

VICINITY MAP: ZONE ATLAS PAGE H-09-Z

SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 15 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 20 FEET MAXIMUM.

PHASING NOTES:

THE FIRST PHASE OF THE PROJECT WILL BE THE CONSTRUCTION OF THE BUILDING 3 AND THE PARKING LOT. PHASE 2 WILL BE THE CONSTRUCTION OF BUILDINGS 1 AND 2 AND RELATED DRIVE AISLES AROUND THOSE BUILDINGS.

RADIUS INFORMATION:

- ① = 14'-6"
- ② = 30'-0"
- ③ = 15'-0"
- ④ = 3'-0"
- ⑤ = 21'-0"
- ⑥ = 5'-0"

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE. 1/A001.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STRIPED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL. REFER TO ELECTRICAL.
- [7] PROPOSED BIKE RACK WITH 3 SPACES. SEE 8/A003.
- [8] PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0". SEE 13/A003.
- [9] PROPOSED PAINTED PARKING STRIPING.
- [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN. 12/A003 & 3/A003.
- [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- [12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [13] PROPOSED 4'-6" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE. SEE 11/A003 FOR SIGNAGE. PROVIDE PAVEMENT MARKING AT END OF EACH SPACE.
- [14] PROPOSED COMPACT 9'-0" x 15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION AT LANDSCAPE ISLAND.
- [15] PROPOSED PAINTED DIRECTIONAL ARROW/ SIGNAGE ON PAVEMENT.
- [16] PROPOSED ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL.
- [17] PROPOSED PATIO. SEE ENLARGED PLAN 1/A002.
- [18] THE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [19] EXISTING ASPHALT ROAD TO REMAIN.
- [20] PROPOSED 6'-0" TALL PATIO FENCE. 6/A002.
- [21] PROPOSED 32 SF MONUMENT SIGN, MAX 4' TALL. SEE 7/A002.
- [22] EXISTING CONCRETE CURB TO REMAIN.
- [23] SHADING INDICATES EXTENTS OF PHASE 1 WORK.
- [24] FUTURE COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION.
- [25] NOT USED.
- [26] FUTURE TRASH COMPACTOR.
- [27] PROPOSED PAVEMENT STRIPING.
- [28] PROPOSED HC RAMP.
- [29] PROPOSED LANDSCAPE ISLAND.
- [30] PROPOSED BOLLARD LIGHT FIXTURE. SEE ELECTRICAL.
- [31] EXISTING FIRE HYDRANT TO REMAIN.
- [32] PROPOSED DRIVE THRU LANE.
- [33] EXISTING TRAFFIC MEDIAN TO REMAIN.
- [34] EXISTING CITY STANDARD HC RAMP.
- [35] EXISTING CITY STANDARD SIDEWALK.
- [36] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [37] EXISTING 20' PUBLIC WATERLINE EASEMENT.
- [38] PROPOSED 6' SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- [39] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE EASEMENT FOR OVERHEAD POWER LINES.
- [40] EXISTING OVERHEAD POWER LINES.
- [41] EXISTING PNM EASEMENT.
- [42] EXISTING 30' ACCESS EASEMENT.
- [43] EXISTING CURB CUT TO REMAIN.
- [44] PROPOSED PAINTED ASPHALT PEDESTRIAN PATHWAY.
- [45] EXISTING ADA PUBLIC RAMP. INSTALL TRUNCATED DOMES TO MEET CITY STANDARDS.
- [46] PROPOSED 4' WIDE CONCRETE SIDEWALK, PER CITY STANDARD DETAIL.
- [47] PROPOSED STANDARD SIGNAGE TO READ "DO NOT ENTER".
- [48] CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [49] NOT USED.
- [50] EXISTING PUBLIC ASPHALT TRAIL.
- [51] EXISTING MEDIAN.
- [52] PROPOSED CURB OPENING. SEE GRADING AND DRAINAGE PLANS.
- [53] EXISTING PROPERTY LINE.
- [54] PROPOSED BUILDING OVERHANGS/CANOPIES WILL BE PROVIDED TO SHADE PRIMARY FACADE.
- [55] PROPOSED 3' HIGH CMU SCREEN WALL.
- [56] FUTURE PATIO.
- [57] PROPOSED BACKFLOW PREVENTER.

SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 15 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 20 FEET MAXIMUM.

BUILDING AREAS:

OVERALL BUILDING AREAS 16,015 SF.

BUILDING 1- 9,135 SF

BUILDING 2- 2,680 SF

BUILDING 3- 4,200 SF

TOTAL LOT AREA (LOTS 15 AND 16) = 2.63 ACRES

2.36 ACRES = 114,562 SF

F.A.R. ALLOWED = 40.07 SF

F.A.R. PROPOSED = 16,015 SF

PARKING CALCULATIONS:

BUILDING 1- 9,135 SF

9,135/200 = 46 SPACES

BUILDING 2- 2,680 SF

80 SEATS/4th = 20 SPACES

BUILDING 3- 4,200 SF

150 SEATS/4th = 38 SPACES

TOTAL REQUIRED SPACES 104 SPACES

¹RESTAURANT WITHOUT A FULL LIQUOR LICENSE

²INTERIOR OCCUPANT LOAD. DOES NOT INCLUDE PATIO SEATING

TRANSIT REDUCTIONS:

104 SPACES REQ'D x 10% REDUCTION =

(PROXIMITY TO BUS ROUTE 94)

104 x 10% = 94 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 94 SPACES

TOTAL PARKING SPACES PROVIDED = 98 SPACES

77 REGULAR SPACES

17 COMPACT SPACES

4 HANDICAP SPACES

COMPACT PARKING CALCULATION:

94 REQ'D SPACES x 33% = 31 SPACES ALLOWED

TOTAL COMPACT SPACES = 17 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 4 SPACES

TOTAL DISABLED SPACES PROVIDED = 4 SPACES

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES

TOTAL MOTORCYCLE SPACES PROVIDED = 4 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =

94 PARKING SPACES/20 = 5 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 5 SPACES

TOTAL BICYCLE SPACES PROVIDED = 6 SPACES

| NUMBER | DELTA ANGLE | CHORD DIRECTION | RADIUS | ARC LENGTH | CHORD LENGTH |
|--------|-------------|-----------------|---------|------------|--------------|
| C1 | 02°50'08" | S 01°39'57" E | 1322.00 | 65.42 | 65.42 |
| C2 | 04°55'19" | S 05°32'40" E | 1322.00 | 113.56 | 113.53 |
| C3 | 94°02'28" | S 55°00'53" E | 60.00 | 98.48 | 87.79 |
| C4 | 19°22'48" | N 68°14'53" E | 120.00 | 40.59 | 40.40 |
| C5 | 23°59'56" | S 12°12'40" E | 300.00 | 125.66 | 124.74 |

Architectural Site Plan

Scale: 1"=30'-0"



PROJECT

Las Lomas Plaza

2101 Vista Oeste

Albuquerque, NM 87120

TITLE

Architectural Site Plan

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

JOB NUMBER 16-53

DRAWN BY AV

PROJECT MGR JDH

DATE 1-31-2018

PHASE CD

PROJECT NUMBER: 1001523 APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

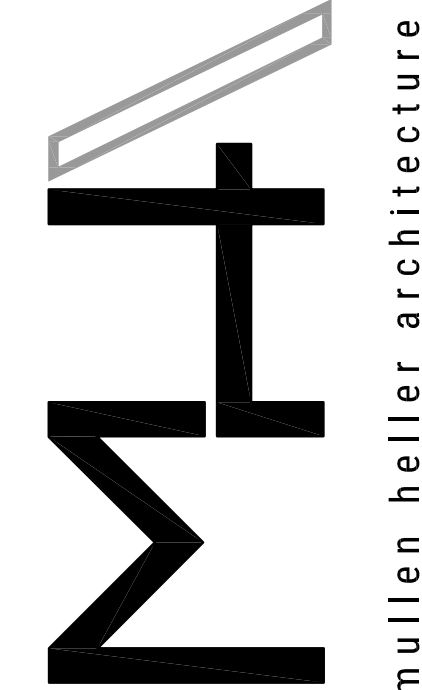
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO
 IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | Date |
| UTILITIES DEVELOPMENT | Date |
| PARKS AND RECREATION DEPARTMENT | Date |
| CITY ENGINEER | Date |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date |
| SOLID WASTE MANAGEMENT APPROVAL IS ATTACHED AS SEPARATE SHEET | Date |
| SOLID WASTE MANAGEMENT | Date |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | Date |

