

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C-1	40.41	25.00	92°37'11"	36.15	S50°02'18"E
C-2	30.85	150.00	11°47'08"	30.80	S02°10'34"W
C-3	45.98	150.00	17°33'42"	45.80	S07°42'43"E
C-4	327.76	1830.00	9°43'49"	327.37	S14°21'29"E
C-5	47.12	30.00	89°59'58"	42.43	S25°46'38"W

LINE TABLE

LINE	LENGTH	BEARING
L-1	71.00	S05°24'36"E
L-2	52.22	S19°13'23"E

- SYMBOL LEGEND**
- = EXISTING TRAFFIC SIGNAL
 - = EXISTING LIGHT POLE
 - = EXISTING POWER POLE
 - = EXISTING OVERHEAD UTILITY LINE
 - = EXISTING UNDERGROUND GAS LINE
 - = EXISTING UNDERGROUND SEWER LINE
 - = EXISTING UNDERGROUND WATER LINE
 - = EXISTING ANCHOR
 - = EXISTING SEWER MANHOLE
 - = EXISTING TELEPHONE MANHOLE
 - = EXISTING POWER MANHOLE
 - = EXISTING WATER VALVE
 - = EXISTING ELECTRIC RISER
 - = EXISTING FIRE HYDRANT
 - = EXISTING DRAIN INLET
 - = EXISTING FENCE
- NOTE: SEE SHEET CA.0 FOR NEW UTILITY LINES AND CONNECTIONS

- GENERAL NOTES**
- ALL STANDARD PARKING SPACES SHALL BE 8.5' W X 20' D.
 - ALL HANDICAP PARKING SPACES SHALL BE 8' W X 20' D WITH ADJACENT 5' W STRIPPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND PRECAST CONCRETE CURB BUMPER.
 - ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH YELLOW ALKYD STIPING PAINT, TYP.
 - THIS SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE APPROVED MASTER SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR VISTA DEL NORTE.
- KEYED NOTES**
- ASPHALT PAVED SURFACE - SEE DETAIL 1/C1.1
 - HANDICAP ACCESS RAMP - SEE DETAIL 3/C1.1 (ALT. RAMP DESIGN 10/C1.1)
 - CAST IN PLACE CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 5&6/C1.1
 - CONCRETE SIDEWALK/PATIO AREA - SEE DETAIL 2/C1.1 - WHERE INDICATED ON PLAN SLOPE SIDEWALK DOWN TO ASPHALT GRADE (MAX SLOPE 1:12) TYPICAL SIDEWALK WIDTH SHALL BE 6'-0" UNLESS NOTED OTHERWISE.
 - TUBE STEEL BIKE RACK - SEE DETAIL 9/C1.1
 - CONCRETE STANDING CURB OR CURB & GUTTER - SEE DETAILS 4&8/C1.1 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS.
 - RECESSED SIDEWALK SECTION - FLUSH WITH HANDICAP PARKING SPACES.
 - HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 7/C1.1
 - TRANSFORMER SET ON CONCRETE PAD - INSTALL PER PMM REQUIREMENTS.
 - NEW CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
 - EXISTING CURB CUT.
 - PRECAST CONCRETE PARKING BUMPER - TYPICAL AT EACH HANDICAP PARKING SPACE.
 - EDGE OF ASPHALT - EXTEND ASPHALT 12" BEYOND DIMENSIONED WIDTH AND PROVIDE A 6" HIGH, EXTRUDED ASPHALT CURB ALONG THIS PERIMETER.
 - EXISTING ASPHALT BIKE PATH.
 - FIRE LANE - CURB FACE SHALL BE PAINTED RED WITH "FIRE LANE" STENCILED LETTERS.
 - NEW HANDICAP ACCESS RAMP AT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
 - COLOR CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAILED DRAWING INCLUDED WITH THIS SUBMITTAL.
 - TUBESTEEL ENTRY TRELLIS.
 - 8' WIDE CONCRETE PEDESTRIAN AISLE WITH CROSS HATCHED PAINTING.
- LEGEND**
- NEW 20' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT OFF, SHOE BOX TYPE) LIGHTS WITHIN 300' OF WEST PROPERTY LINE SHALL BE 16' TALL (MAX).
 - EXISTING FIRE HYDRANT
 - NEW FIRE HYDRANT
 - NEW WATER METER

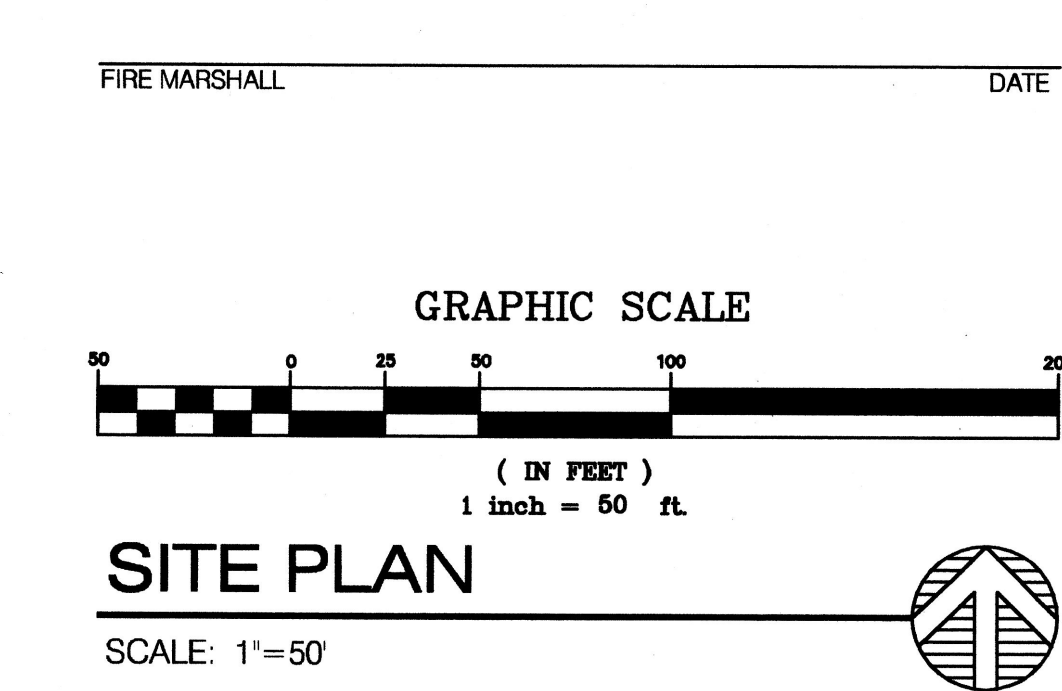
SITE DEVELOPMENT PLAN APPROVAL NOTE

THIS PLAN IS CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 11/28/01 AS REFLECTED IN DRB CASE # 100-14310 UNDER APPLICATION # 015500-1103 EPC 01123-1231

CITY APPROVALS

PLANNING DEPARTMENT 12/17/01 DATE
 TRANSPORTATION DEVELOPMENT 11-28-01 DATE
 UTILITY DEVELOPMENT 12-14-01 DATE
 PARKS DEPARTMENT 11/28/01 DATE
 HYDROLOG 12-14-01 DATE
 SOLID WASTE 11-28-01 DATE

APD PLANS CHECKING OFFICE 024-3611
 APPROVED 12/14/01
 SIGNATURE & DATE



INSITE
architecture + development

ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
 TELEPHONE: (505) 825-4100
 FAX: (505) 825-1000
 KS email: info@insite.com
 JWC email: jwc@insite.com
 CONTRACTOR: RONALD MARTIN GEN. CONT.
 5001 SEPTEMBER NE
ALBUQUERQUE, NM 87118
 TELEPHONE: (505) 825-1144
 FAX: (505) 825-0401

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CURB RADIUS DATA

R1 = 1'-0"
 R2 = 3'-0"
 R3 = 5'-0"
 R4 = 10'-0"
 R5 = 15'-0"
 R6 = 20'-0"
 R7 = 25'-0"
 R8 = 50'-0"
 R9 = 80'-0"
 R10 = 120'-0"

LEGEND

- NEW 20' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT OFF, SHOE BOX TYPE) LIGHTS WITHIN 300' OF WEST PROPERTY LINE SHALL BE 16' TALL (MAX).
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- NEW WATER METER

PARKING CALCS

GROSS BUILDING AREA: 40,253 SF
 PARKING SPACES REQUIRED: CHURCH: 750 SEAT/4 = 215
 HC PARKING SPACES REQD: 8
 VAN ACCESSIBLE SPACES REQD: 1
 PARKING SPACES PROVIDED: 299
 STANDARD SPACES: 277
 SMALL CAR SPACES: 10
 VAN ACCESSIBLE SPACES: 2
 HANDICAP ACCESSIBLE SPACES: 10
 BIKE RACK SPACES REQUIRED: 14
 BIKE RACK SPACES PROVIDED: 14

