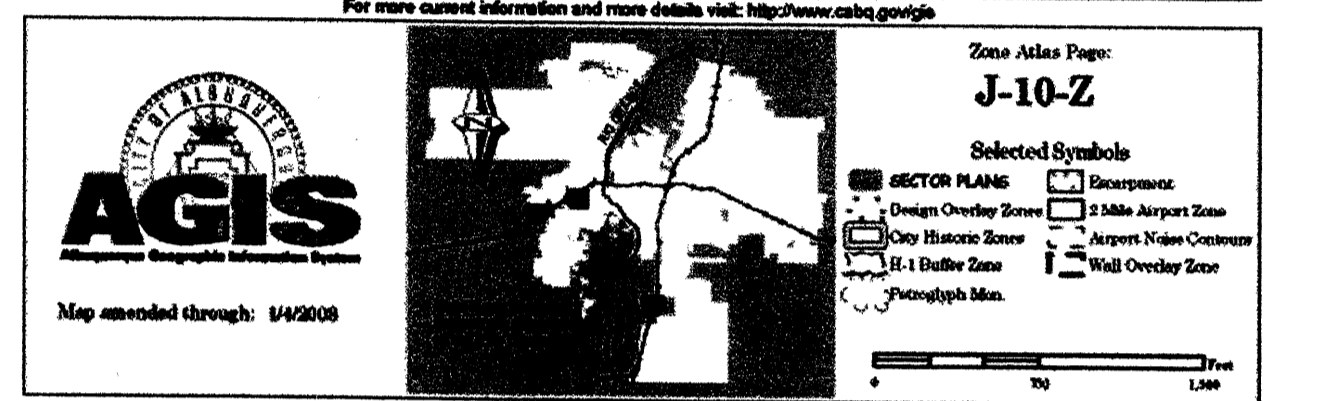
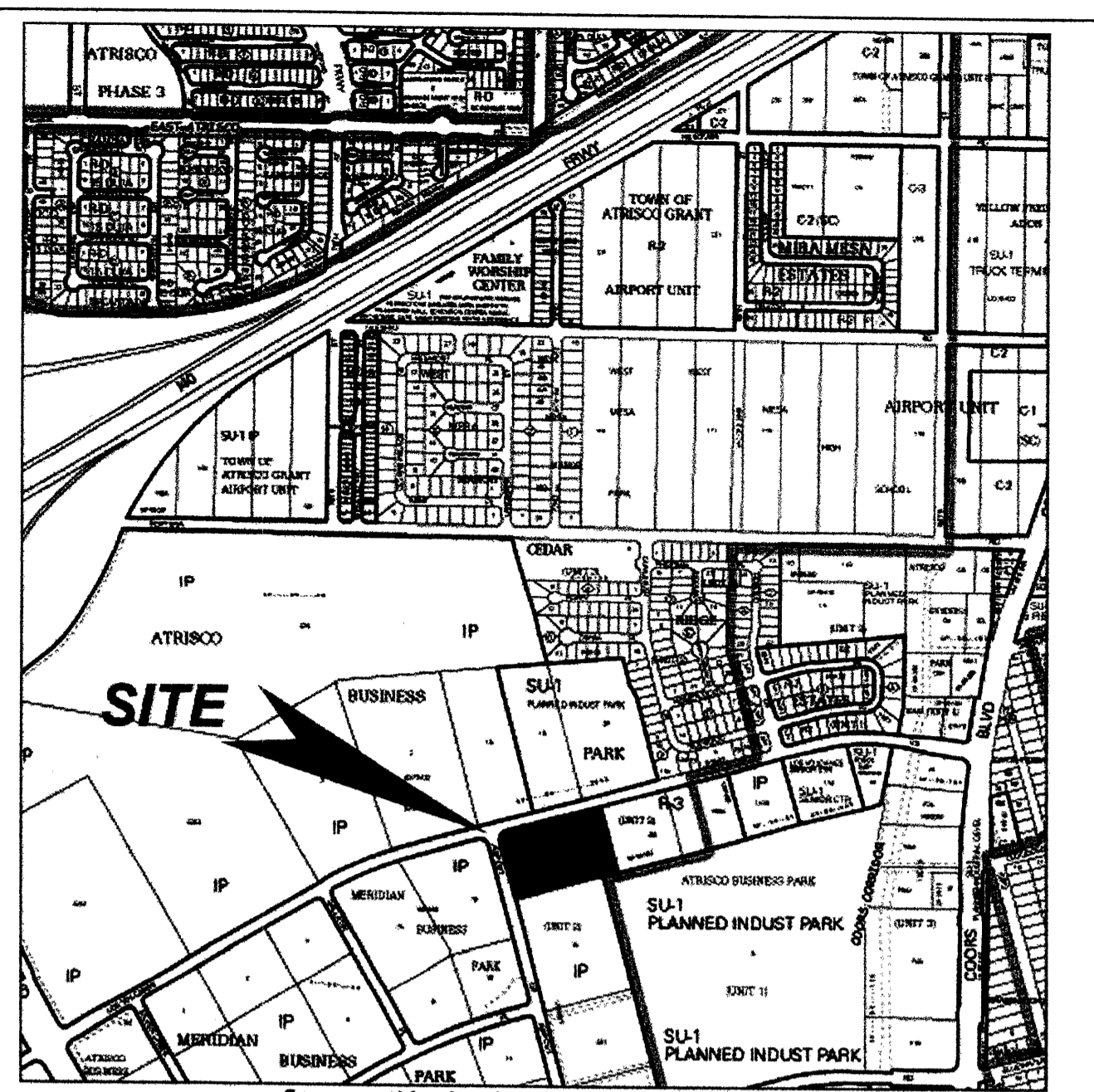
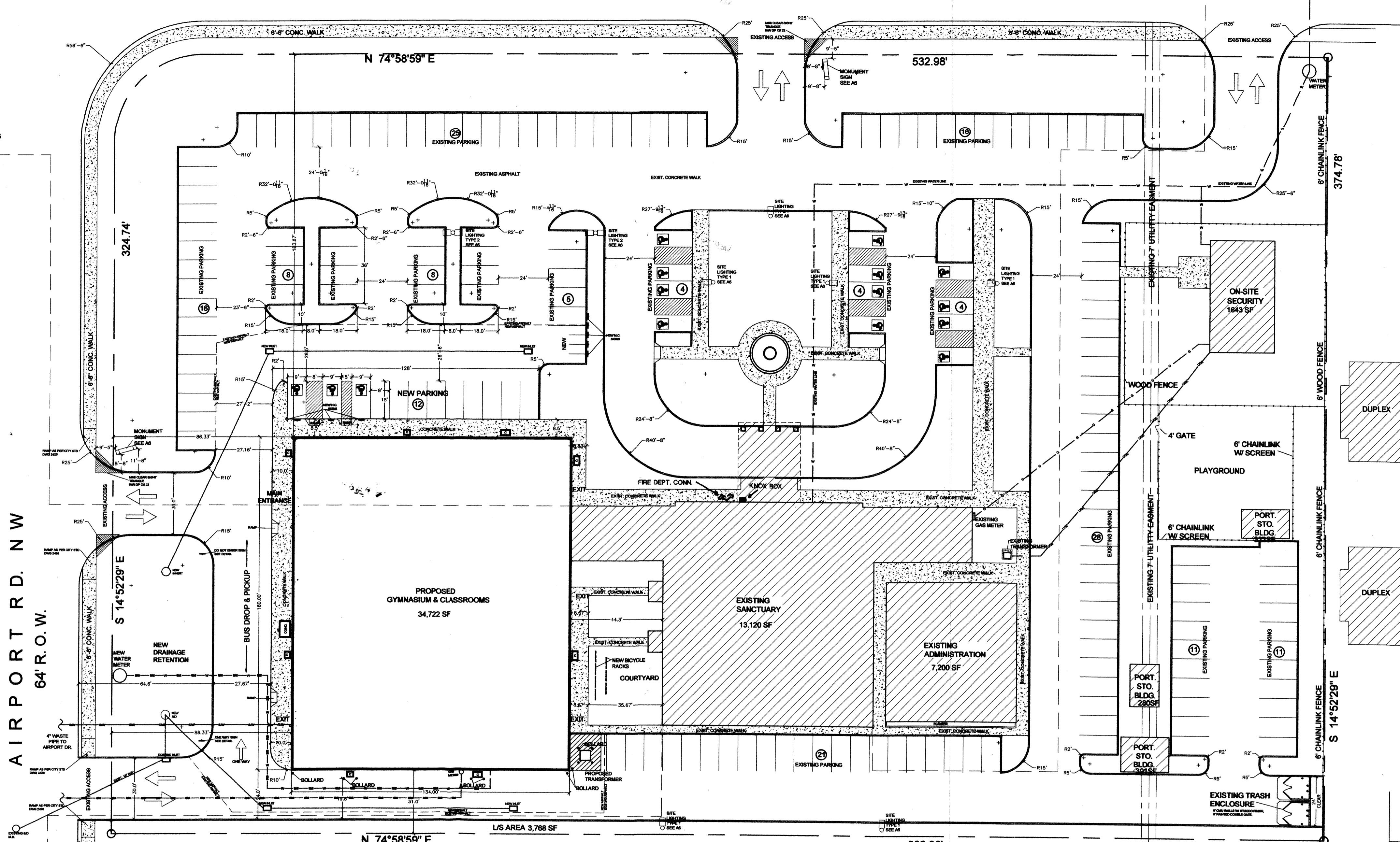


LOS VOLCANES RD. NW

64' R.O.W.



VICINITY MAP
1:900

AIRPORT RD. NW
64' R.O.W.

