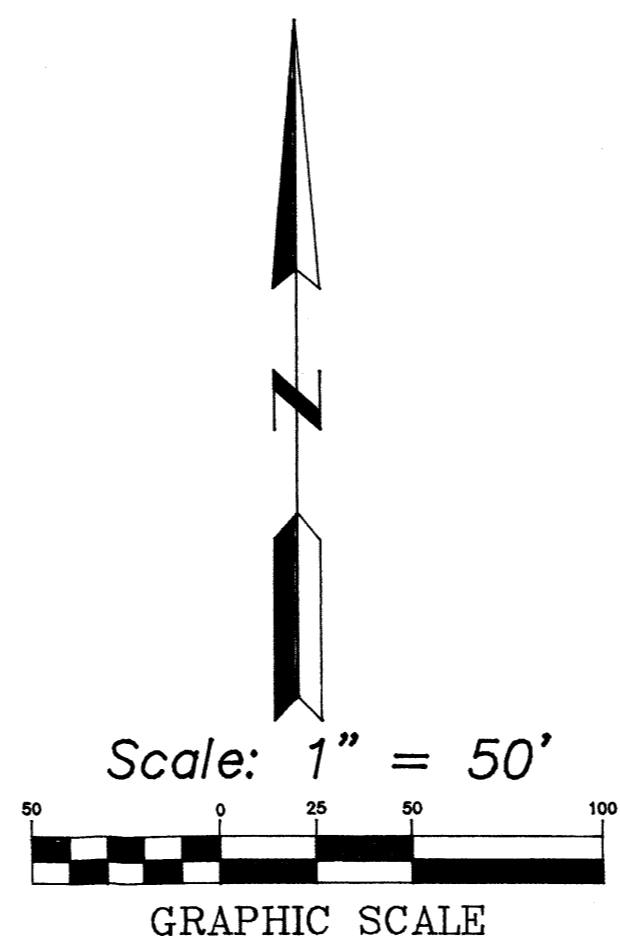


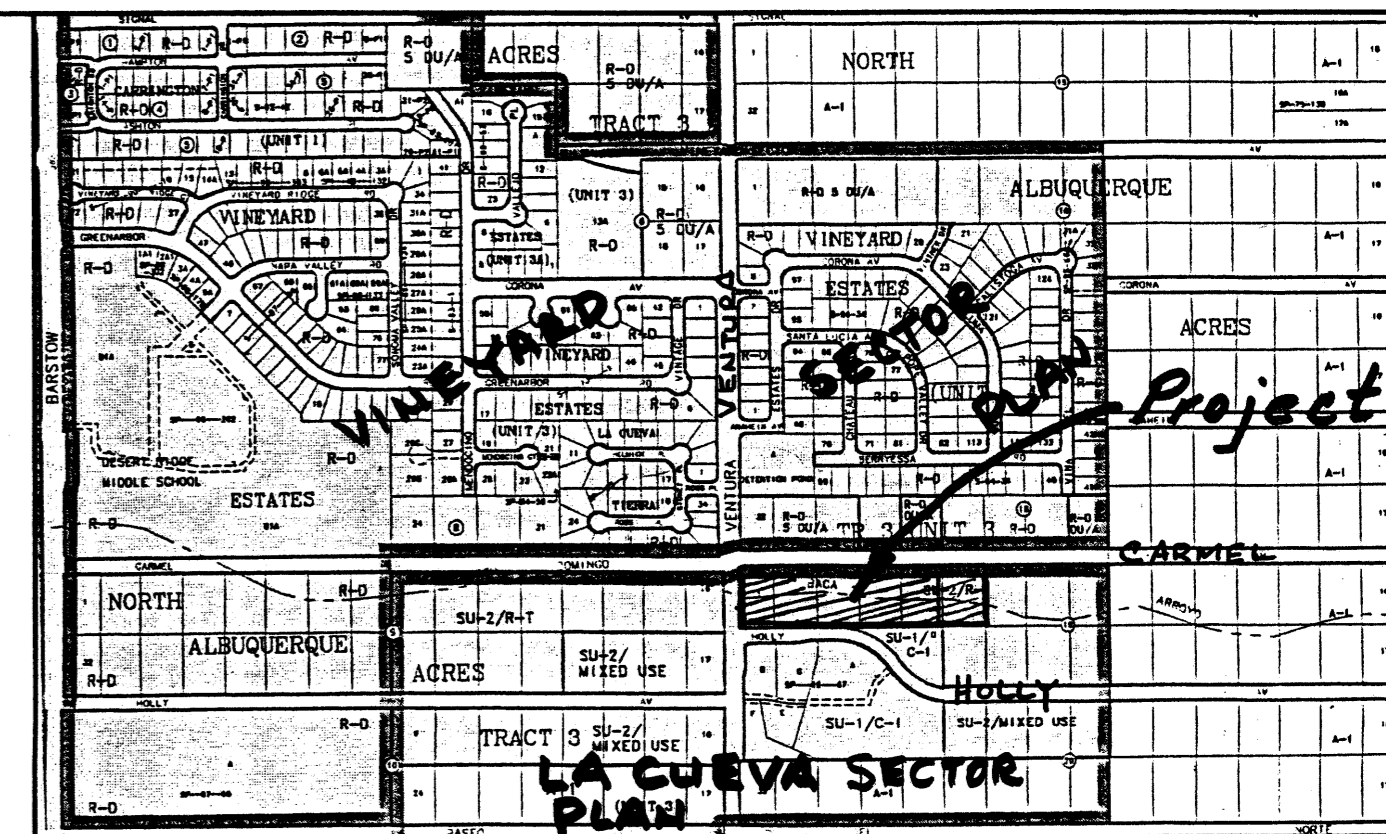
LEGEND

- CENTERLINE OF STREET
- - - EXIST. EDGE OF ROAD
- o PP EXISTING POWER POLE
- - - 5770 EXISTING CONTOUR
- EA EXISTING EDGE OF ASPHALT
- NEW CONCRETE
- F-F FACE TO FACE OF CURB
- NEW CURB & GUTTER
- 30 NEW LOT DESIGNATION
- o FOUND SURVEY MONUMENT



NOTES

- 1/2 MINOR ARTERIAL STREET SECTION, INCLUDING 6' DETACHED SIDEWALK PER COA STD 240B SHALL BE PROVIDED BY DEVELOPER ON VENTURA ST. (33' WIDTH FROM CENTERLINE ROADWAY TO EAST FACE OF CURB, INCLUDING 1/2 RAISED MEDIAN SECTION). DESIGN AND CONSTRUCTION SHALL BE COORDINATED WITH THE ESTATES AT DESERT RIDGE.
- PROVIDE VISUAL BREAK OF WALL ALONG VENTURA ST. AND CARMEL AVE. AT 100 FEET ON-CENTER FOR TREES AND/OR PLANTINGS. RECESS WALL INTO PRIVATE PROPERTY 1.5' X 5'.
- THE 6 FEET WIDE PEDESTRIAN ACCESS ON EAST SIDE OF LOT 5 SHALL BE MAINTAINED BY THE HOME OWNER.



VICINITY MAP ZONE C-20
Scale: 1" = 750'

PROJECT/SITE DATA

LEGAL DESCRIPTION:
LOTS 1, 2, 3, 4, 5, & 6, BLOCK 19, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, FILED 9/10/31, BK. D-121.

UNIFORM PROPERTY CODE
1-020-064-272-090-402-32

PROJECT SIZE:
TOTAL OF 6 EXISTING LOTS - 6.0 ACRES
DENSITY - 32 Dwelling Units/5 Ac. = 6.4 D.U.s Per Acre (Nominal)

PRESENT ZONING: SU-2/R-T

UNDERLYING SECTOR PLAN: LA CUEVA SECTOR PLAN

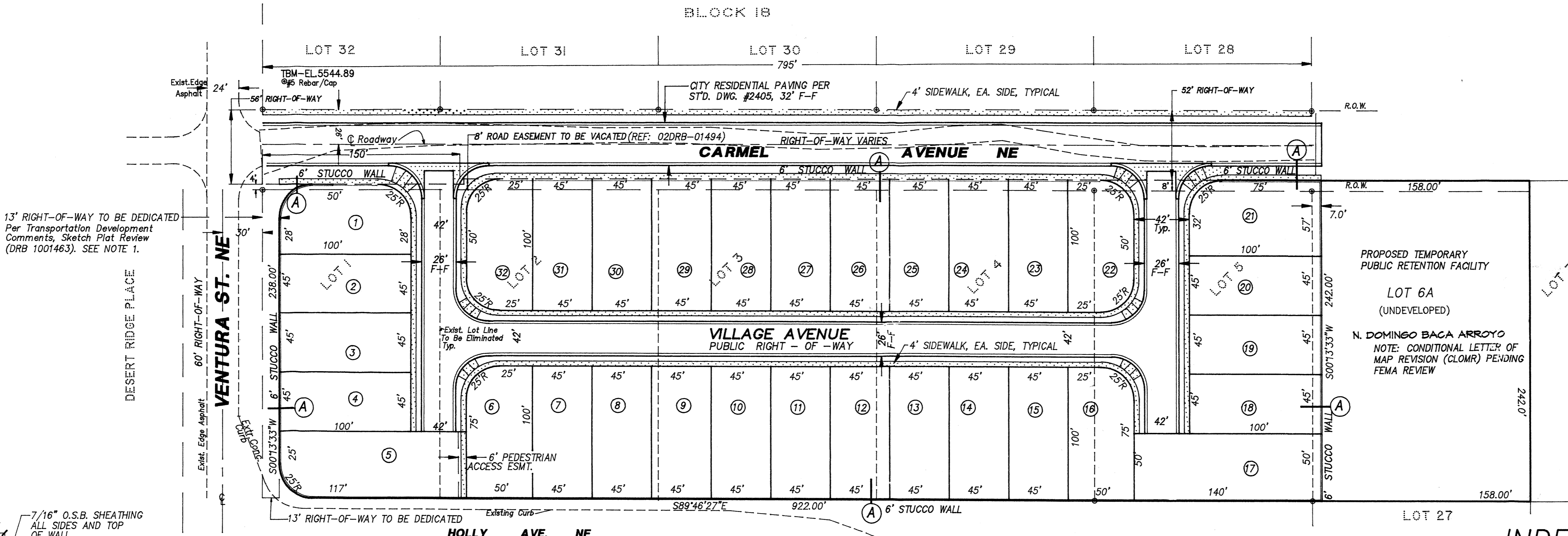
PROPOSED ZONE/SETBACKS:
TO REMAIN
20' FRONTYARD, 5' SIDEYARD, 15' REAR

PROPOSED NUMBER OF LOTS CREATED:
32 LOTS, TYPE-THREE "MAJOR" SUBDIVISION + TR. 6A, PUBLIC RETENTION FACILITY

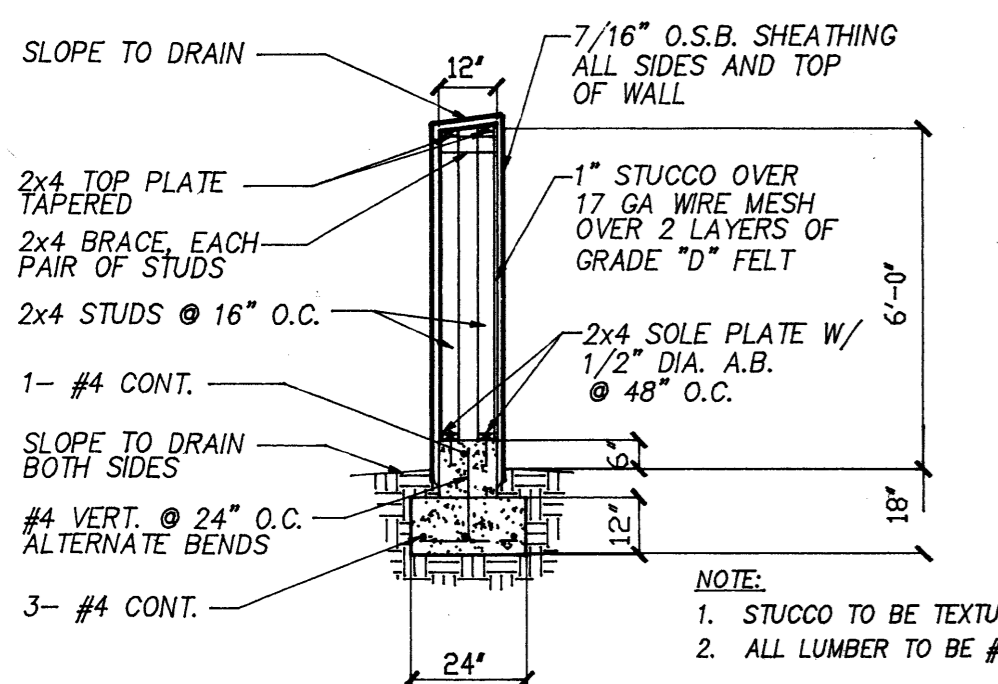
LENGTH OF ROADS PROPOSED (PUBLIC)
1029 L.F., PAVED W/ CURB AND GUTTER (ADJOINING)
926 L.F., PAVED W/ CURB & GUTTER (INTERNAL)

PROJECT BENCHMARK
ACS STATION 5-C20, AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 5-C20", EPOXIED TO THE TOP OF CONCRETE DROP INLET, AT THE NNE CURB RETURN LOCATED AT THE INTERSECTION OF VENTURA AND ANAHEIM AVENUES NE, ELEVATION 5552.71 (NGVD 29)

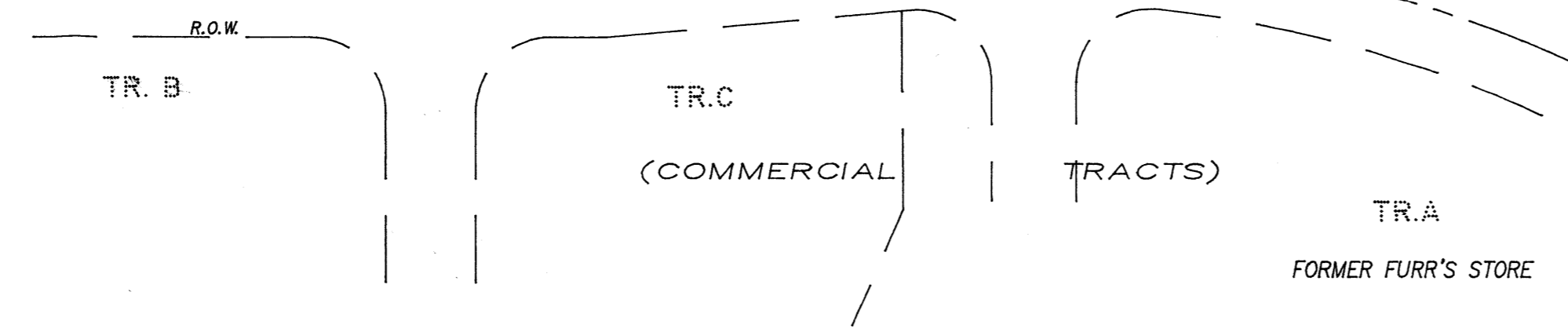
TOPOGRAPHIC SURVEY
COMPILED BY CLARK CONSULTING ENGINEERS FROM FIELD TOPOGRAPHIC SURVEYS PERFORMED BY JEFF MORTENSEN & ASSOC., AND PHILIP W. TURNER, P.S., AUGUST, 2002.



