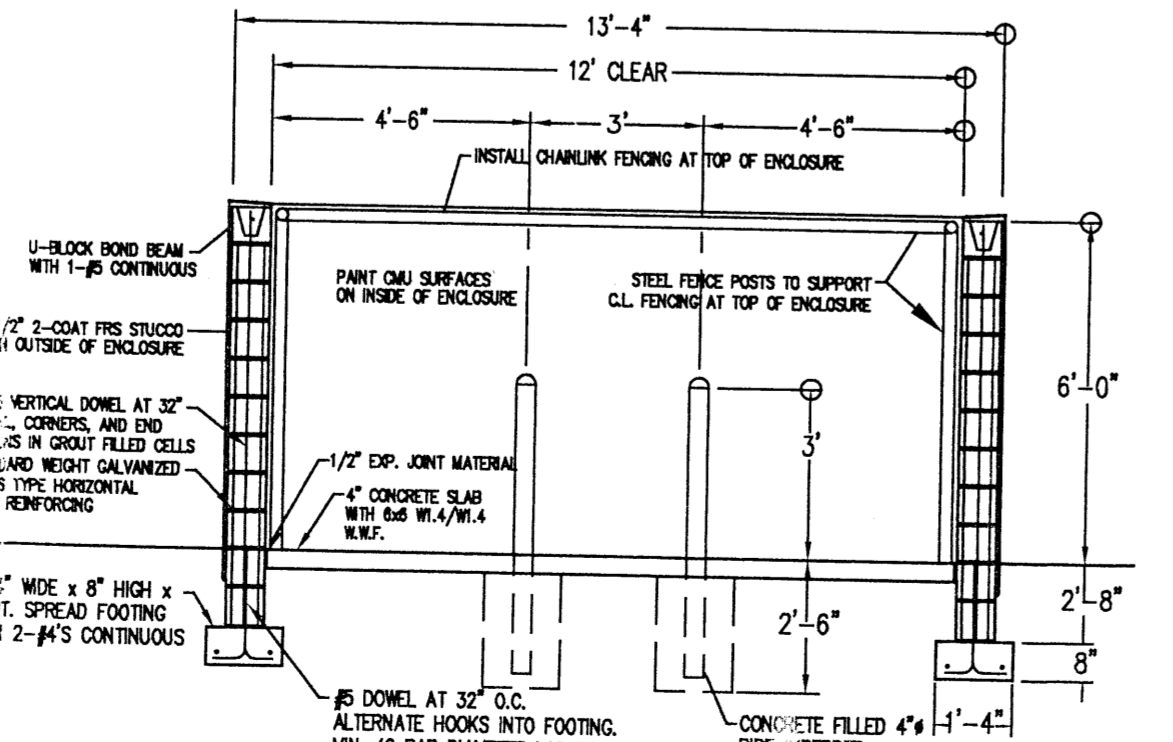
Bollard Detail
Scale: NONE



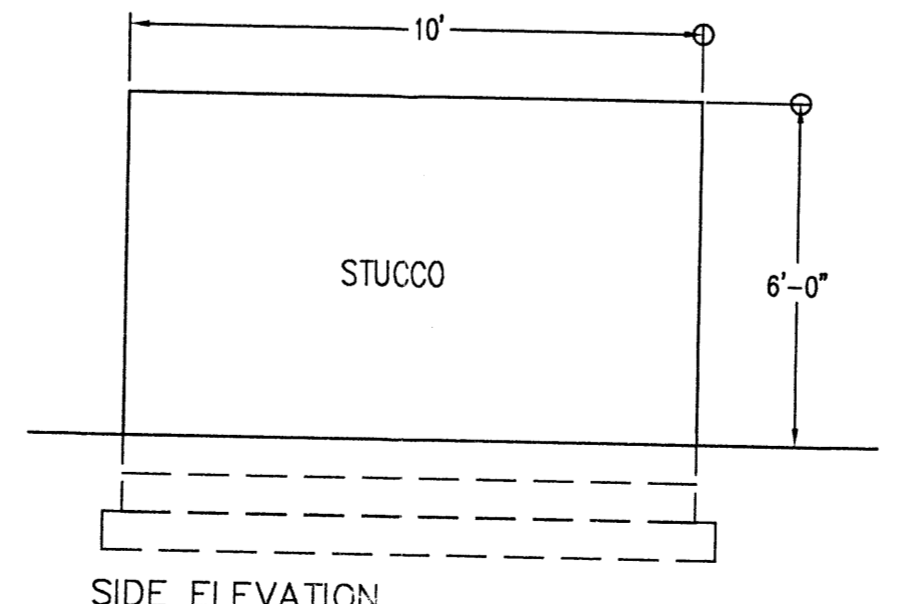
Header Curb Detail
Scale: NONE