TITLE SHEET

SITE PLAN
 DATE ISSUED: 01/01/01
 UPDATED: 11/28/01
 PROJECT ID: DESERT SPRINGS BIBLE CHURCH
 FILE: DS-C1-DRB-010
 FILE PATH: C:\ACTIVE\DRB\CWMS
 CREATED BY: JWC
 SCALE: 1"=50'
 DISCIPLINE: CIVIL
 CONSULTANT: INSITE

STATE OF NEW MEXICO
 KNIGHT L. SEAVEY
 NO. 1470
 REGISTERED ARCHITECT

C1.0drb

981436 PROJECT

TREES

V	VITEX (VITEX AGNUS CASTUS) (CHASTE TREE) [2" CALIPER] p.56 bm	ER	REDBUD -- (CERCIS OCCIDENTALIS) [2" CALIPER, MULTI-TRUNK] ALTERNATE: EASTERN REDBUD -- (C. CANADENSIS) p.275 wgb	11
AS	ARIZONA SYCAMORE -- (PLATANUS RACEMOSA WRIGHTII) [2" CALIPER] ALTERNATE: LONDON PLANE -- (P. ACERIFOLIA) p.473 wgb	GR	GOLDENRAIN TREE -- (COELARCTERIA FRANKIATA) [2" CALIPER] p.393 wgb ALTERNATE: MAIDENHAIR TREE (GINKGO BILOBA) p.393 wgb	14
HL	HONEY LOCUST -- SHADEMASTER (GLEDTSEA TRICANTHOS) [2" CALIPER, MULTI-TRUNK] ALTERNATE: SUNBURST -- p.361 wgb	CP	CHINESE PISTACHE -- (PSTACIA CHINENSIS) [2" CALIPER] p.472 wgb, p.55 bm	15
P	JAPANESE MAPLE -- (ACER PALMATUM "BLOODWOOD") (BOK) ALT: HONEY LOCUST (SUNBURST) (private courtyard/entry feature only)	DW	DESERT WILLOW -- MIMBRE (CHILIPIS LINEARIS) [2" CALIPER] p.53 bm	10
P	BRADFORD PEAR -- SHADEMASTER (GLEDTSEA TRICANTHOS) [2" CALIPER]			19

PLANT/SHRUB/GROUNDCOVER

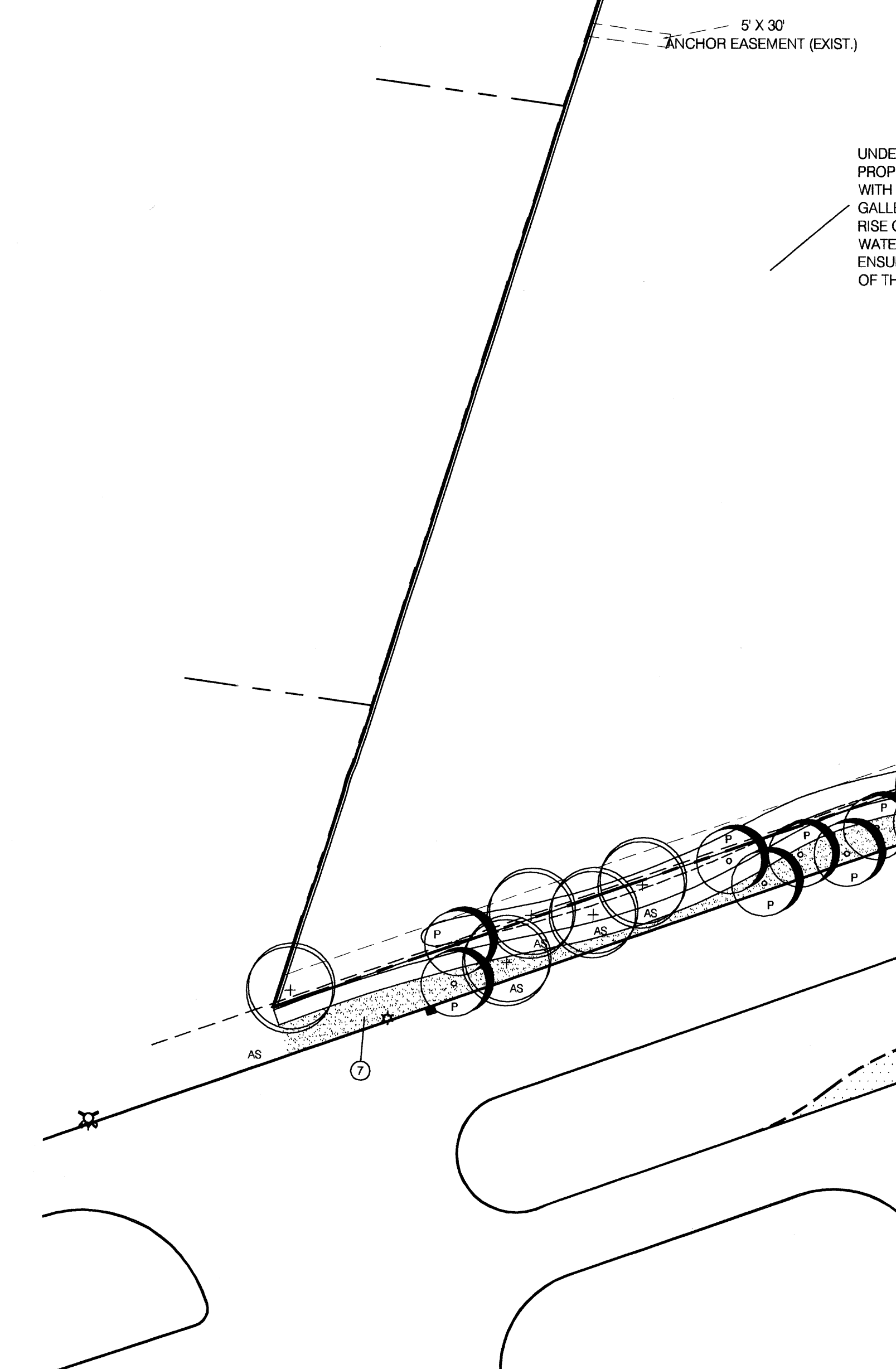
GA	GAURA LINDHEIMERI -- (OMAGRACEAE) [1 GAL.]	13	REED GRASS -- (KARL FOERSTER CALAMAGROSIS ACUTIFLORA) [1 GAL.]	105
SP	SPIRAEA -- (ROSACEAE - NIPPONICA TOSSENSIS) [1 GAL.]	57	SILVER MOUND -- (ARTEMISIA) [1 GAL.]	22
CR	CREeping ROSEMARY -- (ROSMARINUS OFFICINALIS PROSTRATUS) [1 GAL.]	46	BAILEY DOGWOOD (RED) -- (CORNUS SERICEA BAILEY - C. STOLONIFERA) [5 GAL.]	26
RO	ROSEMARY -- (ROSMARINUS OFFICINALIS) [1 GAL.]	7	REGAL MIST -- (MULLENBERGIA CAPILLARIS) [1 GAL.]	31
YI	YELLOW ICE PLANT -- (DELOSPERMA NUBIGENUM) [1 GAL.]	18	CHERRY SAGE -- (SALVA GREGGII) [1 GAL.]	62
BF	BLUE FESCUE -- (FESTUCA - OVINA GLAUCA) [1 GAL.]	58	STONECROP -- (SEDUM REFLEXUM BLUE SPRUCE) [1 GAL.]	53
LA	LAVENDER -- (LAVENDULA ANGUSTIFOLIA "MUNSTEAD") [1 GAL.]	206	SANTAFE BROWN GRAVEL -- 3/4" OR 1/4" AS (INDICATED)	
NM	NATIVE SEED MIX -- BUFFALO GRASS OR BLUE GRAMA AS INDICATED ON PLAN		BERM -- BERMS ARE DESIGNATED AT STREET FRONTAGE BY FREEFORM OUTLINE AREAS - SEE GRADING/DRAINAGE PLAN FOR SPECIFIC DATA	

KEYED LANDSCAPE NOTES

- [1] STEEL EDGING SHALL DIVIDE NATIVE GROUND COVER AND GRAVEL AREAS
- [2] DECORATION LANE TO BE COMPLETED IN PHASE 2. SANTA FE BROWN GRAVEL SHALL BE PLACED IN THIS AREA IN PHASE 1.
- [3] BUFFALO GRASS (BUCHLOE DACTYLOIDES) SHALL BE PLANTED AT THE RATE OF 1 POUND/150 SF
- [4] EXISTING LANDSCAPE BETWEEN SIDEWALK AND CURB INSTALLED BY PARK DEVELOPER
- [5] EXISTING SIDEWALK
- [6] LIGHT POLE AND BASE (TYPICAL)
- [7] 3/4" SANTA FE BROWN GRAVEL BETWEEN SIDEWALK AND CURB
- [8] BLUE GRAMA (BOUTELLOUA GRACILIS) SHALL BE PLANTED AT THE RATE OF 1 POUND/200 SF
- [9] MONUMENT SIGN
- [10] 3' HIGH EARTH BERM MEASURED FROM TOP OF ADJACENT ASPHALT. BERM HEIGHT MAY BE REDUCED IN NARROW AREAS AND SCREEN EFFECT WILL BE ACCOMPLISHED WITH LANDSCAPE MATERIAL. IN NO CASE WILL AGGREGATE HEIGHT BE BELOW 2'

SPECIAL LANDSCAPE NOTES

- (AS REQUIRED BY CABO PLANNING STAFF)
- [C2.1] THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND OR LIVE GROUNDCOVERS
- [C2.2] ALL TREES SHALL BE A MINIMUM OF 2" CALIPER, AS REQUIRED BY THE CABO ZONING CODE. EXCEPTING THE ORNAMENTAL PRIVATE COURTYARD ENTRY FEATURE JAPANESE MAPLES
- [C2.3] SCREENING BERMS ARE IDENTIFIED BY OUTLINE OF AREA WITH FREEFORM SHAPES AT STREET FRONTAGE
- [C2.4] OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF CABO ORDINANCES. DISTURBED AREAS WILL BE RESEEDED AS REQUIRED.



ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 824-2160
FAX: (505) 824-1080
KS email: info@insite.net
JWC email: jwc@insite.net
CONTRACTOR: EDWARD MARTIN ENR. CON. 8501 JEFFERSON NE
ALBUQUERQUE, NM 87113
TELEPHONE: (505) 823-1144
FAX: (505) 823-9481

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GENERAL NOTES
[1] MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER

[2] ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.

LANDSCAPE PHASING NOTES
[1] IRRIGATION SYSTEM BACKBONE WILL BE INSTALLED CONCURRENT WITH BUILDING CONSTRUCTION. THE REMAINDER OF THE IRRIGATION SYSTEM WILL BE INSTALLED BY THE CHURCH CONGREGATION WITHIN A 6 MONTH PERIOD FOLLOWING THE CERTIFICATE OF OCCUPANCY

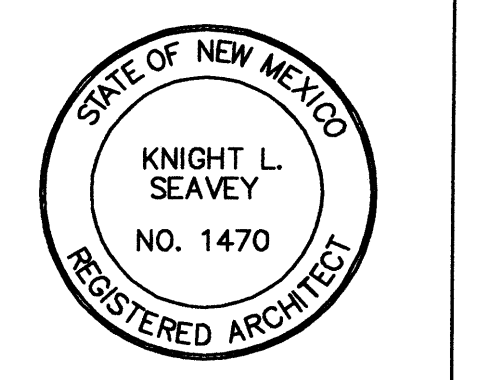
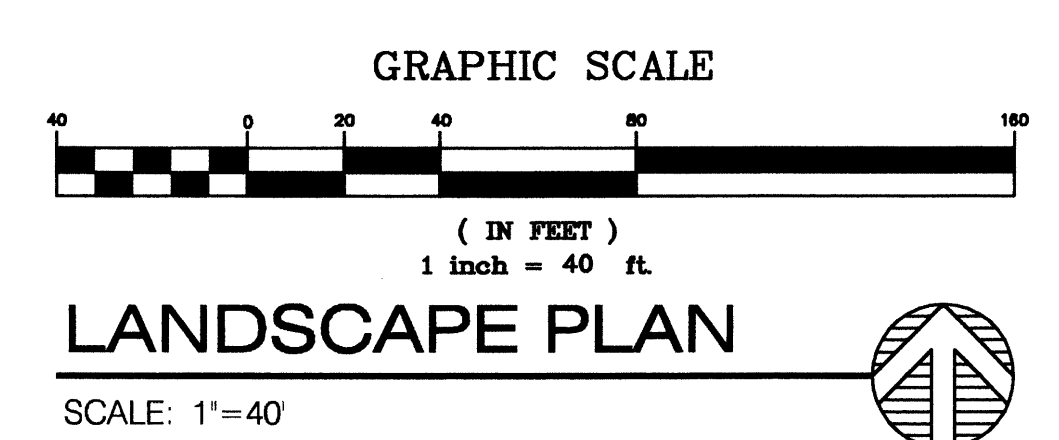
[2] LANDSCAPE AND PLANTINGS WILL BE INSTALLED BY THE CHURCH CONGREGATION WITHIN A 6 MONTH PERIOD FOLLOWING THE CERTIFICATE OF OCCUPANCY EXCEPT THAT INSTALLATION OF ALL TREES SHALL OCCUR WITHIN 60 DAYS OF CERTIFICATE OF OCCUPANCY

LANDSCAPE AREA CALCULATIONS

TOTAL SITE AREA	446,425 SF
UNDEVELOPED	155,617 SF
DEVELOPED SITE	290,808 SF
BUILDING AREA	36,500 SF
PAVED AREA	57,280 SF
SIDEWALK AREA	8,000 SF
EXP. PARKING	42,500 SF
LANDSCAPE	80,878 SF (28%)
LANDSCAPE REQ.	43,621 SF (15.0%)

SITE DEVELOPMENT PLAN

TITLE	LANDSCAPE PLAN
DATE ISSUED	6/28/01
UPDATED	11/28/01
EDITION	000 SUBMITTAL
PROJECT ID	SEVENTH PRINCE BIBLE CHURCH
FILE	SS-C1.0200.DWG
FILE PATH	C:\ACTIVE\DISC\000
CREATED BY	JWC
SCALE	1"=40'
DISCIPLINE	CIVIL
CONSULTANT	INSITE



C2.0drb

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
2. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BARRIERS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN.
4. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING STRAW BALE DIKES OR SILT FENCES IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AT APPROPRIATE INTERVALS.
5. THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
6. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. THIS SHALL NOT INCLUDE RESIDENTIAL LOTS WHICH ARE TO BE OCCUPIED WITHIN TWELVE MONTHS.
7. THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED FROM THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
8. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
12. WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.
13. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON-SITE AT ALL TIMES.

- LEGEND**
- TC65.94 PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - 5173 EXISTING CONTOUR
 - DIRECTION OF FLOW
 - EMBANKMENT SLOPE
 - WATER BLOCK
 - TRACT BOUNDARY/R.O.W.
 - NEW BUILDING
 - EXISTING PAVEMENT EDGE
 - NEW PAVEMENT/CURB
 - EXIST. SANITARY SEWER
 - EXIST. STREET LIGHT
 - EXIST. STORM INLET
 - NEW STORM INLET
 - PARKING LOT STRIPING

- ABBREVIATIONS**
- FF FINISHED FLOOR (CONC.)
 - FG FINISHED GROUND
 - FSG FINISHED SUBGRADE
 - FL FLOW LINE (CONCRETE)
 - TA TOP OF ASPHALT
 - TC TOP OF CURB OR CONCRETE
 - TG TOP OF GRATE
 - TS TOP OF SIDEWALK
 - SD STORM DRAIN
 - RD ROOF DRAIN