13' RIGHT-OF-WAY TO BE DEDICATED
Per Transportation Development Comments, Sketch Plat Review (DRB 1001463). SEE NOTE 1.



GARDEN WALL DETAIL
NOT TO SCALE



INTERNAL STREET SECTION
PER COA STD DWG 2405

INDEX TO DRAWINGS

SHEET	TITLE
S1	SITE DEVELOPMENT PLAN
C1	CONCEPTUAL GRADING & DRAINAGE PLAN
C2	CONCEPTUAL WATER & SANITARY SEWER PLAN
L1	SITE LANDSCAPE PLAN & DETAILS
A1	BUILDING #1455, ELEVATIONS
A2	BUILDING #1570, ELEVATIONS
A3	BUILDING #1659, ELEVATIONS
A4	BUILDING #1764, ELEVATIONS
A5	BUILDING #2049, ELEVATIONS

APPROVALS

EPC CASE: 02EPC-01148 FOR SUBDIVISION
EPC CASE: 02EPC-01150 FOR BUILDING PERMIT
DRB CASE: # 1001463

THIS PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON SEPTEMBER 19, 2002, INCLUDING COMPLIANCE WITH THE LA CUEVA SECTOR PLAN GOALS, POLICIES AND REGULATIONS.

Sharon Matson 10/23/02
PLANNING DIRECTOR, CITY OF ALBUQUERQUE DATE

Bradley B. Bigham 7/30/03
CITY ENGINEER, CITY OF ALBUQUERQUE DATE

Richard L. Duke 10-23-02
TRANSPORTATION DEVELOPMENT, CITY DATE

Regina A. Aron 10/23/02
UTILITY DEVELOPMENT, CITY DATE

Christine Sandoval 10/22/02
PARKS & RECREATION DEPARTMENT DATE

Sharon Matson 10-8-02
SOLID WASTE DEPARTMENT, CITY DATE

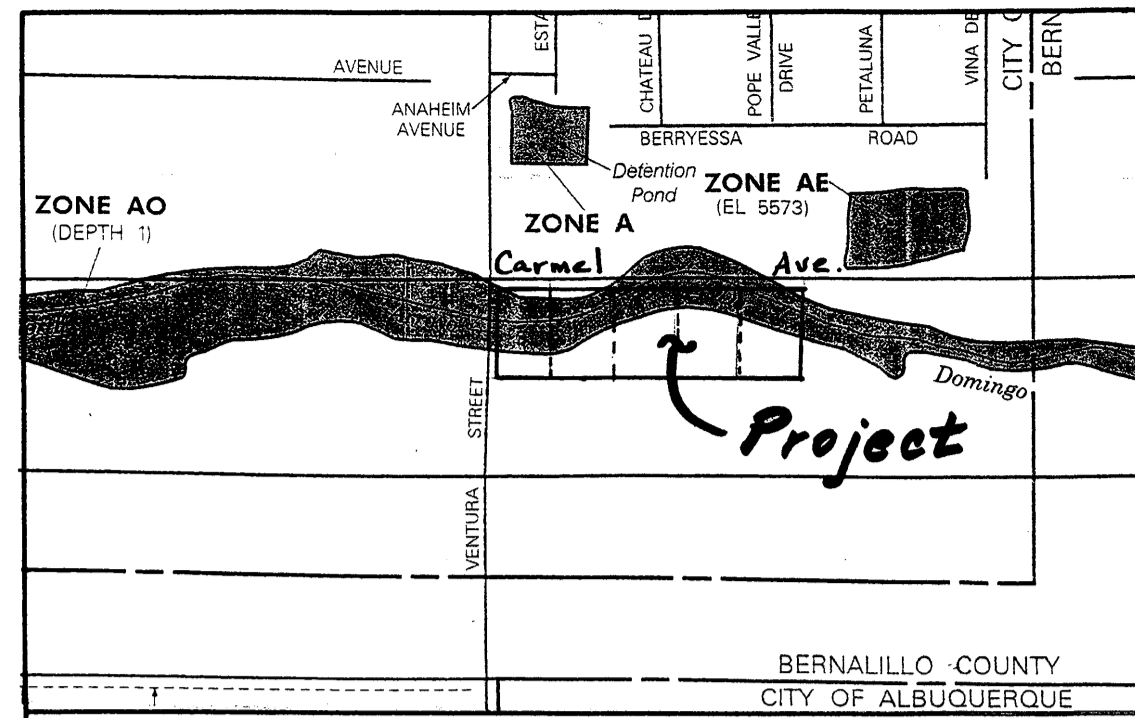
Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tel: (505) 281-2444 Fax: (505) 281-2444

DATE	REVISION	BY	DATE
10-7-02	Add Lot 6 A	ADD	10/22/02
	Addr. EPC		
	Comments		

VENTURA VILLAGE SITE DEVELOPMENT PLAN
FOR LLAVE CONSTRUCTION, INC.

DESIGNED BY: PWC DRAWN BY: CCE JOB #: VentV
CHECKED BY: PWC DATE: 24JULY02 FILE #: sdp

PROJECT 1001463



FIRM MAP PANEL # 141 E
MAP REVISION OF APRIL 2, 2002
 (DOES NOT REFLECT LOMR RECENTLY APPROVED TO MID-BLOCK BARSTOW & VENTURA STREETS.)

GRADING & DRAINAGE PLAN

THE SINGLE-FAMILY RESIDENTIAL HOME PROJECT IS LOCATED WITHIN THE LA CUEVA SECTOR PLAN AREA OF NORTH ALBUQUERQUE ACRES WITHIN THE CITY OF ALBUQUERQUE, NM. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 88-46, AND CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SITE DEVELOPMENT PLAN APPROVAL. THE PLAN SHOWS:

- EXISTING CONTOURS, SPOT ELEVATIONS, AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
- PROPOSED IMPROVEMENTS: 32 RESIDENTIAL LOTS, DEVELOPMENT OF ADJACENT STREETS, A PUBLIC INTERNAL STREET AND SIDEWALKS, NEW PERIMETER SOLID WALL, AND NEW GRADE ELEVATIONS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFFSITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PROJECT IS LOCATED WITHIN AN AREA CURRENTLY PLANNED & DESIGNED FOR STORM DRAINAGE IMPROVEMENTS. A CLOMR (Conditional Letter Of Map Revision) HAS BEEN PREPARED BY JEFF MORITENSEN & ASSOC.(JMA), AND SUBMITTED ON JUNE 27, 2002, (Ref. C20/D36) BY THE COUNTY FLOOD PLAN ADMINISTRATOR. IF CONSTRUCTED IMPROVEMENTS ARE ACCEPTED THE FLOOD PLAN AS SHOWN WILL BE ELIMINATED.

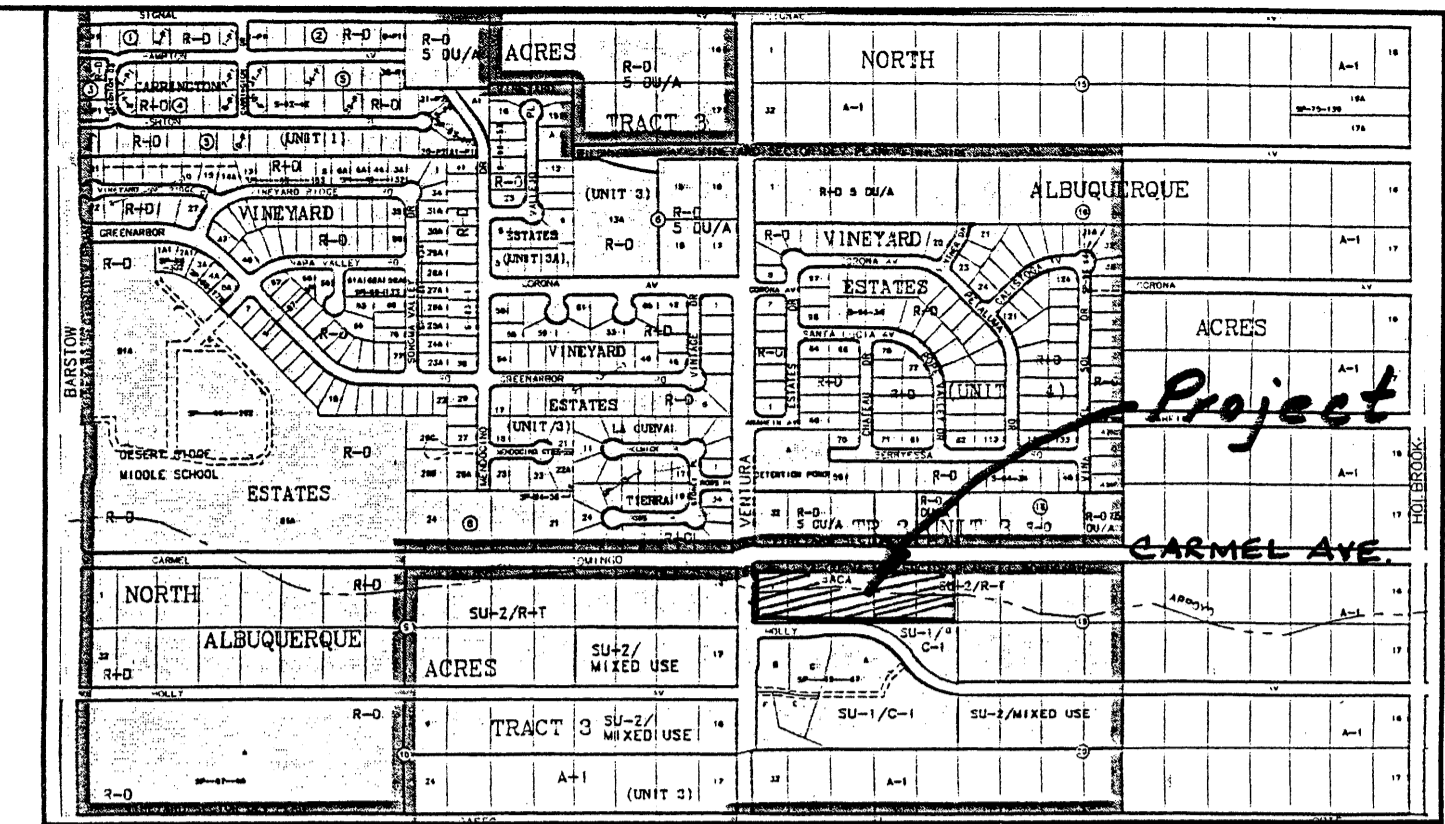
CURRENTLY, THE SITE IS IMPACTED AND FULLY TRAVERSED BY THE NORTH DOMINGO BACA ARROYO. THE AREA OF THE CLOMR EXTENDS FROM MID-BLOCK BETWEEN VENTURA AND BARSTOW AVES. EASTERLY TO THE EXISTING NORTH BACA DAM AT EUBANK. RELATIVE TO THIS 32-LOT PROJECT, THE CLOMR DESIGN ENTAILS THE CONSTRUCTION OF A 78" DIAMETER STORM SEWER WITHIN CARMEL AVE. FROM VENTURA TO HOLBROOK AVENUE.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION. PRESENTLY, THE SITE IS BOUNDED ON THE EAST BY UNDEVELOPED PROPERTY ALSO IN THE PLANNING STAGES TO BE DEVELOPED. PROPERTY TO THE SOUTH IS DEVELOPED FOR COMMERCIAL USES. CARMEL AVENUE ON THE NORTH IS AN UNIMPROVED, GRAVEL ROADWAY ALONG THE PROJECT FRONTAGE. A STANDARD 32' WIDE PAVED, RESIDENTIAL ROADWAY SECTION WILL BE EXTENDED. THE SITE GENERALLY FALLS FROM EAST TO WEST AT APPROXIMATELY 3 PERCENT. EXISTING OFFSITE FLOWS ARE QUANTIFIED ON THE PLAN, AND WILL BE INTERCEPTED BY THE PROPOSED STORM SEWER PROJECT.

SITE RUNOFF WILL BE PERMITTED FREE DISCHARGE OF DEVELOPED FLOW CONDITIONAL UPON FEMA ACCEPTANCE, INCLUDING LOCAL REGULATING AGENCIES OF THE PREVIOUSLY REFERENCED CLOMR, SINCE DOWNSTREAM CAPACITY WILL EXIST. DROP INLETS AND STORM DRAIN LATERALS REQUIRED DUE TO THIS SITE DEVELOPMENT WILL BE COORDINATED AND SIZED WITH JMA.