SHEET

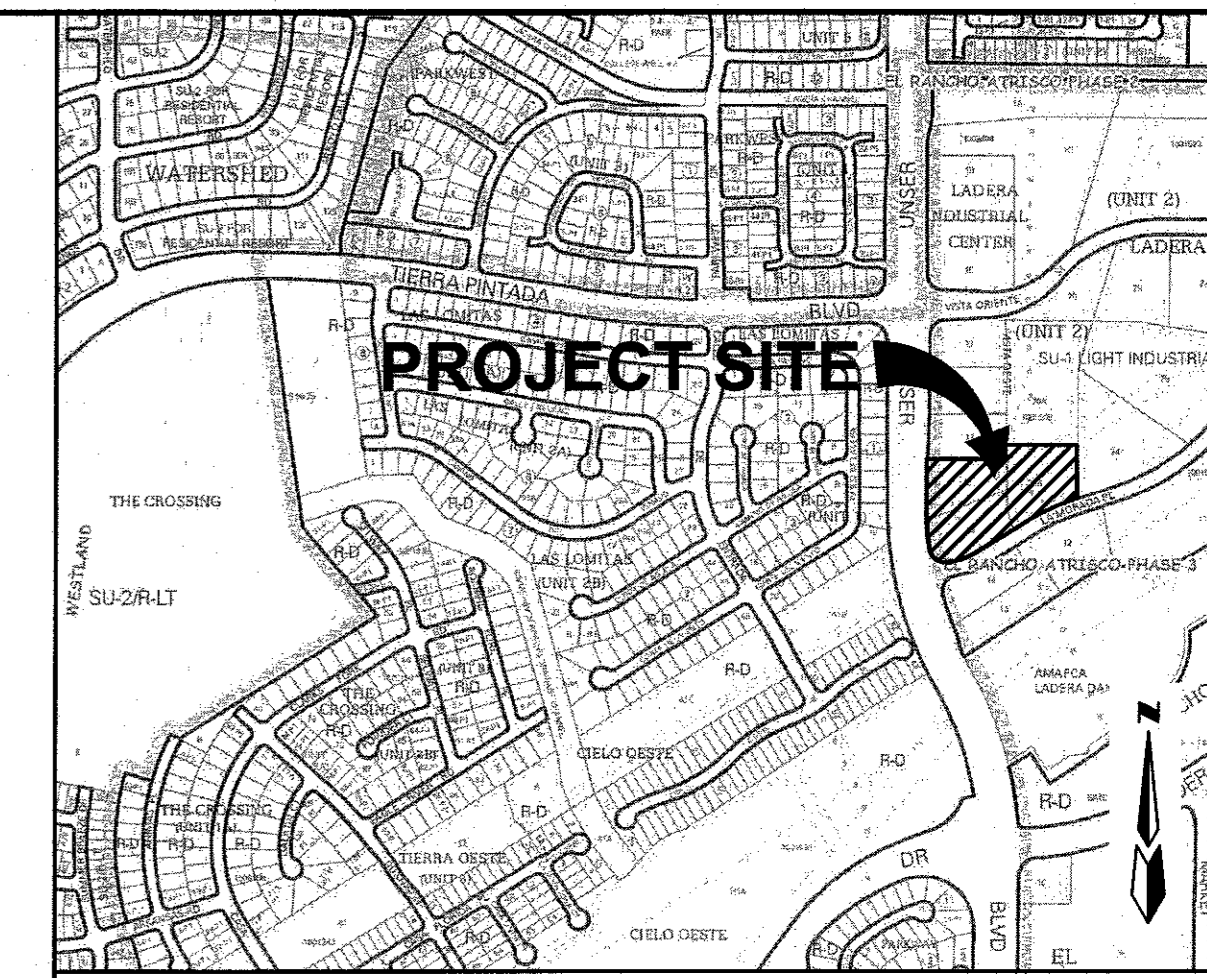
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Sheet 1 of 9



MULLEN HELLER ARCHITECTURE
 1718 CENTRAL AVENUE, STE. D
 ALBUQUERQUE, NM 87104
 P | 505.268.4144
 F | 505.268.4244
 www.mullenheller.com

PROJECT Las Lomas Plaza
 2101 Vista Oeste
 Albuquerque, NM 87120
 TITLE Architectural Site Plan

TRACT 17
 LADERA BUSINESS PARK UNIT 2
 FILED OCTOBER 11, 2004
 BOOK 2004C, PAGE 325



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-H9", HAVING AN ELEVATION OF 5209.315, NAVD 1988

LEGAL DESCRIPTION

TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) OF PLAT FOR LADERA BUSINESS PARK, UNIT 1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9 AND 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON JANUARY 22, 2004, IN PLAT BOOK 2004C, PAGE 24.

TRACT 20-B, LADERA BUSINESS PARK UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON JUNE 7, 2007, IN MAP BOOK 2007C, FOLIO 155.

LEGEND

| | |
|--|---------------------------------|
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | EXISTING GROUND SPOT ELEVATION |
| | EXISTING FLOWLINE ELEVATION |
| | EXISTING BACK OF CURB ELEVATION |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING CONCRETE |
| | EXISTING CURB & GUTTER |
| | EXISTING OVERHEAD ELECTRIC LINE |
| | EXISTING GUY WIRE |
| | EXISTING POWER POLE |
| | EXISTING VAULT/PEDESTAL |
| | NEW STANDARD CURB & GUTTER |
| | NEW RIGHT-OF-WAY |
| | NEW CENTERLINE |
| | NEW LOT LINES |
| | NEW EASEMENTS |
| | NEW RETAINING WALL |
| | NEW STORM DRAIN |
| | NEW SPOT ELEVATION |
| | TOP OF CURB ELEVATION |
| | FLOWLINE ELEVATION |
| | TOP OF RETAINING WALL |
| | BOTTOM OF RETAINING WALL |
| | NEW FLOW DIRECTION |
| | NEW WATER BLOCK |
| | DRAINAGE SWALE |

DRAINAGE SUMMARY

THE PROJECT ENTAILS PHASE 1 CONSTRUCTION OF 1 OF 4 BUILDINGS WITHIN THE MASTER PLANNED LADERA BUSINESS PARK. DIRECT DISCHARGE IS TO THE EXISTING PAVED VISTA OESTE AND LA MORADA PLACE FOR CONVEYANCE DOWNSTREAM. THE LANDSCAPE AREAS WILL BE DEPRESSED TO ACCOMMODATE THE "FIRST FLUSH". EACH PHASE WILL REQUIRE AN UP-DATED GRADING & DRAINAGE PLAN.

HYDROLOGY CALCULATIONS

EXISTING PHASE 1
 AREA = 1.15 Ac.
 LAND TREATMENT B=100%
 $P_{100} = 2.3$ in.
 $Q_{100} = 1.61$ cfs.
 $Vol_{100} = 3347$ c.f.

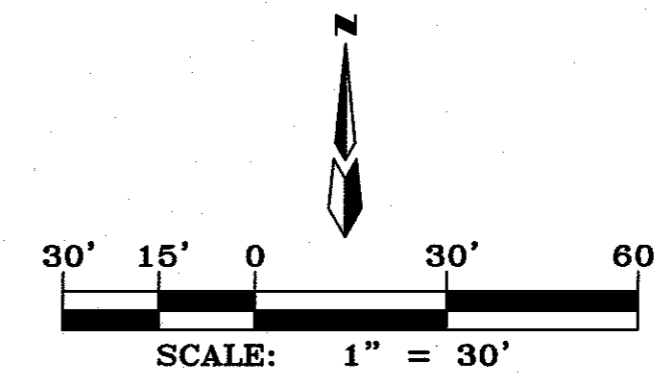
PROPOSED PHASE 1
 AREA = 1.15 Ac.
 LAND TREATMENT A = 0
 LAND TREATMENT B = 15%
 LAND TREATMENT C = 10%
 LAND TREATMENT D = 75%
 $P_{100} = 2.3$ in.
 $Q_{100} = 3.76$ cfs.
 $Vol_{100} = 6756$ c.f.

FIRST FLUSH PHASE 1
 IMPERVIOUS AREA = 36,716 s.f.
 $FIRST\ FLUSH\ VOL\ REQD. = (IA)(0.34)(1/12") = (36,716)(.34)(1/12) = 1040$ c.f.
 TOTAL LANDSCAPED AREA = 7350 s.f.
 $TOTAL\ FIRST\ FLUSH\ VOLUME\ PROVIDED = (7350)(0.5) = 3675$ c.f.
 LANDSCAPED AREA (A) = 3250 s.f. - TO RECEIVE FLOWS FROM ROOF & PAVED AREAS.
 LANDSCAPED AREA (B) = 4100 s.f. - TO RETAIN RAINFALL THAT FALLS DIRECTLY ON IT.

CURB OPENING CAPACITY
 FOR 2' WIDE OPENING IN 6" CURB
 $Q = CLH^{3/2} = (3)(2)(.5)^{3/2} = 2.12$ c.f.s.

NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE PER F.I.R.M. PANEL 35001C0326J, DATED 11/14/16.
- ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.
- ALL LANDSCAPED AREAS TO BE DEPRESSED 6".
- ELEVATIONS SHOWN FOR FUTURE PHASES ARE FOR INFORMATION ONLY.
- FUTURE PHASE ON THE NORTH SIDE OF THE PROJECT WILL REQUIRE A PRIVATE CROSS LOT DRAINAGE AGREEMENT.