PROJECT BENCH MARK
ACS BENCHMARK 13-116 IN THE SOUTH RIGHT-OF-WAY OF OSUNA RD NE ELEV 5052.361

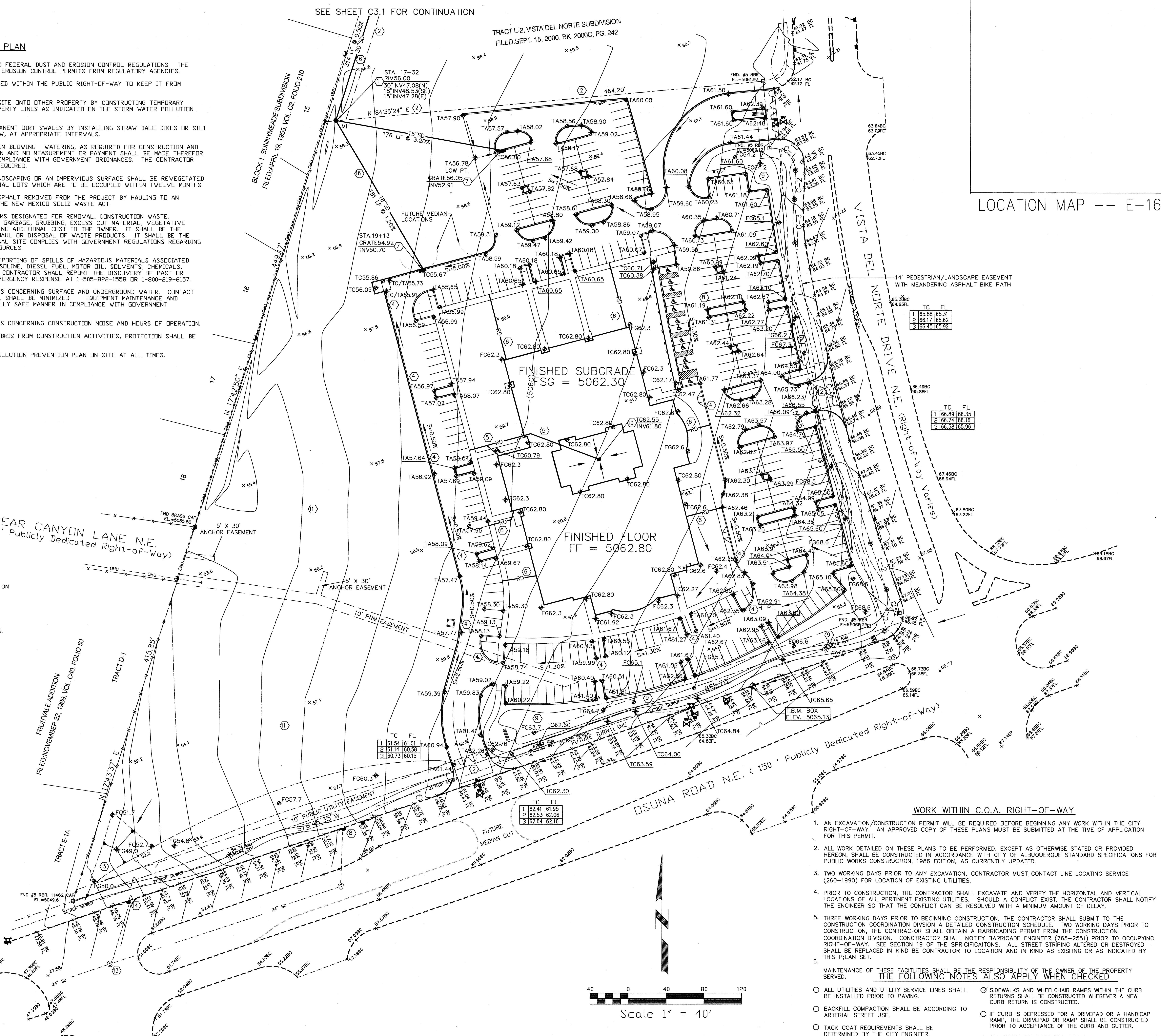
LOCAL BENCH MARK
SQUARE CHISELED IN BACK OF CURB ON OSUNA ROAD AS INDICATED IN PLAN. ELEV 5065.13

SURVEY INFORMATION
SURVEY PERFORMED BY SURVEYS SOUTHWEST, LTD. AUGUST 2001

LEGAL DESCRIPTION
TRACT L-1 OF THE VISTA DEL NORTE SUBDIVISION, CONTAINING 10.2485 ACRES.

KEYED NOTES

1. INSTALL 4" DIA. MANHOLE.
2. LIMIT OF GRADING. ALL DISTURBED EARTHEN SURFACES SHALL BE REVEGETATED OR COVERED WITH AN IMPERVIOUS SURFACE.
3. MAKE WATERTIGHT CONNECTION TO EXISTING STORM DRAIN PIPE.
4. INSTALL 6" CONC. CURB & GUTTER AS INDICATED BY THIS NOTE. ALL CURB NOT SO INDICATED SHALL BE 6" RIBBON CURB PER ARCHITECTURAL PLANS.
5. INSTALL ROOF DRAIN WITH 2% MIN. SLOPE. ROOF DRAIN SHALL CONNECT TO PARKING LOT VIA PIPE PENETRATION THROUGH THE CURB.
6. INSTALL ROOF DRAIN WITH 1% MIN. SLOPE. ROOF DRAIN SHALL CONNECT TO PARKING LOT VIA PIPE PENETRATION THROUGH THE CURB.
7. CONSTRUCT STORM INLET SIMILAR TO TYPE "C" COA STORM INLET. TOP OF INLET TO BE FLUSH WITH TOP OF ADJACENT 6" CURB. INLETS SHALL HAVE LOCAL DEPRESSION TO PUSH TOP OF GRATE ELEVATION DOWN TO 9" BELOW TOP OF CURB. INLET GRATING WILL SUSTAIN FOOT TRAFFIC, AND SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
8. EXIST. TYPE C INLET. RECORD DATA: TC57.69, INV52.86.
9. EARTHEN BERM. HORIZONTAL LOCATION OF BERM MAY VARY, AS LONG AS THE VERTICAL ELEVATION IS MAINTAINED. THE BERM IS INTENDED TO BE 3' HIGHER THAN THE PARKING LOT, TO SHIELD PARKED VEHICLES FROM THE VIEW OF THE TRAVELLING PUBLIC.
10. INSTALL NEW STORM INLET IN COURTYARD. TG61.75, INV61.00. INLET SHALL HAVE A MINIMUM PERIMETER LENGTH OF 8'.
11. THE INTENTION OF THIS PLAN IS TO PROVIDE A SITE WITH BALANCED EARTHWORK. IN THE EVENT THAT MORE OR LESS DIRT IS NEEDED TO REACH THE ELEVATIONS SHOWN IN THE PAVED AREAS, ADDITIONAL EARTHWORK MAY BE PERFORMED IN THE UNPAVED AREAS.
12. NEATLY CUT AND REMOVE THE EXISTING CURB AND GUTTER, AND CONSTRUCT NEW DRIVEWAY OPENING WITH VALLEY GUTTER AND HANDICAP RAMPS PER C.O.A. STANDARD DWG 2426. TRANSITION FROM 8" TO 6" CURB HEIGHT THROUGH THE RETURN.
13. EXIST. SD MH. RECORD DATA: RM 5048.1, INV 440.83, INV 440.72, INV N41.33. VERTICAL DATA IS CORRECT, BUT LOCATIONS OF UNDERGROUND STORM DRAIN AS SHOWN ON PLANS ARE APPROXIMATE.
14. EXIST. TYPE A INLET. TC47.15, INV 42.32 (RECORD DATA).
15. CREATE SEDIMENTATION POND THAT OVERFLOWS INTO OSUNA ROAD.
16. SEE SHEET C3.1 FOR STORM DRAIN PROFILE.



- WORK WITHIN C.O.A. RIGHT-OF-WAY**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1998 EDITION, AS CURRENTLY UPDATED.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADING ENGINEER (785-2531) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED**
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 - TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
 - SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
 - IF CURB IS DEEPER FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
 - ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

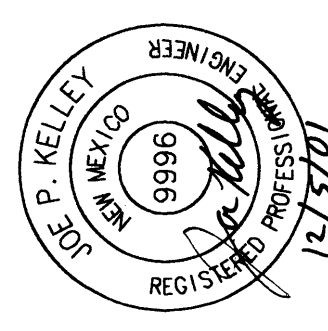
SEE SHEET C3.1 FOR CONTINUATION

TRACT L-2, VISTA DEL NORTE SUBDIVISION
FILED SEPT. 15, 2000, BK. 2000C, PG. 242

BLOCK 1, SUNNYMEDE SUBDIVISION
FILED APRIL 19, 1985, VOL. C2, FOLIO 210

LOCATION MAP -- E-16

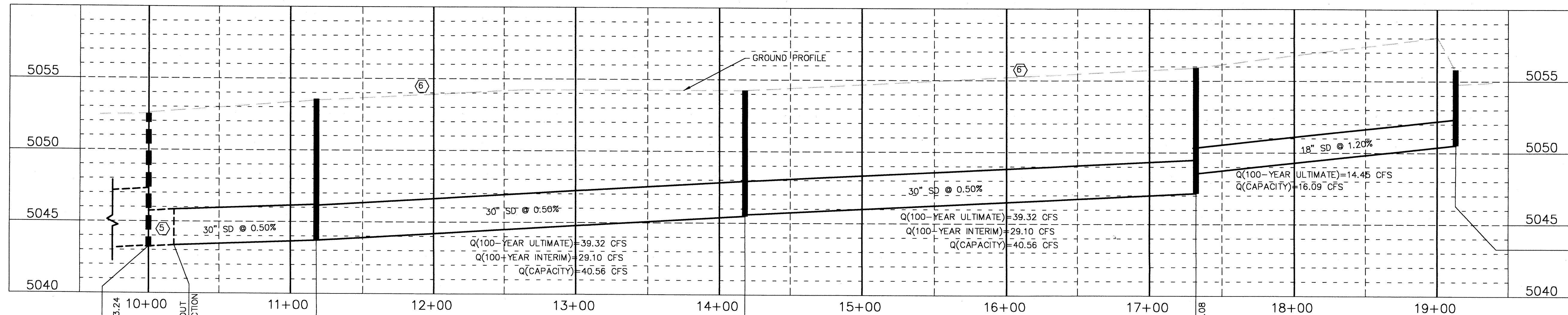
JC-Engineering
1924 Ramon Dr. NE, Rio Rancho, NM 87124-5532
(505)889-1936 Fax (505)887-9302 kelley@jce-engineering.com