LEGEND

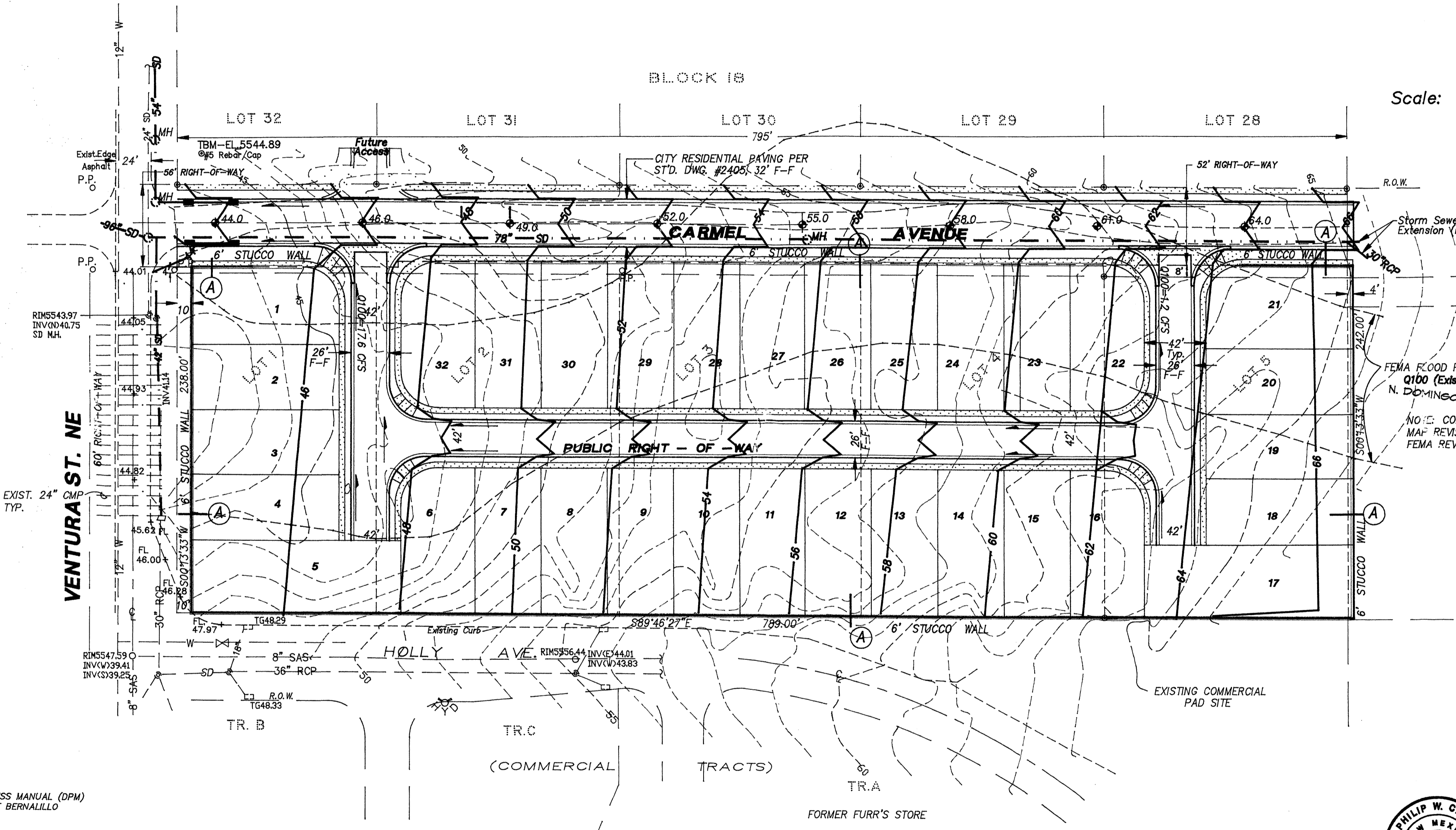
- +24.0 EXIST. SPOT ELEVATION
- CENTERLINE OF STREET
- EXIST. EDGE OF ROAD
- OPP EXISTING POWER POLE
- 5770 EXISTING CONTOUR
- EA EXISTING EDGE OF ASPHALT
- F-F FACE TO FACE OF CURB
- ◆ 24.0 NEW SPOT ELEVATION
- NEW CURB & GUTTER
- EXISTING FIRE HYDRANT
- 8" W EXISTING WATER LINE
- EXISTING WATER VALVE
- SD EXISTING STORM DRAIN
- 54" SD NEW STORM DRAIN LINE
- SD LATERAL W/ INLET
- SAS EXIST. SANITARY SEWER



VICINITY MAP ZONE C-20
 Scale: 1" = 750'

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 6TH EDITION W/ UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- AREAS DISTURBED DUE TO CONSTRUCTION SHALL BE RE-VEGETATED PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1.



Scale: 1" = 50'

CALCULATIONS

DESIGN CRITERIA
 HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
 DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, Peak Discharge Rates For Small Watersheds
 VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
 $P100 = 2.60$ inches, Zone 3 Time of Concentration, $T_C = 10$ Minutes
 DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS (To Existing R.O.W.)
 PROJECT AREA = 4.3 ACRES, WHERE EXCESS PRECIP. "A" = 0.66 in. [0.19]
 PEAK DISCHARGE, $Q100 = 8.2$ CFS [2.48] WHERE UNIT PEAK DISCHARGE "A" = 1.9 CFS/AC. [0.60]
 THEREFORE: $VOLUME 100 = 10,302$ CF [2966]

DEVELOPED CONDITIONS DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA - USE DPM TABLE A-5, MAX. IMPERVIOUS D' $N=7.4$ D.U.s Per Acre (67% D')

AREA	LAND TREATM'T	Q Peak	E
UNDEVELOPED	A	1.87[0.58]	0.66[0.19]
LANDSCAPING - 10% SL	B	2.60[1.19]	0.92[0.36]
COMPACTED SOIL & Slopes >	C	3.45[2.00]	1.29[0.62]
ROOF - PAVEMENT	D	5.02[3.39]	2.36[1.50]
THEREFORE: $E_{WEIGHTED} = 1.95$ in. [1.17] &			
$Q100 = 18.8$ CFS		VOLUME 100 = 30438 CF	
$Q10 = 12$ CFS		VOLUME 10 = 18263 CF	
UNIT DISCHARGE = 18.8 CFS/4.3 AC. = 4.37 CFS/AC.			
AND... 18.8 CFS/ 32 LOTS = 0.59 CFS Per LOT			

UPSTREAM / DOWNSTREAM ANALYSIS
 A COMPREHENSIVE DRAINAGE SUBMITTAL IS ON FILE WITH CITY HYDROLOGY, Ref. C20/D36 ASSOCIATED WITH THE JMA CLOMR. A DETAILED DESIGN ANALYSIS WILL BE SUBMITTED FOR THIS SUBDIVISION TO CITY HYDROLOGY FOR BUILDING PERMIT PRIOR TO DRB APPLICATION. STREET HYDRAULICS, CATCH BASIN AND STORM DRAIN LATERALS WILL BE ANALYZED AND SIZED AT THAT TIME.

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON; AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

Philip W. Clark
 PHILIP W. CLARK N.M.P.E. #10265 7-24-02

PROJECT DATA

LEGAL DESCRIPTION (CONCURRENT PLATTING)
 LOTS 1 THRU 32, VENTURA VILLAGE SUBDIVISION ALBUQUERQUE, NEW MEXICO

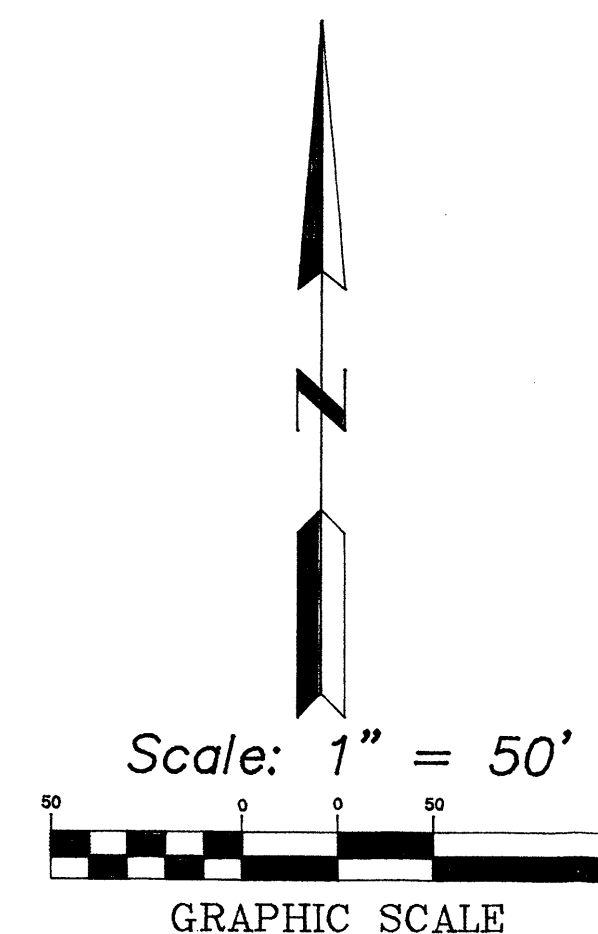
PROJECT BENCHMARK
 THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-C20, ELEVATION OF WHICH IS 5552.71. BENCHMARK IS LOCATED AT THE INTERSECTION OF VENTURA ST. AND ANAHEIM AVE.

TOPOGRAPHIC DESIGN SURVEY
 COMPILED BY CLARK CONSULTING ENGINEERS FROM DESIGN SURVEYS BY JEFF MORITENSEN & ASSOC. AND RHOMBUS, P.A.

		Clark Consulting Engineers 19 Ryan Road Edgewood, New Mexico 87015 Tele: (505) 281-2444 Fax: (505) 281-2444	
		DATE: _____ REVISION: _____	LOTS 1 THRU 5, BLK. 19, TR. 3, UNIT 3 NORTH ALBUQ. ACRES, ALBUQ. NEW MEXICO VENTURA VILLAGE CONCEPTUAL GRADING & DRAINAGE PLAN
DESIGNED BY: PWC CHECKED BY: PWC	DRAWN BY: CCE DATE: 7/18/02	JOB #: VentV FILE #: G/D	SHEET C1 OF 9

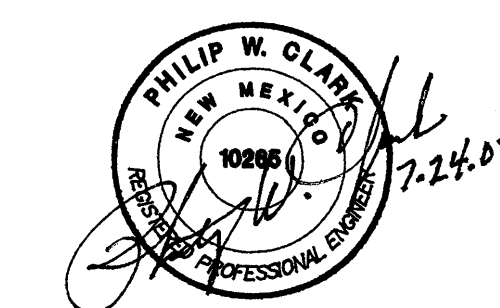
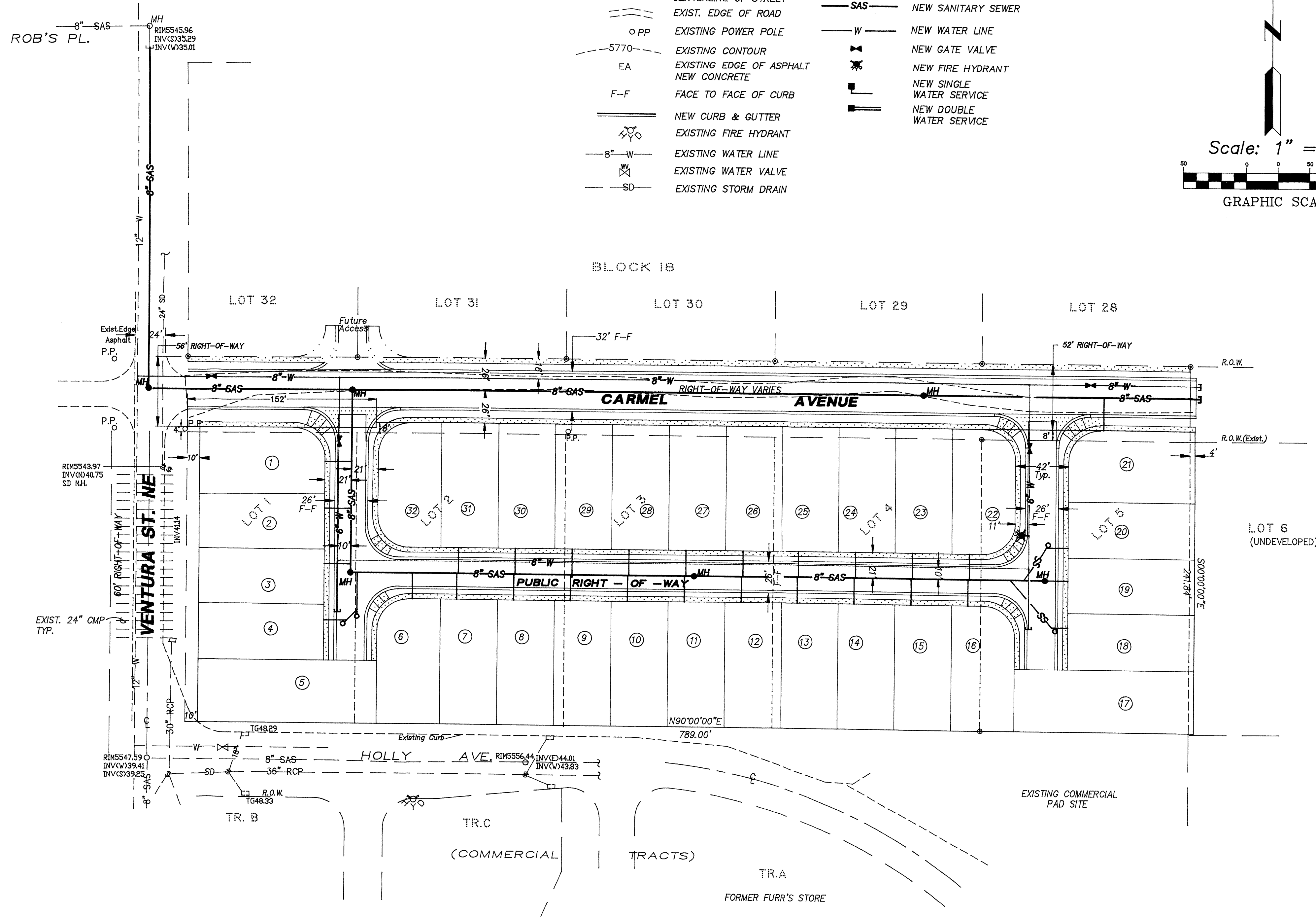
LEGEND

- CENTERLINE OF STREET
- - - EXIST. EDGE OF ROAD
- o P.P. EXISTING POWER POLE
- S770- EXISTING CONTOUR
- EA EXISTING EDGE OF ASPHALT
NEW CONCRETE
- F-F FACE TO FACE OF CURB
- NEW CURB & GUTTER
- ⊗ EXISTING FIRE HYDRANT
- 8" W EXISTING WATER LINE
- ⊗ EXISTING WATER VALVE
- SD EXISTING STORM DRAIN
- SAS NEW SANITARY SEWER
- W NEW WATER LINE
- ⊗ NEW GATE VALVE
- ⊗ NEW FIRE HYDRANT
- NEW SINGLE WATER SERVICE
- NEW DOUBLE WATER SERVICE



NOTES

1. ALL LOTS WILL GAIN 3/4" WATER SERVICE FROM THE NEW INTERNAL 6" LOOPED WATER LINE IN THE SUBDIVISION.
2. THE 78", 54", AND 96" RCP STORM DRAIN MAINLINES WILL BE CONSTRUCTED BY OTHERS. REFERENCE FEMA Conditional Letter of Map Revision (GLOMR) ON FILE WITH CITY HYDROLOGY.
3. A 10' PUBLIC UTILITY EASEMENT (P.U.E.) ALONG THE FRONTAGE OF ALL INTERNAL SUBDIVISION LOTS WILL BE GRANTED BY CONCURRENT PLATTING ACTION.