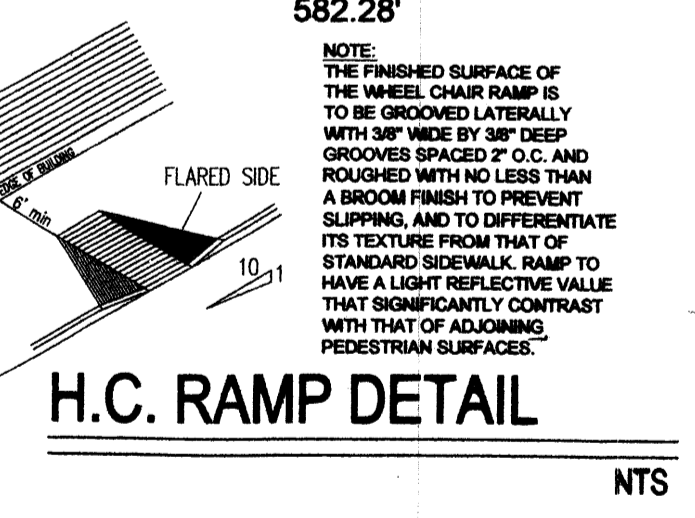
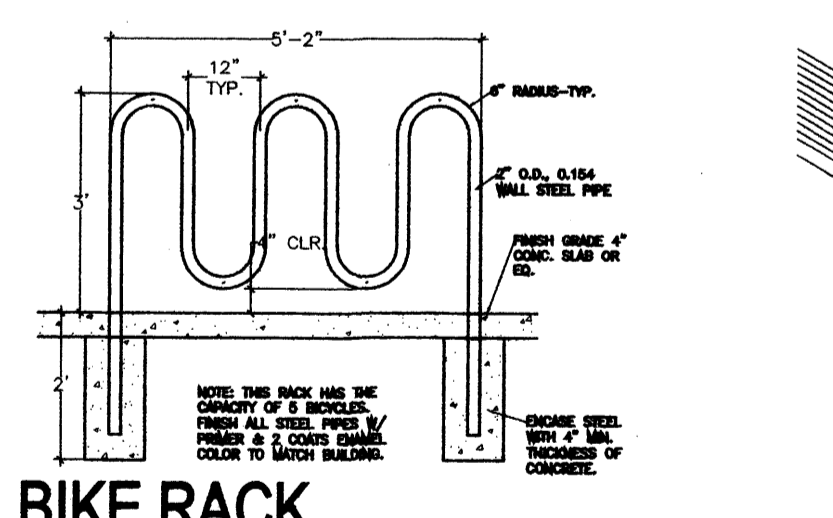
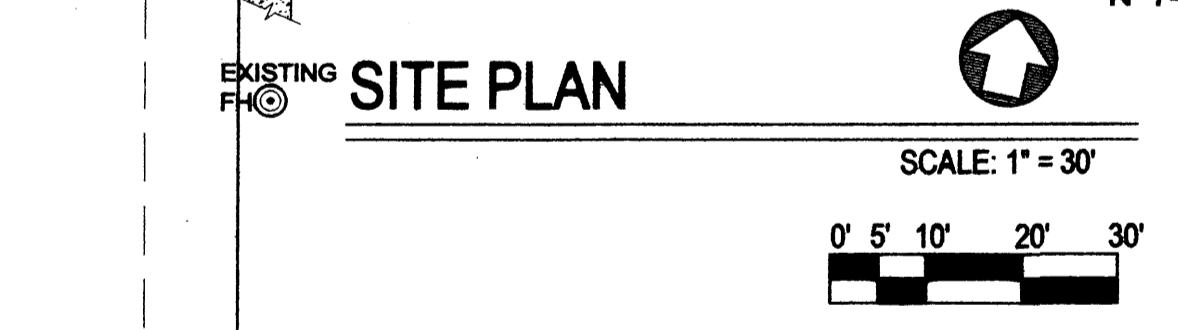
SIGNATURE BLOCK

PROJECT NUMBER: **1001426**
APPLICATION NUMBER: **08DRB-70411**

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH PUBLIC RIGHT-OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	10-16-08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	10-15-08
ABCWAJ	DATE
<i>[Signature]</i>	10/15/08
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	10/15/08
CITY ENGINEER	DATE
<i>[Signature]</i>	
"ENVIRONMENTAL HEALTH DEPT.. (CONDITIONAL)	DATE
<i>[Signature]</i>	9/16/08
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	11-5-08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



PARKING CALCULATIONS:

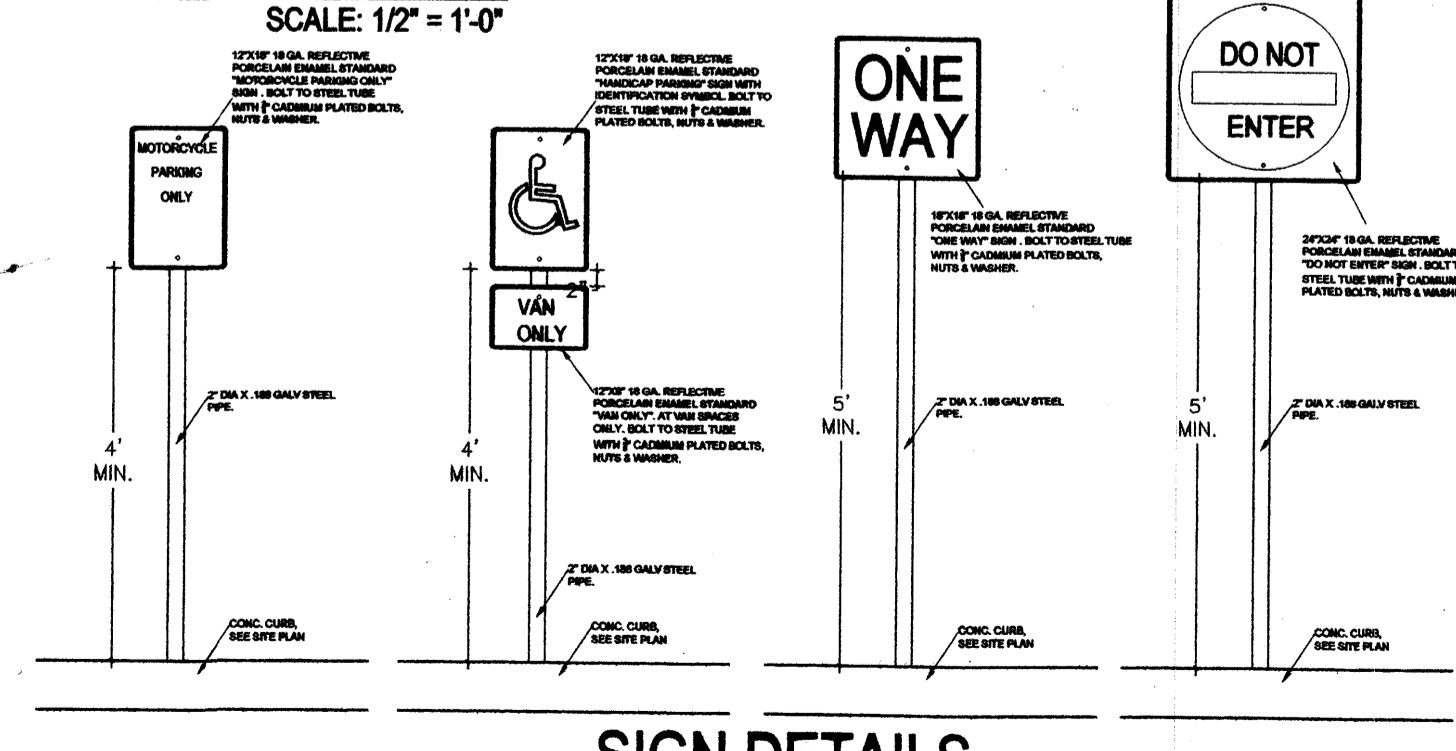
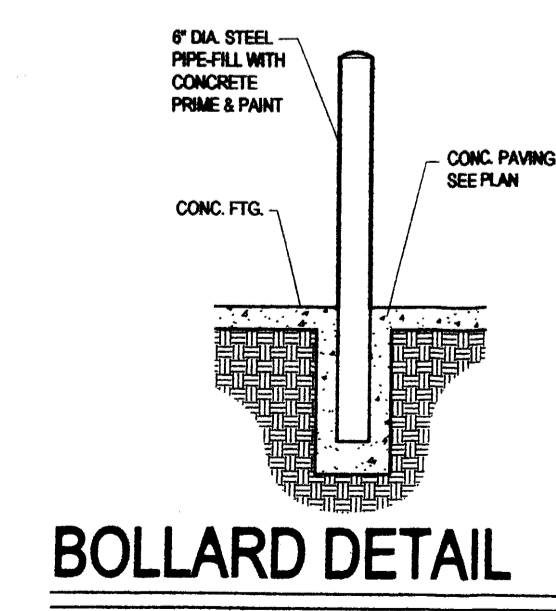
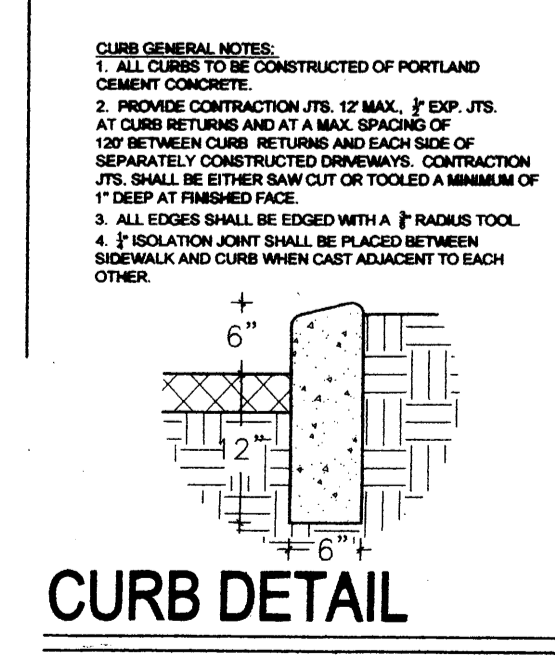
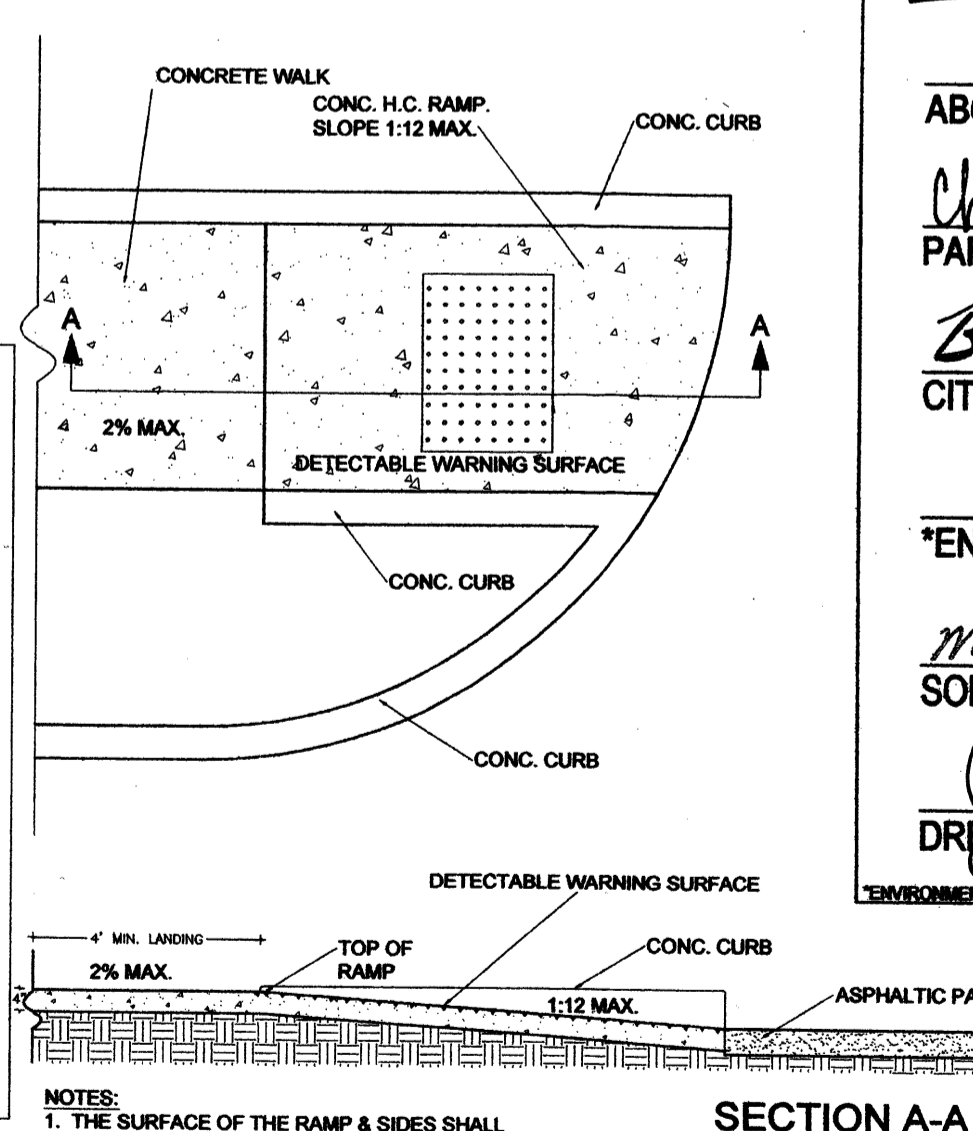
EXISTING SCHOOL: 19 STAFF = 19 SPACES
1 H.S. CLASSROOM = 3 SPACES