NO.	DATE	BY	DEPT.	DESCRIPTION

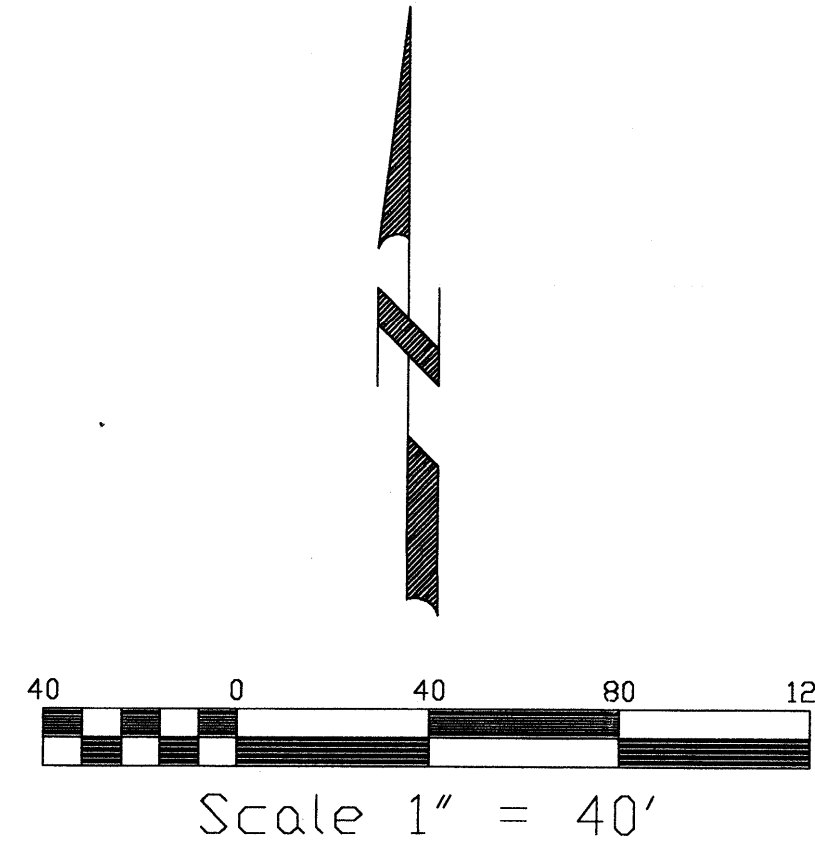
PROJECT: DESERT SPRINGS CHURCH ALBUQUERQUE, NM
CLIENT: DESERT SPRINGS CHURCH

SHEET TITLE: GRADING PLAN
SHEET NO.: C3.0



STA. 19+13 TYPE "C" STORM INLET
TC55.67 TG54.92 18" INV50.70

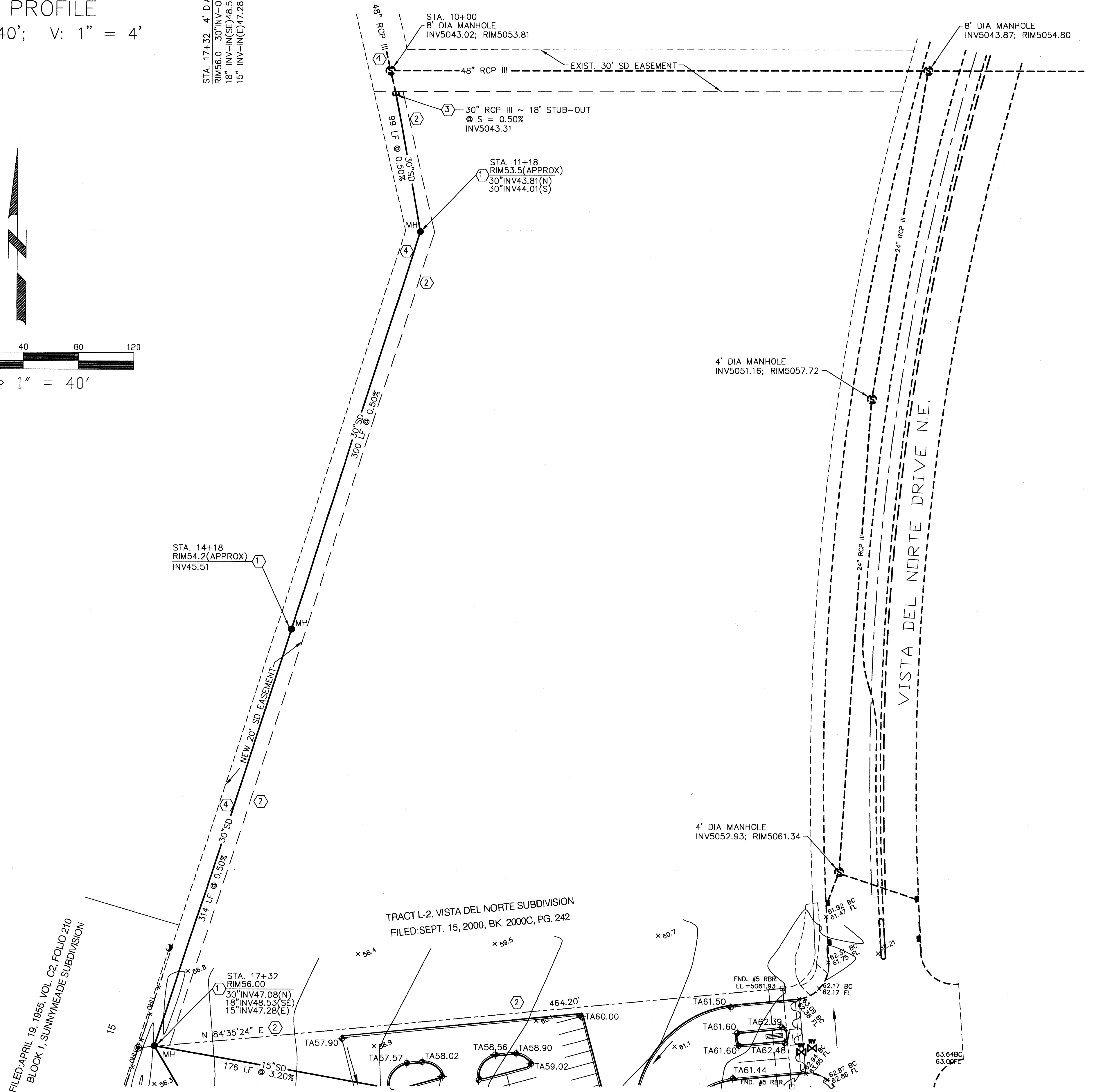
STORM DRAIN PROFILE
SCALE: H: 1" = 40'; V: 1" = 4'



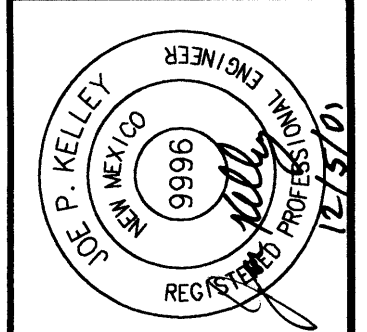
PROJECT BENCH MARK ACS BENCHMARK 13-E16 IN THE SOUTH RIGHT-OF-WAY OF OSUNA RD NE ELEV 5052.36'	LOCAL BENCH MARK SQUARE CHISEL IN BACK OF CURB ON OSUNA ROAD AS INDICATED IN PLAN. ELEV 5065.13
SURVEY INFORMATION SURVEY PERFORMED BY SURVEYS SOUTHWEST, LTD. AUGUST 2001	LEGAL DESCRIPTION TRACT L-1 OF THE VISTA DEL NORTE SUBDIVISION, CONTAINING 10.2485 ACRES.
ABBREVIATIONS FF FINISHED FLOOR (CONC.) FG FINISHED GROUND FSG FINISHED SUBGRADE FL FLOW LINE (CONCRETE) TA TOP OF ASPHALT TC TOP OF CURB OR CONCRETE TG TOP OF GRATE TS TOP OF SIDEWALK SD STORM DRAIN RD ROOF DRAIN	LEGEND TC65.94 PROPOSED SPOT ELEVATION 5173 EXISTING SPOT ELEVATION -5173- EXISTING CONTOUR DIRECTION OF FLOW EMBANKMENT SLOPE WATER BLOCK TRACT BOUNDARY/R.O.W. NEW BUILDING EXISTING PAVEMENT EDGE NEW PAVEMENT/CURB EXIST. SANITARY SEWER EXIST. STREET LIGHT EXIST. STORM INLET NEW STORM INLET PARKING LOT STRIPING

KEYED NOTES

- 1) INSTALL 4' DIA. MANHOLE.
- 2) LIMIT OF GRADING. ALL DISTURBED EARTHEN SURFACES SHALL BE REVEGETATED OR COVERED WITH AN IMPERVIOUS SURFACE.
- 3) MAKE WATERTIGHT CONNECTION TO EXISTING STORM DRAIN PIPE.
- 4) SEE THIS SHEET FOR STORM DRAIN PROFILE.
- 5) EXISTING STORM DRAIN DATA OBTAINED FROM RECORD DRAWINGS FOR PROJ. 5970.81 DATED 4/1/00 BY PARSONS-BRINKERHOFF.
- 6) GROUND PROFILE DATA ACROSS TRACT L-2 OBTAINED FROM VISTA DEL NORTE GRADING MAP BY AVID ENGINEERING, DATED 4/12/96.

