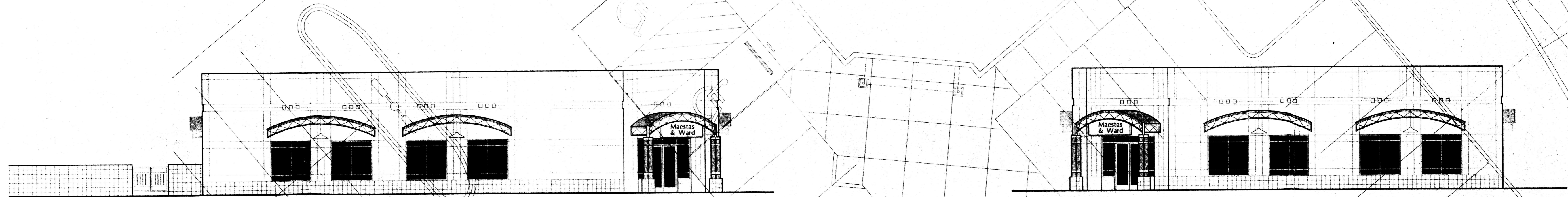


## Drawing Index

- 1A Site Development Plan for Subdivision
1. Site Development Plan for Building Permit
2. Grading and Drainage Plan
3. Master Utility Plan
4. Landscape Plan
5. Building Elevations
6. Phase I approved DRB Site Plan
7. Phase II approved DRB Site Plan
8. Sheets 1 and 2 of the Plat (For information only)
9. Sheet 3 of the plat (For information only)



# Maestas & Ward Market Place At The Journal Center Phase Three

Albuquerque, New Mexico

DRB SUBMITTAL

### Architectural

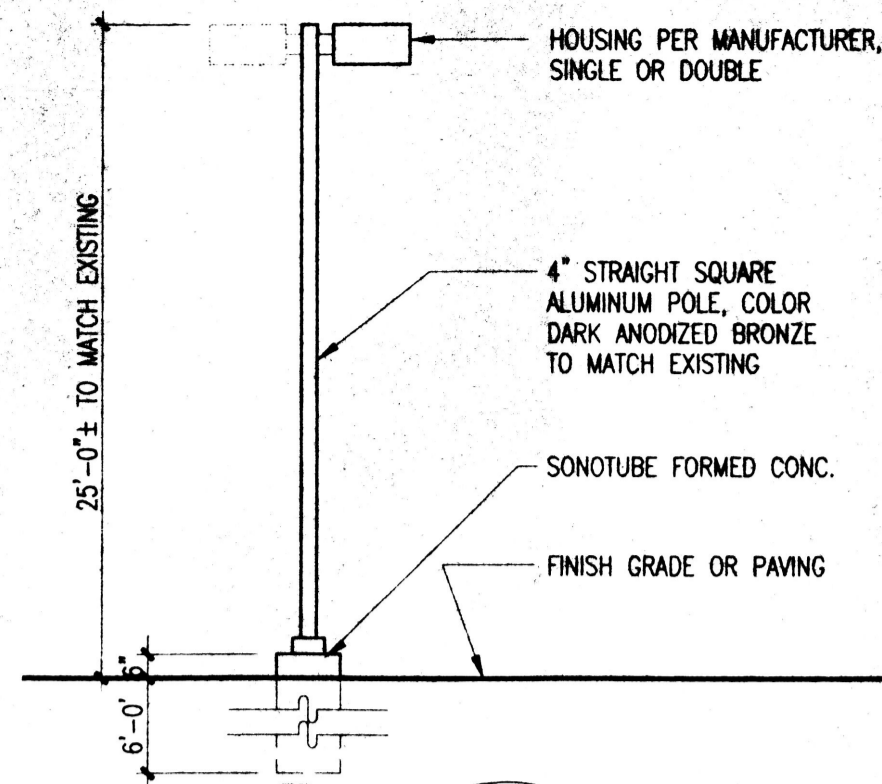
Dekker/Perich/Sabatini, Ltd.  
6801 Jefferson NE, Suite 100  
Albuquerque, New Mexico 87109  
(505) 761-9700  
Fax: 761-4222

### Civil:

Tierra West  
8509 Jefferson NE  
Albuquerque, New Mexico 87113  
(505) 858-3100  
Fax: 858-1118

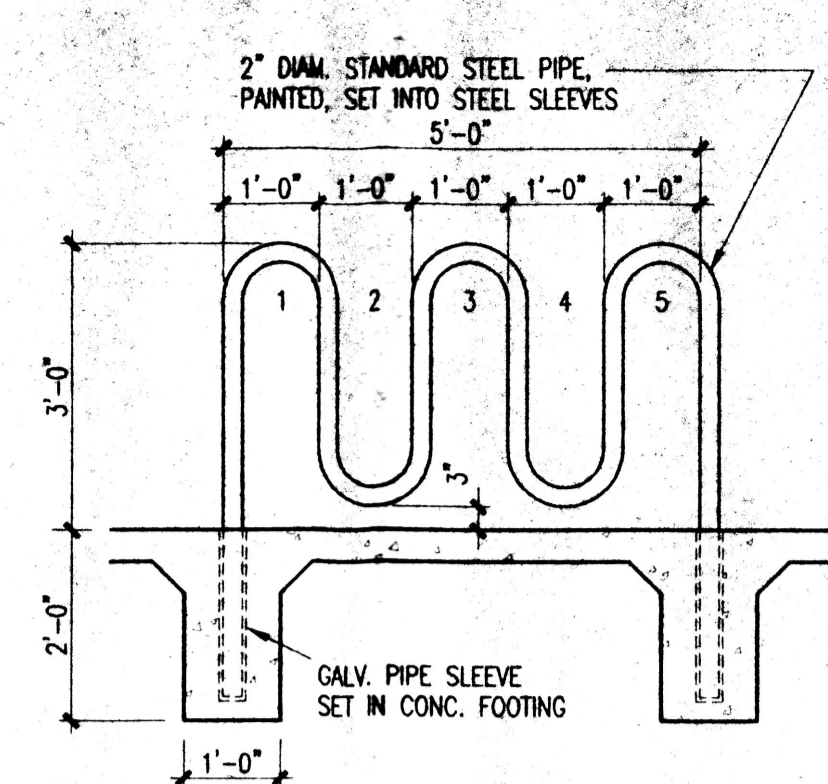
### Landscape

The Hilltop  
7909 Edith NE  
Albuquerque, New Mexico 87184  
(505) 898-9690  
Fax: 898-7737