EXISTING SANCTUARY: 8,850' OF PEW/30' = 295
295 / 4 = 74 SPACES

NEW BUILDING: 25 CLASSROOM STAFF = 25 SPACES
(INCLUDING 2ND FL.)

NEW PARKING REQUIRED = 121 SPACES
(8 OF WHICH MUST BE H.C. ACCESSIBLE + 4 M.C. SPACES)

EXISTING PARKING PROVIDED: 161 SPACES
(12 OF WHICH ARE H.C. + 35 BICYCLE SPACES)



UNIDIRECTIONAL H.C. RAMP

NEW LIFE BAPTIST CHURCH & ACADEMY
N.T.S.

REVISIONS:

NEW LIFE BAPTIST CHURCH	DATE: 9/15/08
GOO GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO	
C-1 SITE PLAN	
STATE OF NEW MEXICO GARLAN D. BRYAN REGISTERED ARCHITECT No. 144	

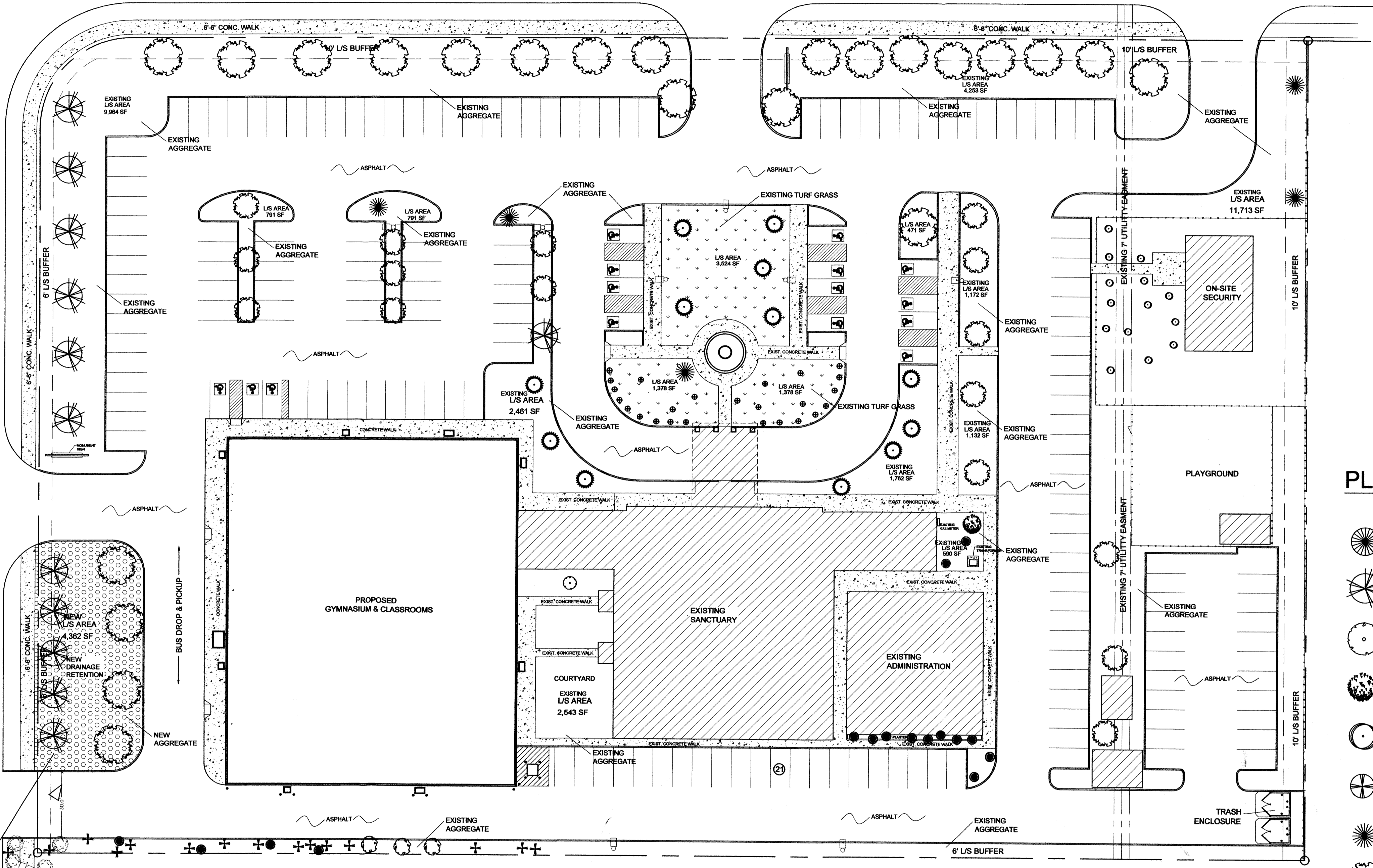
PROJECT # 1001416

LOS VOLCANES RD. NW

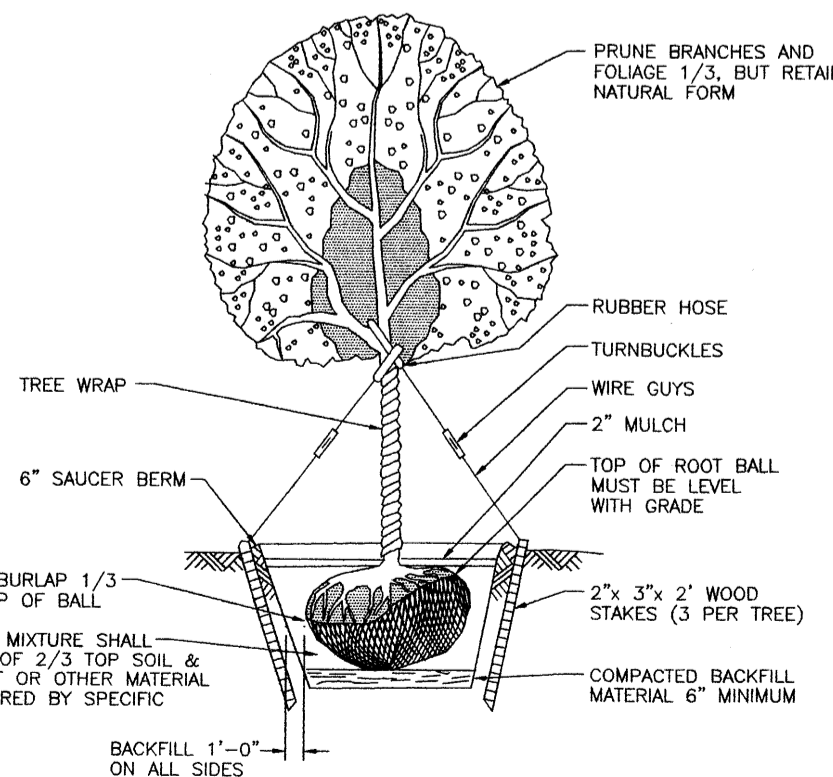
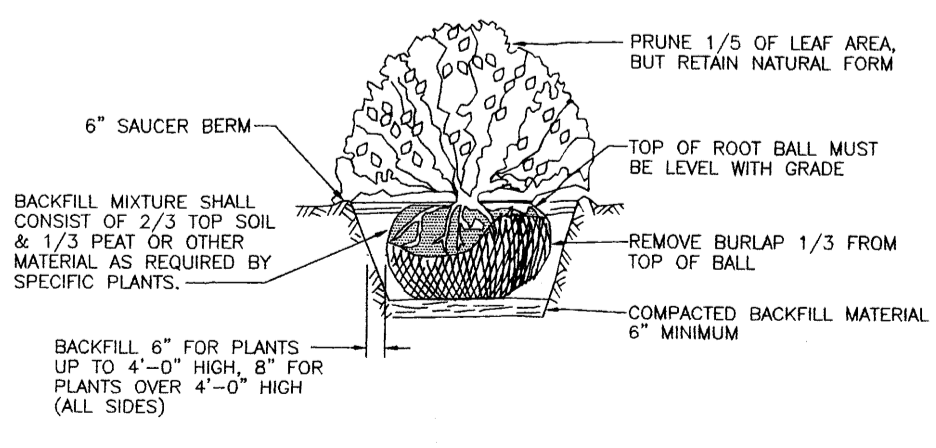
64' R.O.W.