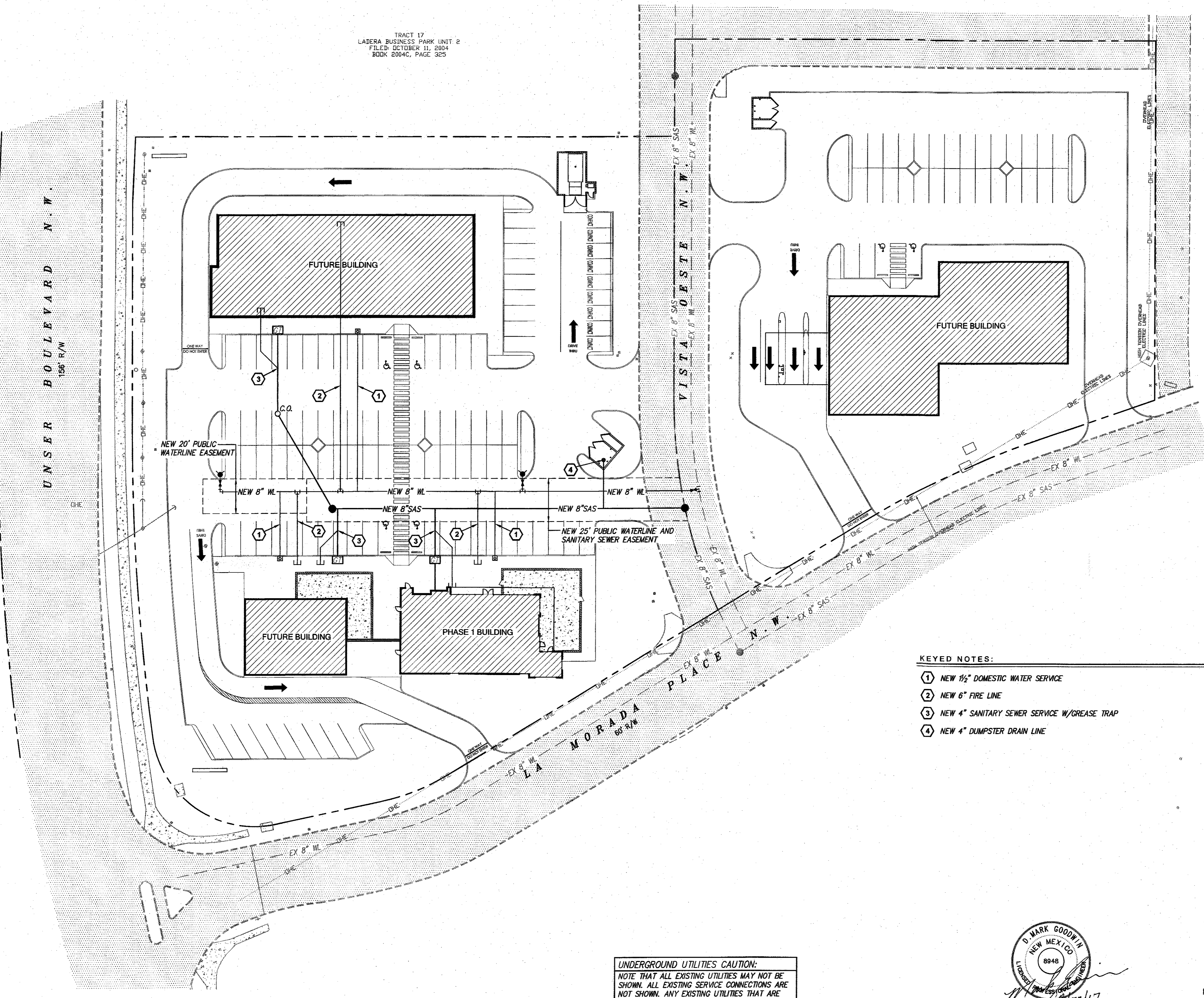


LAS LOMITAS PLAZA - PHASE 1 GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

| | | | |
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| Designed: DMG | Drawn: DER | Checked: DMG | Sheet of 3 |
| Scale: 1" = 1' | Date: 9/13/17 | Job: A17040 | |

TRACT 17
 LADERA BUSINESS PARK UNIT 2
 FILED: OCTOBER 11, 2004
 BOOK 2004C, PAGE 325



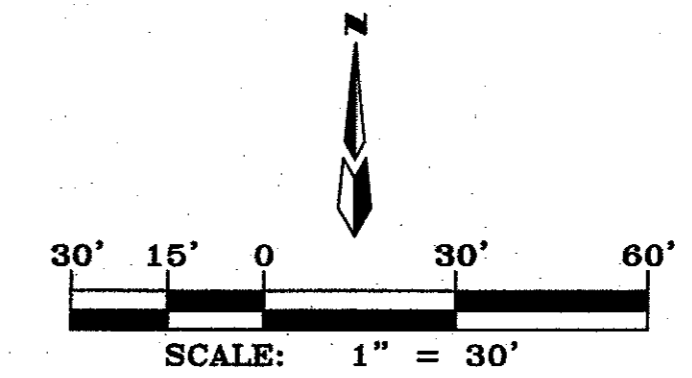
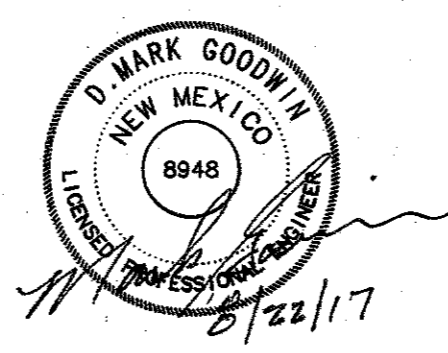
LEGEND

| | |
|------------|--|
| — EX WL — | EXISTING WATERLINE |
| ⊗ | EXISTING GATE VALVE |
| ⊙ | EXISTING FIRE HYDRANT |
| — EX SAS — | EXISTING SANITARY SEWER |
| ⊙ | EXISTING SANITARY SEWER MANHOLE |
| ▨ | EXISTING ASPHALT PAVEMENT |
| ▩ | EXISTING CONCRETE |
| --- | EXISTING CURB & GUTTER |
| — CHE — | EXISTING OVERHEAD ELECTRIC LINE |
| — | EXISTING GUY WIRE |
| ⊙ | EXISTING POWER POLE |
| ⊙ | EXISTING VALT/PEDESTAL |
| --- | NEW STANDARD CURB & GUTTER |
| --- | NEW RIGHT-OF-WAY |
| --- | NEW CENTERLINE |
| --- | NEW LOT LINES |
| --- | NEW EASEMENTS |
| --- | NEW RETAINING WALL |
| --- | NEW STORM DRAIN |
| ⊙ | NEW STORM DRAIN MANHOLE |
| — 6" WL — | NEW WATERLINE |
| ⊗ | NEW GATE VALVE |
| ⊙ | NEW TEE |
| ⊙ | NEW FIRE HYDRANT |
| ⊙ | NEW WATERLINE SERVICE & METER BOX |
| — 8" SAS — | NEW SANITARY SEWER LINE |
| ⊙ | NEW SANITARY SEWER MANHOLE |
| ⊙ | NEW SANITARY SEWER SERVICE |
| ⊙ | NEW SANITARY SEWER CLEANOUT |
| ⊙ | NEW SANITARY SEWER SERVICE GREASE TRAP |

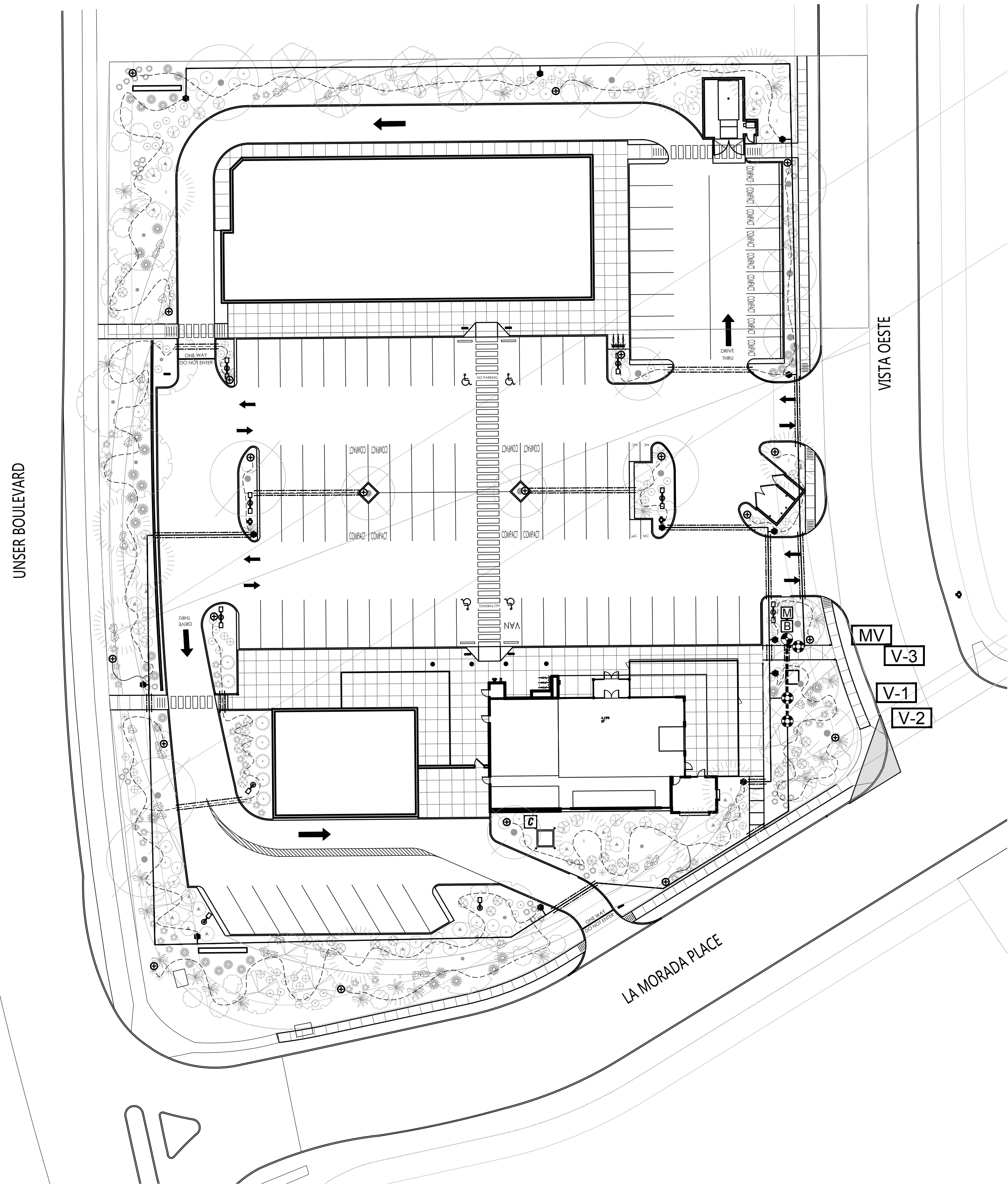
- KEYED NOTES:**
- ① NEW 1/2" DOMESTIC WATER SERVICE
 - ② NEW 6" FIRE LINE
 - ③ NEW 4" SANITARY SEWER SERVICE W/GREASE TRAP
 - ④ NEW 4" DUMPSTER DRAIN LINE

