

LOCATION MAP

ZONE ATLAS N-9
SCALE: NONE

PRJ 1001450

APPROVED AND ACCEPTED BY:

Project No. 1001450
01128-00000-01250
EPC Application No.

01400-00000-01611
DRB Application No.

3/13/02
11/14/01
3-04-02
11-14-01
2/28/02
3-4-02

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SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF PARCEL 12 OF THE BULK LAND PLAT OF EL RANCHO GRANDE 1, FORMERLY CALLED PARCEL 1A OF THE RIO BRAVO SECTOR DEVELOPMENT PLAN. THE GROSS SITE AREA IS 24.49 ACRES PRIOR TO R/W DEDICATION AND R/W VACATION. AREA REMAINING FOR PROPOSED DEVELOPMENT IS 23.94 ACRES

PROPOSED USE

AS SHOWN, THE SITE IS ZONED SU-1 FOR MIXED USES TO INCLUDE R-2, O-1 AND C-2 USES.

PARCEL	LAND USE	NET AREA
12-A	R-2	13.10 ACRES
12-B	C-2 & O-1	10.84 ACRES
		23.94 ACRES

EACH LAND USE CATEGORY IS TO INCLUDE BOTH PERMISSIVE AND CONDITIONAL USES IN EACH OF THE RESPECTIVE DESIGNATIONS.

PARCEL 12-B

USES ARE MIXED C-2 AND O-1 WITH MAXIMUM OF 64% OF C-2 USES AND 36% OF O-1 USES. SITE PLANS FOR BUILDING PERMIT ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE EPC.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS:
PEDESTRIANS ARE TO ACCESS PARCEL 12-B VIA A CONNECTION THROUGH THE SW PORTION OF PARCEL 12-A, ALONG THE WEST SIDE OF PARCEL 12, THE SNOW VISTA ARROYO IS PROPOSED TO CONTAIN A TRAIL RUNNING NW-SE. DIRECT CONNECTION TO THIS TRAIL IS TO BE THROUGH PARCEL 12-B. * SEE BELOW

VEHICULAR ACCESS:
FOR VEHICLES A SITE PLAN FOR BUILDING SHALL IDENTIFY AN INTERNAL CIRCULATION SYSTEM OF LOCAL ROADS ACCORDING TO A RECIPROCAL EASEMENT BETWEEN THE NON-RESIDENTIAL PARCELS. CONCEPTUAL ACCESS POINTS HAVE BEEN IDENTIFIED WITH FINAL LOCATIONS, WIDTH, AND CONFIGURATION TO BE DETERMINED IN ACCORDANCE WITH CITY IMPOSED CONDITIONS OF APPROVAL, IF ANY.

PEDESTRIAN ACCESS:
PEDESTRIANS SHALL ACCESS PARCELS 12-B FROM SEVERAL POINTS AROUND THE PERIMETER OF THE SITE AND THROUGH THE PARCEL 12-A SUBDIVISION. PEDESTRIAN ACCESS SHALL ALSO BE PROVIDED THROUGH PARCEL 12-B TO GIBSON BLVD.

BICYCLE ACCESS:
A BICYCLE TRAIL IS PLANNED ALONG THE WEST SIDE OF THE SNOW VISTA CHANNEL WEST OF THE SUBJECT PROPERTY. ACCESS TO THE TRAIL WILL BE ACROSS A FUTURE CROSSING OF THE SNOW VISTA CHANNEL BY GIBSON BLVD.