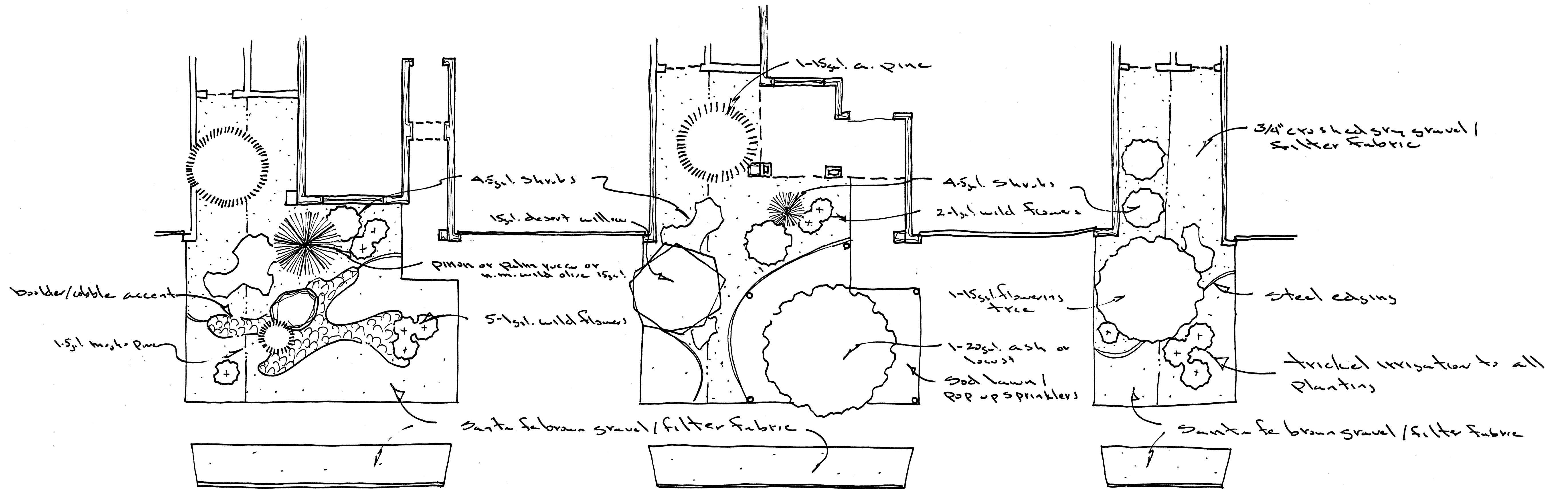


Clark Consulting Engineers
 19 Ryan Road
 Edgewood, New Mexico 87015
 Tele: (505) 281-2444 Fax: (505) 281-2444

DATE	REVISION	LOTS 1 THRU 5, BLK. 18, TR. 3, UNIT 3 NORTH ALBUQUERQUE ACRES
VENTURA VILLAGE CONCEPTUAL WATER & SANITARY SEWER PLAN		
FOR LLAVE CONSTRUCTION, INC.		
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: VentV
CHECKED BY: PWC	DATE: 18JULY02	FILE #: U18

C2 OF 9

Ventura Village



South west landscape

Combination landscape

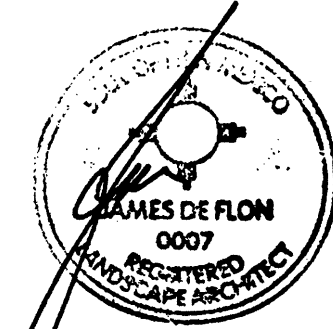
automatic trickle irrigation /
indicator bubbler

automatic trickle and pop up
sprinkler system

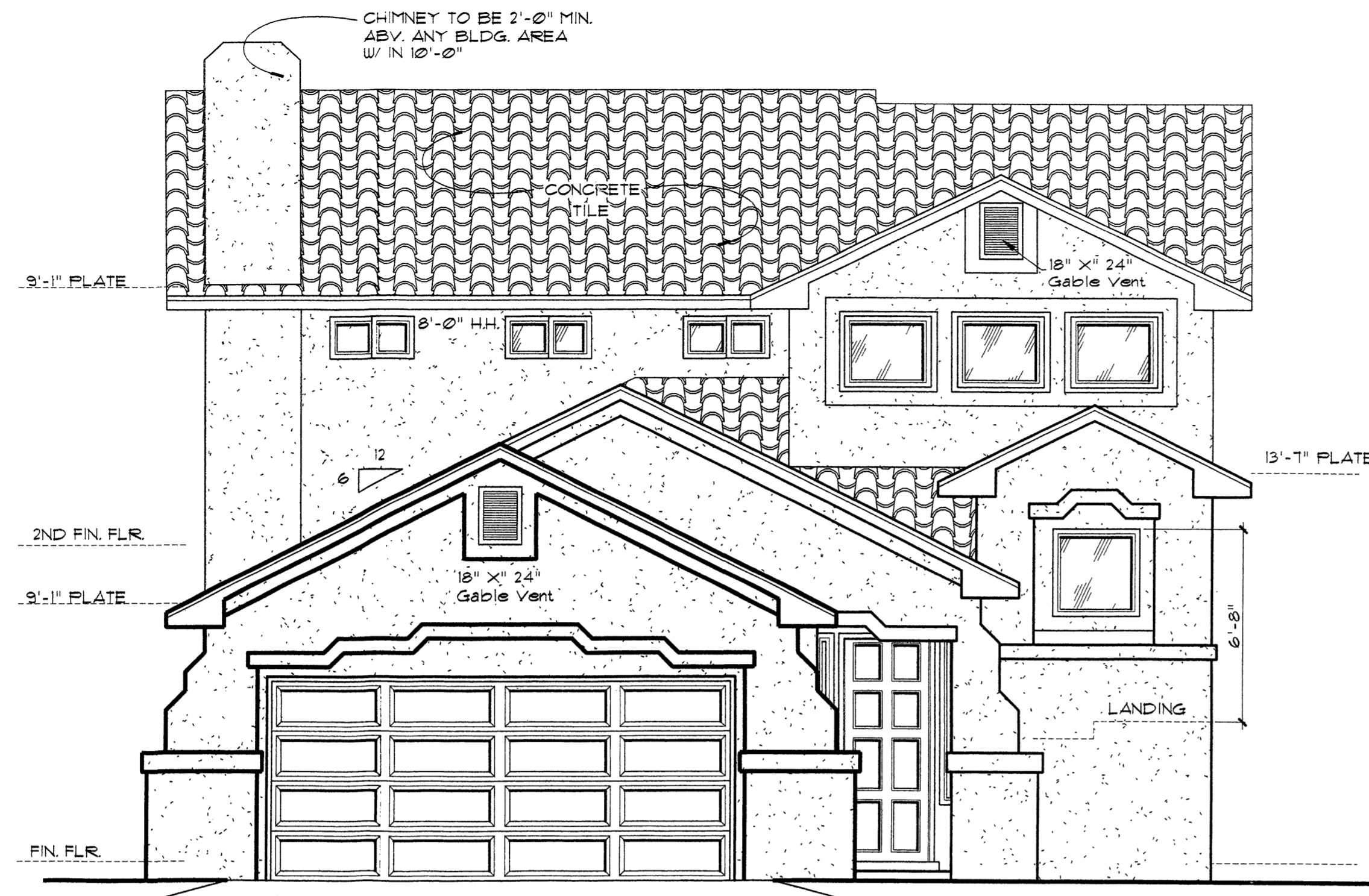
TYPICAL LOT LANDSCAPING
Maintenance responsibility of individual lot owner

note: the composition of each
landscape shall vary from lot to lot

The Hilltop

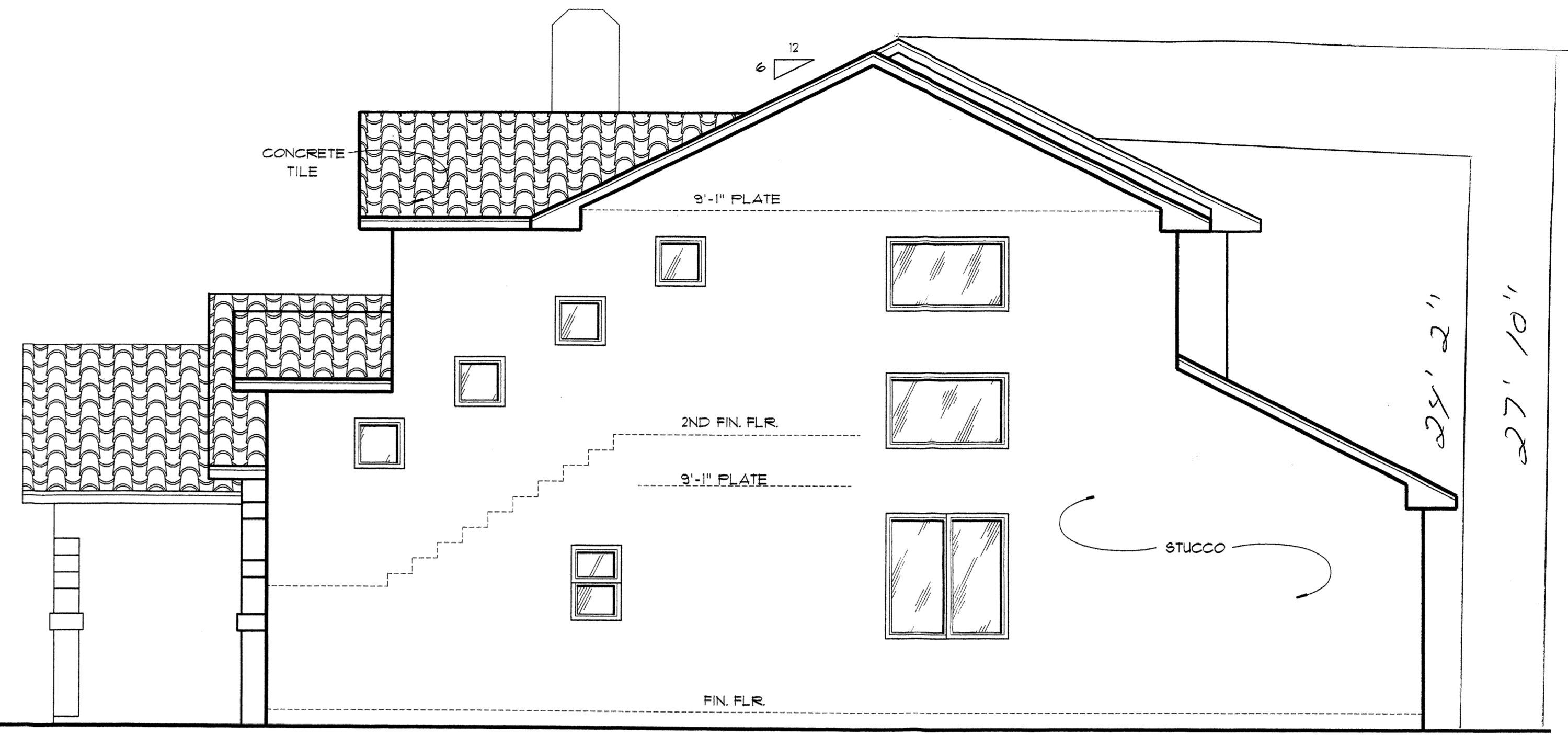


7-21-02



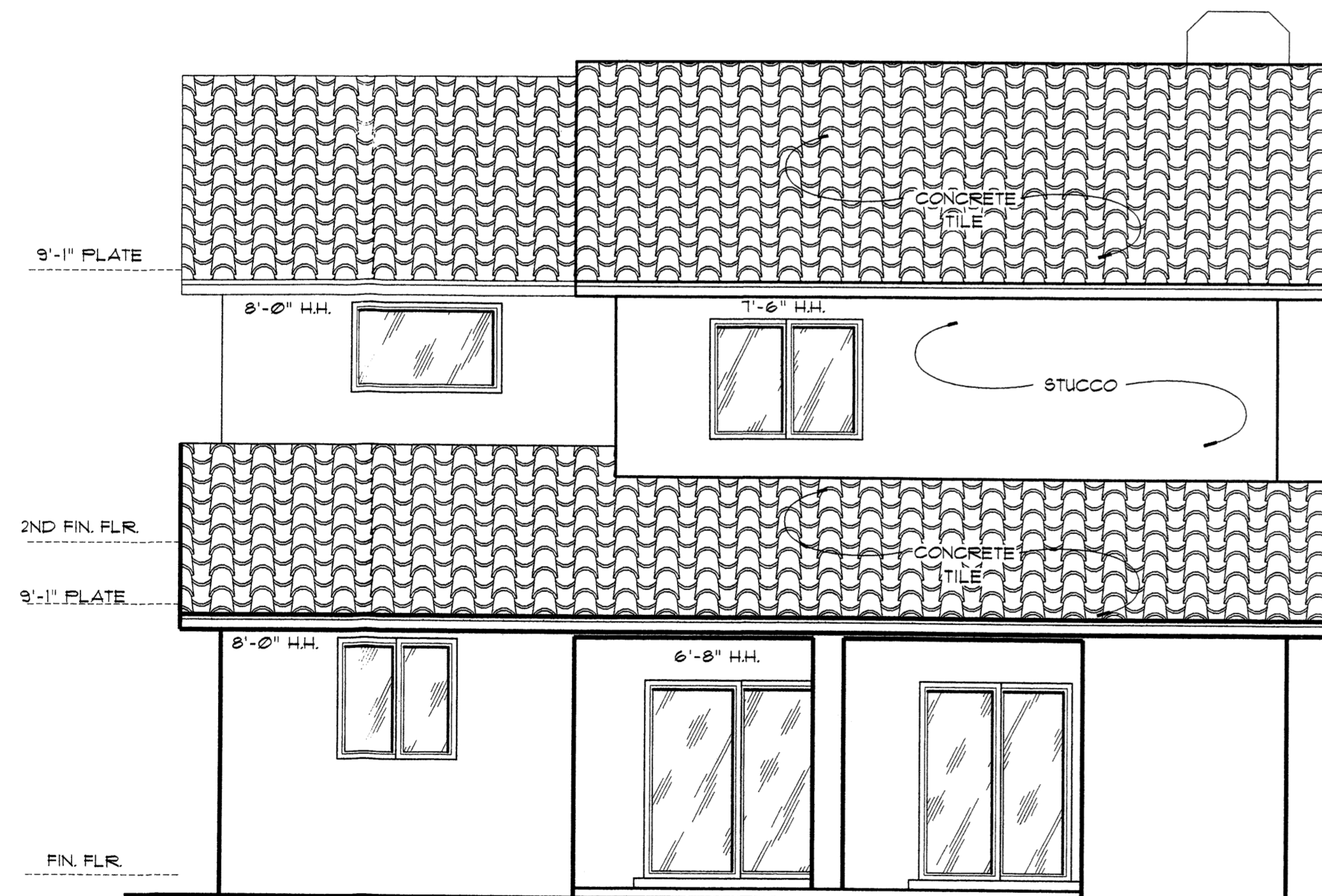
Front Elevation

1/4" = 1'-0"