- STANDARD UTILITY NOTES:**
1. All waterline is C-900 PVC pipe and all sanitary sewer is SDR35 PVC pipe and all storm drain is RCP Class III unless noted otherwise on the plans.
 2. EMD's shall be installed on all waterline and sanitary sewer appurtenances as per section 170 of Standard Specifications.
 3. All waterline services shall be 1 1/2" unless noted otherwise on plans.
 4. All Gate Valve per Std Dwg 2326 and 2328.
 5. Manholes Type "C" per Std Dwg 2101.
 6. Manholes Type "E" per Std Dwg 2102.
 7. Water services per Standard Dwg 2367 (for 1-1/2" and 2" services).
 8. SAS services into main line per Std Dwg 2125.
 9. SAS services into manholes per Std Dwg 2118.

UNDERGROUND UTILITIES CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



| | |
|---|----------------|
| LAS LOMITAS PLAZA | |
| ON-SITE UTILITY PLAN | |
| MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539 | |
| Designed: DMG | Drawn: DER |
| Checked: DMG | Scale: 1" = 1' |
| Date: 8/9/17 | Job: A17040 |
| Sheet C-2 of 2 | |



IRRIGATION EQUIPMENT SCHEDULE

- SYMBOL DESCRIPTION
- M** METER: 1" (PROVIDED BY GENERAL CONTRACTOR)
 - B** BACKFLOW PREVENTER: FEBCO 825Y (1") REDUCED PRESSURE BACKFLOW PREVENTER IN HOT BOX HB-1.0. INSULATED BACKFLOW ENCLOSURE (CONTRACTOR TO PROVIDE POSITIVE HEAT SOURCE TO BACKFLOW PREVENTER).
 - ==== SLEEVING: CLASS 200 PVC (2 SIZES LARGER THAN PIPE TO BE SLEEVED)
 - IRRIGATION MAINLINE: SCHEDULE 40 PVC SOLVENT WELD (1")
 - LATERAL PIPING: SCHEDULE 40 PVC SOLVENT WELD, 3/4" UNLESS NOTED OTHERWISE
 - ⊙ MASTER VALVE ASSEMBLY: RAIN BIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL (1")
 - ⊙ DRIP VALVE ASSEMBLY: RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL AND 1" INLINE RBY FILTER
 - PVC TO POLY ADAPTER: INLINE PRESSURE REGULATOR (RAIN BIRD PSI-L30X-075)
 - ⊙ DRIP IRRIGATION TUBING: 3/4" POLYETHYLENE PIPE, 6" DEPTH MIN, W/COMPRESSION FITTINGS AND FLUSH CAP; CONNECTION TO PVC LATERAL AND FLUSH CAPS SHALL BE PLACED IN 6" VALVE BOX. TUBING SHALL BE PINNED EVERY 10'
 - EMITTER DEVICE: RAIN BIRD XERI-BUG EMITTERS AS DEFINED BELOW 1/4" DISTRIBUTION TUBING PINNED AT EACH SHRUB
 - SHRUBS (SINGLE OUTLET EMITTERS)
 - (2) XB-10PC, 1 GPH EMITTERS EACH (LOCATE ON OPPOSITE SIDES OF ROOTBALL)
 - TREES (MULTI-OUTLET XERI-BUG)
 - XB-20-6, (6) 2 GPH EMITTERS EACH TREE (DISTRIBUTE EVENLY AROUND PERIMETER OF ROOTBALL)
 - C** CONTROLLER: RAIN BIRD ESP4ME, 4 STATION, WALL MOUNT IN STAINLESS STEEL ENCLOSURE. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER.
 - V-X** INDICATES VALVE NUMBER

VALVE LEGEND & SCHEDULE

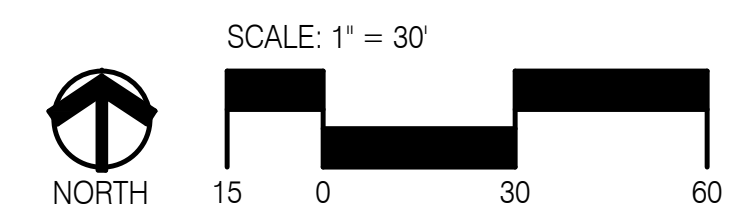
| ID | SIZE | SPK TYPE | FLOW | PRECIP. RATE | RUNTIME |
|----------------|------|--------------|----------|--------------|-------------|
| V-1 | 1" | DRIP | 4.3 GPM | 2/12 GPH | 60 MIN |
| V-2 | 1" | DRIP | 10.3 GPM | 2/12 GPH | 60 MIN |
| V-3 | 1" | DRIP | 6.8 GPM | 2/12 GPH | 60 MIN |
| MV | 1" | MASTER VALVE | 10.3 GPM | N/A | N/A |
| TOTAL RUNTIME: | | | | | 3 HR 00 MIN |

STATION RUNTIMES ARE CALCULATED TO APPLY 2 GALLONS OF WATER PER SHRUB AND 12 GALLONS OF WATER PER TREE PER IRRIGATION CYCLE.

GENERAL IRRIGATION NOTES

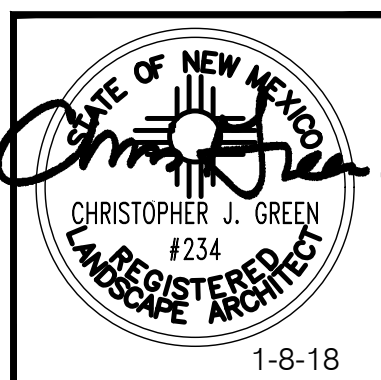
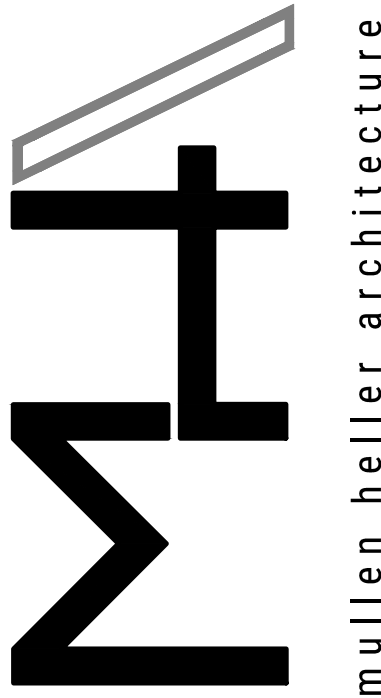
- THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 1-INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J-BOX WITH 115VAC; PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HARD-WIRE TO J-BOX.