FH

AIRPORT RD. NW
64' R.O.W.



NOTE: ALL LANDSCAPING IS EXISTING EXCEPT NEW L/S IN THE DRAINAGE RETENTION POND AS INDICATED



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	217,688 S.F.
TOTAL BUILDING AREA	39,000 S.F.
REQUIRED L/S BUFFERS	15,165 S.F.
	163,523 S.F.
	X 15%
REQUIRED L/S AREA:	24,528 S.F.
L/S PROVIDED:	48,285 S.F.
TOTAL NEW LANDSCAPE AREAS	23,757 S.F.

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE 2 (1.0) GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.

PARKWAY TREES SHALL BE CONNECTED TO COMMON AREA IRRIGATION SYSTEM. CONTRACTOR TO COORDINATE CONNECTION WITH JOURNAL CENTER CORPORATION.

LANDSCAPE NOTES

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF FROM WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

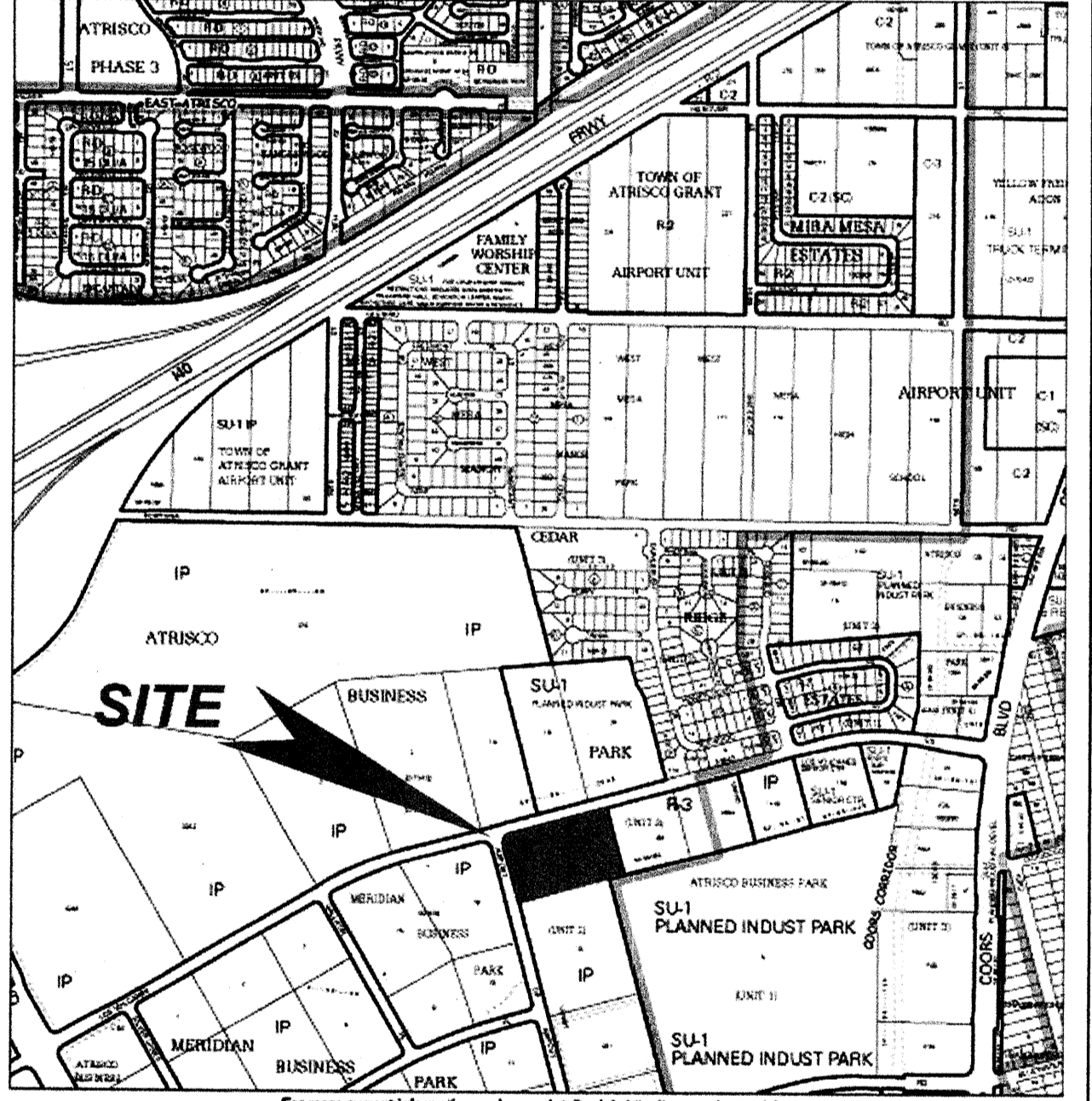
PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

NO PARKING SPACE SHALL BE GREATER THAN 100' FROM THE TRUNK OF A PARKING LOT TREE IN A LANDSCAPE ORDINANCE.

ALL ROCK MULCH SHALL HAVE A MIN. DEPTH OF 3"

PLANT LEGEND:

- BUTTERFLY BUSH
BUDDLEIA DAVIDII
- HONEY LOCUST
GLEDTISIA TRIACANTHOS
- SUMAC
RHUS TRILOBATA
- SPANISH BROOM
SPARTIUM JUNCEUM
- LILAC
SYRINGA VULGARIS
- SHRUBS OF VARIOUS SPECIES
- DESERT WILLOW
CHILOPSIS LINEARIS
- ASH
FRAXINUS PENNSYLVANICA
- FLOWERING PEAR
PYRUS CALLERYANA
- PURPLE SAGE
SALVIA DORRII
- JUNIPER
JUNIPERUS COMMUNIS
- TURF GRASS
- CONCRETE
- 4-6" SANTA ANA COBBLE



REVISIONS:

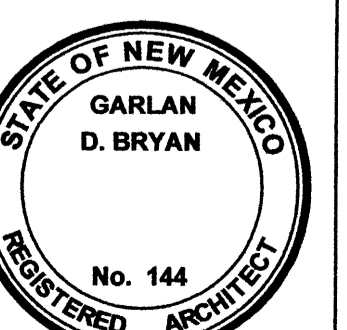
NEW LIFE BAPTIST CHURCH	DATE: 9/15/08
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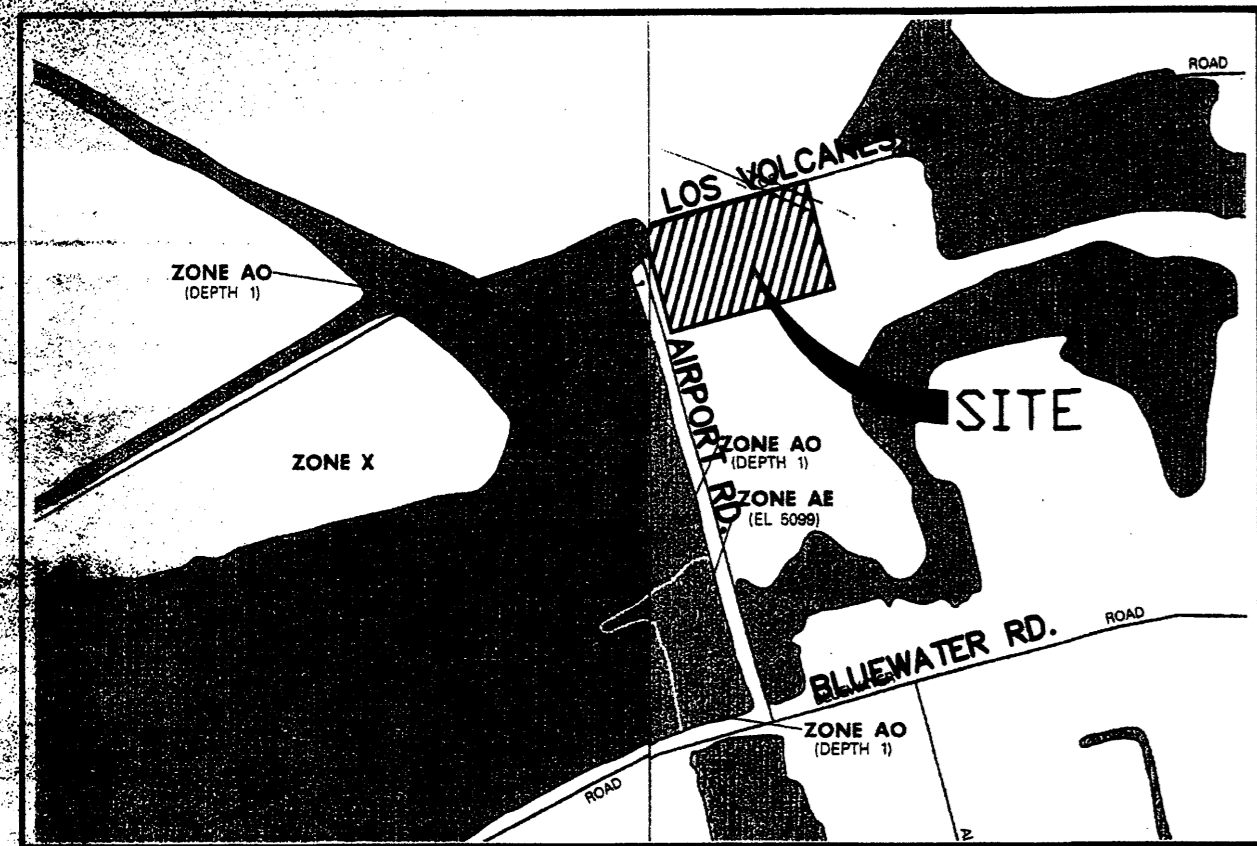