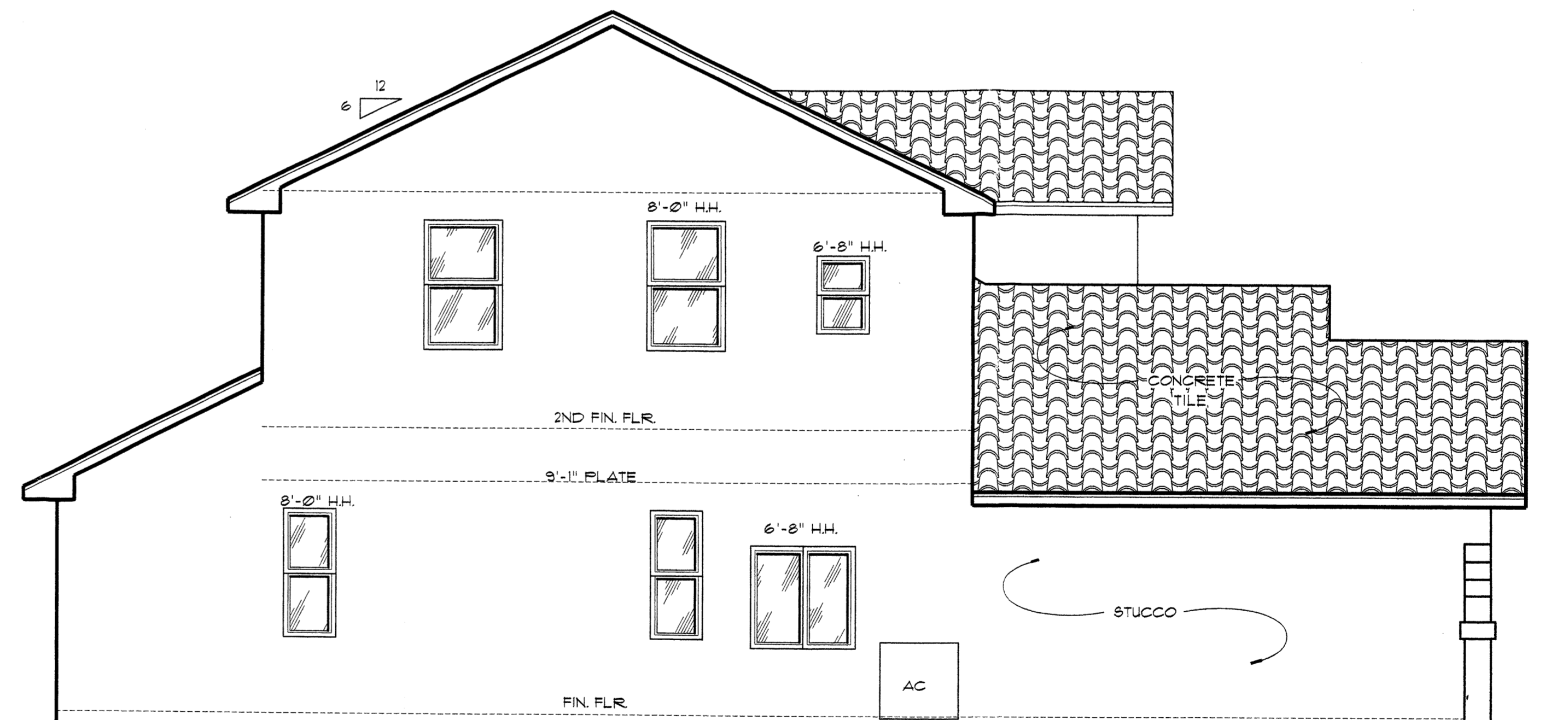
Right Elevation

1/4" = 1'-0"



Rear Elevation

1/4" = 1'-0"



Left Elevation

1/4" = 1'-0"

MATERIAL NOTES:

Roof Tile Colors – Eagle Roofing Products – Malibu style – Product #2520 Weathered Terracotta Flashed, #2532 Weathered Terracotta, #2538 Corona Red Flashed, #2553 Sandstone Flashed, #2553 Sandstone Flashed, #2598 Ocotilla
 Stucco Colors – El Rey Stucco – Product #115 Cottonwood, #117 Fawn, #121 Sandalwood, #127 Hacienda, #128 Cream, #130 Pueblo
 Windows – vinyl with white exterior color
 Garage door & Chimney color – to match stucco color

REVISIONS

DATE DRAWN
7/19/02

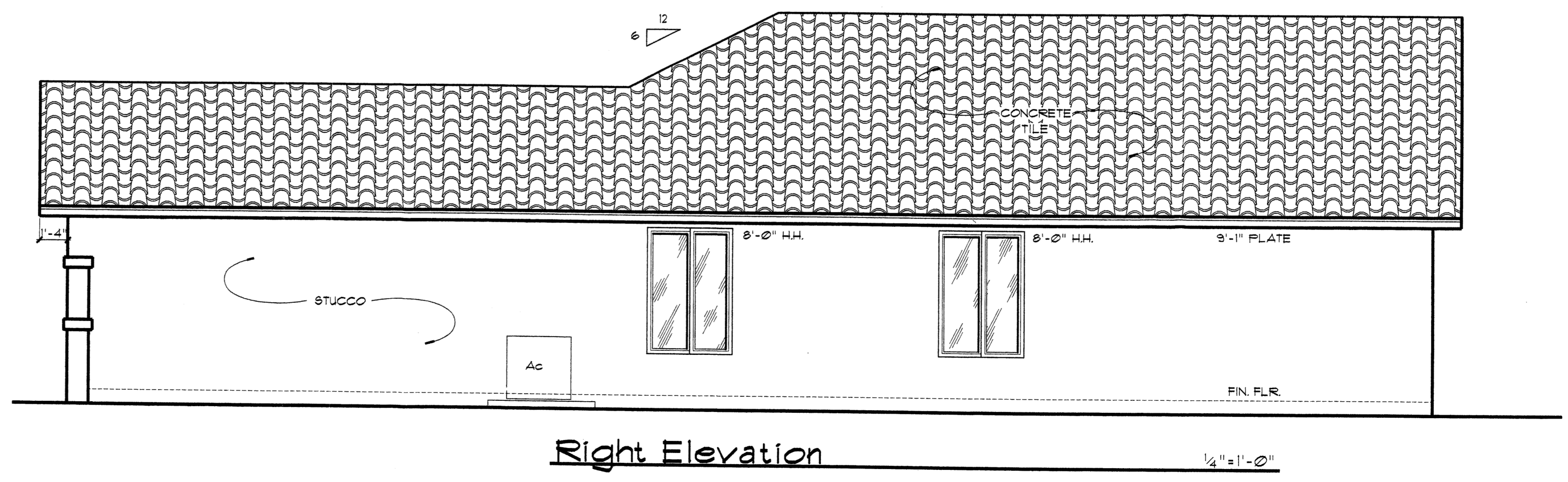
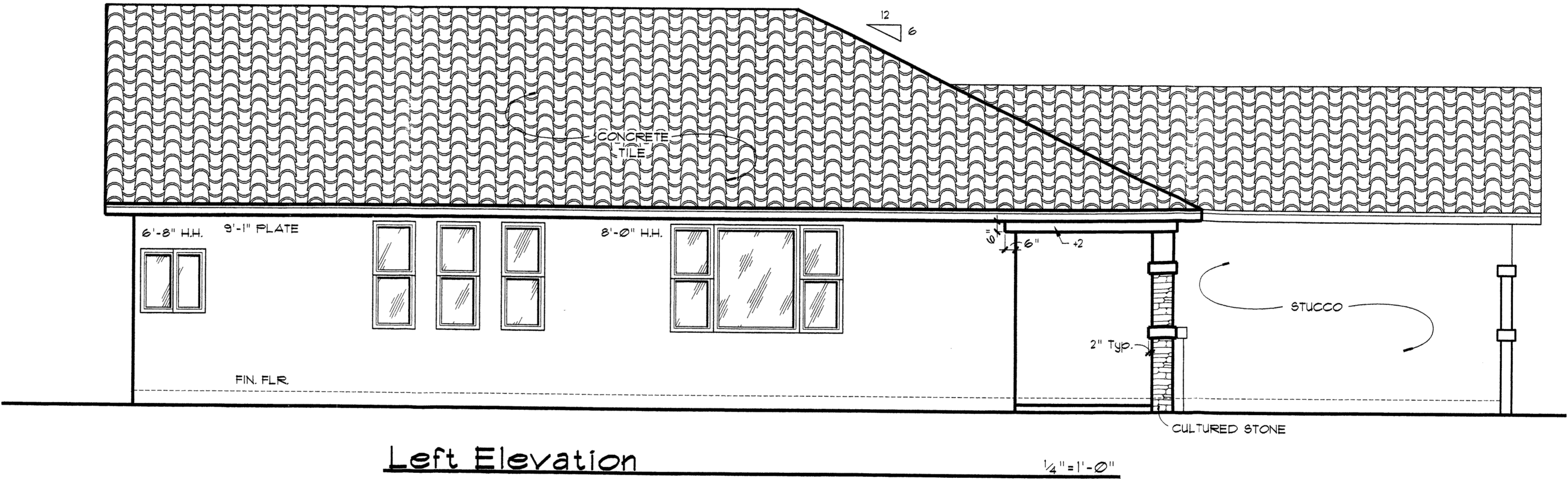
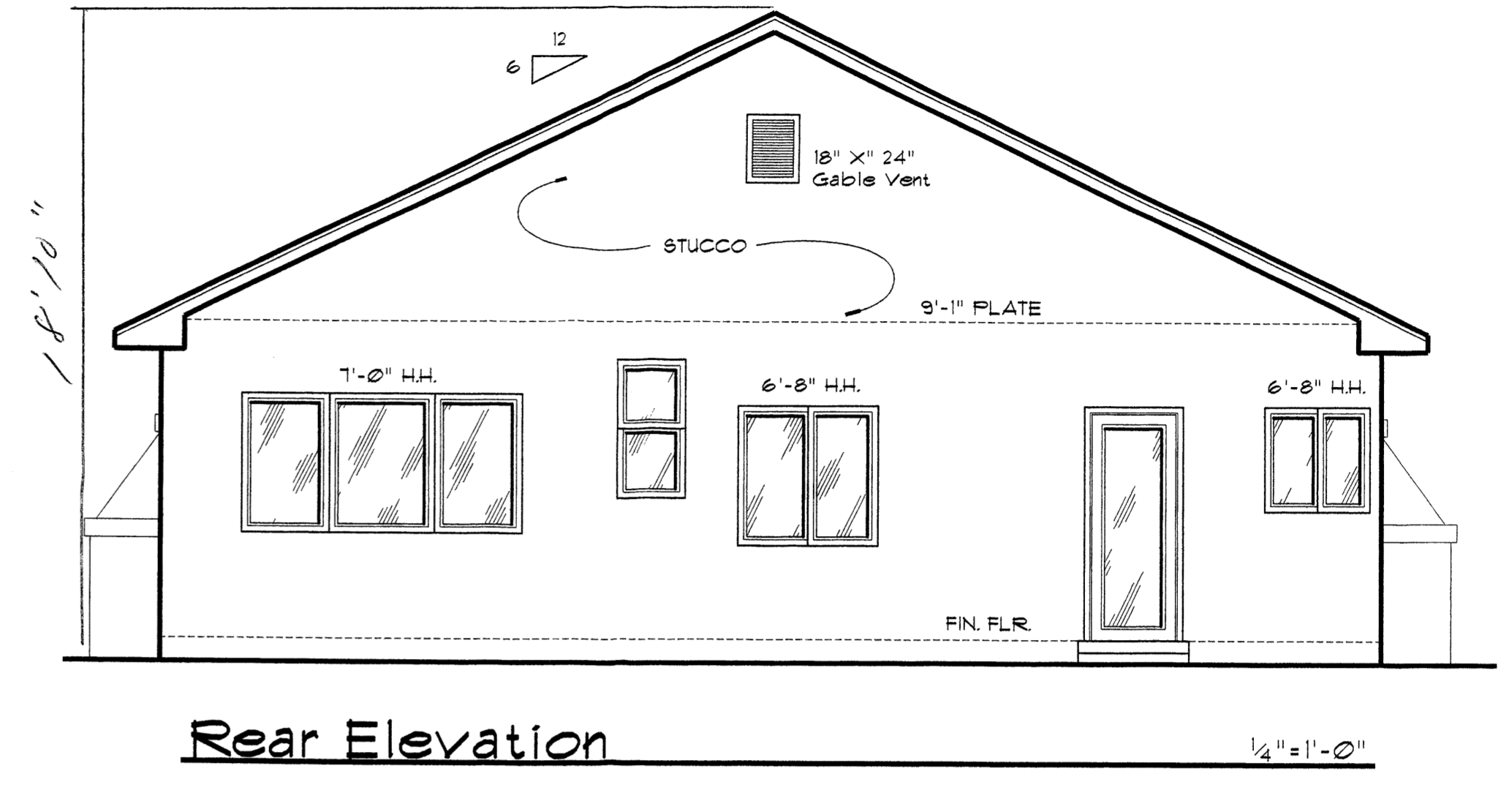
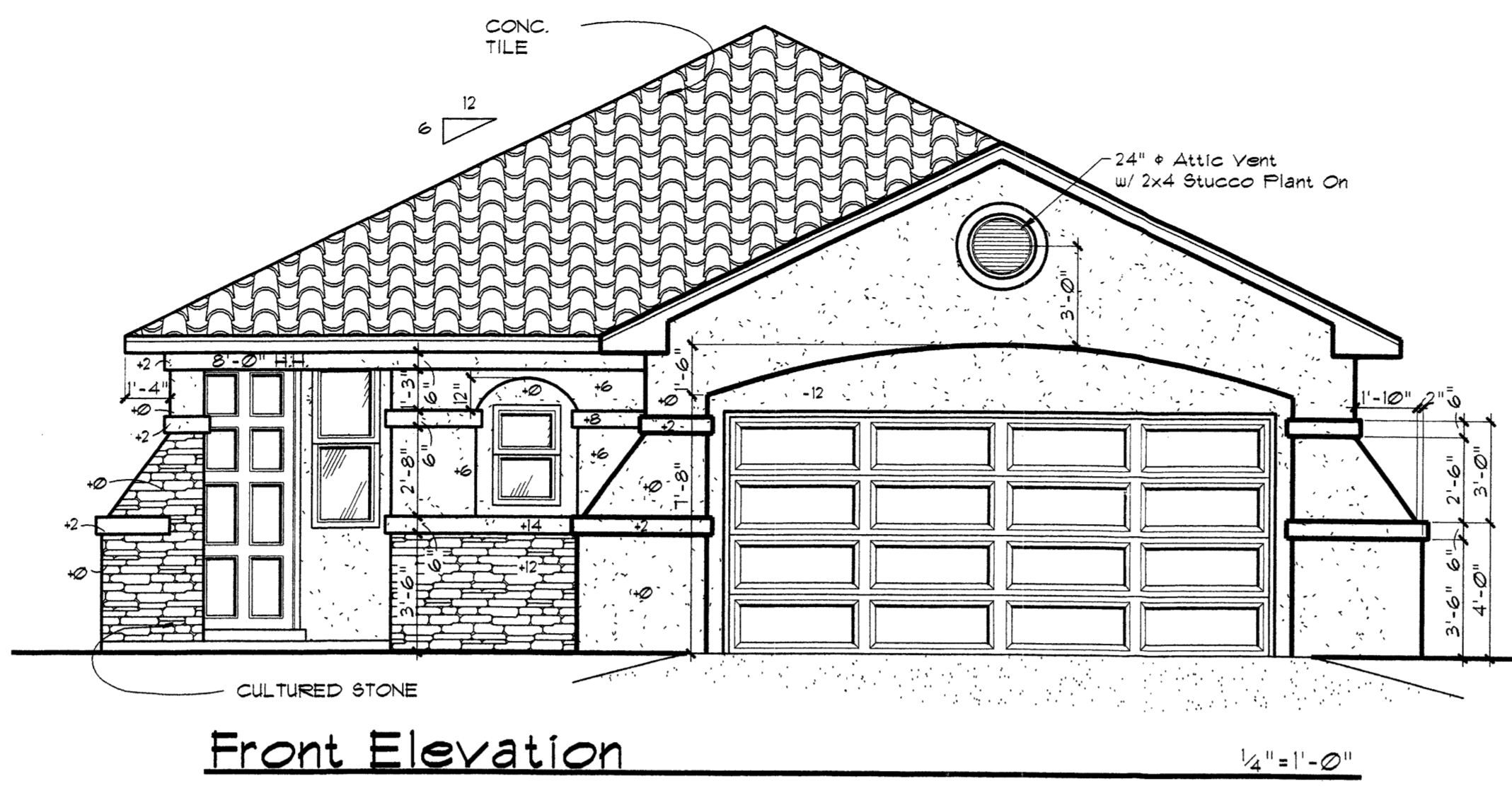
ELEVATIONS