1 Irrigation Plan
Scale: 1"=30'-0"



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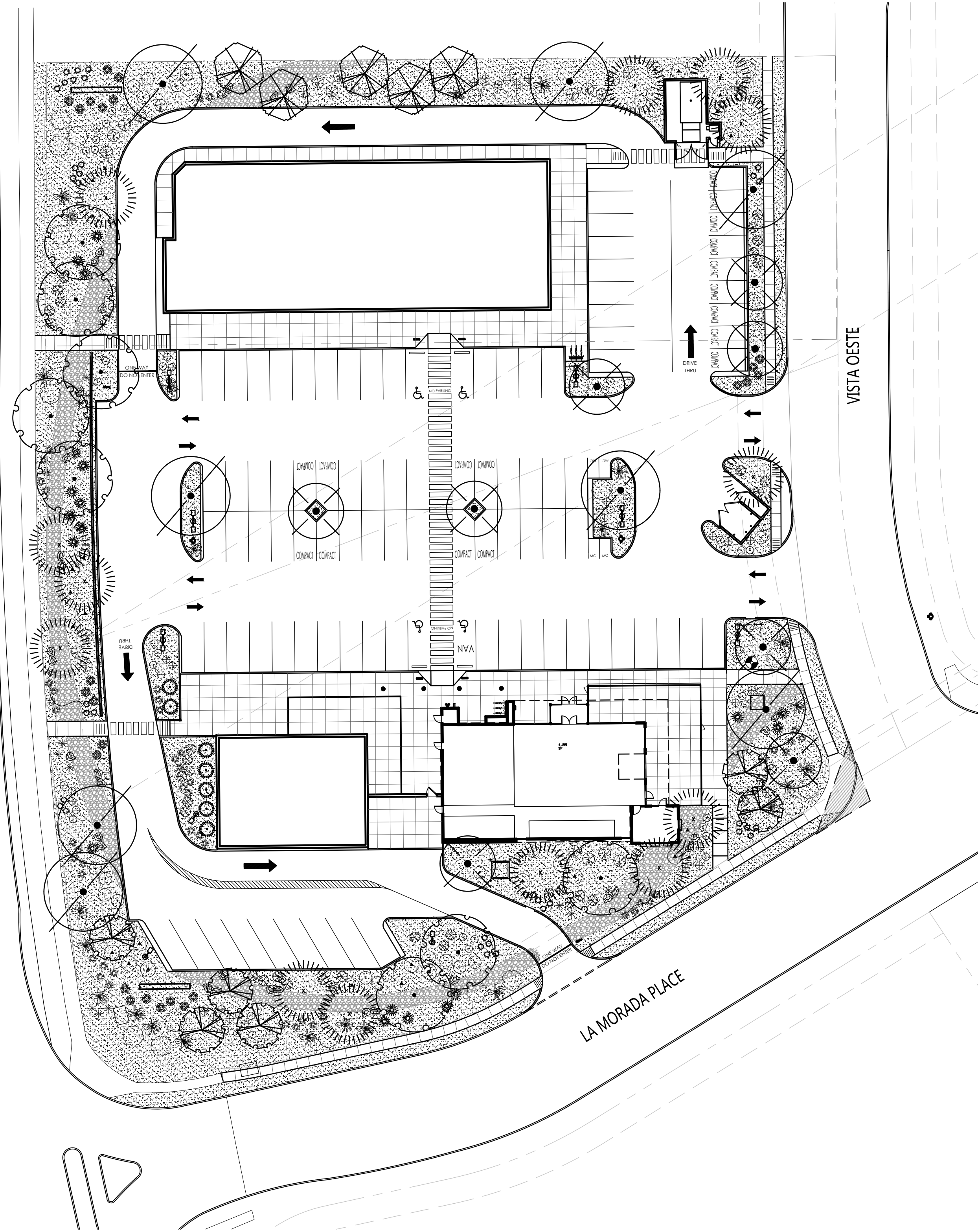
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JOB NUMBER 16-53
DRAWN BY AV
PROJECT MGR JDH
DATE 11-10-2017
PHASE CD

PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120
TITLE
Irrigation Plan



PLANT LEGEND

| QTY. | SYMBOL | SCIENTIFIC NAME COMMON NAME | SIZE | INSTALLED SIZE MATURE SIZE | WATER USE |
|----------------------------|--------|--|----------|------------------------------------|-----------|
| TREES | | | | | |
| 8 | | ACER TATARICUM 'GAR ANN' HOT WINGS MAPLE BOX ELDER | 2" B&B | 12' MIN. HT. 20' HT. X 25' SPR. | MEDIUM |
| 5 | | CHITALPA TASHKENTENSIS CHITALPA | 24" BOX | 8' MIN. HT. 30' HT. X 30' SPR. | MEDIUM |
| 8 | | FRAXINUS OXYCARPA 'RAYWOOD' RAYWOOD ASH | 2.5" B&B | 14' MIN. HT. 35' HT. X 25' SPR. | MEDIUM |
| 7 | | JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER (FEMALE) | 15-GAL. | 8' MIN. HT. 15' HT. X 6' SPR. | MEDIUM |
| 13 | | PINUS NIGRA AUSTRIAN PINE | B&B | 8' MIN. HT. 35' HT. X 25' SPR. | MEDIUM |
| 8 | | ULMUS PARVIFOLIA 'ALLEE II' ALLEE LACEBARK ELM | 2.5" B&B | 14' MIN. HT. 40' HT. X 30' SPR. | MEDIUM |
| 6 | | VITEX AGNUS-CASTUS CHASTE TREE | 15-GAL. | 8' MIN. HT. 20' HT. X 20' SPR. | MEDIUM |
| SHRUBS/GROUNDCOVERS | | | | | |
| 36 | | ACHILLEA 'MOONSHINE' MOONSHINE YARROW | 1-GAL. | 2' HT. X 2' SPR. | LOW |
| 49 | | CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS | 5-GAL. | 3' HT X 3' SPR. | MEDIUM |
| 41 | | CARYOPTERIS CLAND. 'DARK KNIGHT' DARK KNIGHT BLUE MIST | 5-GAL. | 3' HT X 3' SPR. | MEDIUM |
| 38 | | CHRYSOTHAMNUS NAUSEOSUS CHAMISA | 5-GAL. | 5' HT X 5' SPR. | LOW |
| 19 | | DASYLIRION WHEELERI DESERT SPOON | 5-GAL. | 4' HT X 4' SPR. | LOW |
| 27 | | FALLUGIA PARADOXA APACHE PLUME | 5-GAL. | 6' HT X 6' SPR. | LOW |
| 14 | | HESPERALOE PARVIFLORA RED FLOWERING YUCCA | 5-GAL. | 3' HT X 3' SPR. | MEDIUM |
| 25 | | JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER | 5-GAL. | 5' HT. X 8' SPR. | LOW + |
| 25 | | JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER | 5-GAL. | 2' HT X 6' SPR. | MEDIUM |
| 24 | | PRUNUS GLANDULOSA FLOWERING ALMOND | 5-GAL. | 4' HT X 4' SPR. | MEDIUM |
| 29 | | RHUS TRILOBATA THREE-LEAF SUMAC | 5-GAL. | 6' HT X 6' SPR. | LOW + |
| 41 | | SALVIA DORRII DESERT PURPLE SAGE | 5-GAL. | 2' HT X 3' SPR. | LOW |
| 46 | | SPHAERALCEA INCANA SCARLET GLOBEMALLOW | 5-GAL. | 3' HT X 3' SPR. | LOW + |

| MULCHES/BOULDERS | |
|------------------|--|
| 4,234 SF | 2"-4" MOUNTAINAIR BLUSH COBBLE MULCH (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL) |
| 29,194 SF | 1" MOUNTAINAIR BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL) |
| 32 | MOSS ROCK LANDSCAPE BOULDERS (18 CF TO 27 CF TYPICAL) |

GENERAL LANDSCAPE NOTES

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK. ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.

| LANDSCAPE AREA COVERAGE | |
|--|-------------|
| TOTAL SITE AREA (2.6 AC.): | 111,056 SF |
| BUILDING AREA: | - 16,015 SF |
| LANDSCAPED R.O.W. | - 2,211 SF |
| NET AREA | 92,830 SF |
| REQUIRED LANDSCAPE AREA (15% OF NET AREA): | 13,925 SF |
| PROVIDED LANDSCAPE AREA | 32,418 SF |
| REQUIRED VEGETATIVE COVERAGE (75 %): | 24,314 SF |
| PROVIDED VEGETATIVE COVERAGE: | 39,490 SF |

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA. THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES
LAS LOMITAS PLAZA IS PROVIDING 98 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 10
PARKING LOT TREES PROVIDED: 24

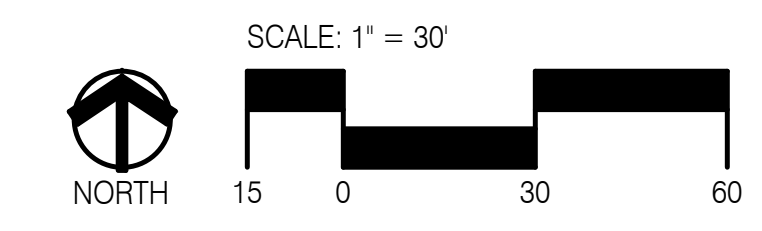
STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

UNSER BOULEVARD FRONTAGE IS 364' AND THE CANOPY SIZE IS 28'.
STREET TREES REQUIRED: 13
STREET TREES PROVIDED: 13

LA MORADA PLACE FRONTAGE IS 297' AND THE CANOPY SIZE IS 25'.
STREET TREES REQUIRED: 12
STREET TREES PROVIDED: 12

VISTA OESTE FRONTAGE IS 289' AND THE CANOPY SIZE IS 28'.
STREET TREES REQUIRED: 10
STREET TREES PROVIDED: 11

1 Planting Plan
Scale: 1"=30'-0"



CONSENSUS PLANNING, INC.
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PROJECT: **Las Lomas Plaza**
2101 Vista Oeste
Albuquerque, NM 87120