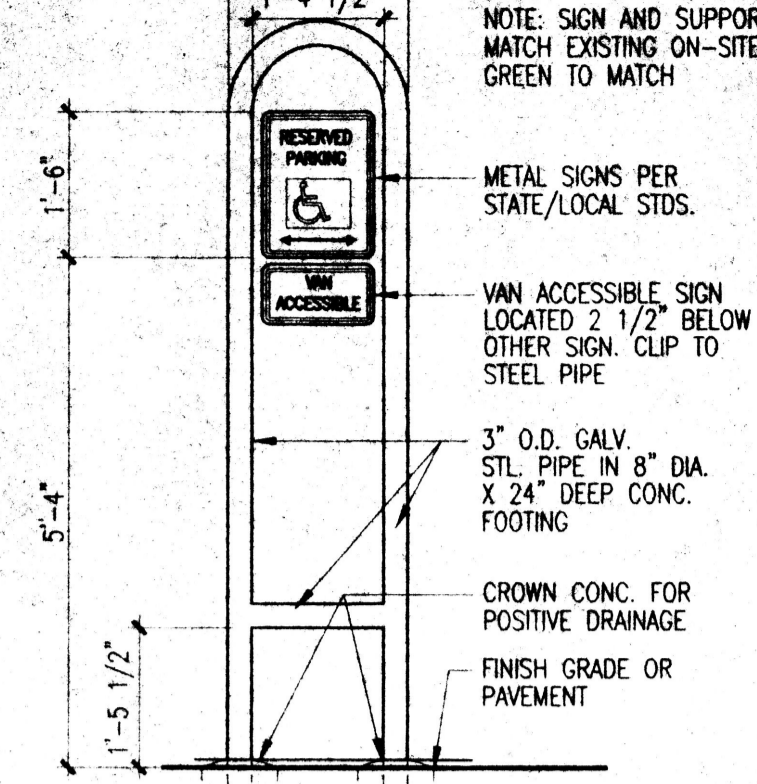


**Parking Light Elevation**  
1/4"=1'-0"

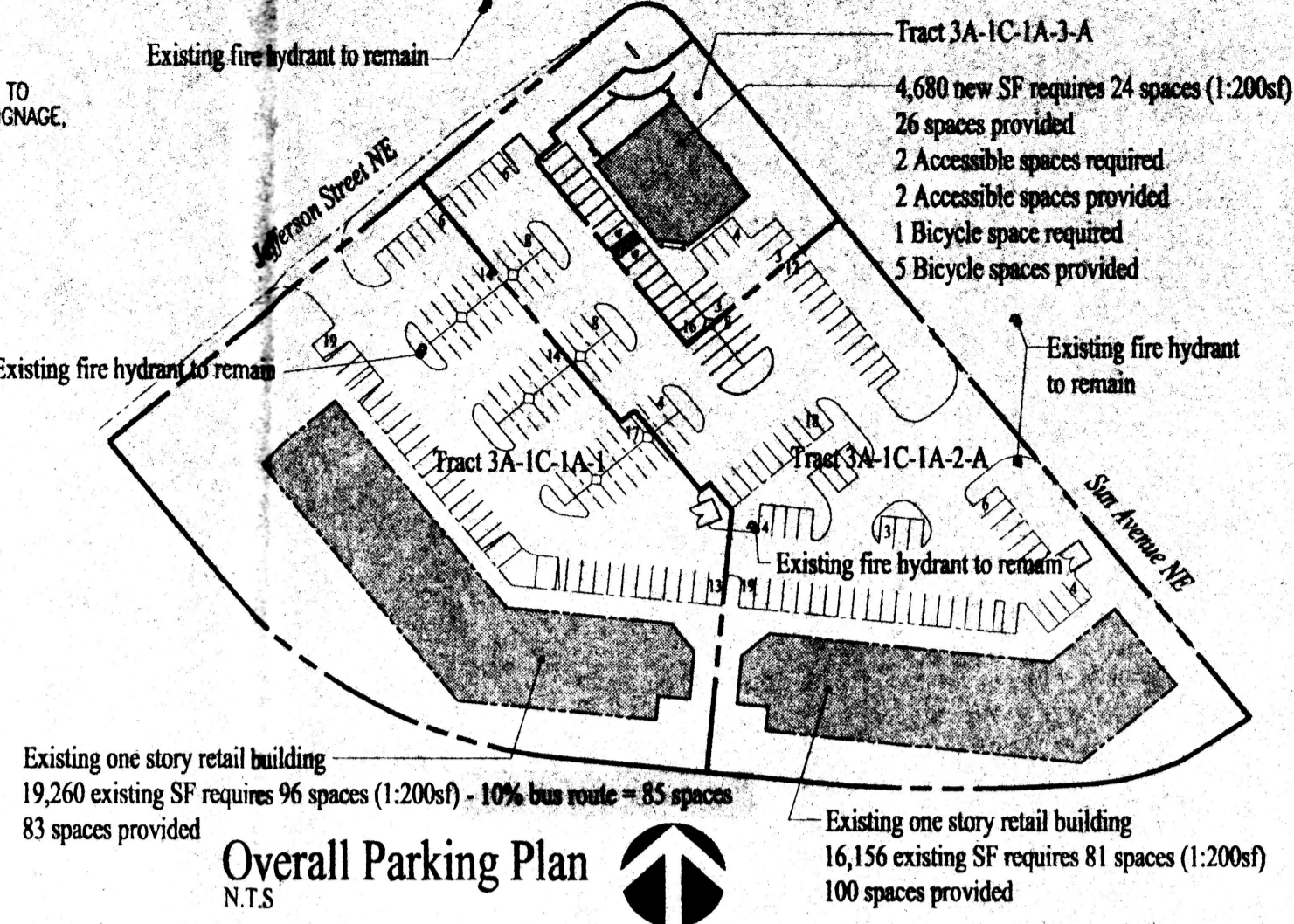
NOTE: NO FLUORESCENT LIGHT WILL BE ALLOWED.  
ALL LIGHTING MUST REMAIN ON SITE



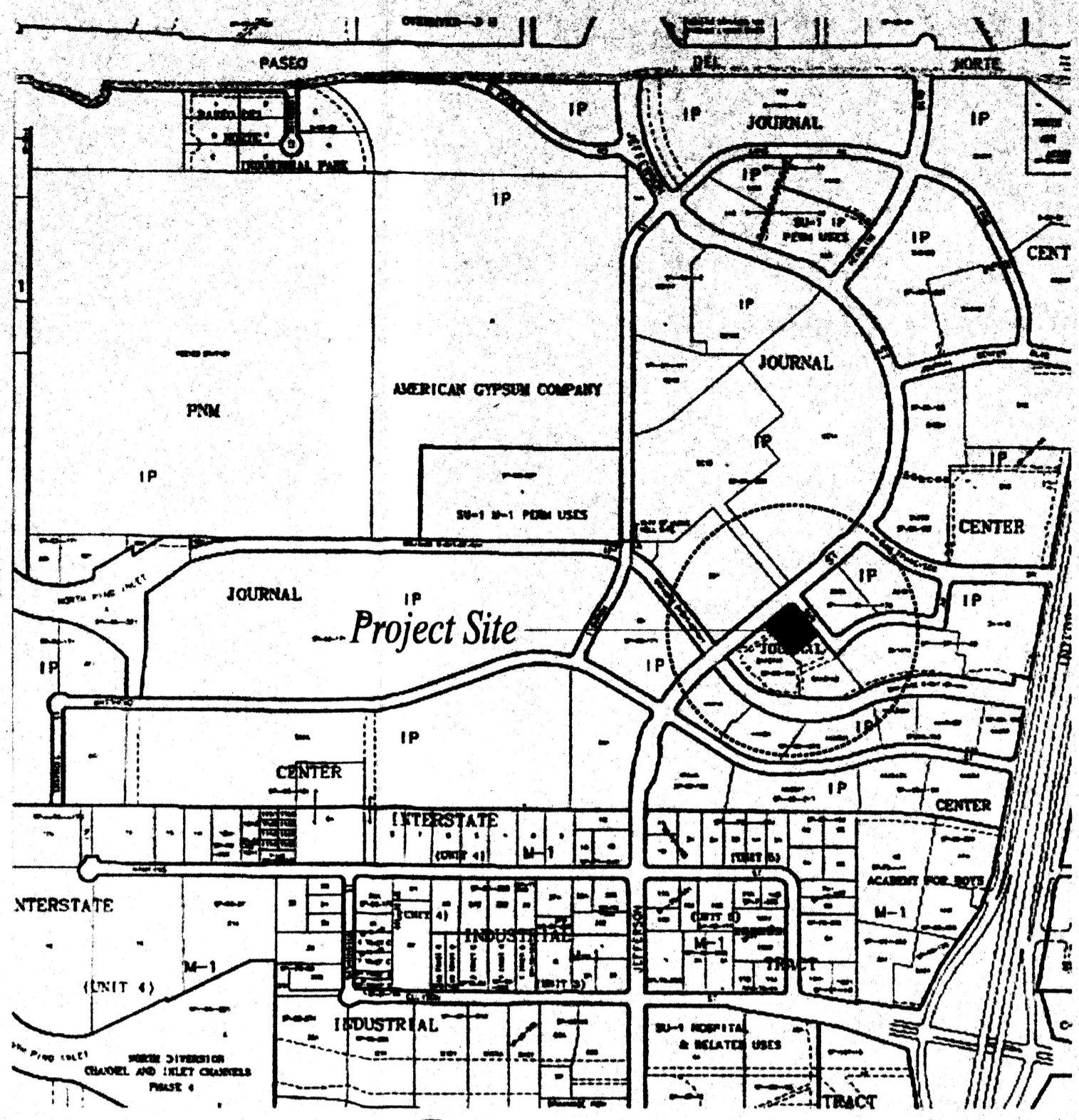
**Bicycle Rack Elevation**  
1/2"=1'-0"



**Accessible Parking Sign**  
1/2"=1'-0"



**Overall Parking Plan**  
N.T.S.



**Vicinity Map**  
D-17-Z

**General Notes**

- A. Parking spaces are 8.5'x20'1", unless noted otherwise.
- B. All building colors to match existing shopping center.
- C. Reciprocal common access and parking easements apply as recorded on October 1, 1998 in Book 9816, Page 4208 as Document No. 1998128038.
- D. Remove all existing traffic control bollards and chain in their entirety.

**Project Data**

- 1. Legal Description  
Tracts numbered 3A-IC-1A-2 and 3A-IC-1A-3 of Journal Center as the same shown and designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on November 4, 1998 in Volume 98C, Folio 317, containing 2.6343 acres more or less, now comprising tracts 3A-IC-1A-2-A and 3A-IC-1A-3-A Journal Center.
- 2. Zoning  
City of Albuquerque, New Mexico Zone: SU-1 for O-1
- 3. Areas  
Total Tract Area: 18,795 sf, 0.431 acres  
Building Area: 4,688 sf  
F.A.R.: 0.249
- 4. Proposed Use  
Single tenant office
- 5. Parking  
Parking Required (1 space per 200 NSF): 24 spaces  
Parking provided: 26 spaces  
ADA parking required: 2 spaces  
ADA parking provided: 2 spaces, 1 being van accessible  
Bicycle parking required (1:20 autos): 2 spaces  
Bicycle parking provided: bike rack that can park 5 bicycles
- 6. Building Data:  
Construction Type VN, non-sprinklered  
Occupancy Group B, single tenant

**Journal Center Approval**

This plan has been reviewed and approved by the Journal Center Architectural Review Committee

*[Signature]*  
Date

**Keyed Notes**

- 1. Existing trash enclosure with doors to COA standards to remain. Dumpster to be shared with Phase 3 by written agreement.
- 2. Existing 6' wide concrete sidewalk in pedestrian access easement to remain.
- 3. Existing parking stripping to remain.
- 4. Dashed line indicates extents of concrete curb and parking stripping (where occurs) to be removed.
- 5. Dashed line indicates extent of concrete ramp to be removed.
- 6. Existing 25' high site lighting standard to remain. All new fixtures to match existing in height, color and fixture type.
- 7. Existing monument sign to remain.
- 8. Existing pedestrian plaza and landscaping to remain. Pedestrian access easement to be granted to the City of Albuquerque by plat.
- 9. New bike rack capable of parking 5 to match existing. Refer to detail on this sheet.
- 10. New monument sign to match colors and materials of Phase 3 building, refer to detail on sheet 5.
- 11. New 6' wide min. concrete sidewalk in pedestrian access easement granted to the COA by plat.
- 12. New concrete paving with tooled control joints at 6' o.c. patterned as shown.
- 13. New accessible sidewalk ramp.
- 14. New accessible parking space; 20'Lx8.5'W with concrete parking bumper anchored to paving, sign per detail this sheet and adjacent 20'Lx8'W access aisle.
- 15. 4'x4' tree well.
- 16. 5'x5' diamond tree well.
- 17. 6" high standup concrete curb with landscaping shown on the landscaping plan.
- 18. 4'-8" high ground face masonry unit wall, re building elevations sheet 5. Note: this is a privacy wall not a retaining wall.
- 19. New pole mounted lighting standard to match existing on-site.
- 20. Patio gate, refer sheet 5.
- 21. Existing accessible sidewalk ramp to City of Albuquerque standards to remain.
- 22. Lot line eliminated by Plat.
- 23. Lot line created by Plat, shown bold.
- 24. Remove existing temporary asphalt curb. Replace with concrete stand-up curb to match existing adjacent.
- 25. Concrete swale, refer Grading and Drainage Plan.
- 26. (5) 5 1/2" high concrete steps with 44" landings, refer Grading and Drainage Plan.
- 27. Painted steel sidewalk culvert cover to COA standards.
- 28. (4) 7" high concrete steps with 44" landings, refer Grading and Drainage Plan.

Application # 01450-00000-01193/01420-00000-01194  
Project Number 100 1424

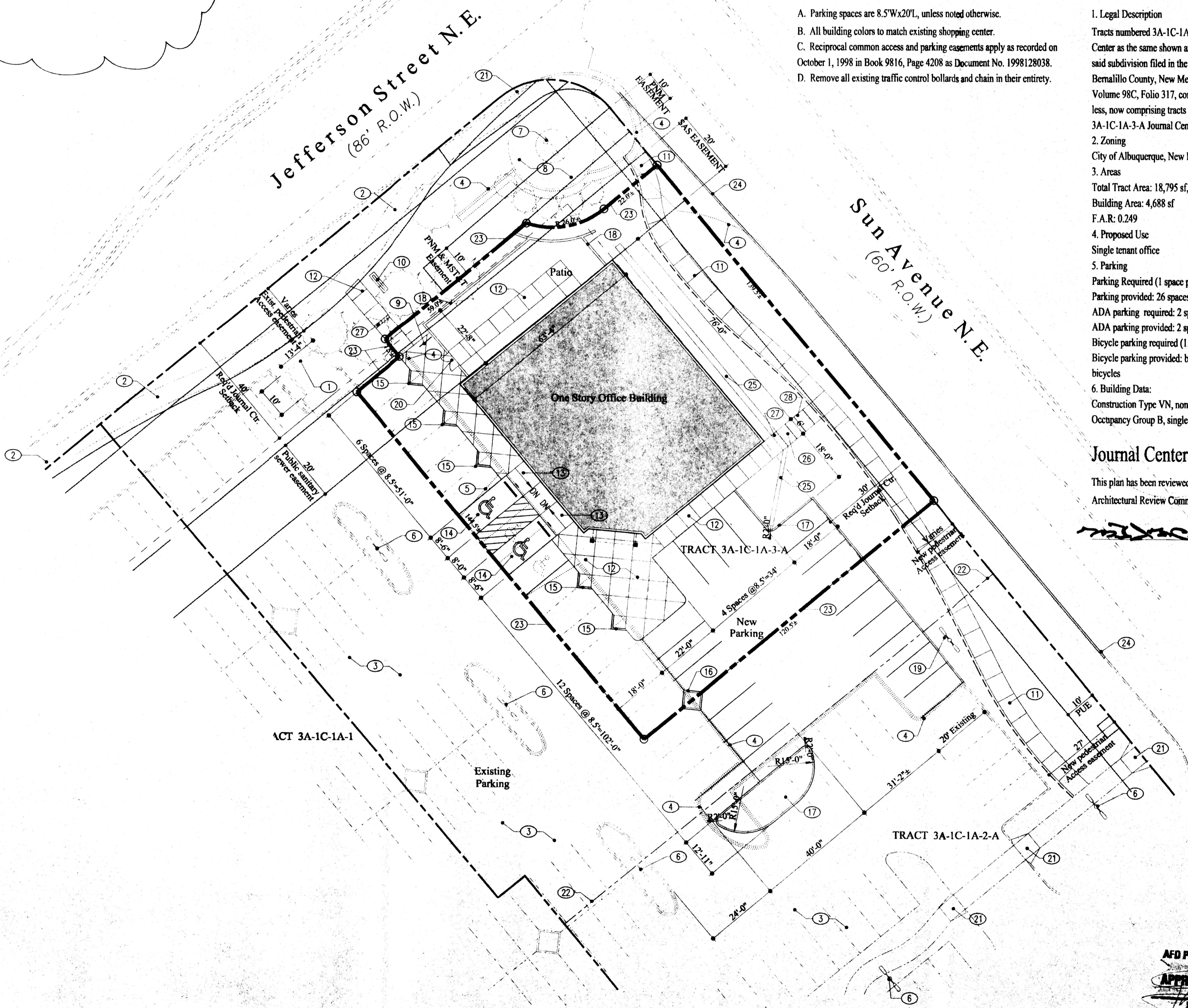
This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on 9/5/01 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**Site Development Plan**