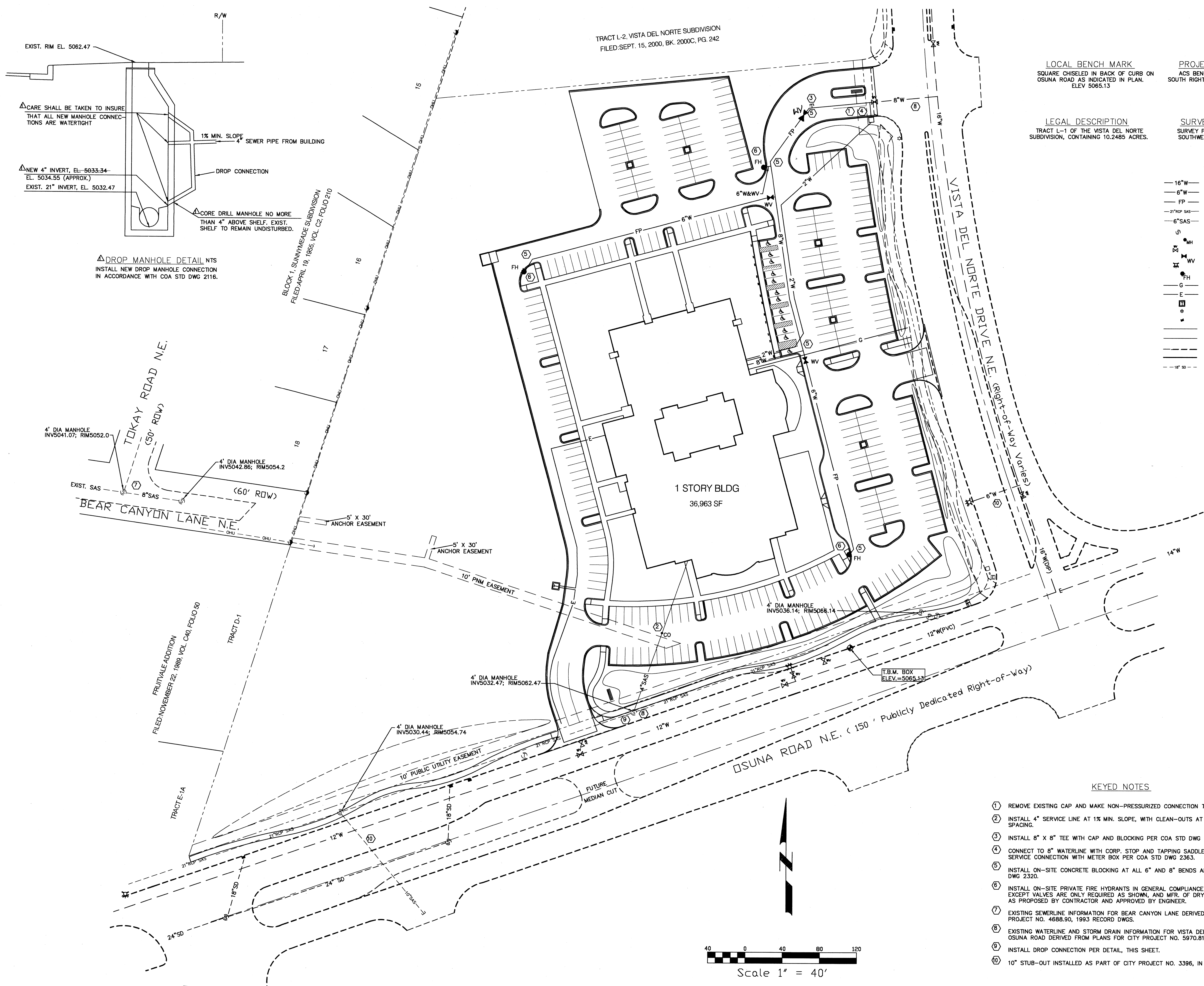


SEE SHEET C3.0 FOR CONTINUATION



NO.	DATE	BY	DESCRIPTION

DESERT SPRINGS CHURCH ALBUQUERQUE, NM	PROJECT
DESERT SPRINGS CHURCH	CLIENT



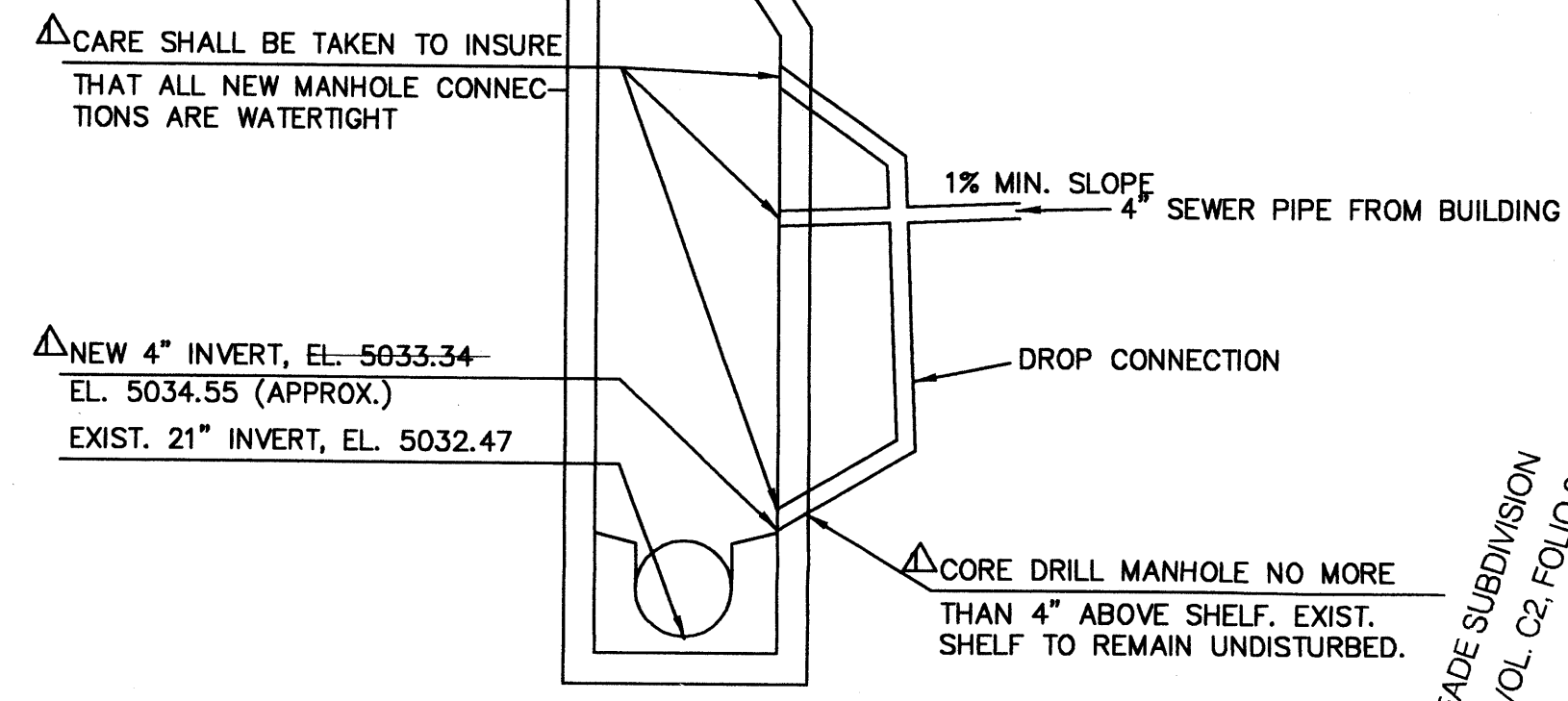
TRACT L-2, VISTA DEL NORTE SUBDIVISION
FILED SEPT. 15, 2000, BK. 2000C, PG. 242

LOCAL BENCH MARK
SQUARE CHISELED IN BACK OF CURB ON
OSUNA ROAD AS INDICATED IN PLAN.
ELEV 5065.13

PROJECT BENCH MARK
ACS BENCHMARK 13-E16 IN THE
SOUTH RIGHT-OF-WAY OF OSUNA RD NE
ELEV 5052.361

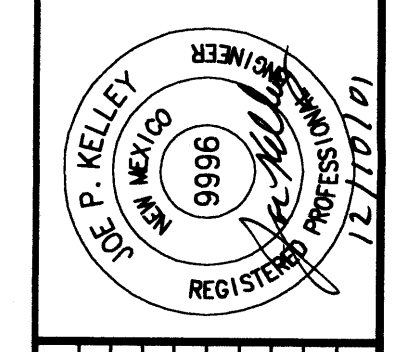
LEGAL DESCRIPTION
TRACT L-1 OF THE VISTA DEL NORTE
SUBDIVISION, CONTAINING 10.2485 ACRES.