PISICOLS
 Computerized Drafting
 Carlos Martinez
 Albuquerque, N.M. 87112
 Ph: 505-256-2325 Fax: 505-254-9166
 email: cmartinez@pisicols.net

1764
 Ventura Village
 Albuquerque, New Mexico

Llave Homes
 Bob Keeran
 Ph: 505-856-4076
 Fax: 505-856-1102

PAGE
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REVISIONS
6/5/02
6/7/02

DATE DRAWN
7/18/02

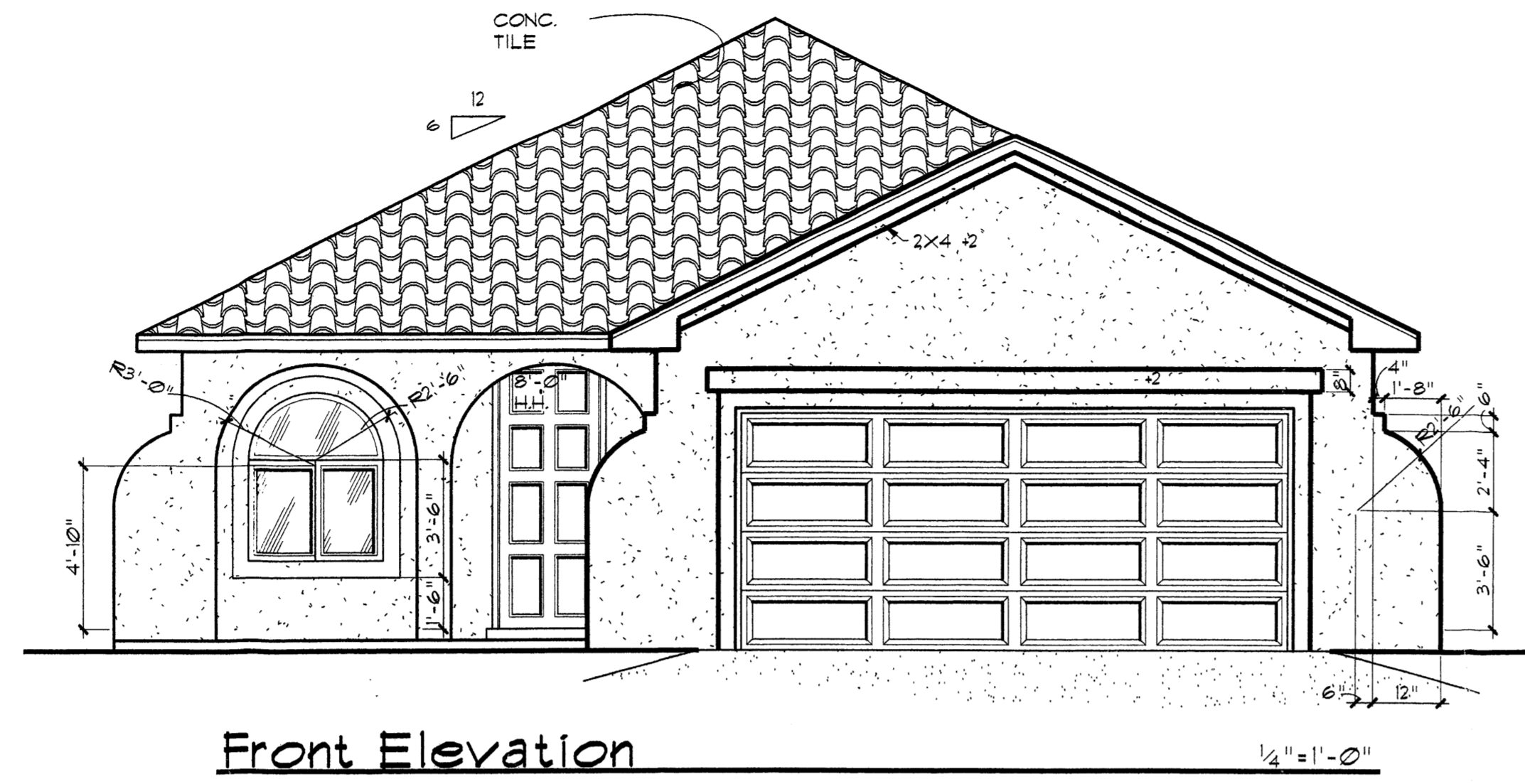
ELEVATIONS

PISIOLIS
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 Susan Matus
 Albuquerque, NM 87112
 Ph: 505-256-4076 Fax: 505-256-1102
 email: pisidrafting@comcast.net

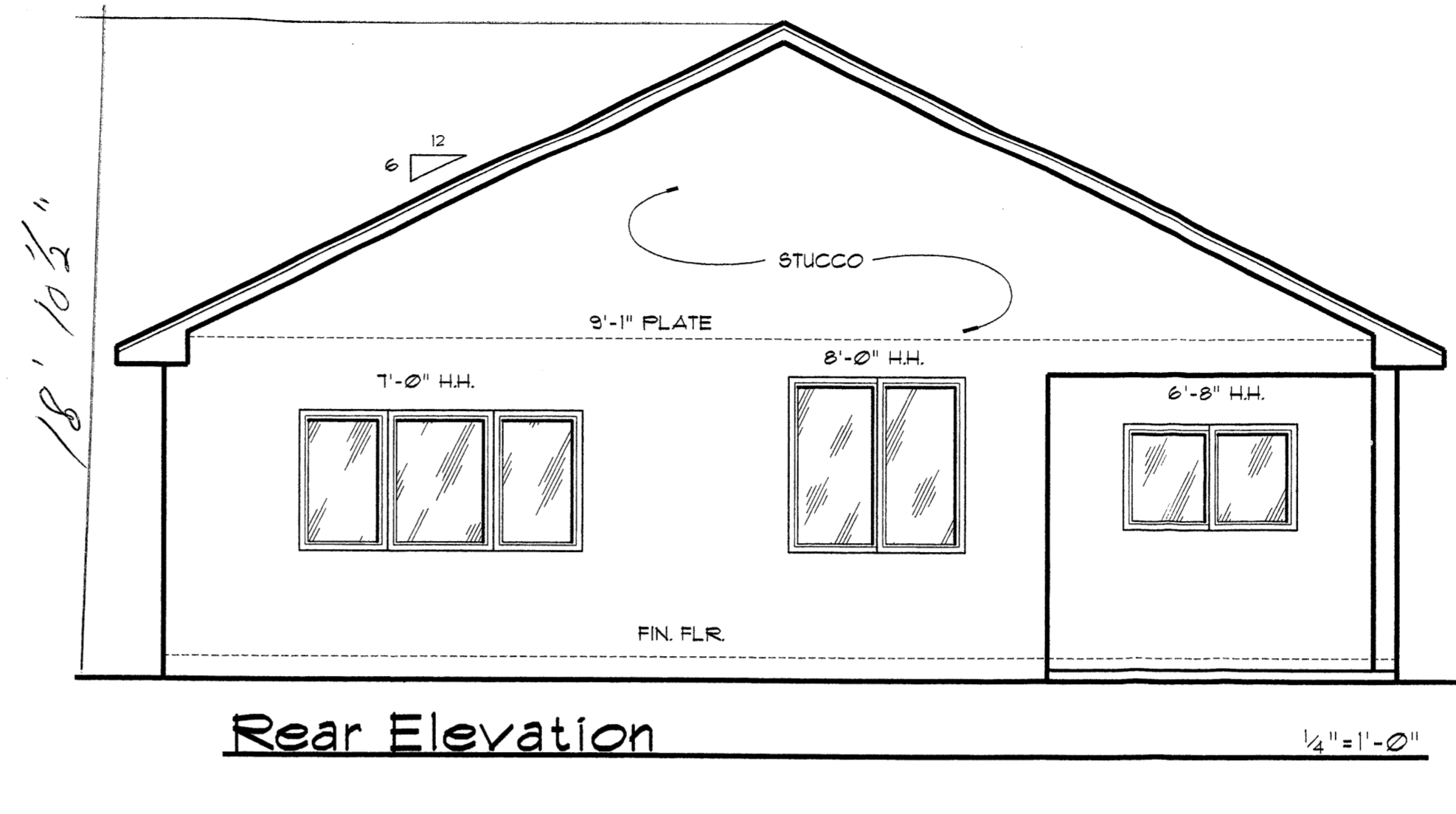
1471
 Ventura Village
 Albuquerque, New Mexico