TRANSIT:
AS PROPERTY DEVELOPS ALONG THIS PORTION OF GIBSON BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN:
THE DESIGN GUIDELINES OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE. * TRAIL ALONG THE SNOW VISTA CHANNEL IS SHOWN ON THE WEST SIDE OF THE CHANNEL PER THE RIO BRAVO SECTOR DEVELOPMENT PLAN, HOWEVER, THE PHYSICAL CONDITION OF THE CHANNEL NEEDS TO BE EVALUATED BEFORE A FINAL ALIGNMENT CAN BE DETERMINED.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

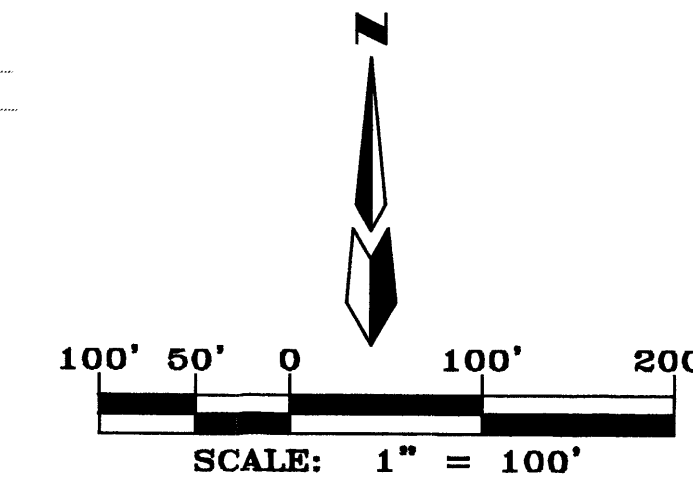
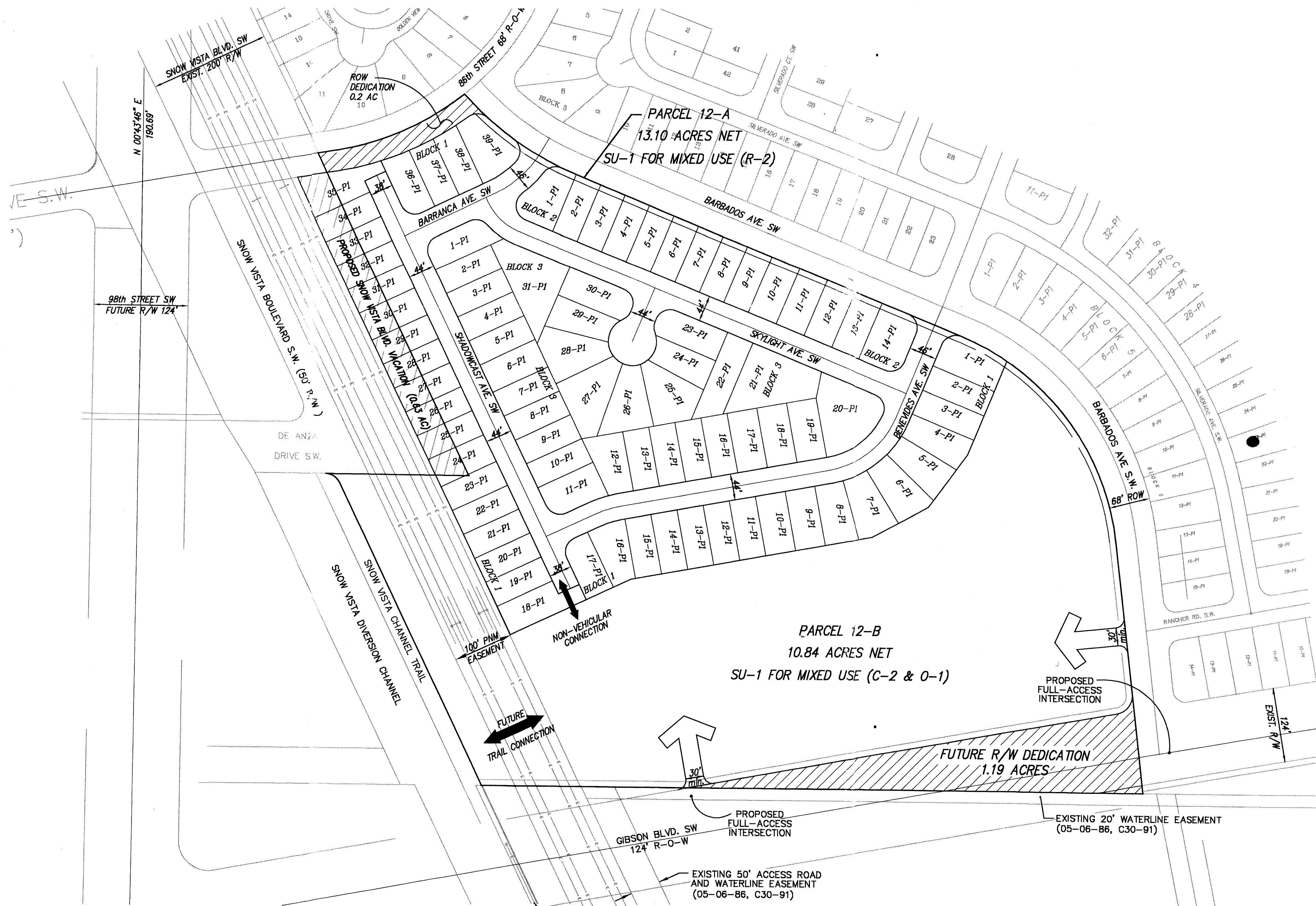
MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