TITLE: **Planting Plan**

JOB NUMBER: 16-53
DRAWN BY: AV
PROJECT MGR: JDH
DATE: 11-10-2017
PHASE: CD

REV: 1, 2, 3, 4, 5

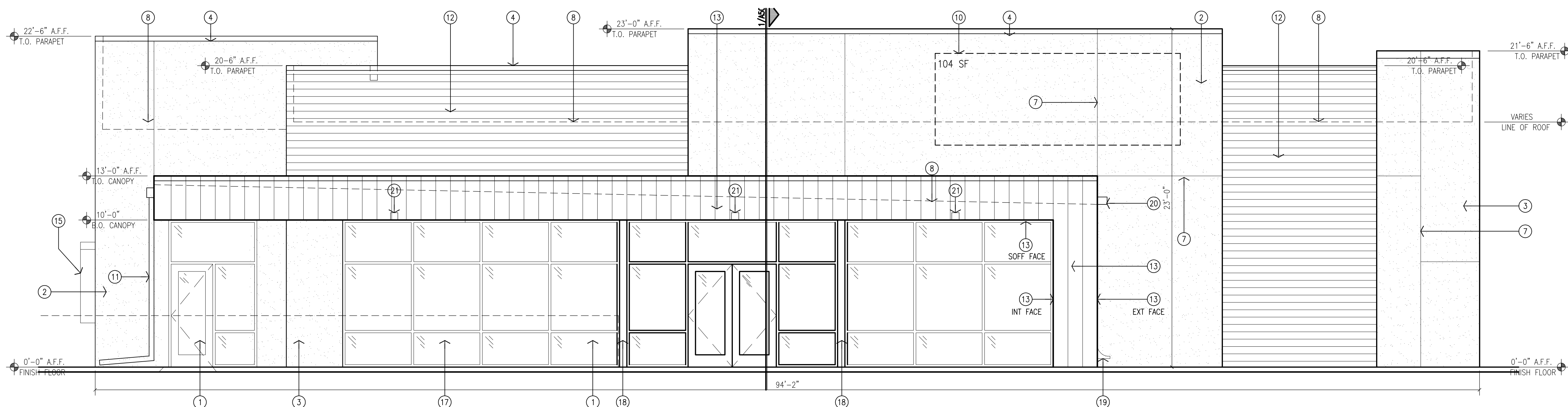
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BY: _____
DATE: _____

mullen heller architecture

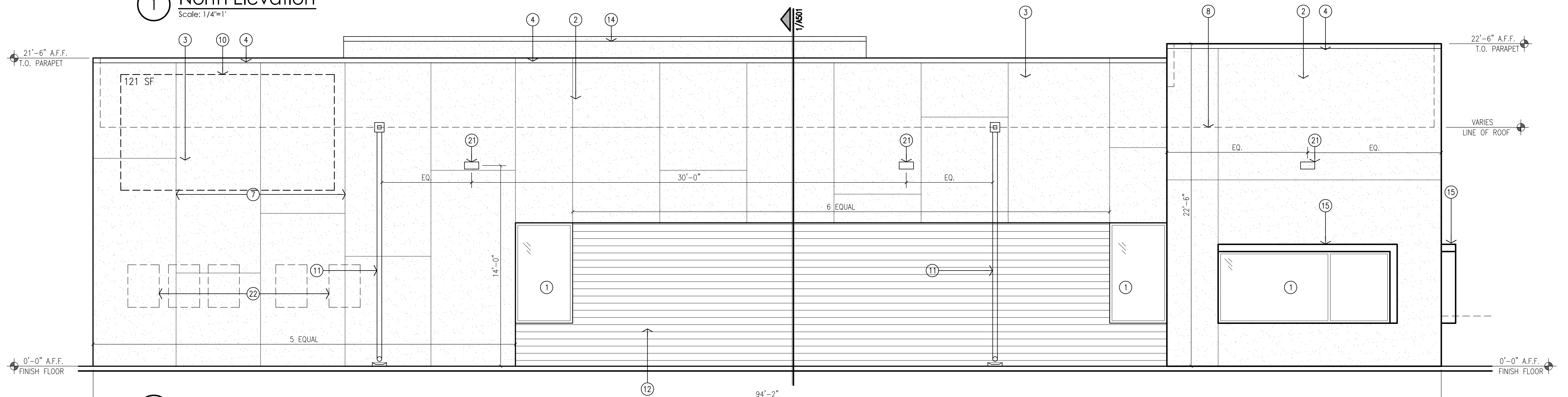
CHRISTOPHER J. GREEN
#234
LANDSCAPE ARCHITECT
1-8-18

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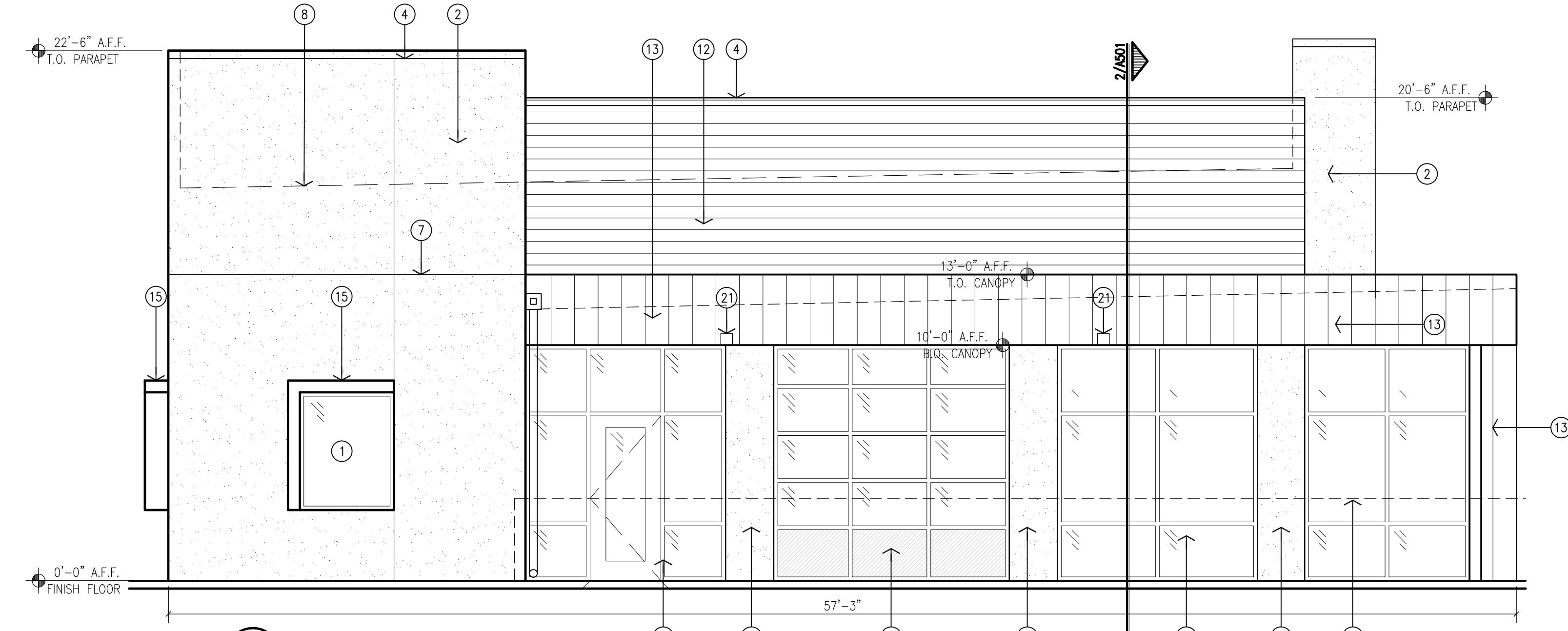
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Sheet 5 of 9



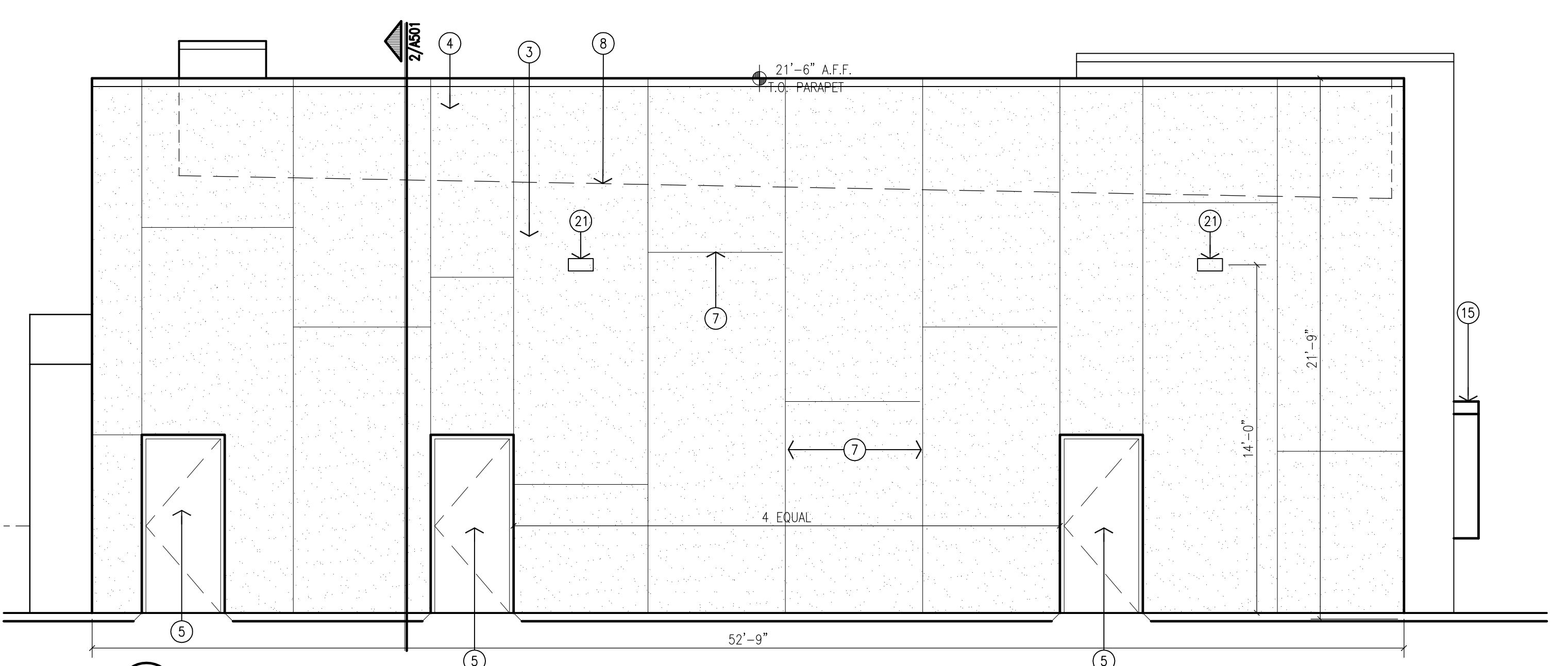
1 North Elevation
Scale: 1/4"=1'