Llave Homes
 Bob Keeran
 Ph: 505-256-4076
 Fax: 505-256-1102

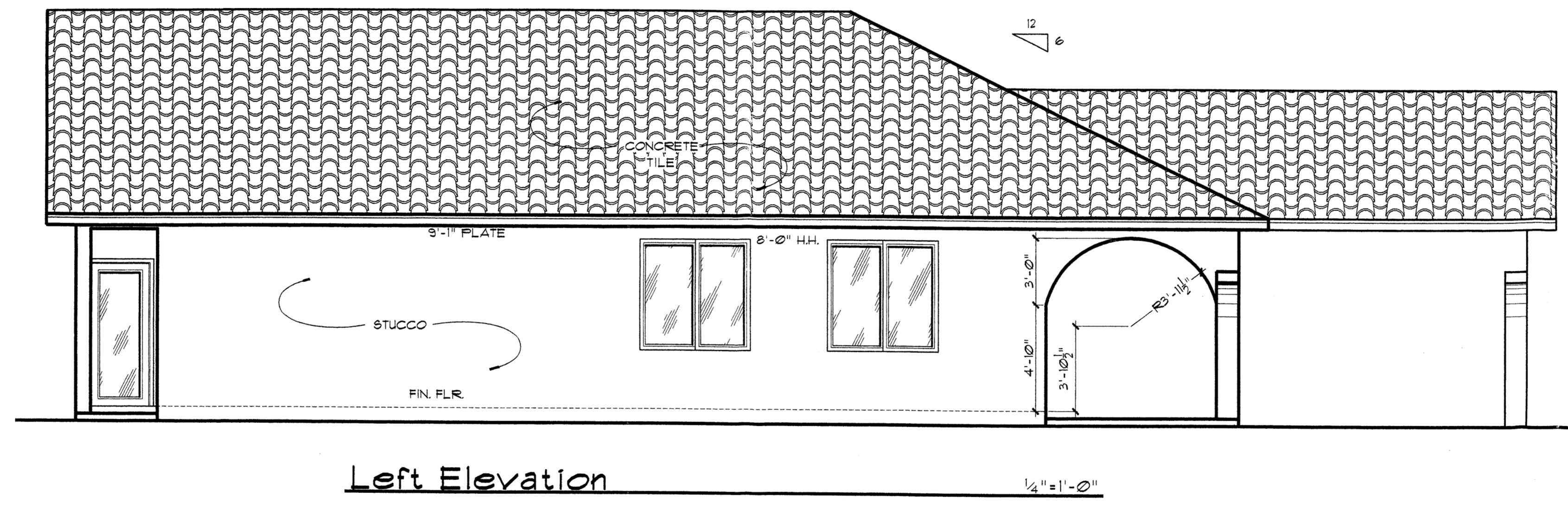
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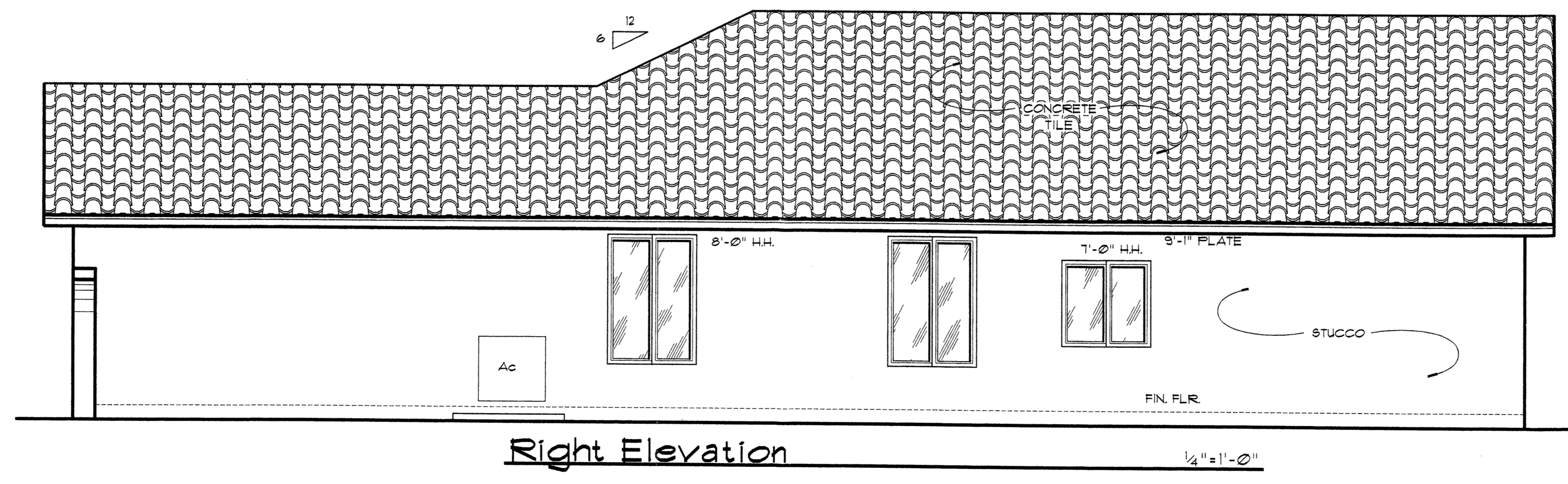
Front Elevation



Rear Elevation



Left Elevation



Right Elevation

REVISIONS
6/5/02
6/27/02

DATE DRAWN
7/18/02

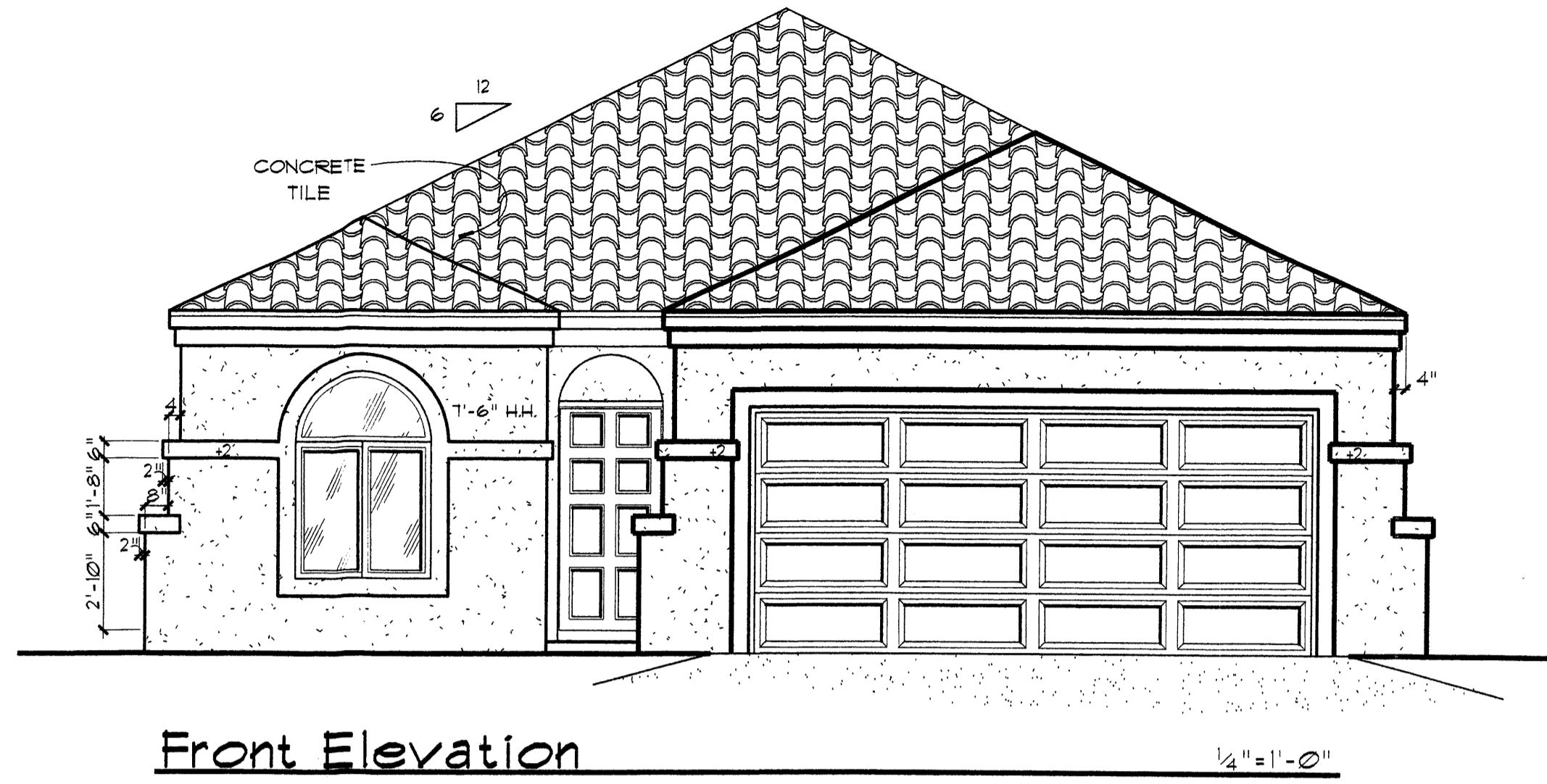
ELEVATIONS

PISIOL'S
 Computerized Drafting
 Casa Mullins
 1208 Collier Ct. N.E. Albuquerque, NM 87112
 Ph: (505) 256-9556 Fax: (505) 254-5166
 pisiodrafting@comcast.net

1527
 Ventura Village
 Albuquerque, New Mexico

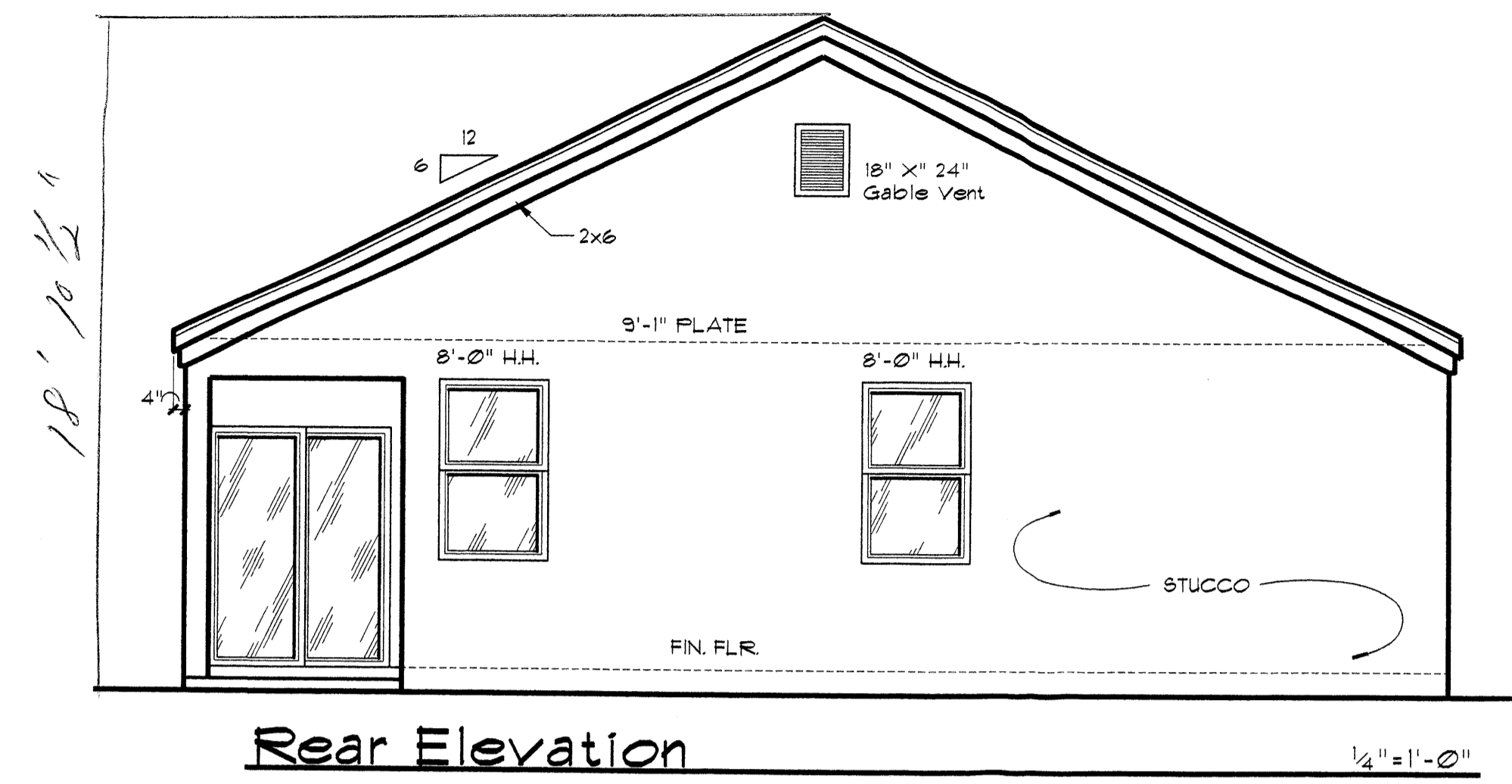
Llave Homes
 Bob Keeran
 Ph: 505-256-4076
 Fax: 505-858-1102

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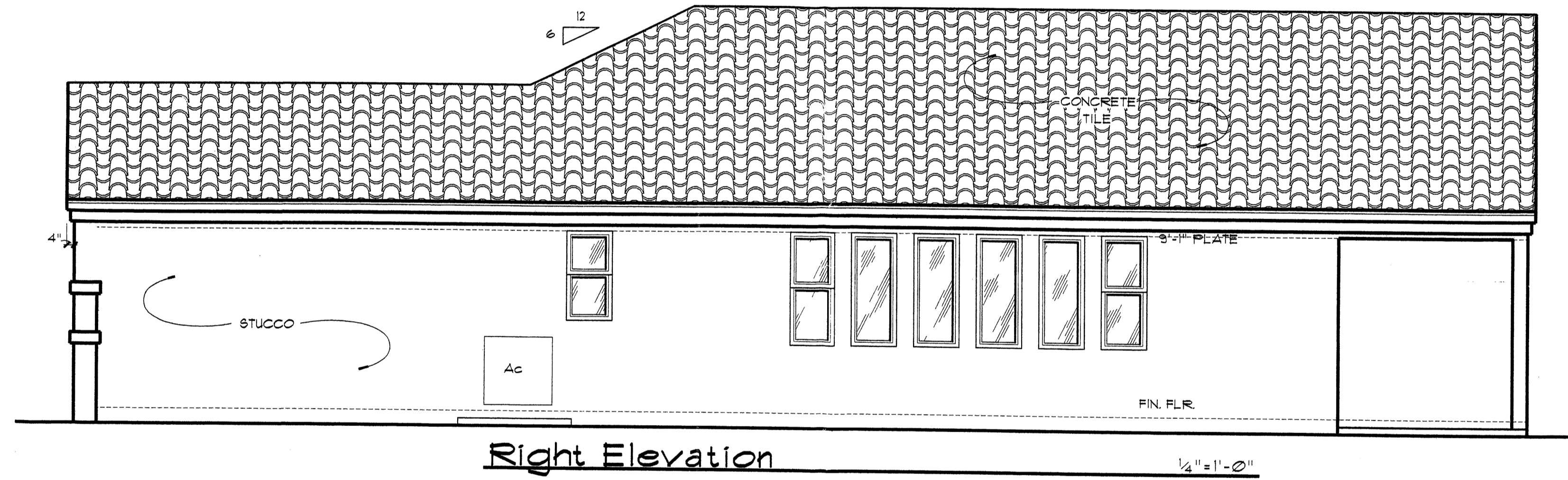
Front Elevation