WITHIN PARCEL 12-A, THE MAXIMUM NUMBER OF UNITS SHALL BE 84.
WITHIN PARCEL 12-B THE MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT IS REQUIRED TO ESTABLISH ZONE BOUNDARIES, VACATE R/W, AND DEDICATE R/W.
- THE SU-1 FOR R-2 ZONED AREA (PARCEL 12-A) IS DELEGATED TO THE DEVELOPMENT REVIEW BOARD IF IT IS DEVELOPED AT RT DENSITIES OR LESS (PER R-T ZONING REGULATIONS).



SITE PLAN FOR SUBDIVISION
PARCEL 12, EL RANCHO GRANDE I

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Drawing:	Drawn: STEPHAN	Checked: DMG	Sheet 1 of 3
Scale: 1" = 100'	Date: 11/12/01	Job: A01084	

DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the development goals and objectives for Parcel 12, El Rancho Grande I. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the West Side Strategic Plan and the Rio Bravo Sector Development Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines, the more restrictive requirements shall apply.

1. SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General

Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of community activity area than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. Plaza areas shall allow outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street.

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Gibson Boulevard and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms to a minimum height of 2.5 feet. Screening shall be compatible with edge treatments at adjacent properties.

- The adopted City Wall Design Guidelines shall apply.

- All loading docks shall be screened and architecturally integrated with the building architecture.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1,000 square feet.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

Guidelines:

- Plazas, courtyards, and other outdoor activity or seating areas shall be shaded by tree canopies or architectural devices.



SHADED PEDESTRIAN AREAS

- Public entries to the project shall be designed to:
 - be compatible with one another
 - create a sense of arrival
 - provide strong visual impact
 - provide a unified project identification

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.



PLANNING
CONSENSUS

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation

Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the commercial or office sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces

- Six foot sidewalks shall be provided along Gibson. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadways and pathway network to the Amole Arroyo Trail along the Snow Vista Diversion Channel.

- Pedestrian connections shall be provided to transit stops.

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactically for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-T zoning requirements and the Development Process Manual.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirement shall be the minimum is the maximum, plus 10 percent.

- Residential areas shall be designed with pedestrian connections to the commercial and office areas.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Gibson Boulevard.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Gibson Boulevard
- 15 feet from the R.O.W. of interior roads

2. TRANSPORTATION DEMAND MANAGEMENT (TDM)

Future employers that locate within the commercial portion of Parcel 12 who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home.

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via the Amole Arroyo bike trail.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office and commercial development is reached on Parcel 12.

As a part of the TDM Program, City Transit should:

- Provide bus routes along Gibson Boulevard.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to Parcel 12 that address their specific needs.