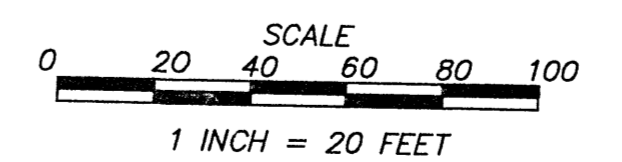
PLAN VIEW REFUSE ENCLOSURE DETAIL
N.T.S.



Section
Scale: NONE

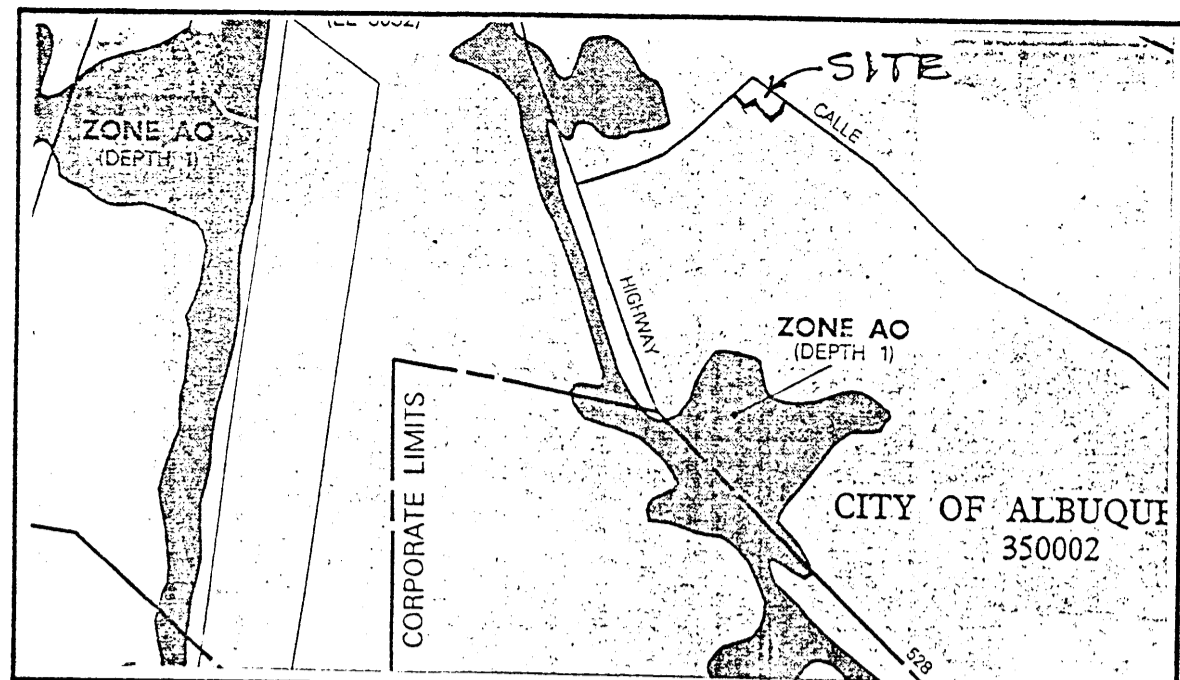


SIDE ELEVATION
N.T.S.