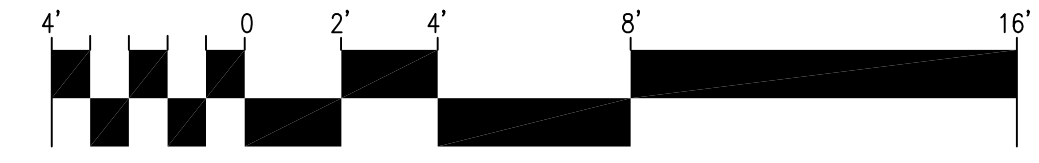
2 South Elevation
Scale: 1/4"=1'



3 East Elevation
Scale: 1/4"=1'



4 West Elevation
Scale: 1/4"=1'



- GENERAL NOTES:
- [A] ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS OTHERWISE NOTED.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
 - [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
 - [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
 - [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 2 MEDIUM BEIGE.
 - [4] PRE-FINISHED SHEET METAL PARAPET CAP TO MATCH STUCCO FINISH COLOR.
 - [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
 - [6] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] LINE OF EXTERIOR FINISH GRADE.
 - [10] OWNER PROVIDED SIGNAGE. PROVIDE POWER.
 - [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [12] PREFINISHED FIBER CEMENT WALL PANELS OVER A RAINSCREEN SYSTEM. NICHHA: VINTAGE WOOD - CEDAR, AWP 3030 HORIZONTAL INSTALLATION (OR EQUAL).
 - [13] PREFINISHED METAL PANEL SYSTEM WITH CONCEALED FASTENERS OVER A RAINSCREEN SYSTEM. CENTRIA: W-10A VERTICAL INSTALLATION, RICH BLACK 9916.
 - [14] PARAPET BEYOND.
 - [15] STUCCO WINDOW TRIM.
 - [16] OVERHEAD GARAGE DOOR.
 - [17] PATIO RAILING. SEE SITE DETAILS.
 - [18] SHEET METAL TO MATCH SF.
 - [19] ROOF DRAIN NOZZLE.
 - [20] PREFINISHED SHEET METAL OVERFLOW SCUPPER.
 - [21] LIGHT FIXTURE. SEE ELECTRICAL.
 - [22] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

SIGNAGE CALCULATIONS:

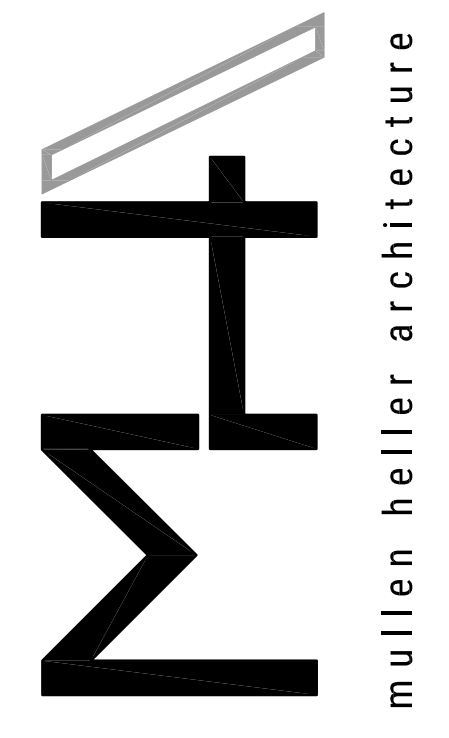
BUILDING MOUNTED:

NORTH ELEVATION- 1,745 SF X 6%
104 SF ALLOWED
104 SF ILLUMINATED PROVIDED

SOUTH ELEVATION- 2,024 SF X 6%
121 SF ALLOWED
121 SF ILLUMINATED PROVIDED

NOTE: ONLY 1 BUILDING MOUNTED SIGN IS PERMITTED PER FACADE PER BUSINESS.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

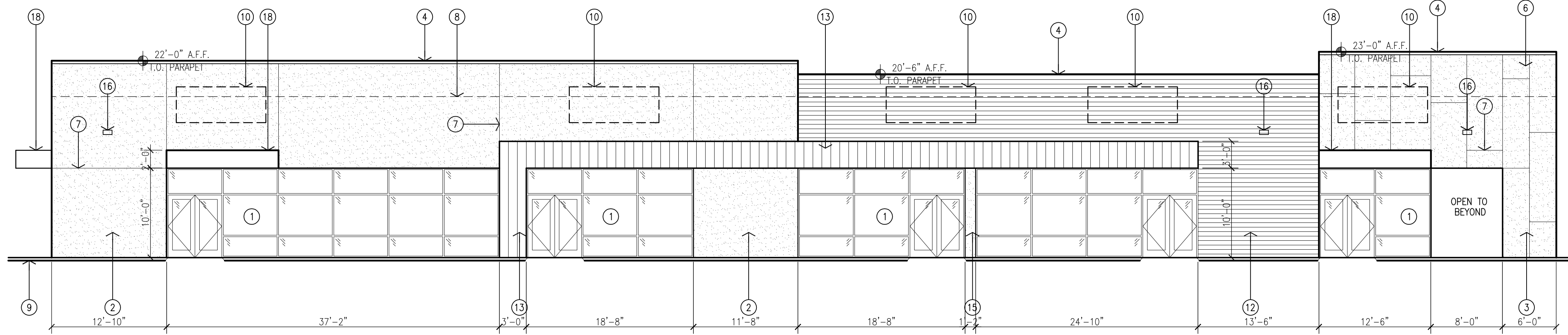


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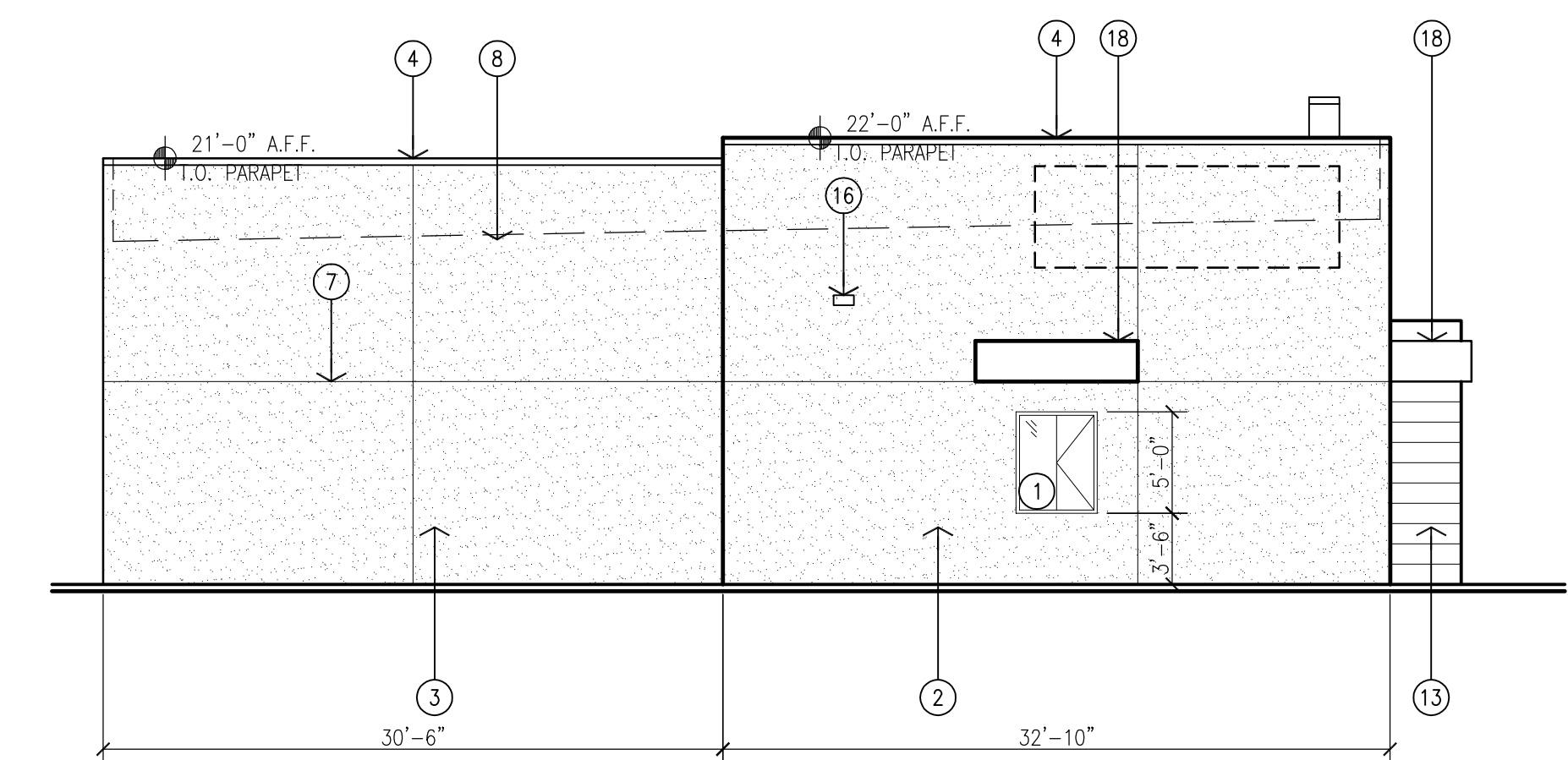
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|-------------|-----------|
| JOB NUMBER | 16-53 |
| DRAWN BY | AV |
| PROJECT MGR | JDH |
| DATE | 1-31-2018 |
| PHASE | CD |