garlan bryan, architect
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO



LANDSCAPE PLAN





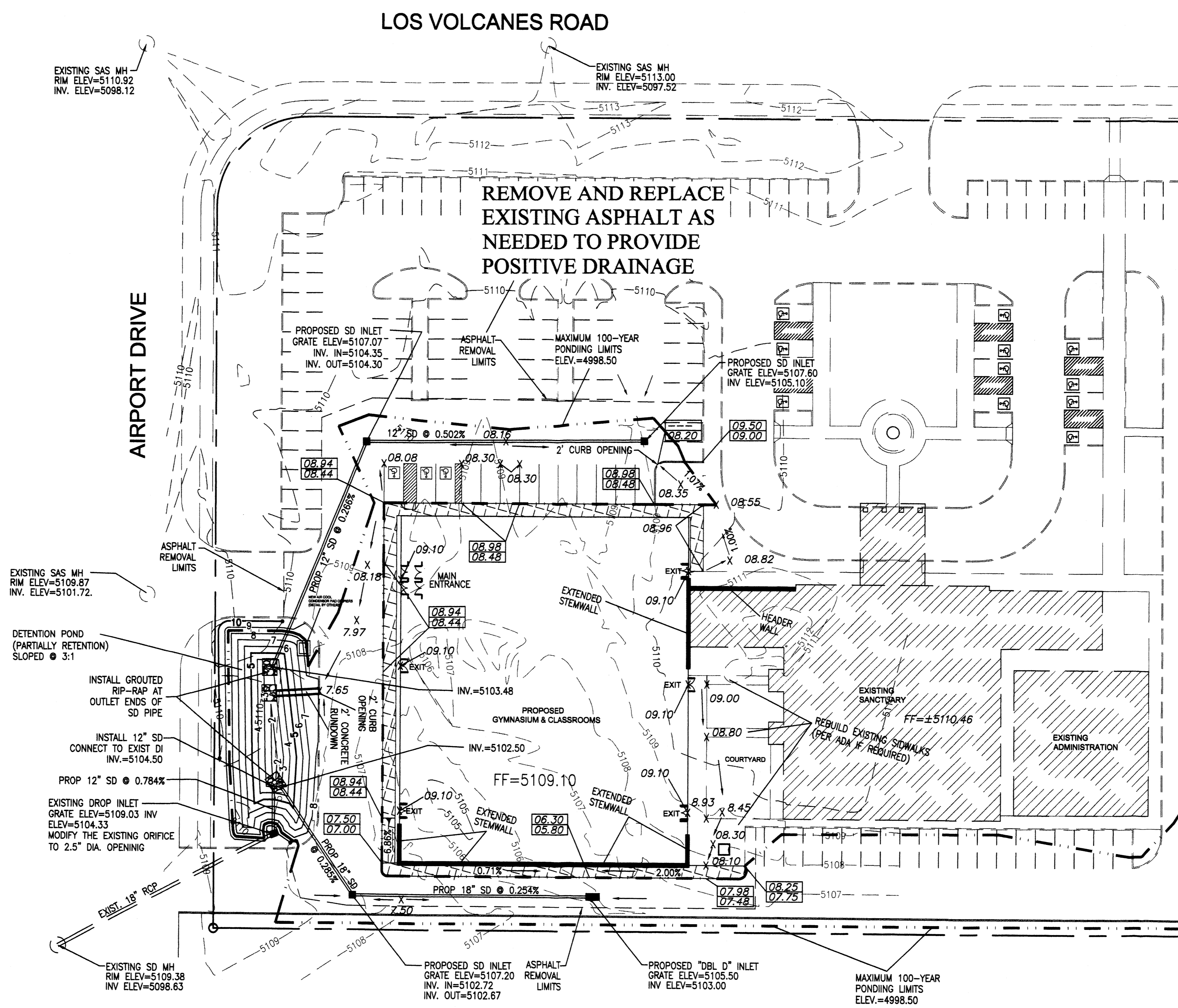
FIRM MAP: 35001C0128 D & 0129 D

- GENERAL NOTES:**
1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-9-J10 HAVING AN ELEVATION OF 5111.549 (NAVD88) FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.

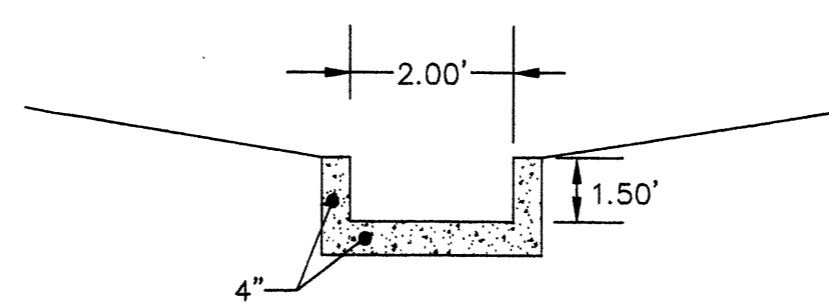
LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 8" SAS
	EXISTING 16" WL
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	EXISTING DROP INLET
	EXISTING STREET LIGHT
	EXISTING ANCHOR
	EXISTING POWER POLE

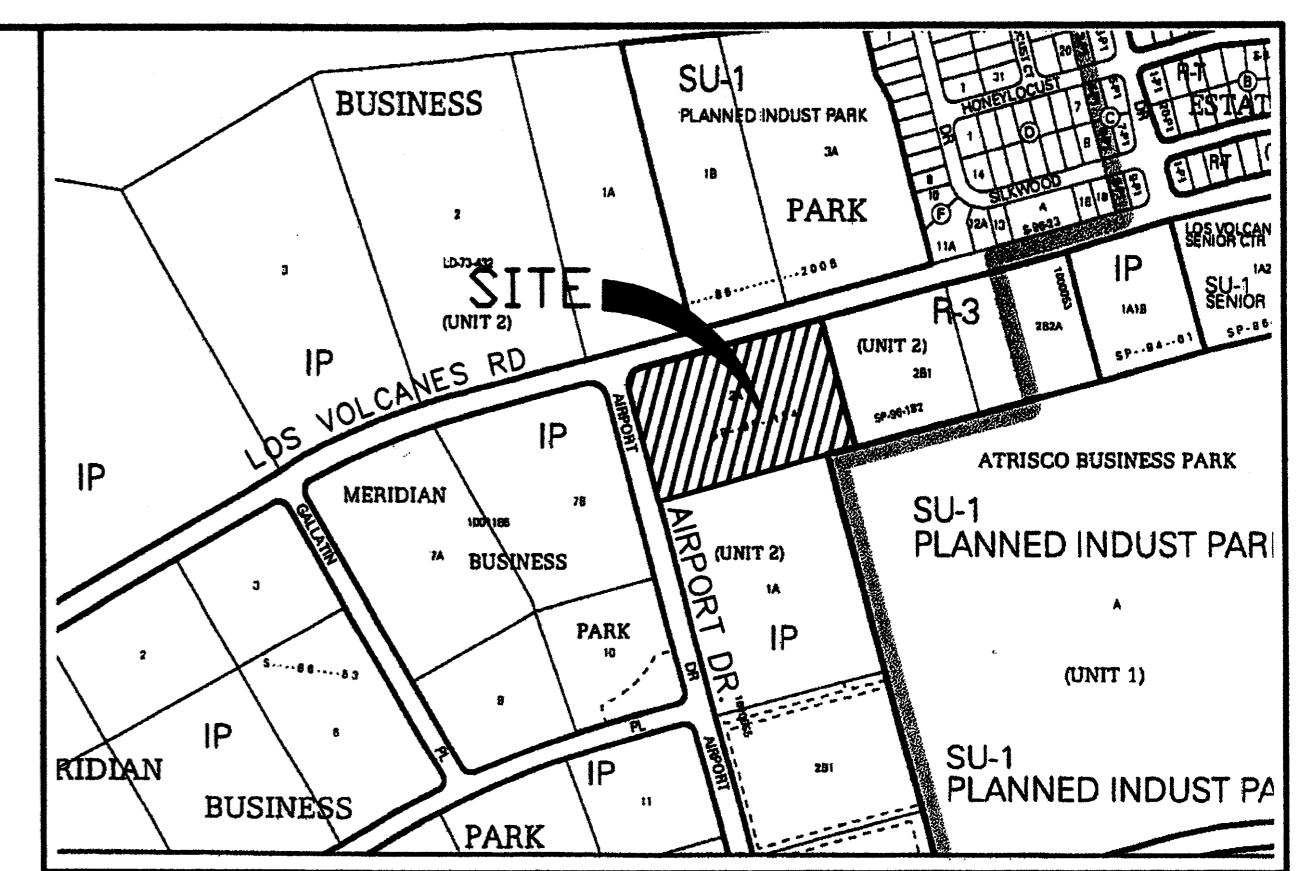
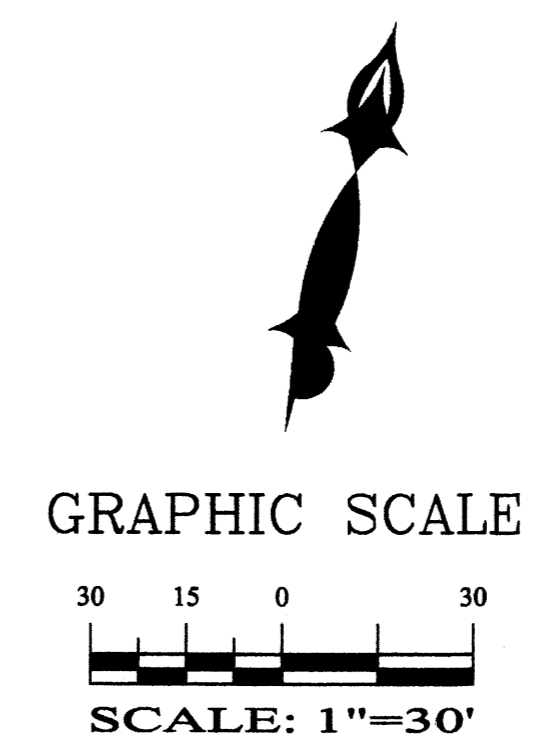
- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