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE

PROJ 1081401



FLOOD INSURANCE RATE MAP* MAP NO. 35001C0109 D

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	343.47'	139.03'	70.48'	138.08'	S 34°42'55" W	23°11'30"
C2	30.00'	43.38'	26.47'	39.70'	N 87°17'41" E	82°50'50"
C3	484.00'	58.04'	29.06'	58.01'	S 54°43'02" E	06°52'16"
C4	468.00'	117.64'	59.13'	117.33'	S 50°55'15" E	14°27'50"

CALCULATION OF TYPE "D" INLET INVERT ELEVATIONS:

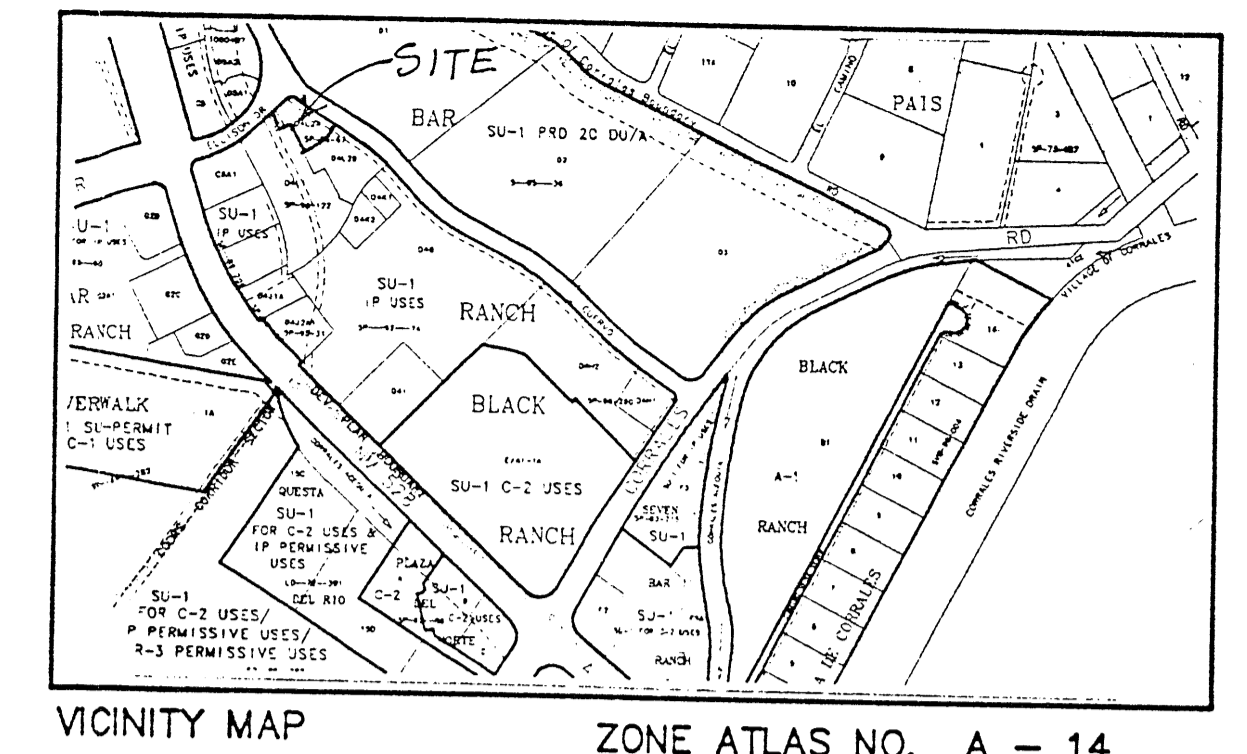
380.24 c. to c. MH. 376.24 inv. to inv.
 Upper MH, SE inv. Elev. = 5013.13
 Lower MH, NW inv. Elev. = 5011.70
 Diff. = 1.43' S = 1.43 / 376.24 = 0.0038 ft./ft.
 Inv. Upper MH to E. PL = 166.56 (164.56 to SE Inv. Inlet)
 5013.13 - 164.56 x 0.0038 = 5012.50 (inlet SE inv.)