- [Signature]*  
Traffic Engineer, Transportation Division  
Date 9-05-01
- [Signature]*  
Parks & Recreation Department  
Date 9/5/01
- [Signature]*  
Public Works, Water Utilities Division  
Date 9-25-01
- [Signature]*  
City Engineer, Engineering Division / AMAFCA  
Date 9/5/01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

- [Signature]*  
City Planner, Albuquerque  
Planning Division  
Date 10/23/01
- [Signature]*  
Solid Waste  
Date 8-20-01



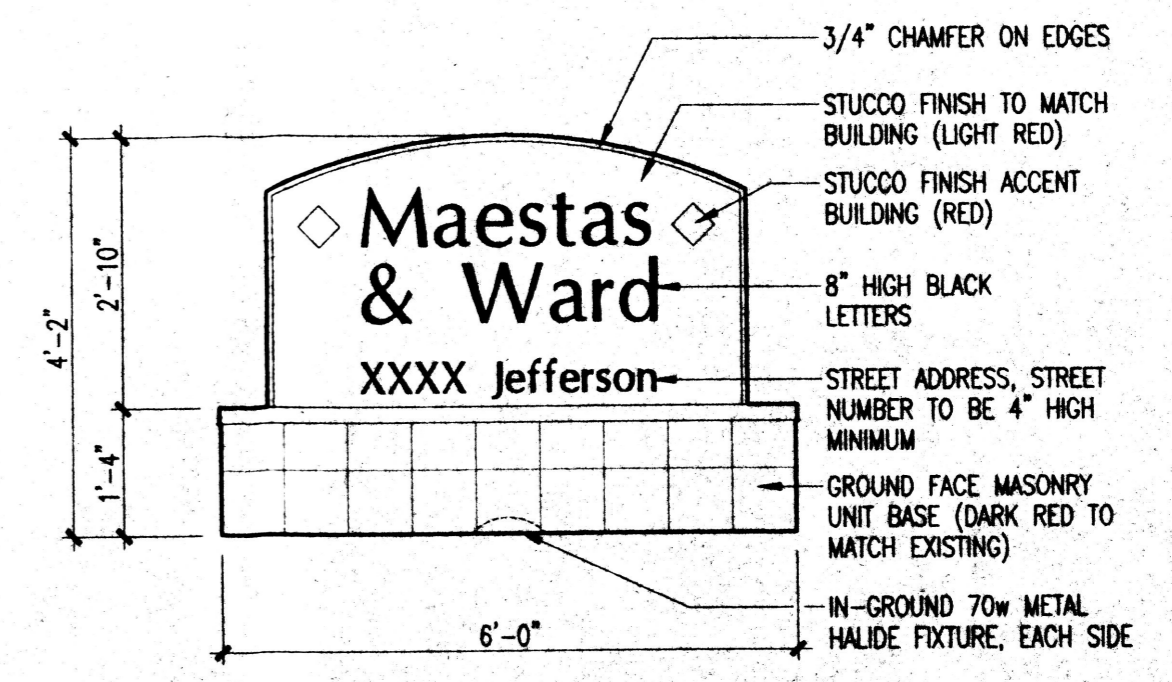
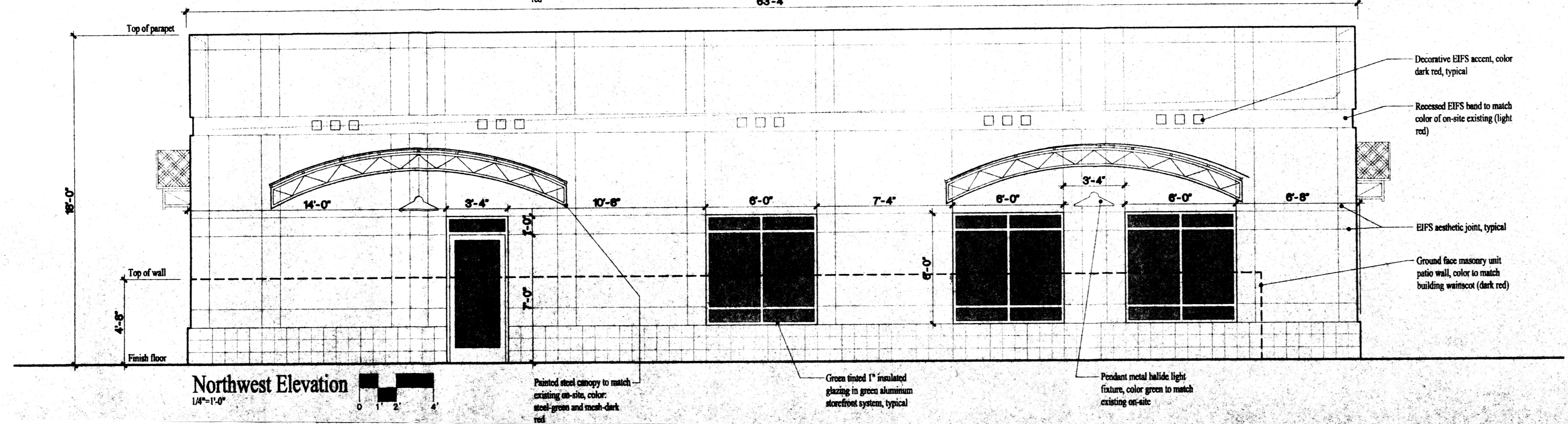
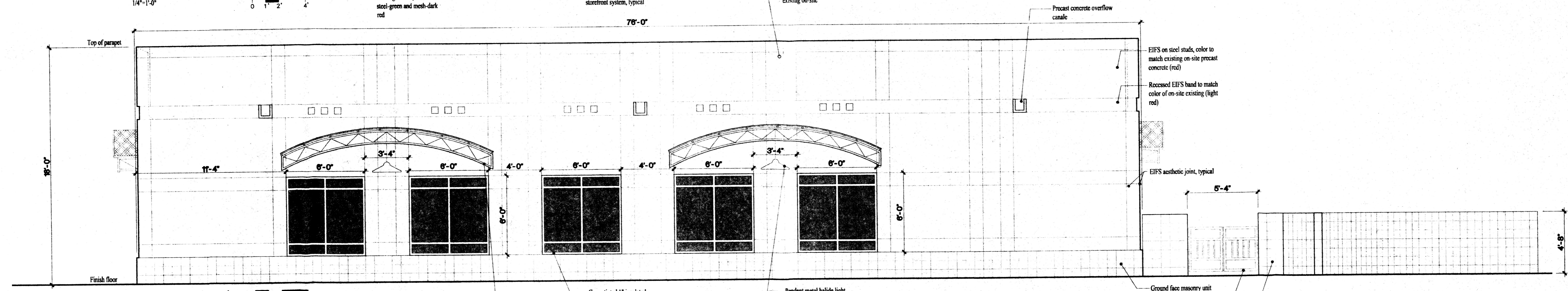
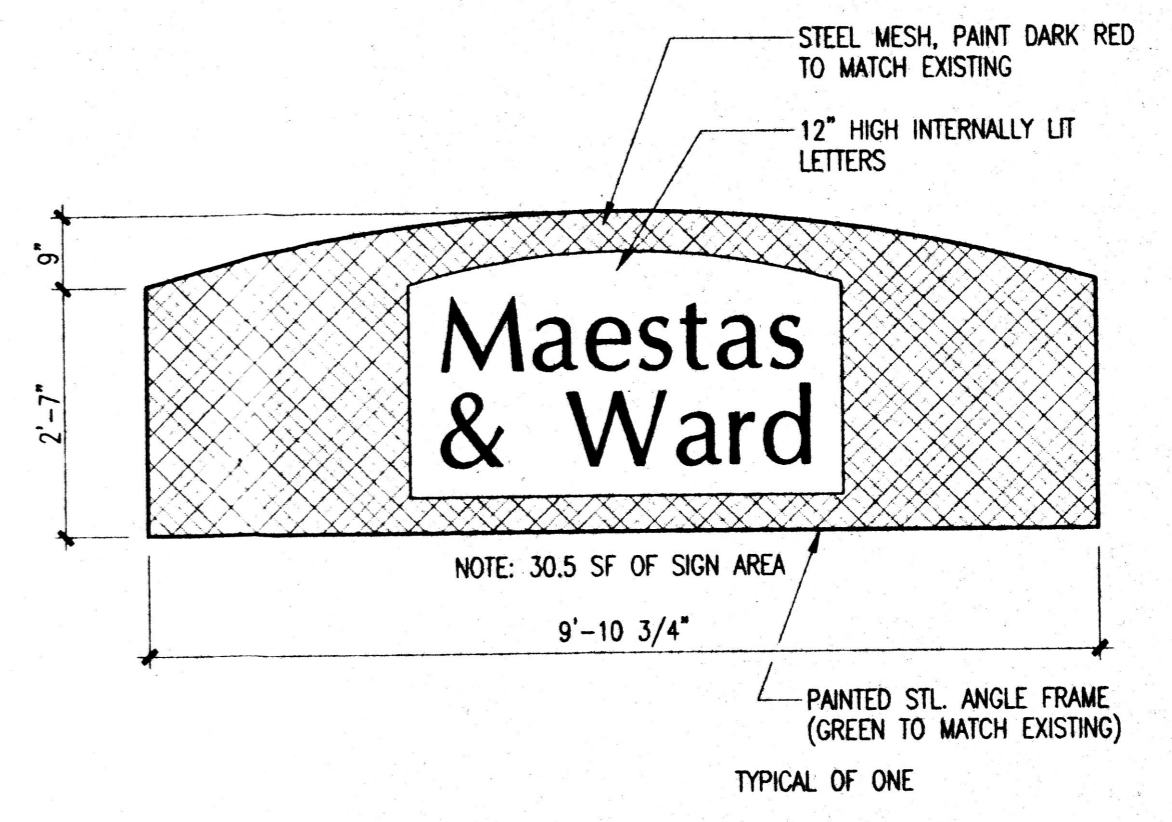
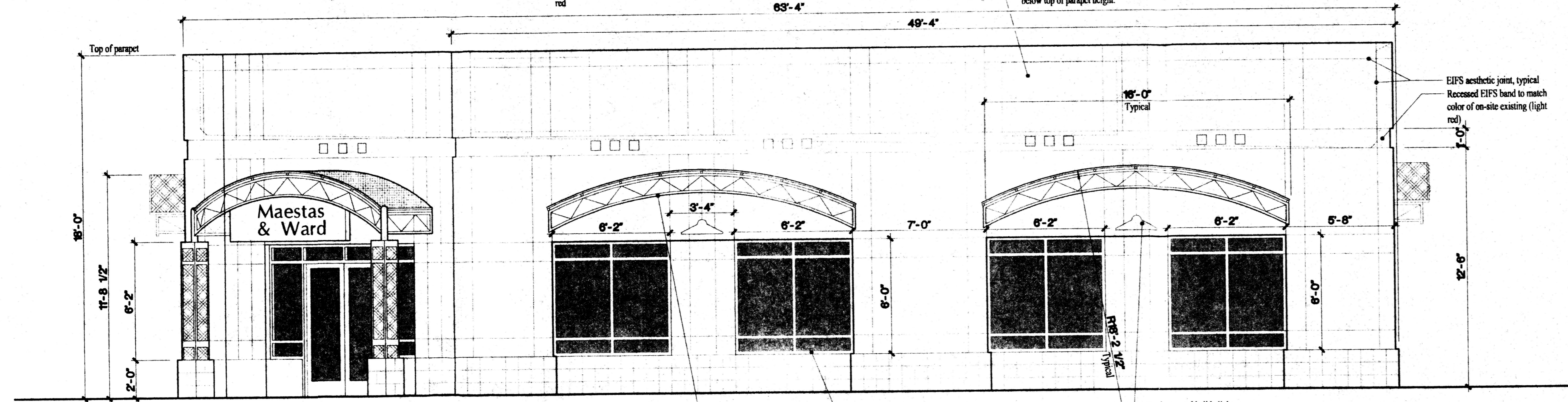
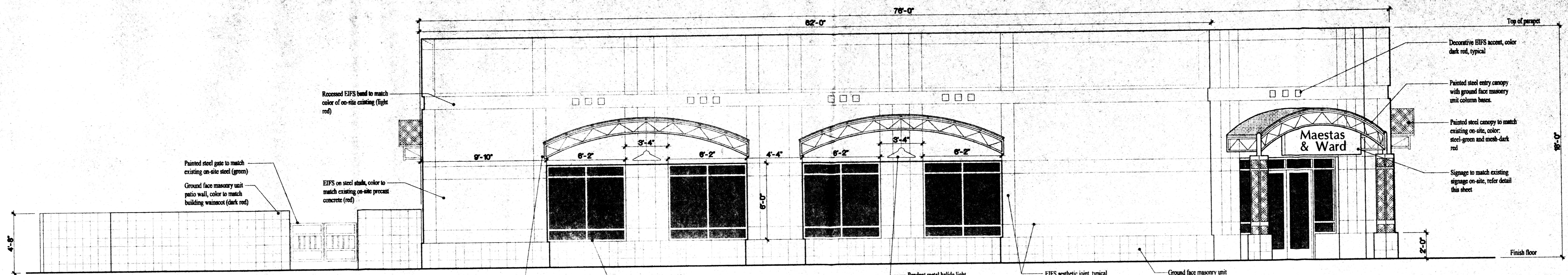
**Site Plan for Building Permit**  
1"=20'-0"