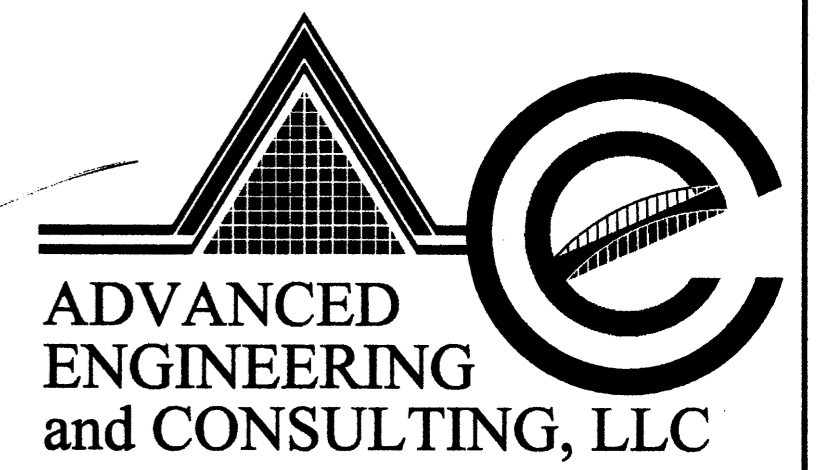
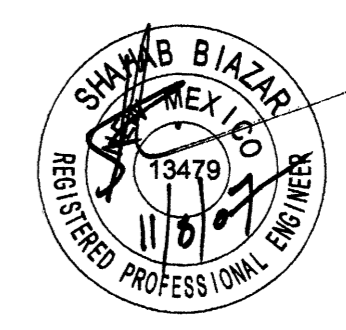
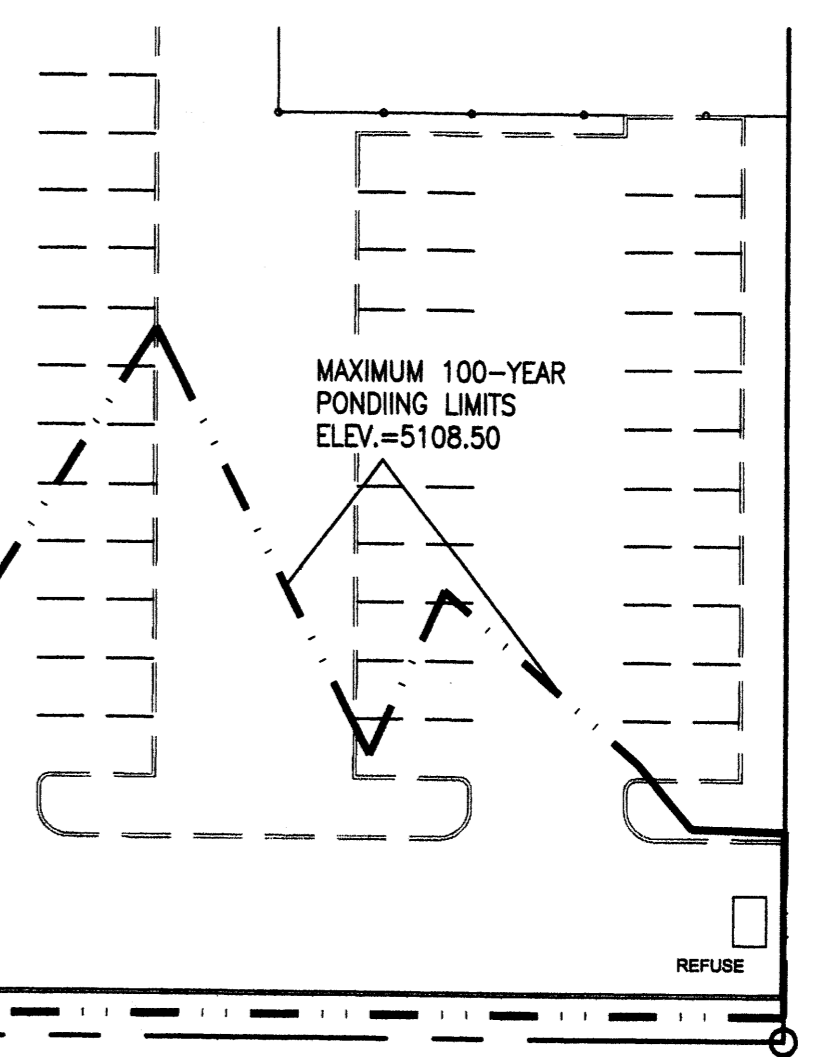
CONCRETE RUNDOWN
NTS



VICINITY MAP: J-10-Z

LEGAL DESCRIPTION:
ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15 TOWNSHIP NORTH, RANGE 2 EAST NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO CONTAINING 217,839.30 SQUARE FEET (5.001 ACRES) ZONED SU-2 IP

THE BERM SHOWN ON THE ORIGINAL GRADING AND DRAINAGE PLAN SHOULD BE MAINTAINED AT ELEV.=5108.50'



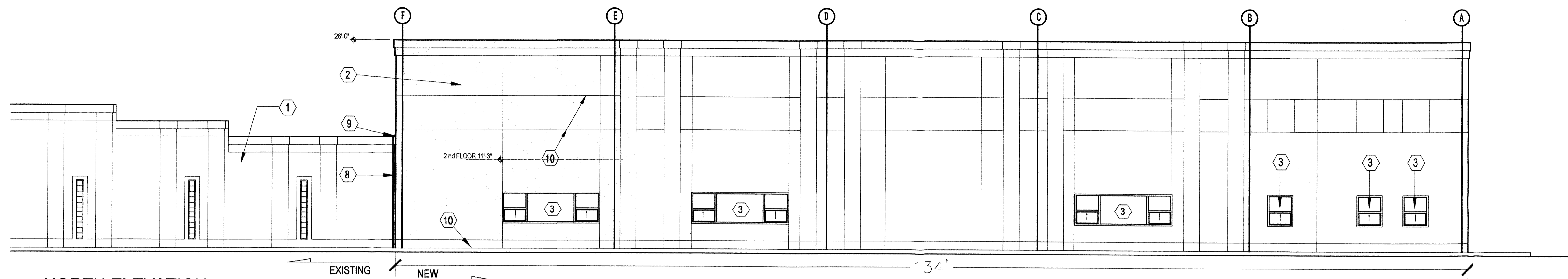
SHAHAB BIAZAR
P.E. #13479
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**NEW LIFE BAPTIST CHURCH ADDITION
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200554-GR.DWG	SBB	09-24-2007	1 OF 1

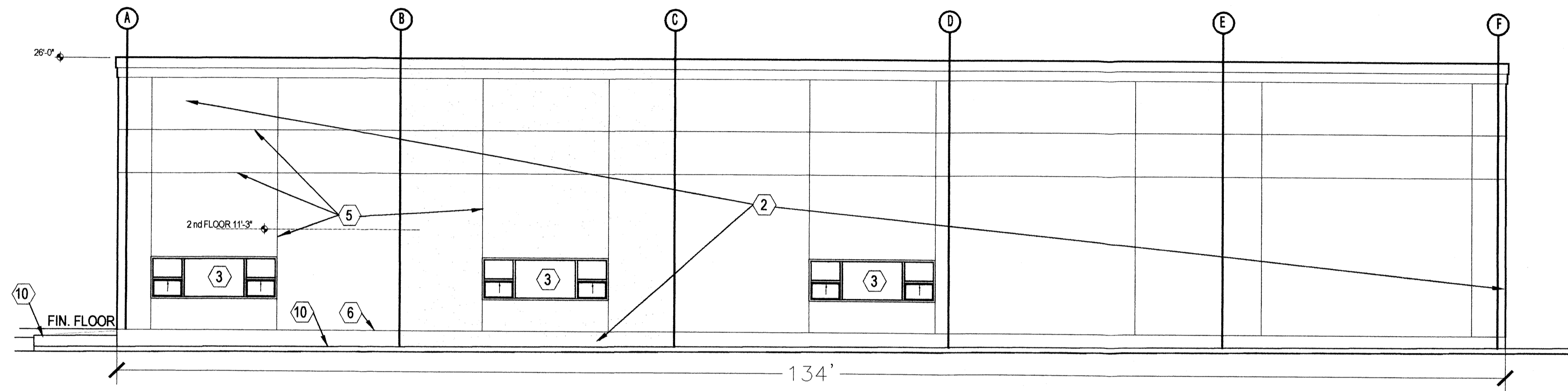
ROUGH GRADING APPROVAL _____ DATE _____

LAST REVISION: 11-08-07



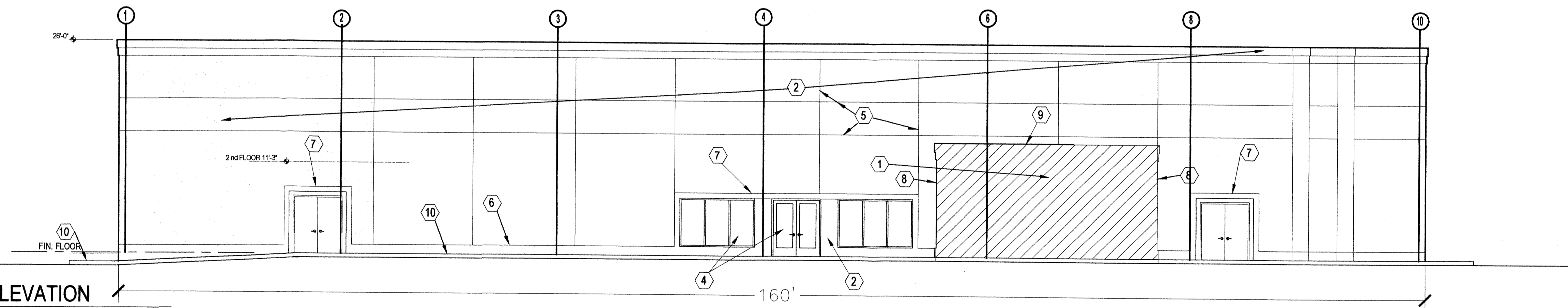
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



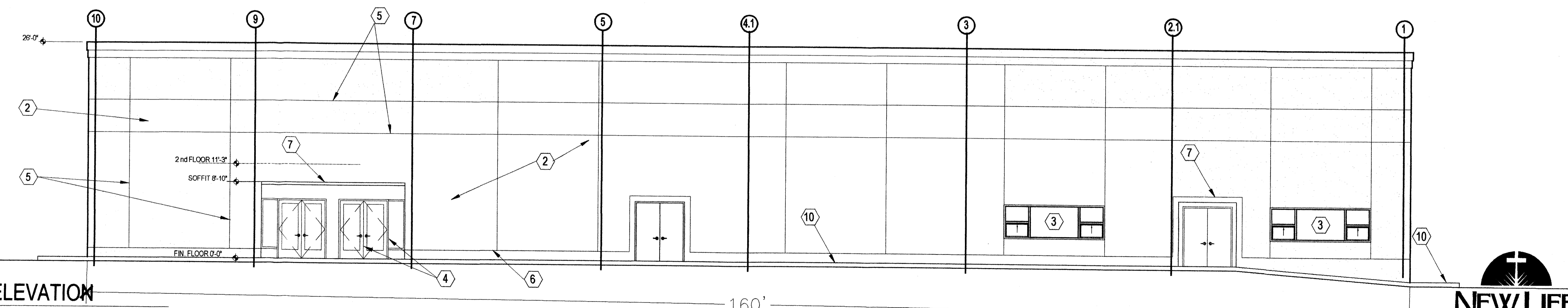
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