SURVEY INFORMATION
SURVEY PERFORMED BY SURVEYS
SOUTHWEST, LTD. AUGUST 2001



△ DROP MANHOLE DETAIL NTS
INSTALL NEW DROP MANHOLE CONNECTION
IN ACCORDANCE WITH COA STD DWG 2116.

- LEGEND**
- 16" W — EXISTING WATERLINE
 - 6" W — PROPOSED WATERLINE
 - FP — FIRE PROTECTION LINE
 - 21" ROP SAS — EXISTING SANITARY SEWER
 - 6" SAS — PROPOSED SANITARY SEWER
 - MH — EXISTING SANITARY MANHOLE
 - MH — PROPOSED SANITARY MANHOLE
 - W — EXISTING WATER VALVE
 - W — PROPOSED WATER VALVE
 - FH — EXISTING FIRE HYDRANT
 - FH — PROPOSED FIRE HYDRANT
 - G — PROPOSED GAS
 - E — PROPOSED ELECTRIC
 - T — PROPOSED TRANSFORMER
 - SL — NEW STREET LIGHT
 - SI — EXIST. STORM INLET
 - TB — TRACT BOUNDARY/R.O.W.
 - B — BUILDING
 - P — EXISTING PAVEMENT EDGE
 - N — NEW PAVEMENT/CURB
 - SD — EXISTING STORM DRAIN