revisions

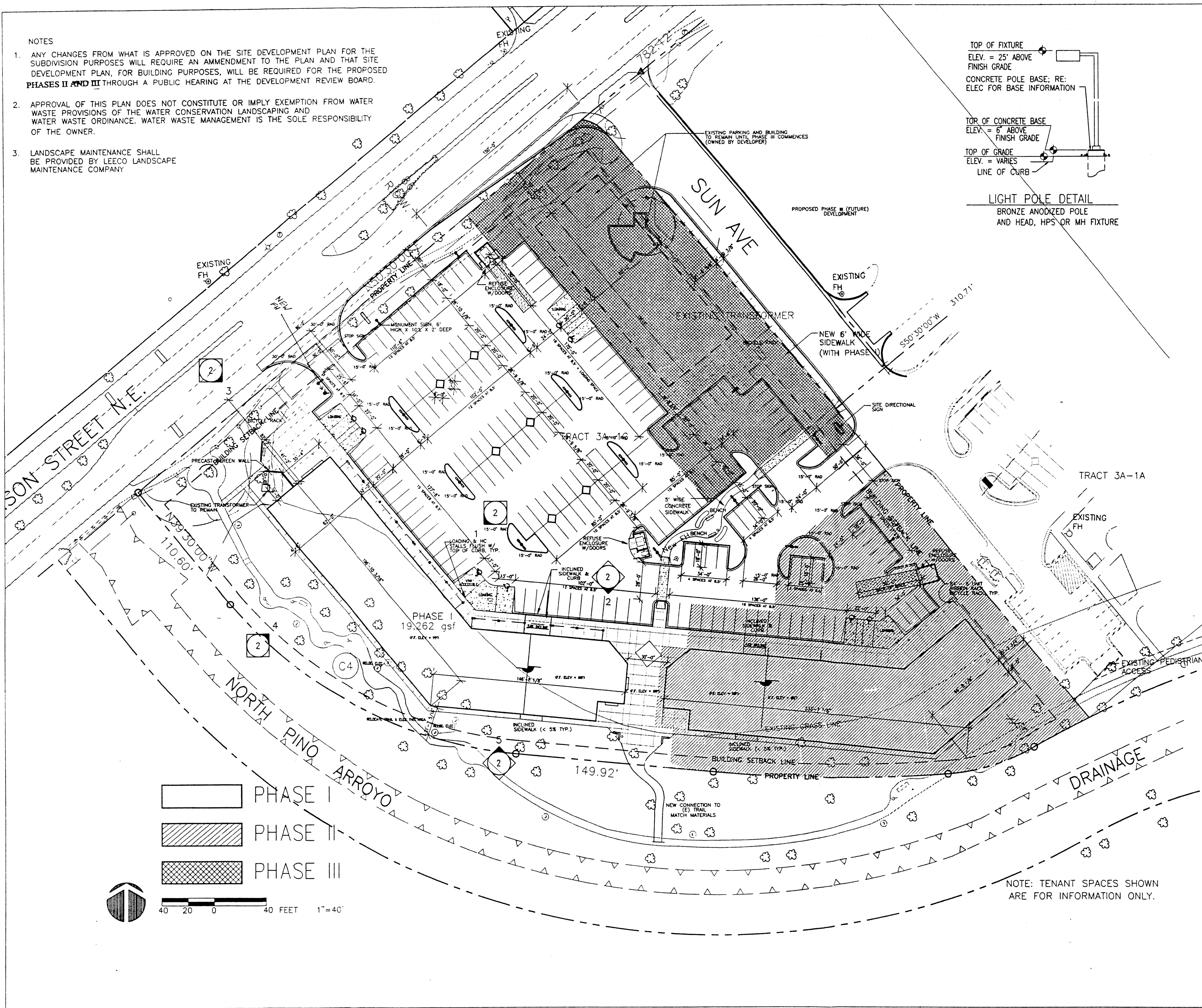
△	
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plotted: 08-17-2001 10:58A	drawn by	MRM
S:\01029 MAESTAS AND WARD\DRB-APPROV\029SP.DWG	reviewed by	TG
	date	
	project no.	01029
	drawing name	

**Site Plan for Building Permit**

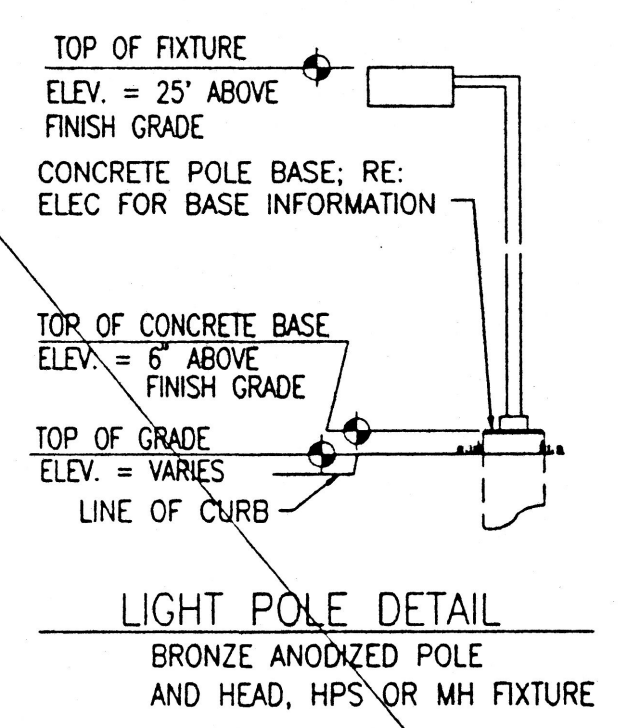


08-17-2001 1:30P S:\01029 MAESTAS AND WARD\DRB-APPROV\1029BE.DWG



**NOTES**

- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN, FOR BUILDING PURPOSES, WILL BE REQUIRED FOR THE PROPOSED PHASES II AND III THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNER.
- LANDSCAPE MAINTENANCE SHALL BE PROVIDED BY LECCO LANDSCAPE MAINTENANCE COMPANY



**1. PROJECT DATA**

SITE AREA..... 4.6302 ACRES = 201,691 SF

**PAVED PARKING AREA**

PHASE I..... 58,623 GSF  
 PHASE II..... 11,384 GSF  
 PHASE III..... 7,297 GSF  
**TOTAL PAVED PARKING AREA..... 77,304 GSF**

**LANDSCAPED AREA REQUIRED..... 23,486 GSF**  
**LANDSCAPED AREA PROVIDED..... 52,718 GSF**

**BUILDING AREAS:**

PHASE I..... 19,262 GSF  
 PHASE II..... 16,264 GSF  
 PHASE III..... 9,508 GSF  
**TOTAL BUILDING AREA..... 45,034 GSF**  
**PATIO / HARDSCAPE AREAS..... 26,635 GSF**  
**TOTAL AREA..... 201,691 SF**

**2. SITE UTILIZATION CALCULATIONS**

BUILDINGS..... 23%  
 LANDSCAPING..... 26%  
 PARKING AREA..... 38%  
 PATIO / HARDSCAPE..... 13%

**3. PARKING DATA**

**PHASE I**

142 SPACES @ 8.5'x20'  
 5 ACCESSIBLE SPACES @ 9'x20', WITH A 5' AISLE  
 1 VAN ACCESSIBLE SPACE AT 13'x20' & 3 LOADING SPACES\*  
 151 SPACES

**PHASE II**

27 SPACES @ 8.5'x20'  
 2 ACCESSIBLE SPACES @ 9'x20', WITH A 5' AISLE  
 & 1 LOADING SPACE\*  
 30 SPACES

**PHASE III**

18 SPACES @ 8.5'x20'  
 18 SPACES

\* < "LOADING" SPACES ARE FOR SHORT-TERM LOADING/ UNLOADING/DELIVERY FUNCTIONS ONLY >

**TOTAL PARKING PROVIDED..... 187 FULL SIZE**  
**7 ACCESSIBLE**  
**1 VAN ACCESSIBLE**  
**& 4 LOADING SPACES**  
**199 SPACES**

**TOTAL PARKING REQUIRED..... 45,034 GSF x 95%**  
**AT 1/200 SF (COMM. RETAIL) = 42,782 NSF**  
**221 SPACES**

LESS 10% FOR BUS ROUTE < 22 >  
**ADJUSTED TOTAL REQUIRED..... 199 SPACES :: OK**

3-7' BICYCLE RACKS PROVIDED..... 18 SPACES

TYPE VN - NON SPRINKLED

THIS PLAN IS CONSISTANT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 19, 1980 (AX-79-13, Z-79-80-2) & THE IP ZONE.