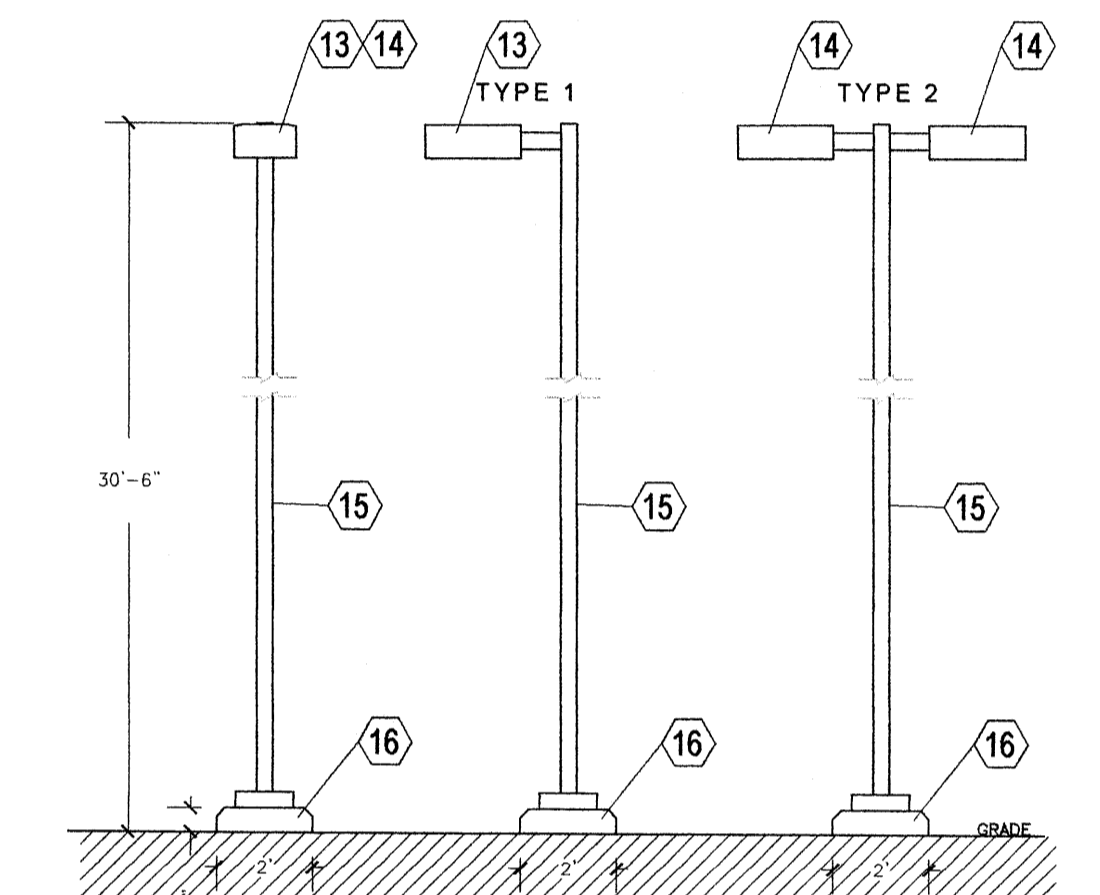
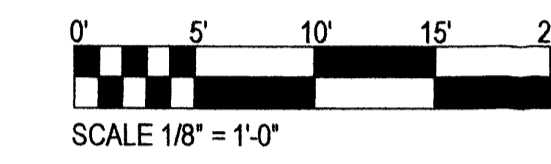


WEST ELEVATION

SCALE: 1/8" = 1'-0"

KEYED NOTES:

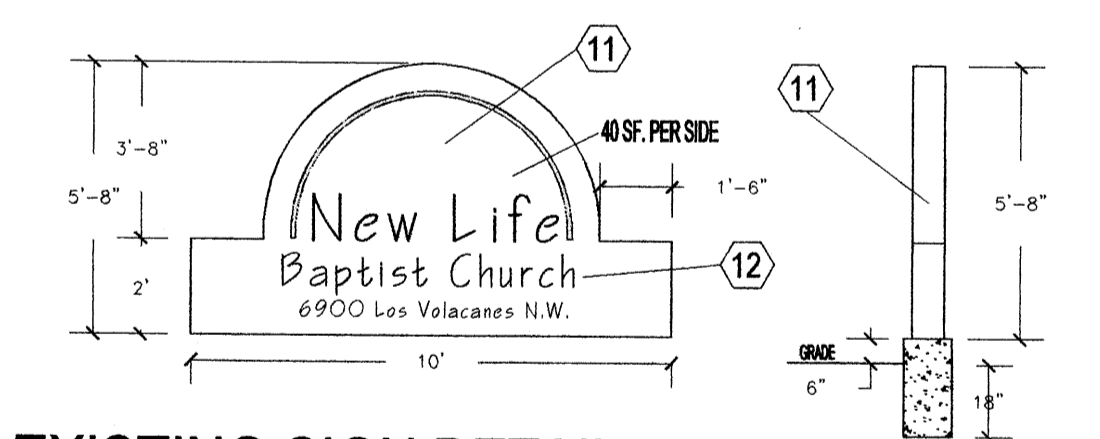
- 1 EXISTING BUILDING
- 2 3 COAT STUCCO SYSTEM TO MATCH EXISTING. EL REY "PAGENT"
- 3 ALUMINUM / GLASS WINDOWS. SEE WINDOW SCHEDULE. WHITE FRAMES, CLEAR GLASS, LOW E, TEMPERED
- 4 ALUMINIUM / GLASS STORE FRONT & DOORS. WHITE FRAMES, CLEAR GLASS, LOW E, TEMPERED
- 5 STUCCO CONTROL JOINT, TYPICAL
- 6 STUCCO WEEP CONTROL JOINT, CONT., TYPICAL
- 7 GALVANIZED METAL, STUCCO DRIP EDGE, CONT., TYPICAL
- 8 26 GA. GALV. METAL COUNTER FLASHING CONT., VERTICAL. SECURE TO EXIST. WALL W/ RH METAL SCREWS @ 48" O.C. TYPICAL
- 9 26 GA. GALV. METAL CANT STRIP W/ COUNTER FLASHING, SOLDER JOINT W/ VERTICAL COUNTER FLASHING.
- 10 CONCRETE SIDEWALK
- 11 STUCCO FINISH, TO MATCH BUILDING
- 12 DARK BROWN METAL LETTERS
- 13 LITHONIA #KSF2-400M-R3-208-SP04
- 14 LITHONIA #KSF2-400M-R3-208-SP09
- 15 POLE: SSS-30-5C-DM19-DMB (30', BRONZE)
- 16 24" CONCRETE BASE



EXISTING SITE LIGHTING

SCALE: 1/4" = 1'-0"

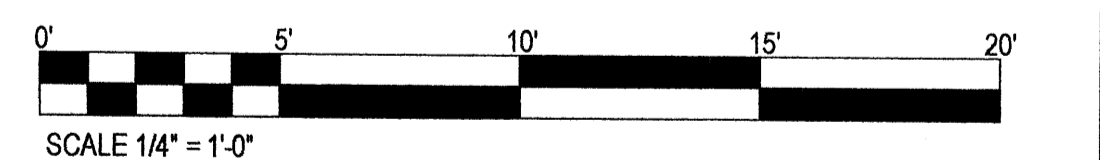
SEE SITE PLAN FOR LOCATION





EXISTING SIGN DETAIL

SCALE: 1/4" = 1'-0"