3. PERIMETER WALLS, SCREENING WALLS & FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for commercial and office development. Perimeter walls may be provided for single family development. Walls shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

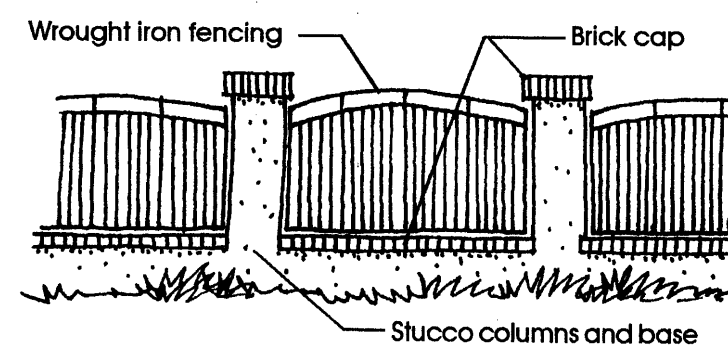
- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

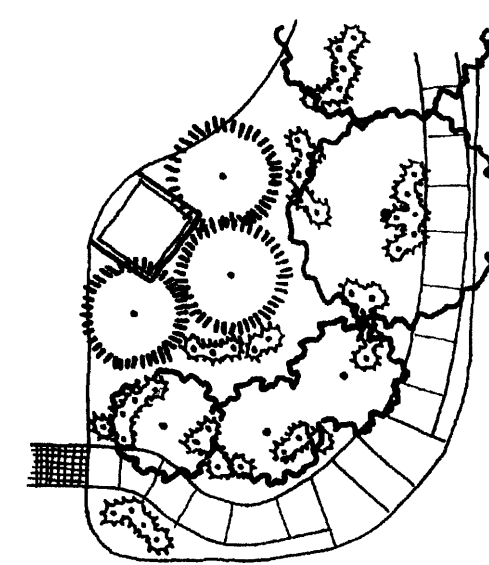
- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.



PERIMETER WALL / Commercial and Office



SCREENED REFUSE CONTAINER

4. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects. The following shall apply to all commercial and office uses within Parcel 12:

Standards:

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainage right-of-way center line.

- No generic franchise elevation design shall be allowed within the commercial and office areas of Parcel 12.

- Commercial and office uses shall be horizontally connected in a variety of ways through the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, or sitting areas.

Guidelines:

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

- Roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses should be distributed among a variety of volumes, introducing the use of dormers, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

- Mixed-use development (i.e. residential with commercial, commercial with office, etc.) is permissible.

Roofs & Parapets

Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

Facades

Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Commercial and office buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

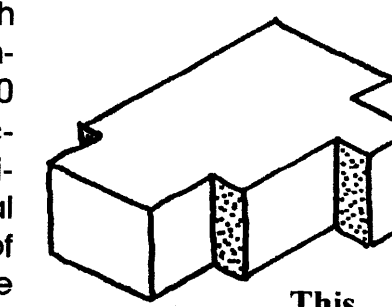
- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into manageable pieces

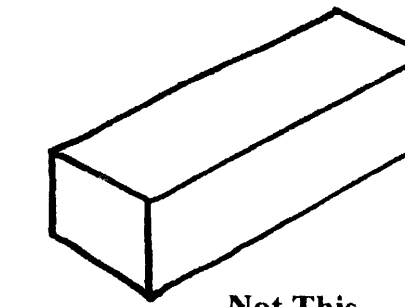
- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.



This



Not This

STAGGERED PLANES

Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls within public view
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc.

SITE PLAN FOR SUBDIVISION Parcel 12 El Rancho Grande I

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Prepared By:

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August 30, 2001

Sheet 2 of 3

5. LIGHTING

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

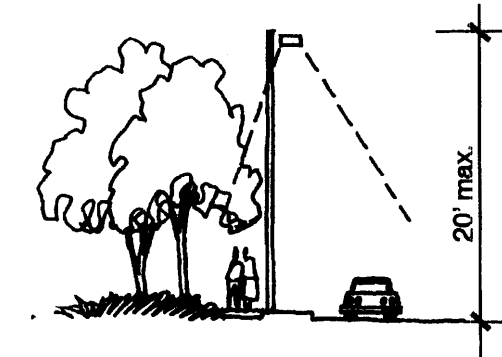
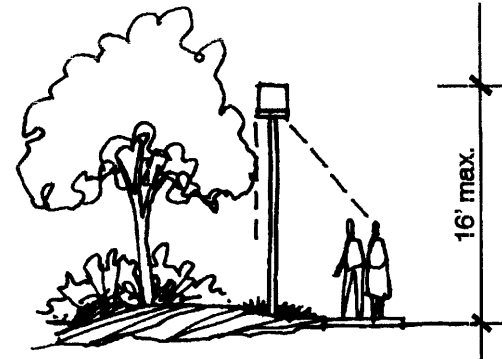
The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential; except residential located above retail shops)

- Sodium lighting is prohibited.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- In addition to lighting, the major transit stops shall include shelter facilities, benches, and bicycle storage.



LIGHTING

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Gibson Boulevard, and new interior roads at a rate of one tree per 30 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one street tree provided per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- Shading of pedestrian ways with landscaping and the use of pedestrian-scaled lighting along the commercial/office roads is required.

- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- Trees 2 inch caliper, or 10 to 12 feet in height
- Shrubs & Groundcovers 1 gallon
- Turf Grasses provide complete ground coverage within 1 growing season after installation

The following street trees shall be used at the respective locations:

- Gibson Boulevard Ash sp., Sycamore sp.
- Internal Streets Bradford Pear, Honey Locust sp.

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

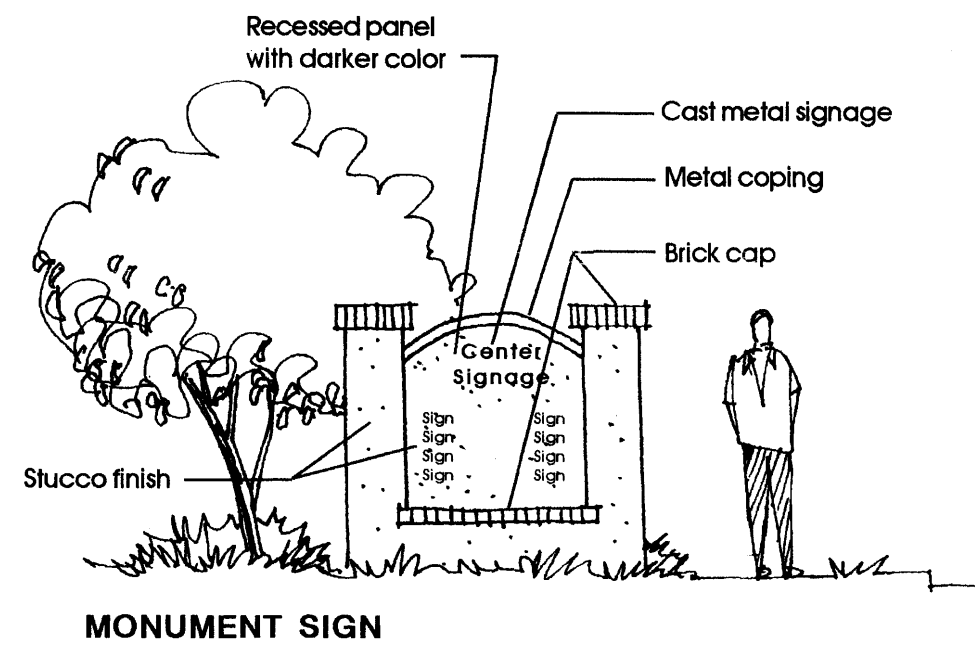
- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

Signage SHALL NOT:

- use moving parts, make audible sounds, or have blinking or flashing lights
- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features

- Two monument signs are allowed on Gibson Boulevard and one monument sign is allowed along Barabos Avenue as a "landmark" identifying the center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within Parcel 12. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).

8. UTILITIES

Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Any wireless communication facilities shall be concealed and architecturally integrated.

SITE PLAN FOR SUBDIVISION

Parcel 12 El Rancho Grande I

Prepared For:

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Prepared By:

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