THIS APPROVAL IS FOR PHASE I, II, III SITE PLAN AND PHASE I BUILDING PLAN ONLY. ~~PHASE II AND III SITE PLAN FOR BUILDING PERMIT FOR PHASES II AND III SHALL REQUIRE A PUBLIC HEARING THROUGH THE DRB~~

*Michael Brown* 10-01-96  
 Traffic Engineer DATE  
 TRANSPORTATION DEPARTMENT

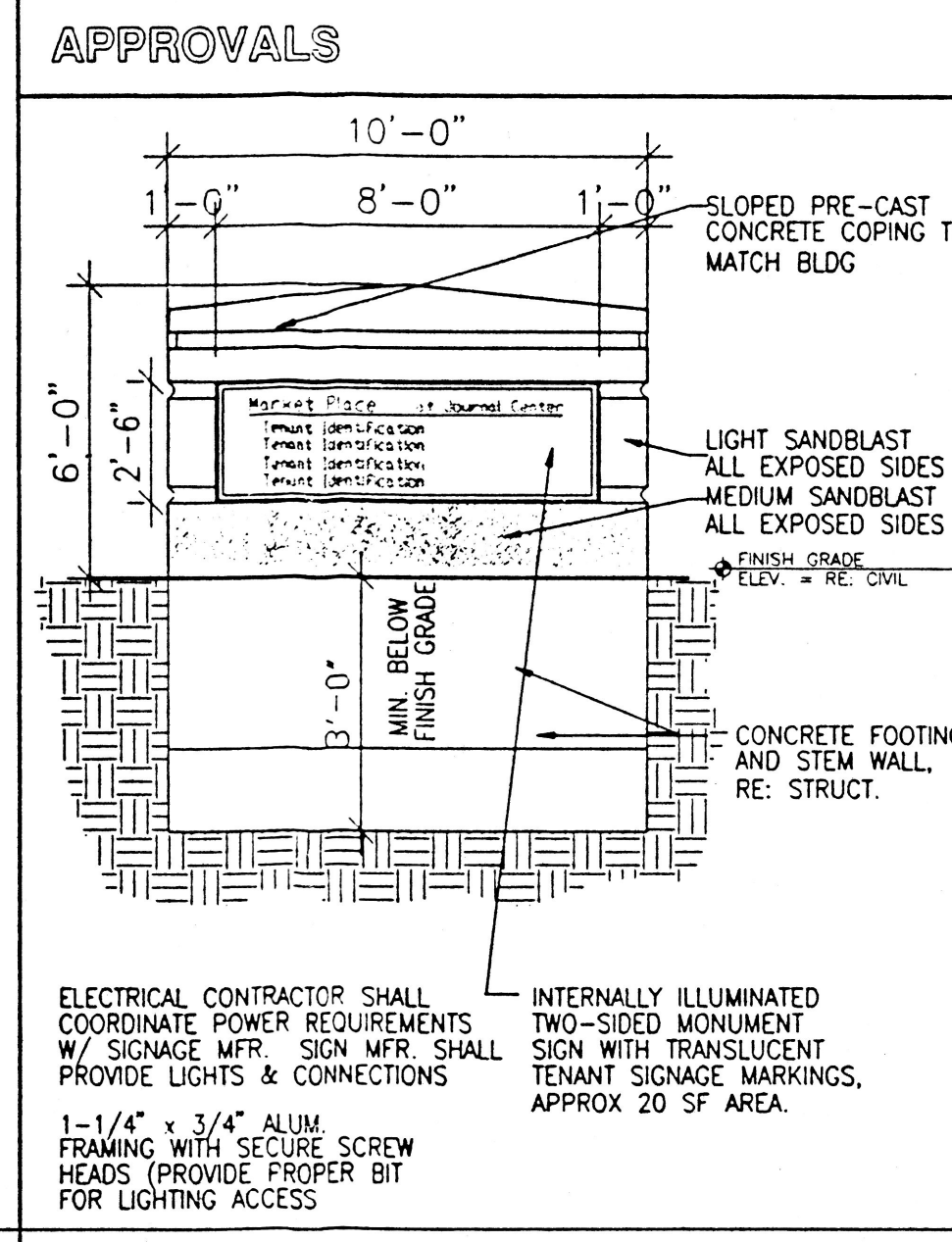
*Ed Stang* 10-1-96  
 DESIGN & DEVELOPMENT CIP DATE

*Robert W. Kane* 10-1-96  
 UTILITY DEVELOPMENT DEPARTMENT DATE

*Paul J. Jeyaraj* 12-18-96  
 City Engineer DATE  
 ENGINEERING DIVISION / AM&CA

APPROVED & CONDITIONAL ACCEPTANCE AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUAL.

*Kenn J. Jeyaraj* 12-19-96  
 City Planner DATE  
 ALBUQUERQUE / BERNALILLO COUNTY



**PROJECT DATA**

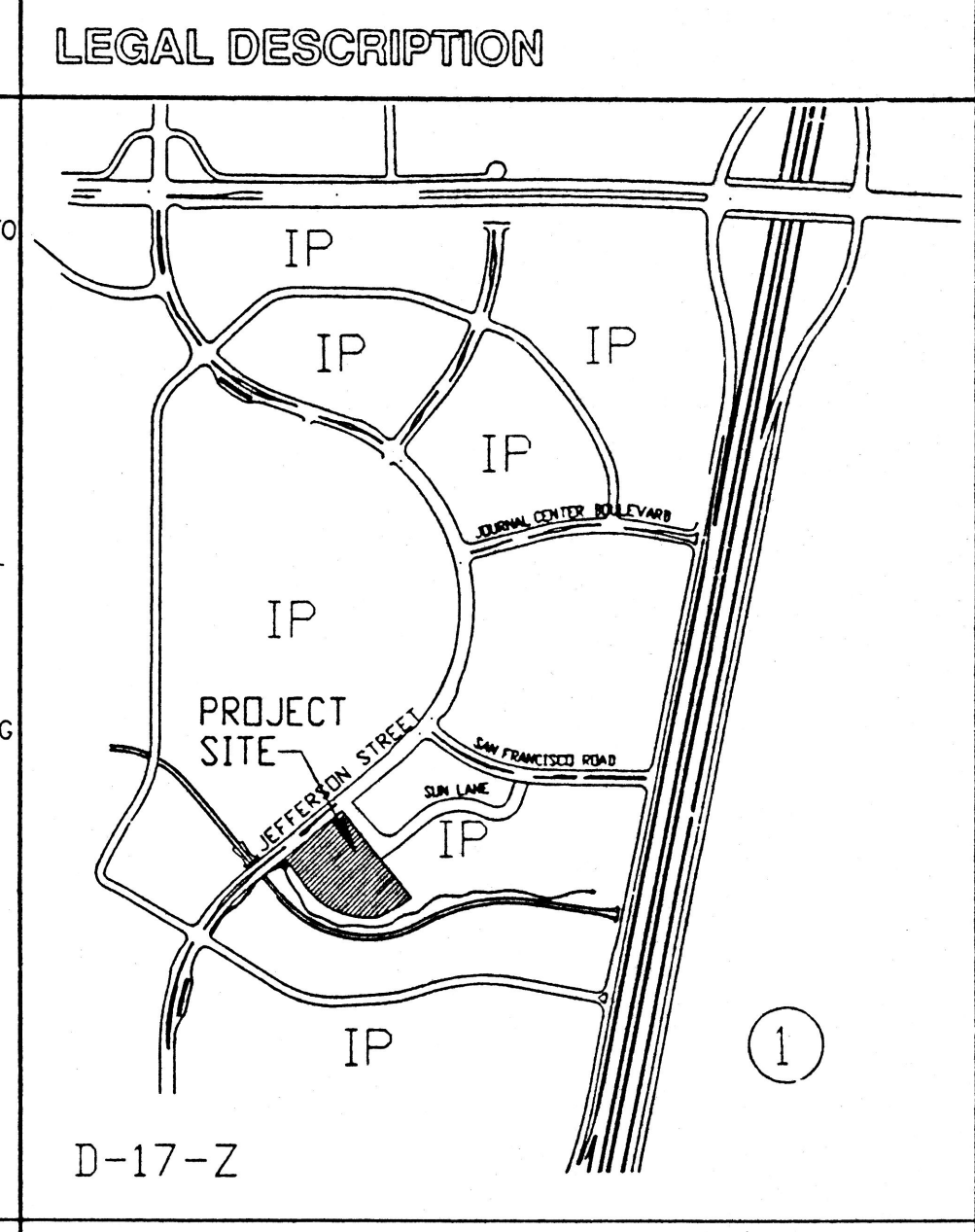
LEGAL: MARKET PLACE AT JOURNAL CENTER TRACT 3A-1C  
 ZONE ATLAS MAP: D-17-Z  
 SUBDIVISION: JOURNAL CENTER  
 ZONING: IP

**DESCRIPTION:**  
 A RETAIL COMMERCIAL DEVELOPMENT COMPRISED OF THREE PHASES. PHASE ONE SHALL BE DEVELOPED INITIALLY WITH PHASE TWO FOLLOWING, THEN PHASE THREE. THE EXISTING 800 S.F. LEASE BUILDING, OWNED BY THIS DEVELOPER WILL BE REMOVED TO ALLOW PHASE THREE TO BE DEVELOPED WHEN PHASE THREE COMMENCES.

**APPROVALS**

MERRICK	SIGNATURE	DATE
DESIGN	MBS	XXX
DESIGNED	MBS	7-22-96
DC REVIEW	XXX	XXX
APPROVED	XXX	XXX
CLIENT	SIGNATURE	DATE
REVIEW	XXX	XXX
APPROVED	XXX	XXX

CLIENT PROJECT NO. \_\_\_\_\_  
 MERRICK PROJECT NO. \_\_\_\_\_  
 SCALE: 1" = 40'-0"



**REQUIRED PARKING DATA**

PHASE I: 19,262 sq. ft./200 = 96.30  
 96.30-15% (BUS CREDIT) = 82 SPACES

PHASE II: 16,264 sq. ft./200 = 81.22  
 81.22-15% (BUS CREDIT) = 69 SPACES

PHASE III: 9,508 sq. ft./200 = 47.54  
 47.54-15% (BUS CREDIT) = 41 SPACES

**SHEET INDEX**

DRB-1: SITE PLAN & PROJECT DATA  
 DRB-2: BUILDING ELEVATIONS  
 DRB-3: LANDSCAPE PLAN  
 DRB-4: GRADING & DRAINAGE PLAN  
 DRB-5: SKETCH PLAT

**MERRICK**  
 Engineers & Architects

THIS AND ANY OTHER ELECTRONIC MEDIA SUBMITTAL IS AN INSTRUMENT OF SERVICE PREPARED BY MERRICK AND COMPANY FOR A DEFINED PROJECT. IT IS NOT INTENDED FOR REUSE OR FOR ANY OTHER PROJECT. REUSE OR MODIFICATION OF ANY SUBMITTAL OF ANY KIND WITHOUT WRITTEN CONSENT OF MERRICK AND COMPANY SHALL BE AT THE USER'S RISK FOR THE ENTIRE DURATION OF THE PROJECT. LIABILITY ON THIS SUBMITTAL IS MERRICK AND COMPANY'S.