NO.	DATE	BY	DESCRIPTION
1	11/14/01	JCH	REVISION MANHOLE CONNECTION DETAIL

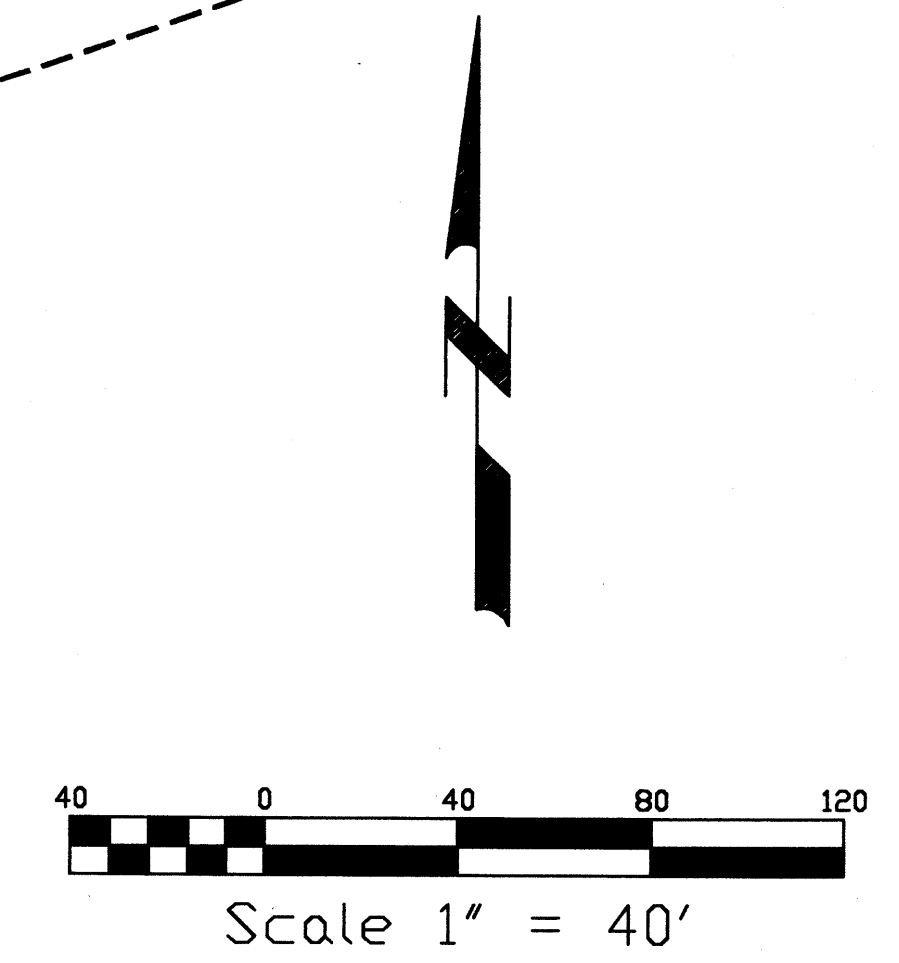
APPROVALS	DEPT.
SIGNATURE	
DATE	

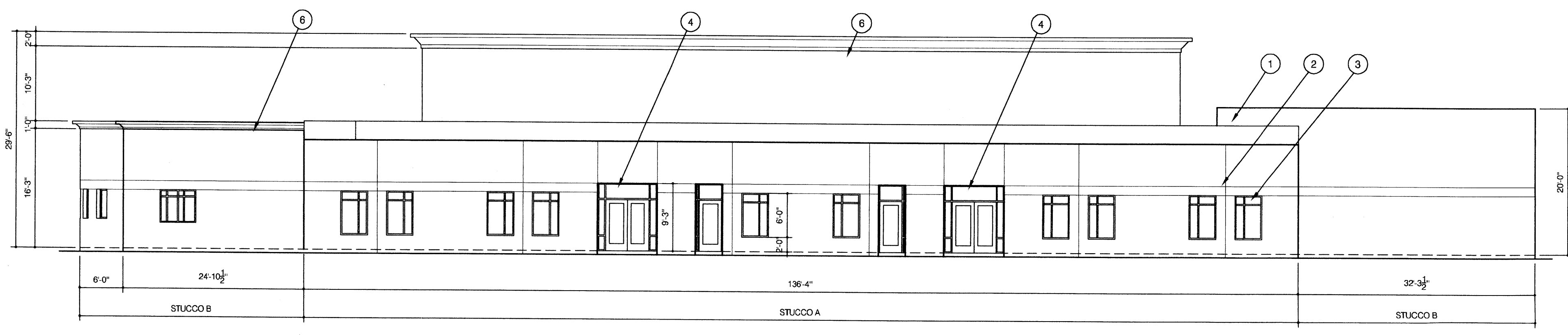
PROJECT: DESERT SPRINGS CHURCH ALBUQUERQUE, NM
CLIENT: DESERT SPRINGS CHURCH

SHEET TITLE: UTILITY PLAN
SHEET NO.: C4.0

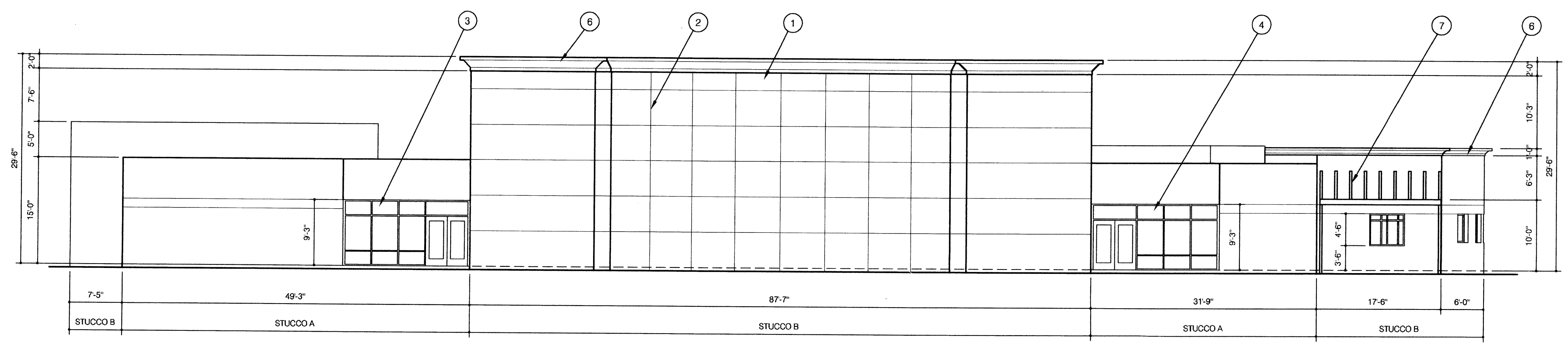
KEYED NOTES

- ① REMOVE EXISTING CAP AND MAKE NON-PRESSURIZED CONNECTION TO EXISTING STUBOUT.
- ② INSTALL 4" SERVICE LINE AT 1% MIN. SLOPE, WITH CLEAN-OUTS AT BENDS, AND AT 150' MAX. SPACING.
- ③ INSTALL 8" X 8" TEE WITH CAP AND BLOCKING PER COA STD DWG 2320. W/ VALVE
- ④ CONNECT TO 8" WATERLINE WITH CORP. STOP AND TAPPING SADDLE, AND INSTALL 1-1/2" SERVICE CONNECTION WITH METER BOX PER COA STD DWG 2363.
- ⑤ INSTALL ON-SITE CONCRETE BLOCKING AT ALL 6" AND 8" BENDS AND TEES PER COA STD DWG 2320.
- ⑥ INSTALL ON-SITE PRIVATE FIRE HYDRANTS IN GENERAL COMPLIANCE WITH COA STD DWG 2340, EXCEPT VALVES ARE ONLY REQUIRED AS SHOWN, AND MFR. OF DRY BARREL HYDRANT MAY BE AS PROPOSED BY CONTRACTOR AND APPROVED BY ENGINEER.
- ⑦ EXISTING SEWERLINE INFORMATION FOR BEAR CANYON LANE DERIVED FROM PLANS FOR CITY PROJECT NO. 4688.90, 1993 RECORD DWGS.
- ⑧ EXISTING WATERLINE AND STORM DRAIN INFORMATION FOR VISTA DEL NORTE DRIVE AND OSUNA ROAD DERIVED FROM PLANS FOR CITY PROJECT NO. 5970.81, 2000 RECORD DWGS.
- ⑨ INSTALL DROP CONNECTION PER DETAIL, THIS SHEET.
- ⑩ 10" STUB-OUT INSTALLED AS PART OF CITY PROJECT NO. 3396, IN 1988.

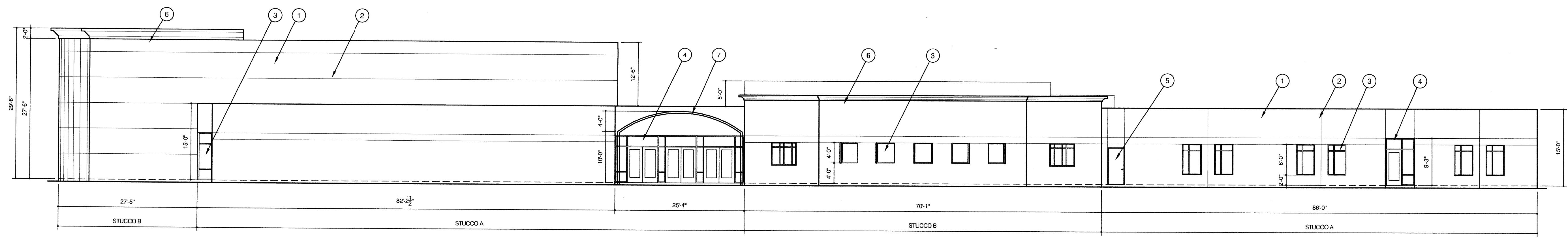




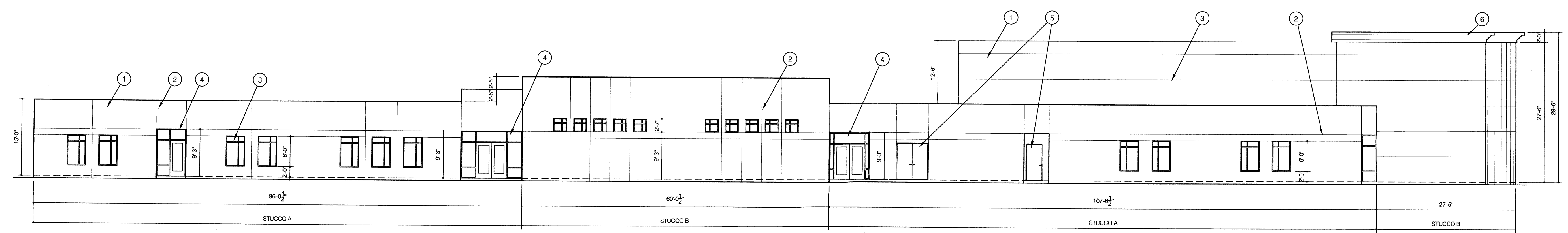
NORTH ELEVATION
SCALE: 3/32"=1'-0"



SOUTH ELEVATION
SCALE: 3/32"=1'-0"



EAST ELEVATION
SCALE: 3/32"=1'-0"



WEST ELEVATION
SCALE: 3/32"=1'-0"

GENERAL NOTES

[A2.1] TYPICAL BUILDING EXTERIOR FINISH SHALL BE TWO COAT SYNTHETIC STUCCO

[A2.2] TYPICAL EXTERIOR WINDOWS SHALL BE ALUMINUM STOREFRONT FRAMING WITH 1" CLEAR GLASS (ALTERNATE: ALUMINUM CLAD WOOD UNITS)

[A2.3] ALL EXPOSED METAL BUILDING COMPONENTS SHALL BE PRIMED AND PAINTED W/ BUILDING ACCENT COLOR (METAL SITE COMPONENTS SHALL BE PAINTED TO MATCH)

KEYED NOTES

[1] EXTERIOR FINISH: TWO COAT SYNTHETIC STUCCO

[2] 3/4" X 3/4" V-GROOVE STUCCO CONTROL JOINT

[3] WINDOWS: 1" CLEAR GLAZING IN ALUMINUM STOREFRONT FRAMING (ALT: ALUMINUM CLAD WOOD UNITS)

[4] EXTERIOR DOORS: ALUMINUM STOREFRONT UNITS W/ SIDE LITES & TRANSOMS - CLEAR TEMPERED GLAZING

[5] HOLLOW METAL DOOR AND FRAME PAINTED BUILDING ACCENT COLOR

[6] FOAM CORNICE WITH TWO COAT SYNTHETIC STUCCO FINISH

[7] FREESTANDING TUBE STEEL ENTRY TRELIS - PAINTED BUILDING ACCENT COLOR

STUCCO FINISH SCHEDULE

STUCCO A - SONNEBORN, SONOLAST, COLOR #7-PLVR-62 'WALNUT', SAND FINISH

STUCCO B - SONNEBORN, SONOLAST, COLOR #442-TLVR-37 'CHAMELEON', SAND FINISH



ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122

TELEPHONE: (505) 825-4100

FAX: (505) 825-1000

KS email: ks@insite7.com

JWC email: jwc@insite7.com

CONTRACTOR: GERALD MARTIN GEN. CONT.
6501 JEFFERSON NE
ALBUQUERQUE, NM 87119

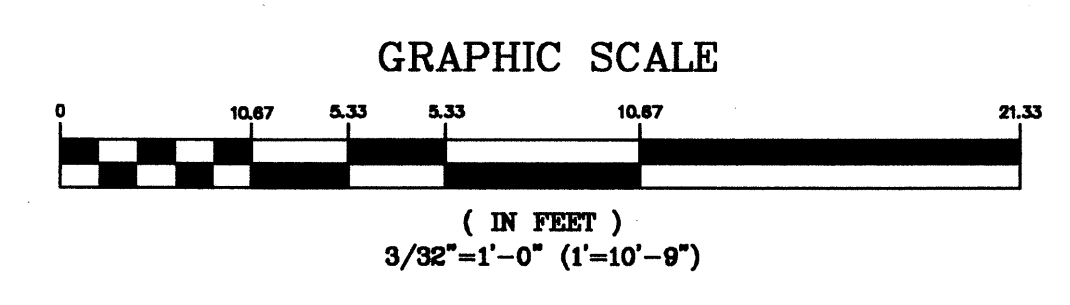
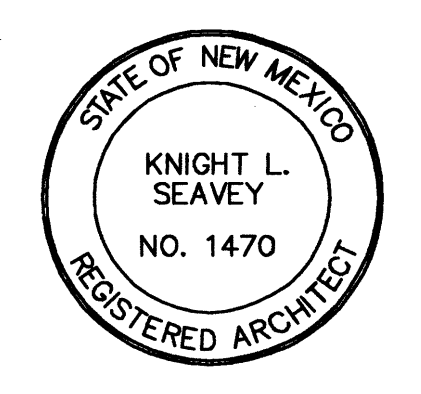
TELEPHONE: (505) 825-1144

FAX: (505) 825-9481

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SITE DEVELOPMENT PLAN

TITLE	ELEVATIONS
DATE ISSUED	8/28/01
UPDATED	11/28/01
EDITION	DRG SUBMITTAL
PROJECT ID	DESERT SPRINGS WINDLE CHURCH
FILE	05-02-000A.DWG
FILE PATH	C:\ACTIVE\0502000A
CREATED BY	JWC
SCALE	3/32"=1'-0"
DISCIPLINE	ARCHITECTURAL
CONSULTANT	INSITE



A2.0drb