GENERAL NOTES:

- FOR DIMENSIONS OF CURB AND GUTTER LAYOUT, RADI DIMENSIONS, DESCRIPTION OF PARKING BUMPER ANCHORING, PARKING SPACE NUMBERING, ETC., SEE SITE PLAN.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREON, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

LEGEND

- POWER POLE
- WATER VALVE
- SEWER CLEANOUT
- CONCRETE AREA
- PLANTED AREA
- CONCRETE CURB & GUTTER
- IRRIGATION VALVE
- UTILITY PEDESTAL
- TRAFFIC CONTROL BOX
- EXISTING TREE
- WATER METER
- DIRT AREA
- TRANSFORMER
- GAS METER/VALVE
- HYDRANT
- IRRIGATION CONTROL BOX
- WHEELCHAIR RAMP
- EXIST. CONTOUR
- NEW CONTOUR
- ▲ EXISTING SPOT ELEVATION
- ◆ NEW SPOT ELEVATION
- SHEET FLOW
- SWALE
- 0.0400 SLOPE IN FEET PER FOOT.



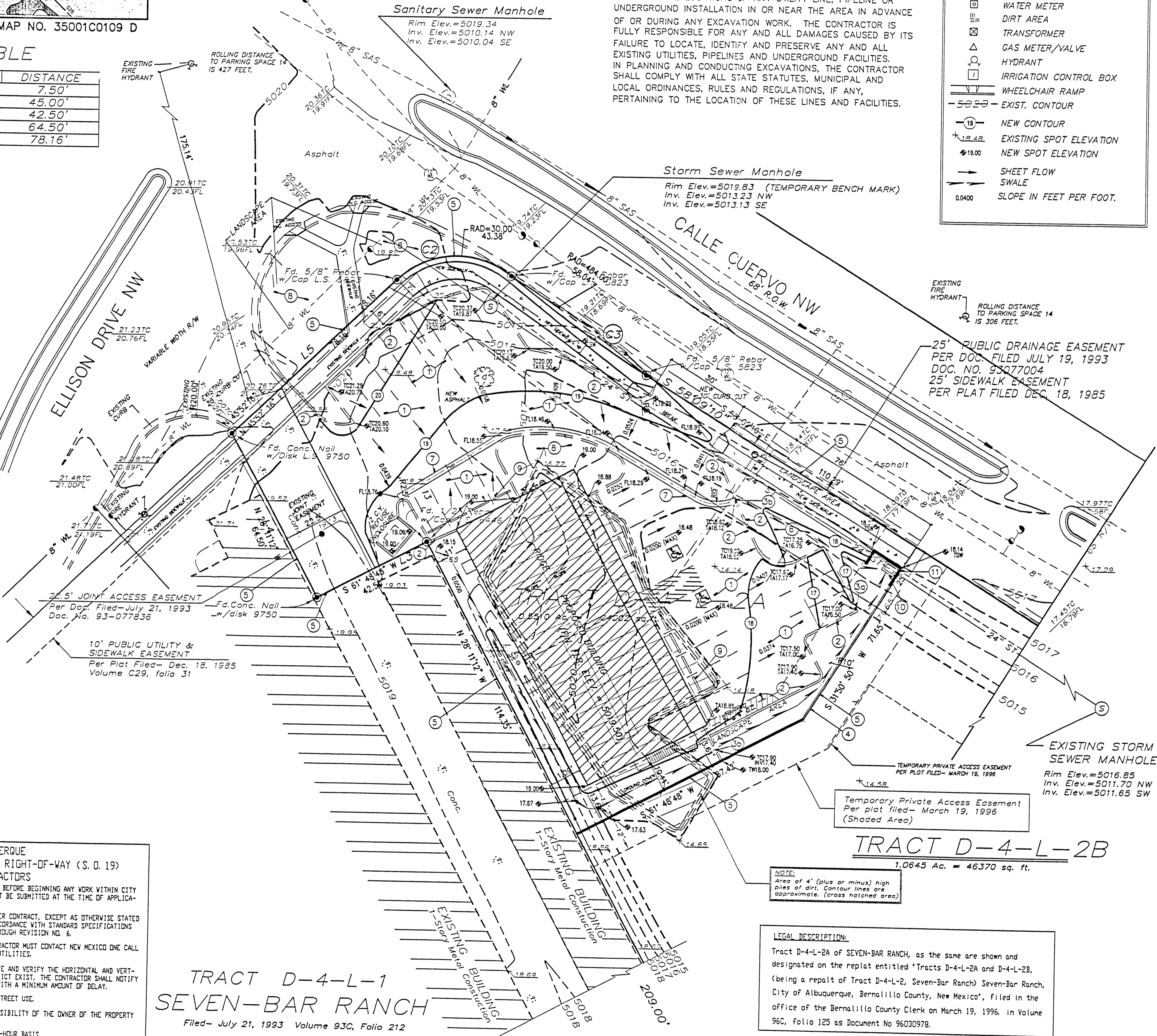
VICINITY MAP ZONE ATLAS NO. A - 14

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N 61°48'48" E	7.50'
L2	S 61°48'48" W	45.00'
L3	S 61°48'48" W	42.50'
L4	N 28°11'12" W	64.50'
L5	N 45°52'16" E	78.16'

KEYED NOTES:

- NEW ASPHALT PAVEMENT.
- 6" CONCRETE CURB.
- 1' WIDE BREAK IN CURB FOR DRAINAGE.
- 2' WIDE BREAK IN CURB FOR DRAINAGE.
- BUILD RETAINING WALL OR CUTOFF WALL, AS REQUIRED, TOP ELEV. = 5018.00 PROPERTY LINE.
- BUILD 18" SIDEWALK CULVERT PER C.D.A. STD. DWG. 2236.
- BUILD CONCRETE ALLEY GUTTER PER C.D.A. STD. DWG. 2415.
- LANDSCAPING AREA (SEE LANDSCAPING PLAN).
- PRE-CAST PARKING BUMPER.
- CONSTRUCT STORM INLET, SINGLE "D", PER C.D.A. STD. DWG. 2206, 2216, 2220 & 2221.
- GRATE ELEV. = 5016.00
SE INV. ELEV. = 5012.50
NW INV. ELEV. = 5012.51
- KEYSTONE RETAINING WALL ON THREE SIDES OF INLET AS SHOWN.



DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:
 The site is located on the Southeast Corner of Ellison Drive and Calle Cuervo NW. The project site is approximately 0.5510 acres in size. The site is bounded by Calle Cuervo on the North, Ellison Drive on the West, undeveloped land on the East, and Cubby Hole Self Storage on the South. The site is described as tract D-4-L-2A, Seven Bar Ranch. Presently the site is undeveloped. Site topography slopes from the West to the East at approximately two percent slope. The site is covered with native grasses and weeds. The topographic survey of the site shows a pile of dirt on the site possibly left over from nearby construction.

DRAINAGE MASTERPLANS:
 The drainage criteria for this site was established by previous drainage studies performed by Esterling and Associates and Bordenave Design. These plans established allowable discharge and determined the capacity of the Cabezon Channel. Per the established criteria, the rate from the existing detention that was to serve all of Tract D-4-L-2 (1.6155 ac.) is 16.5 cfs. Tract D-4-L-2B contains 1.0645 acres. The prorated allowable discharge for the site is 16.5 (0.5510/1.6155) = 8.54 cfs

PROPOSED CONDITIONS:
 It is proposed to construct an office building on the site as shown. The building does not have gutters and downspouts except at the entrance - drip edges at all other locations.

DRAINAGE CRITERIA:
 The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:
 The site is West of the Rio Grande River and is, therefore, in Precipitation Zone 1.

LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:
 The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 1 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREATMENT	α (cfs/ac)	E (in)	Existing Site Areas	Developed Site Areas
	100-yr. 10-yr.	100-yr. 10-yr.	Sq. Ft. Acres	% Sq. Ft. Acres
A	1.29 0.24	0.44 0.08	100.0 17,652	0.4052 0.0
B	2.03 0.76	0.67 0.22	0.0 0	0.0000 7.5
C	2.87 1.49	0.99 0.44	18.7 4,500	0.1033 7.3
D	4.37 2.89	1.97 1.24	7.8 1,850	0.0425 85.2
Totals			100.0 24,002	0.5510 100.0