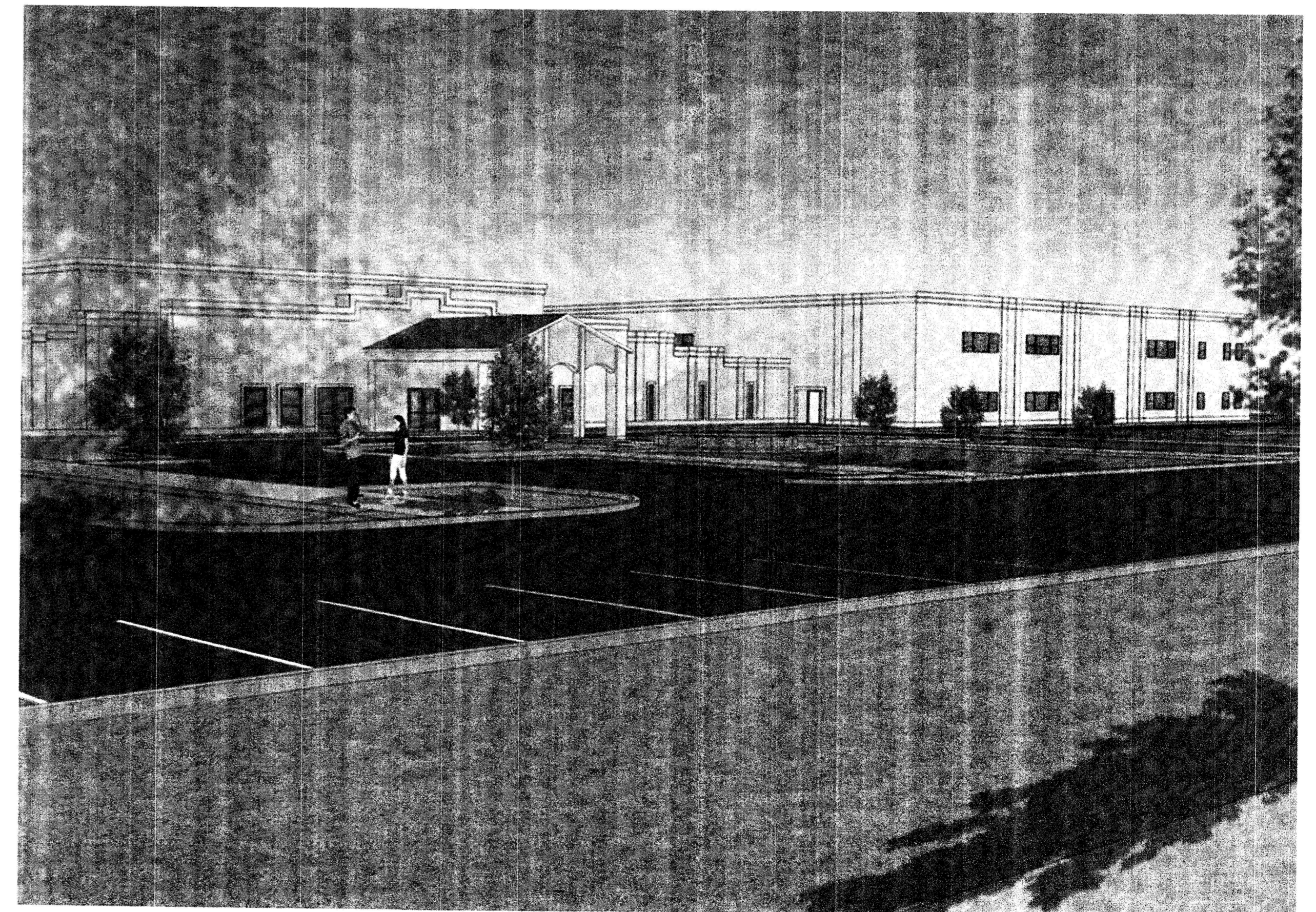
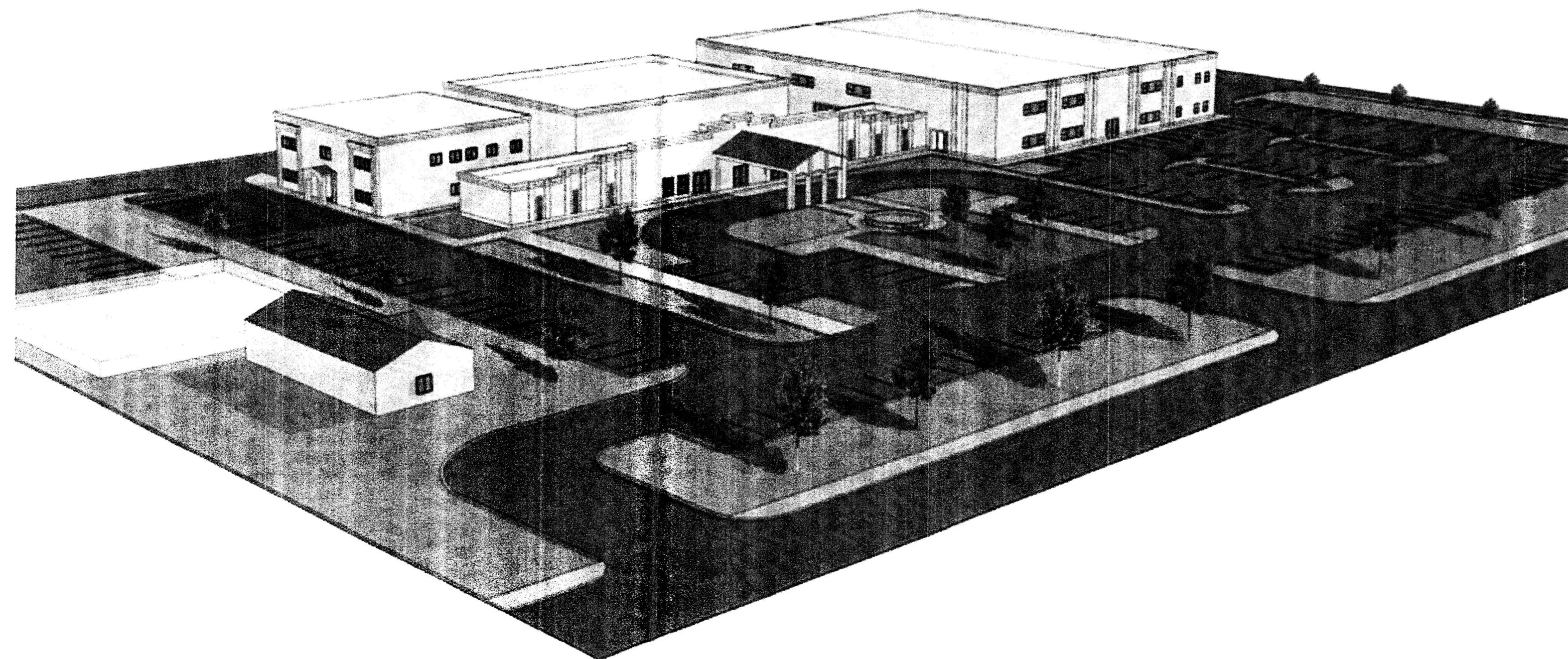
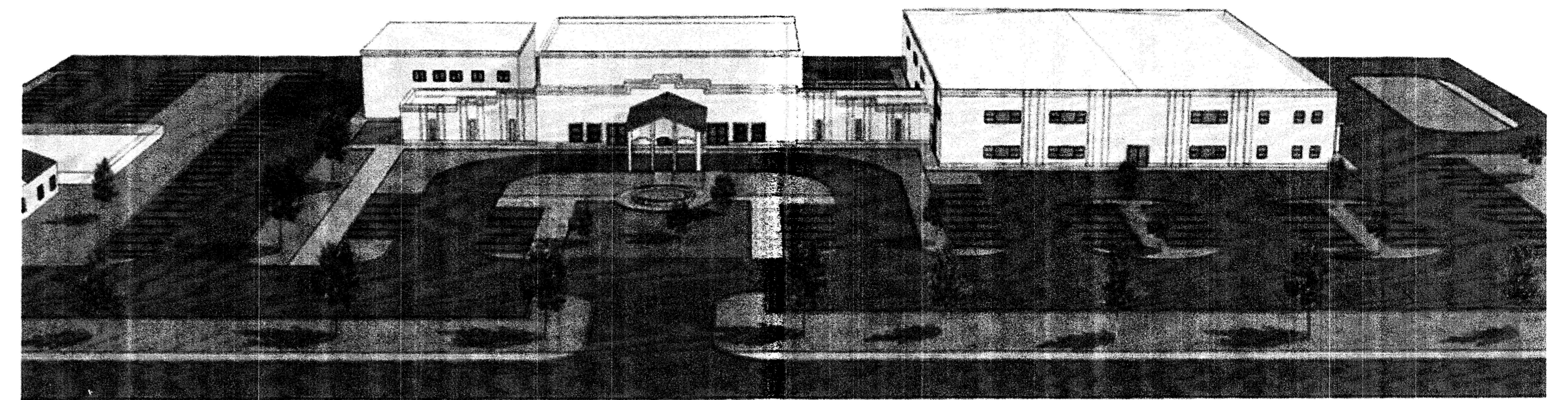
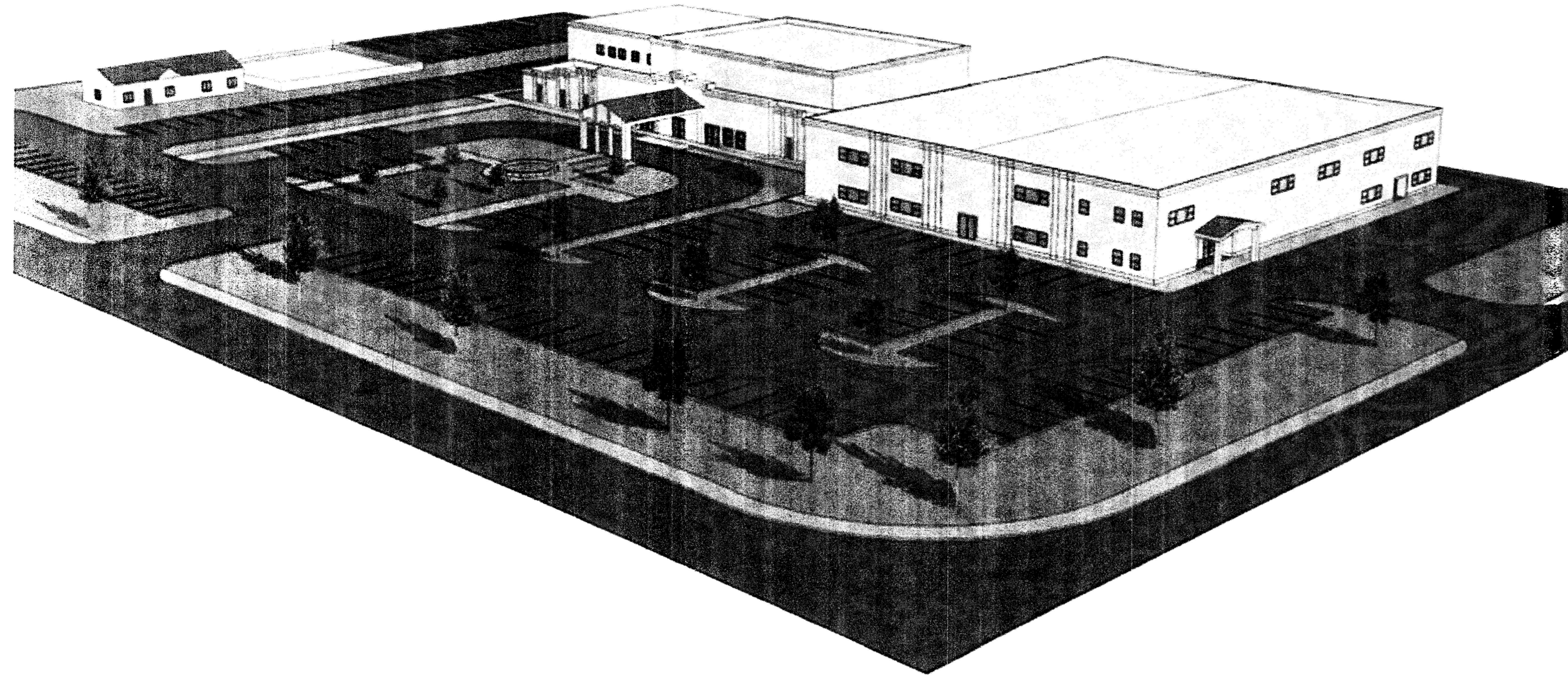
SEE SITE PLAN FOR LOCATION



REVISIONS:

NEW LIFE BAPTIST CHURCH		9/15/08
 GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO		
	A-6	ELEVATIONS





NEW LIFE BAPTIST CHURCH

DATE: 9/15/08



GARLAN BRYAN, ARCHITECT
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

A-6a

RENDERINGS