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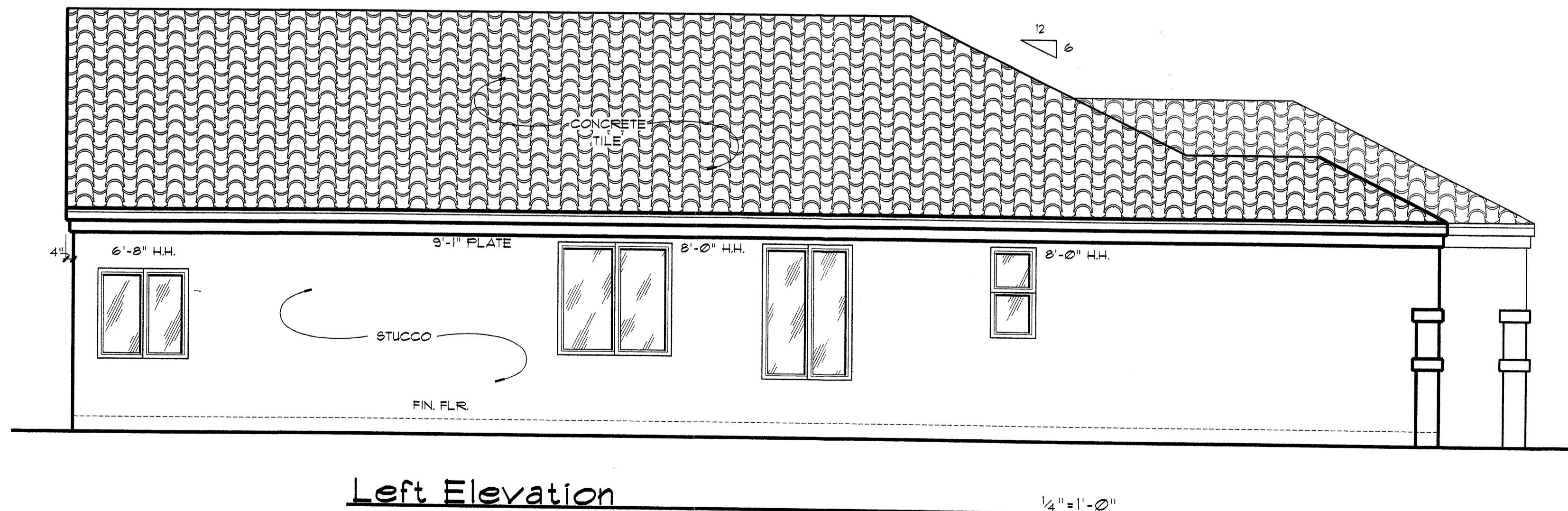
Rear Elevation

1/4"=1'-0"



Right Elevation

1/4"=1'-0"



Left Elevation

1/4"=1'-0"

REVISIONS
6/5/02
6/16/02

DATE DRAWN
7/18/02

ELEVATIONS

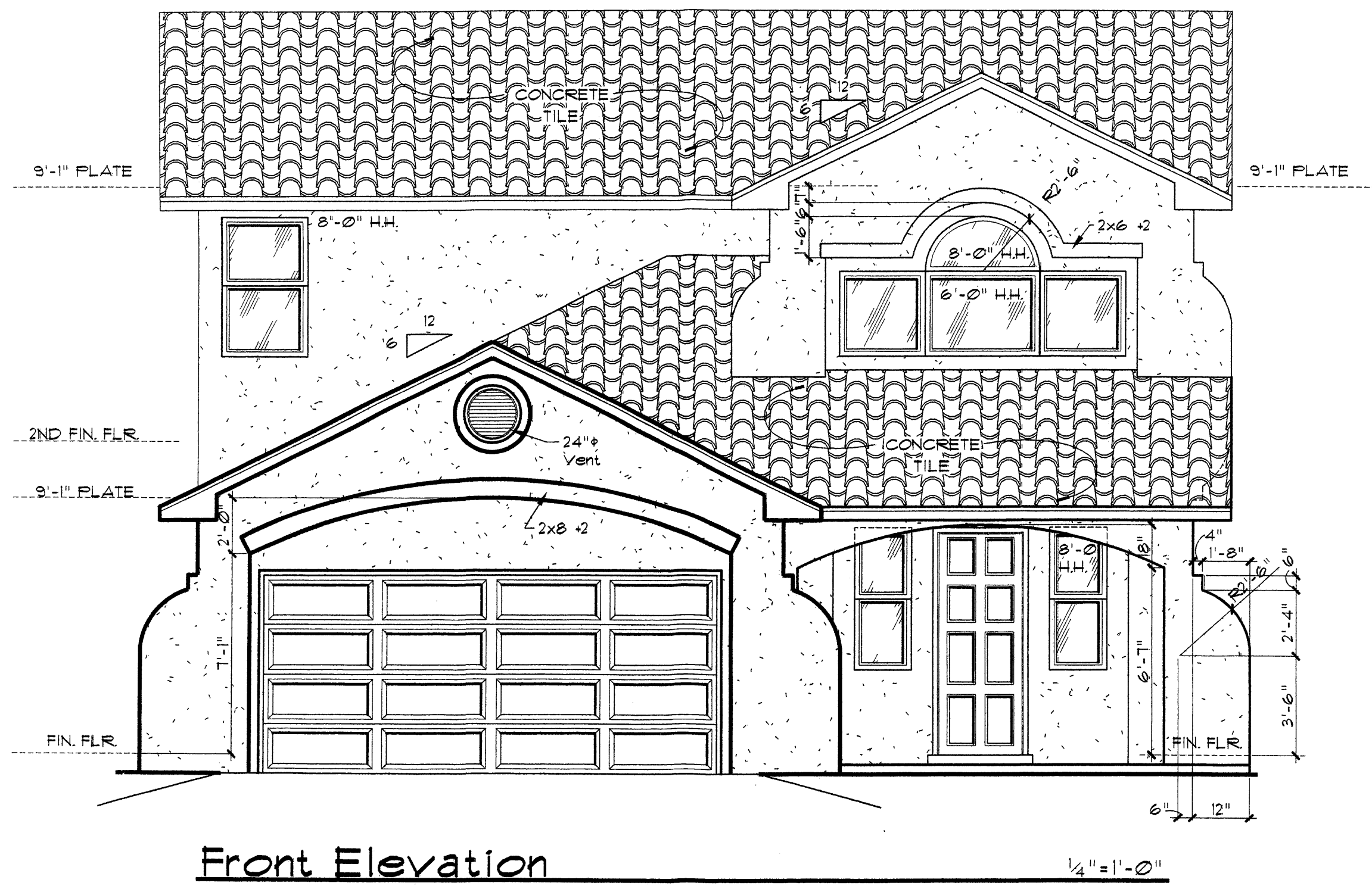
PISANO'S
 Computerized Drafting
 Chris Mullins
 12300 Collier Ct. NE Albuquerque, NM 87112
 Ph: (505) 298-2339 Fax: (505) 294-5166
 email: cmullins@earthnet

1659
 Ventura Village
 Albuquerque, New Mexico

A3

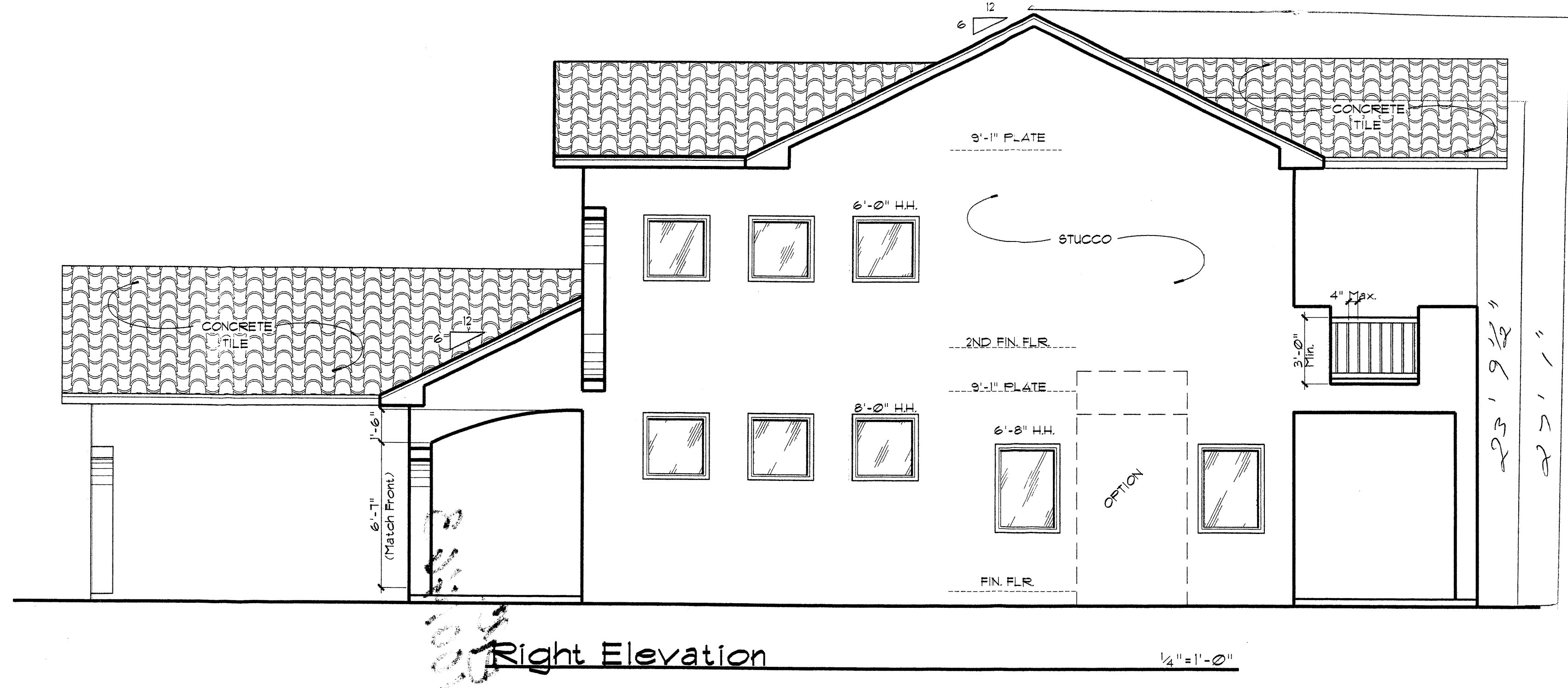
Llave Homes
 Bob Keeran
 Ph: 505-856-4016
 Fax: 505-856-1102

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Front Elevation

1/4"=1'-0"



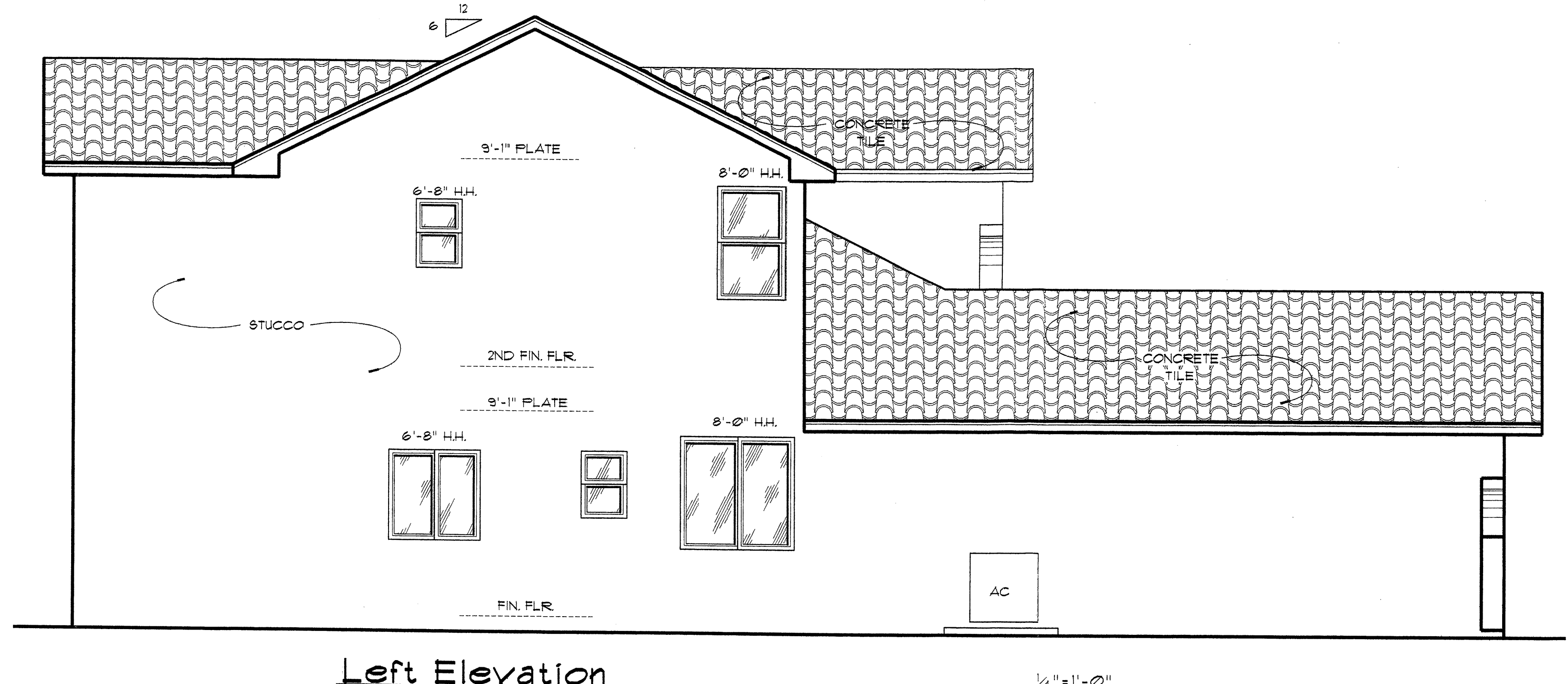
Right Elevation

1/4"=1'-0"



Rear Elevation

1/4"=1'-0"



Left Elevation

1/4"=1'-0"

REVISIONS
1/18/02

DATE DRAWN
7/19/02

ELEVATIONS

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