PEAK DISCHARGE:
 EXISTING CONDITIONS:
 Q100 = 0.4052 * 1.29 + 0.1033 * 2.87 + 0.0425 * 4.37 = 1.00 cfs
 Q10 = 0.4052 * 0.24 + 0.1033 * 1.49 + 0.0425 * 1.24 = 0.20 cfs
 DEVELOPED CONDITIONS:
 Q100 = 0.0416 * 2.03 + 0.0404 * 2.87 + 0.4690 * 4.37 = 2.25 cfs
 Q10 = 0.0416 * 0.76 + 0.0404 * 1.49 + 0.4690 * 2.89 = 1.45 cfs

VOLUME 100-YEAR, 6-HOUR:
 EXISTING CONDITIONS:
 V100 = (17,652 * 0.44 + 4,500 * 0.99 + 1,850 * 1.97) / 12 = 1,322 CF
 V10 = (17,652 * 0.08 + 4,500 * 0.44 + 1,850 * 1.24) / 12 = 474 CF
 DEVELOPED CONDITIONS:
 V100 = (1,812 * 0.67 + 1,760 * 0.99 + 20,430 * 1.97) / 12 = 3,600 CF
 V10 = (1,812 * 0.22 + 1,760 * 0.44 + 20,430 * 1.24) / 12 = 2,209 CF

SUMMARY OF VOLUMES AND PEAK DISCHARGE RATES:

	V100	V10	Q100	Q10
DEVELOPED	3,600	2,209	2.25	1.45
EXISTING	1,322	474	1.00	0.20
INCREASE	2,278	1,735	1.25	1.25

SIDEWALK CULVERT CALCULATIONS:
 Use Weir Equation, Q = CLH^{3/2} C = 3.0 L = 1.5' H = 0.67
 Q = 3.0 * 1.5 * 0.67^{3/2} = 2.46 cfs > 2.25 cfs

EROSION CONTROL NOTES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
 1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

SCALE: 1" = 20'

**CITY OF ALBUQUERQUE
 DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (S.D. 19)
 NOTICE TO CONTRACTORS**

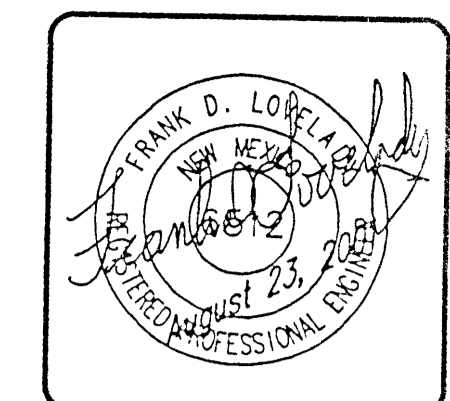
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED IN THIS PLAN TO BE PERFORMED UNDER CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS UPDATED THROUGH REVISION NO. 6.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, INC., 860-1990, FOR LOCATION FOR EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL FOR PCC RUNDOWN	NAME	DATE
INSPECTOR:		

**TRACT D-4-L-1
 SEVEN-BAR RANCH**
 Filed- July 21, 1993 Volume 93C, Folio 212

LEGAL DESCRIPTION:
 Tract D-4-L-2A of SEVEN-BAR RANCH, as the same are shown and designated on the replat entitled 'Tracts D-4-L-2A and D-4-L-2B, (being a replat of Tract D-4-L-2, Seven-Bar Ranch) Seven-Bar Ranch, City of Albuquerque, Bernalillo County, New Mexico', filed in the office of the Bernalillo County Clerk on March 19, 1996, in Volume 96C, Folio 125 as Document No 96030978.

BENCH MARK:
 Vertical datum shown hereon is based upon the New Mexico State Highway Commission Control Monument 'NM- 448-N12', having an elevation of 5023.41 feet (SLD 1929).



GRADING AND DRAINAGE PLAN
 OFFICE BUILDING - JIFFYLUBE
 3520 CALLE CUERVO NW
 ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 619
 DATE: August 23, 2001

REVISIONS

SHEET NO.
 1 OF 1