**MONUMENT SIGN ELEVATION**

1-1/4" x 3/4" ALUM. FRAMING WITH SECURE SCREW HEADS (PROVIDE PROPER BIT FOR LIGHTING ACCESS)

INTERNALLY ILLUMINATED TWO-SIDED MONUMENT SIGN WITH TRANSLUCENT TENANT SIGNAGE MARKINGS, APPROX 20 SF AREA.

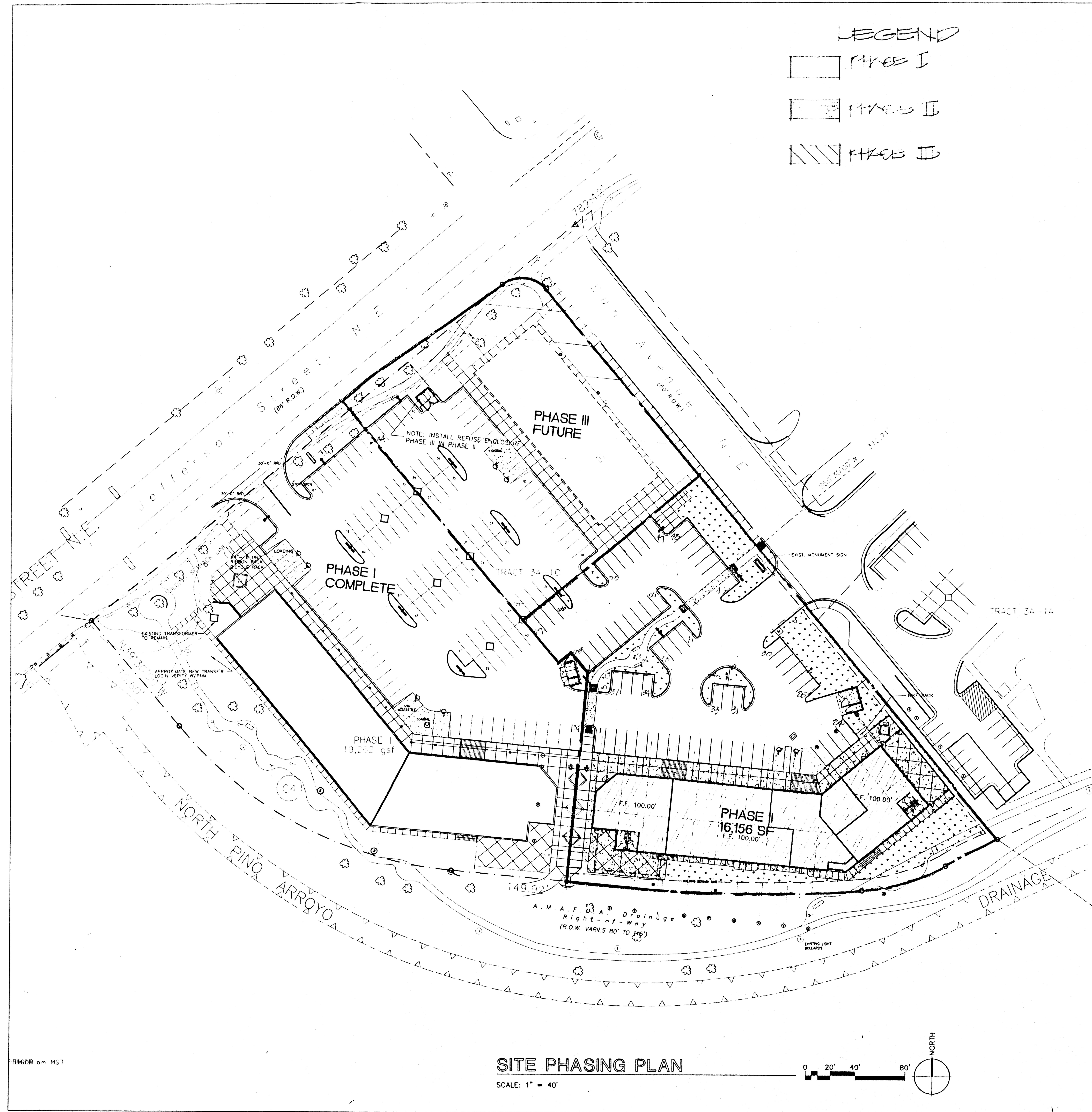
**ZONE ATLAS MAP**

D-17-Z

SITE PLAN

REVISION: \_\_\_\_\_ DRAWING NO: \_\_\_\_\_ SHEET NO: **6**

D  
C  
B  
A



**LEGEND**

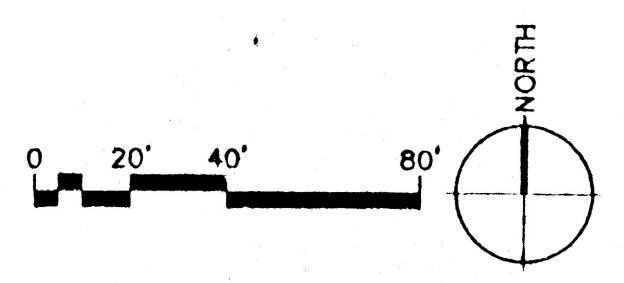
Phase I

Phase II

Phase III

**SITE PHASING PLAN**

SCALE: 1" = 40'



**Project Data**

**LEGAL:**  
 MARKET PLACE AT JOURNAL CENTER  
 TRACE 3A-1C-1A-2 AT JOURNAL CENTER  
 VOUNN 97C FOLIO 244

**ZONE ATLAS:** D-17Z

**SUBDIVISION:** JOURNAL CENTER

**ZONING:** IP

**DESCRIPTION:**  
 A RETAIL COMMERCIAL DEVELOPMENT COMPRISED OF THREE PHASES. PHASE ONE IS COMPLETE AND PHASE THREE IS IN THE FUTURE. THIS DATA RELATES TO PHASE II.

**SITE AREA:** 1,691A  
73,641 SF

**BUILDING AREA** = 16,156 SF 22%  
**CONCRETE PATIOS/SIDEWALKS** = 10,689 SF 14.5%  
**PARKING LOT** = 29,257 SF 40%  
**LANDSCAPING** = 17,539 SF 23.5%  
 100%

**CODE SUMMARY:**  
**BUILDING CODE DATA:** 1991 UBC, UMC, UPC

**LOCATION ON SITE:** EAST SIDE YARD, 25' TO PROPERTY LINE  
 REAR YARD, 80' AT CLOSEST LOCATION TO AMAFCA CHANNEL  
 FRONT YARD SETBACK: GREATER THAN 100' TYPE "N"

**CONSTRUCTION TYPE:** TYPE "N"

**OCCUPANCY CLASSIFICATION:** A-3 & B-2

**BASE ALLOWABLE S.F. (TABLE 5-C)**  
 B-2 OCC = 12,000 SF BASE + 50% INCREASE = 24,000  
 A-3 OCC = 9,300 SF (BASE) + 50% INCREASE = 18,600

**ALLOWABLE SF = A-3 = 18,600 SF  
 B-2 = 24,000 SF  
 46,000 SF MAXIMUM ALLOWED**

**ACTUAL G.S.F. AREA**

UNIT #2.1/2.2	A - 3 = 3,368 SF	
UNIT #2.9	A - 3 = 3505 SF	= 6873 SF
UNIT #2.3	B - 2 = 1255 SF	
UNIT #2.4	B - 2 = 1255 SF	
UNIT #2.5	B - 2 = 1255 SF	
UNIT #2.6	B - 2 = 1880 SF	
UNIT #2.7	B - 2 = 2574 SF	= 9283 SF
UNIT #2.10	COMMON AREA SPLIT EQUALLY BETWEEN TENANTS	

**TOTAL SF A - 3 (6873) + B - 2 (9283) = 16,156 SF TOTAL**

**OPENINGS AT PATIO:** NONE < 5'  
 PROTECTED < 10'  
 NO REQ'D > 10'

**CODE SUMMARY:**  
 PROJECT IS 15' FROM PROPERTY LINE BETWEEN PHASE I & II, THEREFOR NO PROTECTED OPENINGS REQ'D

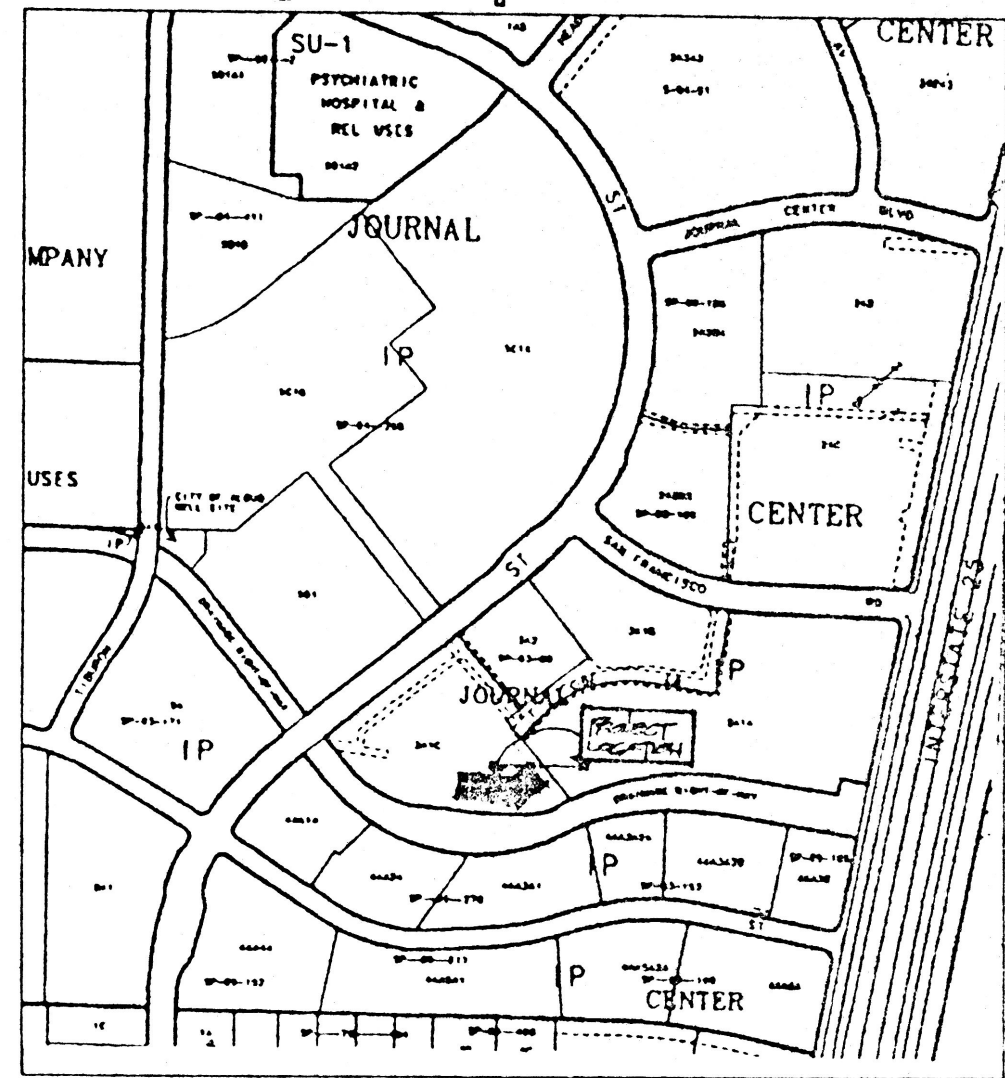
**WALL CONSTRUCTION AT PATIO:** 1 HR < 20'

**PARKING ANALYSIS:**

**PHASE II** 16,156 G.S.F.  
 (95%) 15,348 N.S.F. + 200 = 76  
 -10% FOR PUBLIC TRANSPORTATION (76-7) = 69 SPACES REQ.  
 2 H.C. SPACES REQ. (1 VAN ACCESSIBLE)

**PROVIDED:** 2 H.C. (1 VAN ACCESSIBLE)  
 67 REGULAR 2.85 X 20  
 69 TOTAL

**Vicinity Map**

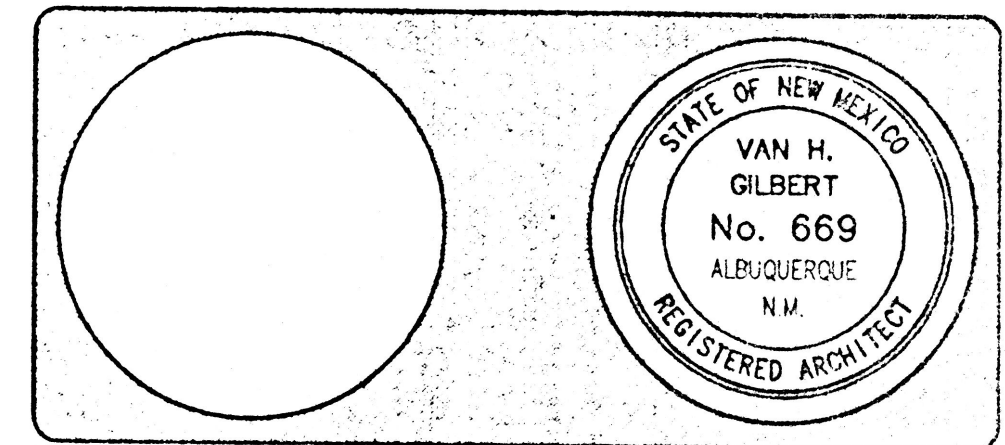


THIS SITE PLAN IS AN AMENDMENT TO THE ORIGINAL PHASE I SITE PLAN SHOWING THE LIMITS OF CONSTRUCTION AND THE BUILDING LOCATION FOR PHASE II.

**SITE DEVELOPMENT PLAN APPROVAL**

THIS SITE PLAN IS CONSISTANT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 18, 1987 (AR-79-13, 2-79-80-3) AND THE 2001

DRR # 98-215	11-10-98
<i>Michael Deane</i>	DATE
<i>Robert O. Johnson</i>	11-10-98
<i>Robert O. Johnson</i>	DATE
<i>Robert O. Johnson</i>	11-10-98
<i>Robert O. Johnson</i>	DATE
<i>Robert O. Johnson</i>	11-10-98
<i>Robert O. Johnson</i>	DATE
<i>Robert O. Johnson</i>	11-10-98
<i>Robert O. Johnson</i>	DATE
<i>Robert O. Johnson</i>	12-1-98
<i>Robert O. Johnson</i>	DATE



**MARKET PLACE II AT JOURNAL CENTER**

VHGA PROJECT NO. 935

DATE: 10-1-98 DRN BY: STAFF © Copyright 1998  
 FILE: DBR7 CHK BY: PLOT: 1=1

DRB PHASE II

SHEET 7 OF 7

RECORDING STAMP

Legal Description

TRACTS NUMBERED 3A-1C-1A-2 AND 3A-1C-1A-3 OF JOURNAL CENTER AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 4, 1998 IN VOLUME 98C, FOLIO 317, CONTAINING 2.6343 ACRES MORE OR LESS, NOW COMPRISING TRACTS 3A-1C-1A-2-A, AND 3A-1C-1A-3-A JOURNAL CENTER.

PLAT OF TRACTS 3A-1C-1A-2-A & 3A-1C-1A-3-A JOURNAL CENTER ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2001

Project No.

Application No. APPROVALS

Table with columns for City Planner, City Engineer, A.M.A.F.C.A., Traffic Engineer, City Surveyor, Property Management, Water Resources Department, Parks and Recreation, PNM Electric Services, PNM Gas Services, Qwest Corporation, and Comcast Cable, each with a Date field.

LOCATION MAP ZONE ATLAS MAP NO. D-17-Z

SUBDIVISION DATA:

GROSS SUBDIVISION ACREAGE: 2.6343 ACRES± ZONE ATLAS INDEX NO. D-17-Z NO. OF TRACTS CREATED: 2 NO. OF LOTS CREATED: 0 MILES OF FULL-WIDTH STREETS CREATED: 0 DATE OF SURVEY: JULY 27, 2001

NOTES:

- 1. MISC. DATA: ZONING IP
2. BEARINGS SHOWN ARE NM STATE PLANE GRID BEARINGS - NAD 1927 (CENTRAL ZONE)
3. ALL DISTANCES ARE GROUND DISTANCES.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO.
5. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING TWO TRACTS INTO 2 NEW TRACTS.
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. SP NO.
8. THE COMMON AREA EASEMENT IS FOR BENEFIT OF ALL TRACTS IN JOURNAL CENTER BUSINESS PARK AND WILL BE MAINTAINED BY TRACT 3A-1C-1A OR AS OTHERWISE PROVIDED IN THE DECLARATION OF PROTECTIVE COVENANTS FOR JOURNAL CENTER INDUSTRIAL PARK RECORDED JULY 26, 1984 IN BOOK MISC. 138A, PAGES 330-356 AND IN DECLARATION OF EASEMENTS AND SUPPLEMENTARY DECLARATION RECORDED SEPTEMBER 29, 1994 AS DOCUMENT NO. 94118480.
9. DECLARATION OF RECIPROCAL COMMON ACCES AND PARKING EASEMENTS RECORDED ON OCTOBER 1, 1998 IN BOOK 9816, PAGE 4208 AS DOCUMENT NO. 1998128038.

EASEMENTS

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- 1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

FREE CONSENT AND DEDICATION

THE FOREGOING REPLAT OF THAT CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACTS 3A-1C-1A-2 AND 3A-1C-1A-3 OF THE PLAT OF TRACT 3A-1C-1A-1, 3A-1C-1A-2 AND 3A-1C-1A-3 JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 4, 2001 IN VOLUME 98C, FOLIO 317, AND NOW HEREOF SHOWN AND COMPRISING TRACTS 3A-1C-1A-2-A, AND 3A-1C-1A-3-A JOURNAL CENTER IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF, ELECTRIC POWER AND COMMUNICATION EASEMENTS ARE RESERVED FOR OVERHEAD DISTRIBUTION LINES FOR POLE TYPE UTILITIES AND BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES, AND OTHER RELATED EQUIPMENT WHERE SHOWN OR INDICATED, INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND/OR SHRUBS.

MARKET PLACE AT JOURNAL CENTER, A NEW MEXICO GENERAL PARTNERSHIP. BY: JOURNAL CENTER BUILDING ASSOCIATES, ITS MANAGING PARTNER

BY LOWELL A. HARE, ITS MANAGING PARTNER DATE

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )
COUNTY OF BERNALILLO )
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF 2001 BY LOWELL A. HARE, MANAGING PARTNER, JOURNAL CENTER BUILDING ASSOCIATES

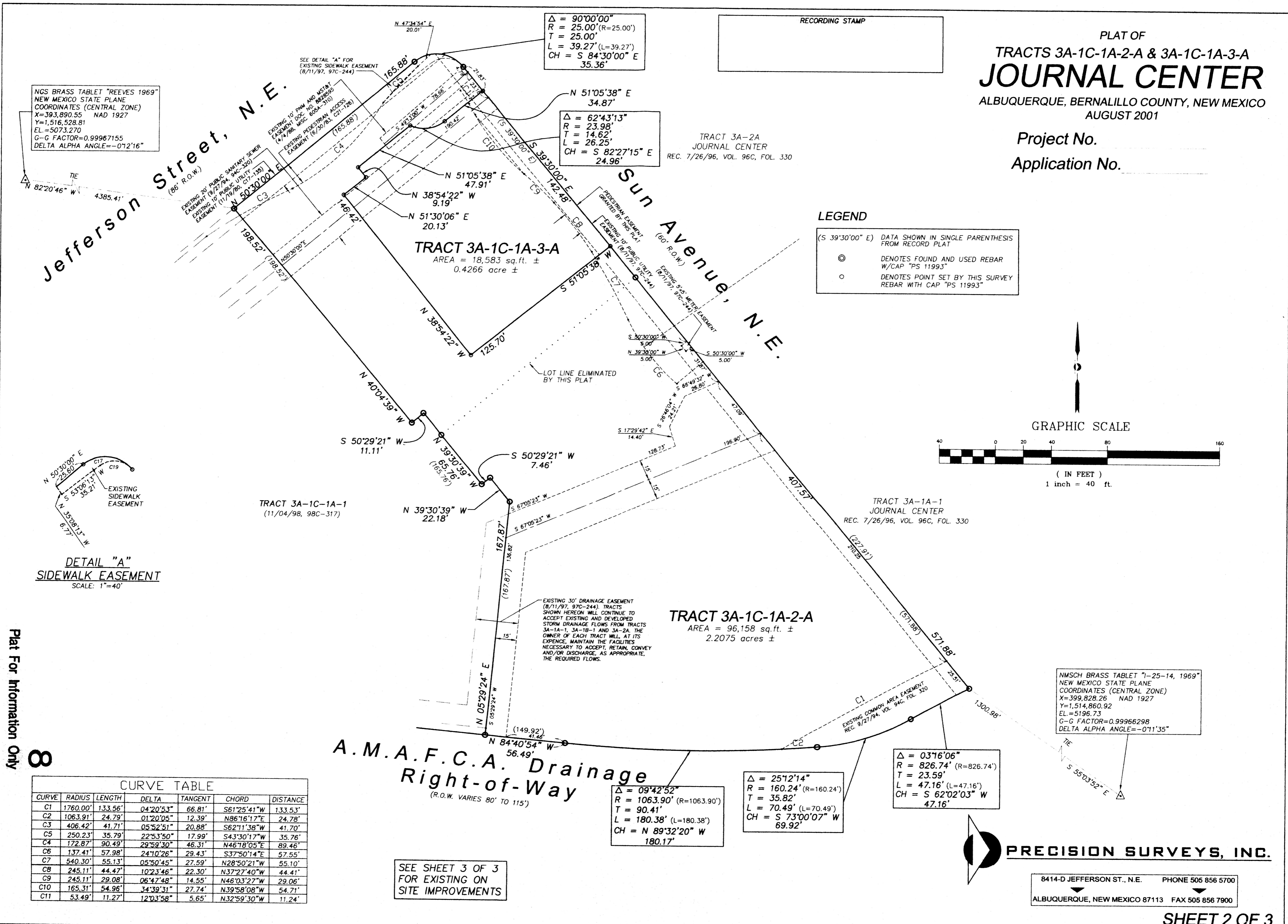
BY NOTARY PUBLIC MY COMMISSION EXPIRES:

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE, AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Precision Surveys, Inc. logo and contact information: 8414-D JEFFERSON ST., N.E. ALBUQUERQUE, NEW MEXICO 87113 PHONE 505 856 5700 FAX 505 856 7900

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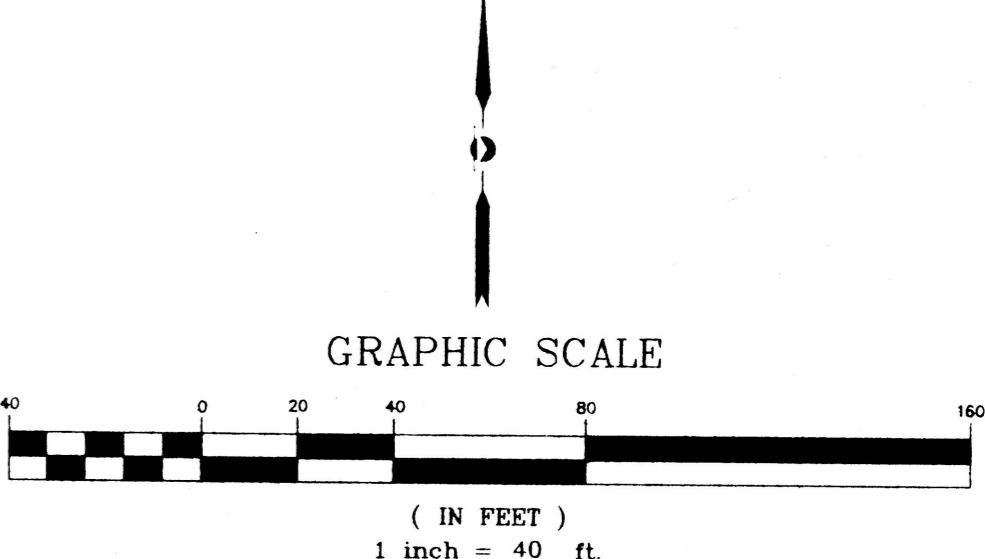


NGS BRASS TABLE 'REEVES 1969' NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE) X=383,890.55 Y=1,516,528.81 EL=5073.270 C-C FACTOR=0.99967155 DELTA ALPHA ANGLE=-0°12'16"

DETAIL "A" SIDEWALK EASEMENT SCALE: 1"=40'

CURVE TABLE with columns: CURVE, RADIUS, LENGTH, DELTA, TANGENT, CHORD, DISTANCE. Lists curves C1 through C11.

SEE SHEET 3 OF 3 FOR EXISTING ON SITE IMPROVEMENTS



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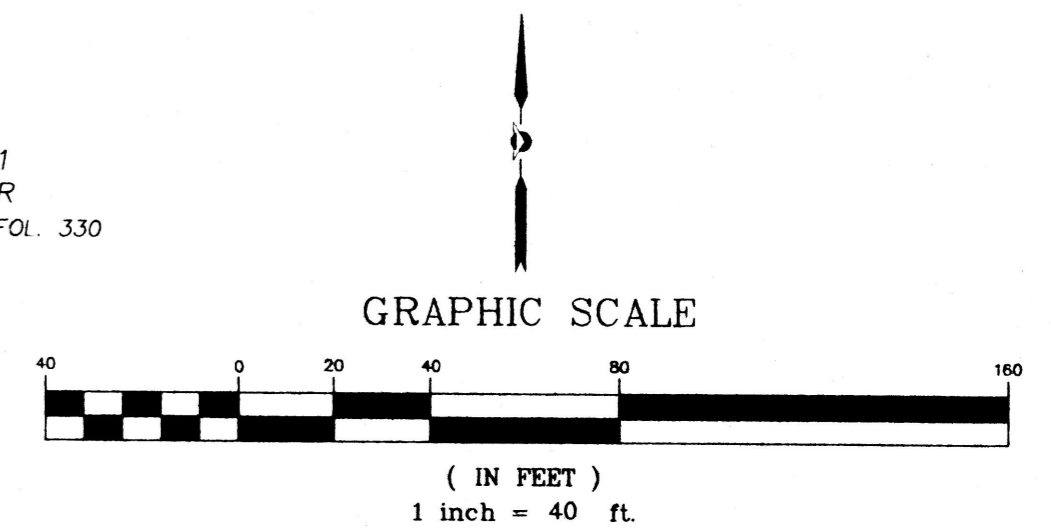
PLAT OF  
**TRACTS 3A-1C-1A-2-A & 3A-1C-1A-3-A**  
**JOURNAL CENTER**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 2001

Project No. \_\_\_\_\_  
 Application No. \_\_\_\_\_

**LEGEND**

- (S 39°30'00" E) DATA SHOWN IN SINGLE PARENTHESIS FROM RECORD PLAT
- ⊙ DENOTES FOUND AND USED REBAR W/CAP "PS 11993"
  - DENOTES POINT SET BY THIS SURVEY REBAR WITH CAP "PS 11993"

SEE SHEET 2 OF 3  
 FOR EASEMENT DETAILS,  
 BEARINGS AND DISTANCES



RECORDING STAMP

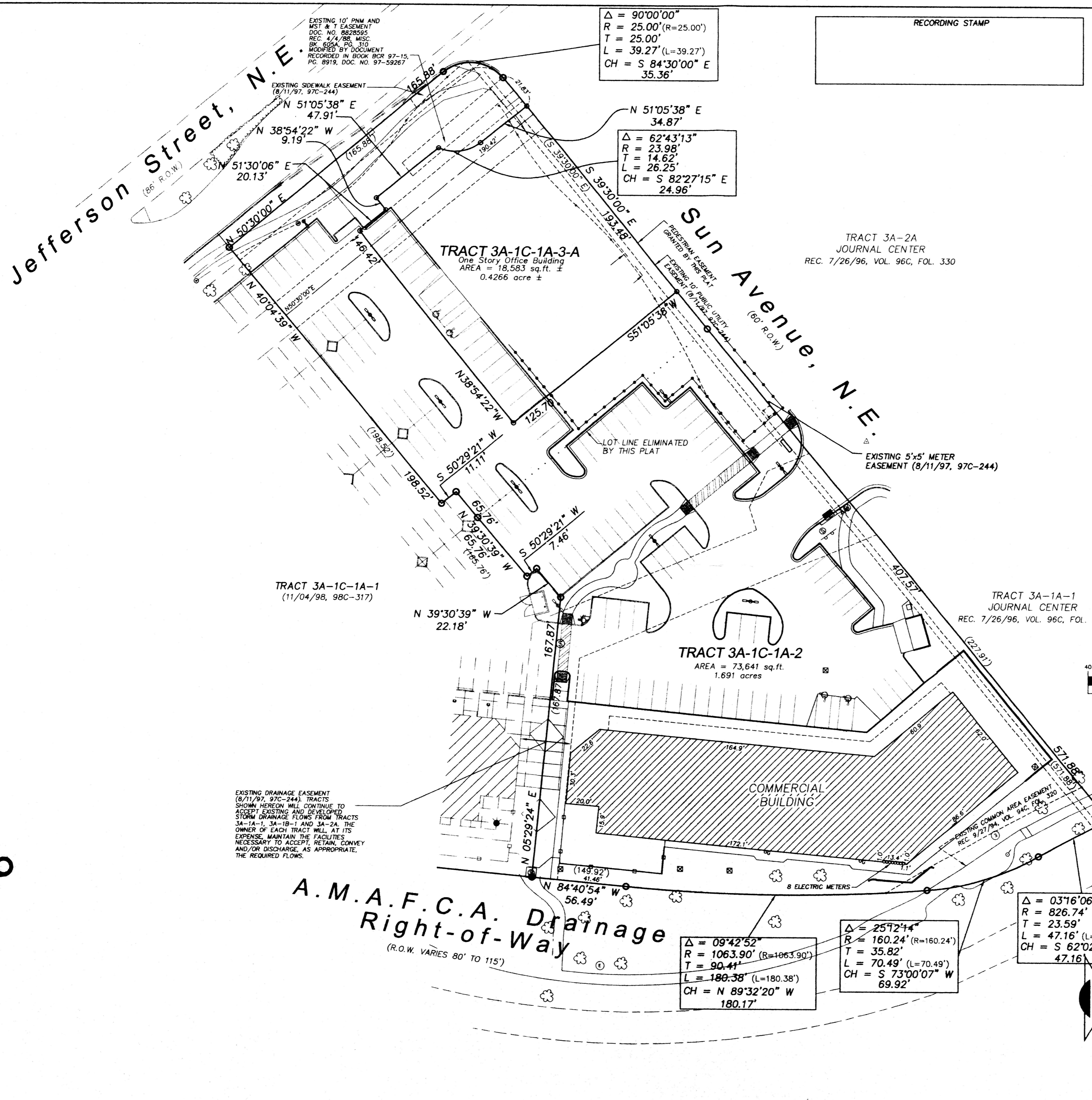
$\Delta = 90^{\circ}00'00''$   
 $R = 25.00'$  (R=25.00')  
 $T = 25.00'$   
 $L = 39.27'$  (L=39.27')  
 $CH = S 84^{\circ}30'00'' E$   
 $35.36'$

$\Delta = 62^{\circ}43'13''$   
 $R = 23.98'$   
 $T = 14.62'$   
 $L = 26.25'$   
 $CH = S 82^{\circ}27'15'' E$   
 $24.96'$

$\Delta = 09^{\circ}42'52''$   
 $R = 1063.90'$  (R=1063.90')  
 $T = 90.41'$   
 $L = 180.38'$  (L=180.38')  
 $CH = N 89^{\circ}32'20'' W$   
 $180.17'$

$\Delta = 25^{\circ}12'14''$   
 $R = 160.24'$  (R=160.24')  
 $T = 35.82'$   
 $L = 70.49'$  (L=70.49')  
 $CH = S 73^{\circ}00'07'' W$   
 $69.92'$

$\Delta = 03^{\circ}16'06''$   
 $R = 826.74'$  (R=826.74')  
 $T = 23.59'$   
 $L = 47.16'$  (L=47.16')  
 $CH = S 62^{\circ}02'03'' W$   
 $47.16'$



EXISTING DRAINAGE EASEMENT (8/11/97, 97C-244). TRACTS SHOWN HEREON WILL CONTINUE TO ACCEPT EXISTING AND DEVELOPED STORM DRAINAGE FLOWS FROM TRACTS 3A-1A-1, 3A-1B-1 AND 3A-2A. THE OWNER OF EACH TRACT WILL, AT ITS EXPENSE, MAINTAIN THE FACILITIES NECESSARY TO ACCEPT, RETAIN, CONVEY AND/OR DISCHARGE, AS APPROPRIATE, THE REQUIRED FLOWS.

**A.M.A.F.C.A. Drainage Right-of-Way**  
 (R.O.W. VARIES 80' TO 115')

Plat For Information Only **9**

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