PROJECT
Las Lomitas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

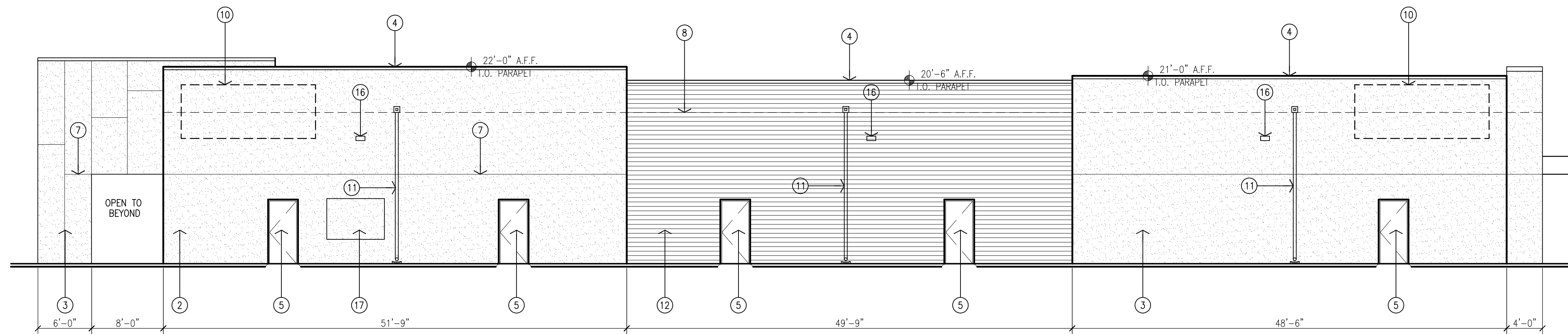
TITLE
Exterior Elevations



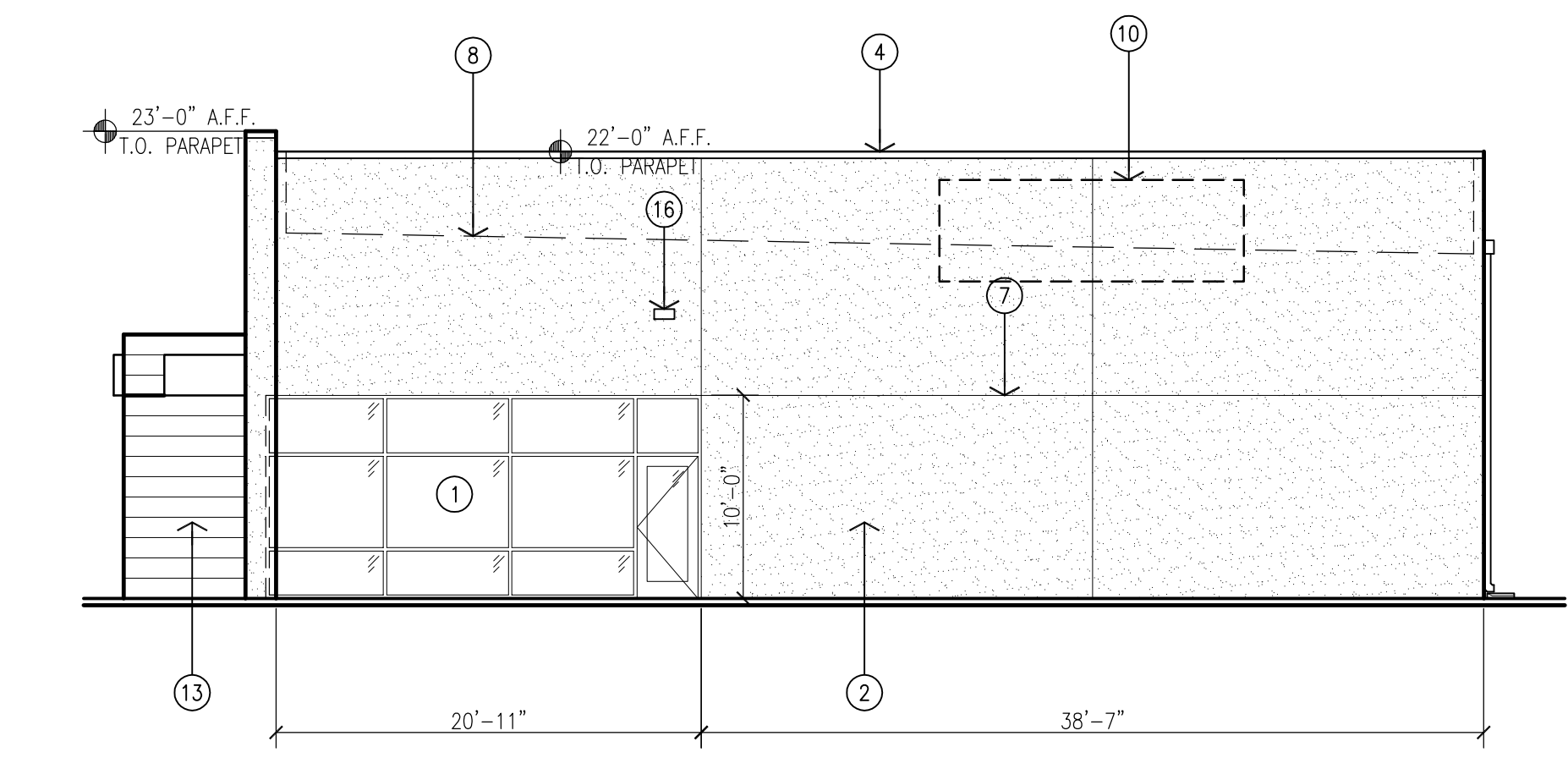
1 North Elevation
Scale: 1/8"=1'



2 West Elevation
Scale: 1/8"=1'



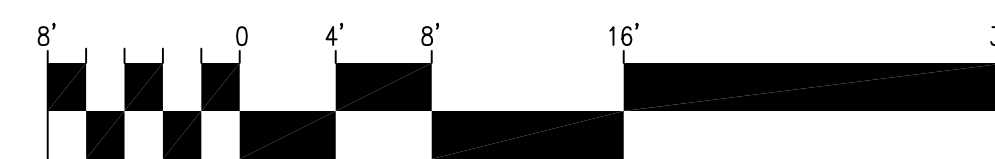
3 South Elevation
Scale: 1/8"=1'



4 East Elevation
Scale: 1/8"=1'

KEYED NOTES:

- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
- [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 1 LIGHT TAN.
- [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 2 MEDIUM BEIGE.
- [4] PRE-FINISHED SHEET METAL PARAPET CAP TO MATCH STUCCO FINISH COLOR.
- [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
- [6] 12" HIGH ADDRESS CHANNEL LETTERS.
- [7] STUCCO CONTROL JOINT.
- [8] LINE OF ROOF LEVEL BEYOND.
- [9] LINE OF EXTERIOR FINISH GRADE.
- [10] POTENTIAL OWNER PROVIDED SIGNAGE. PROVIDE POWER.
- [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
- [12] PREFINISHED FIBER CEMENT WALL PANELS OVER A RAINSCREEN SYSTEM. NICHHA: VINTAGE WOOD - CEDAR, AWP 3030 HORIZONTAL INSTALLATION (OR EQUAL).
- [13] PREFINISHED METAL PANEL SYSTEM WITH CONCEALED FASTENERS OVER A RAINSCREEN SYSTEM. CENTRA: IW-10A VERTICAL INSTALLATION, RICH BLACK 9916.
- [14] PARAPET BEYOND.
- [15] SHEET METAL TO MATCH SF.
- [16] LIGHT FIXTURE. SEE ELECTRICAL.
- [17] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- [18] STEEL FRAMED OPEN AIR CANOPY.



GENERAL NOTES:

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- [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

SIGNAGE CALCULATIONS:

BUILDING MOUNTED:

- NORTH ELEVATION- 3,555 SF X 6%
213 SF ALLOWED
213 SF ILLUMINATED PROVIDED
- EAST ELEVATION- 1,300 SF X 6%
78 SF ALLOWED
78 SF ILLUMINATED PROVIDED
- SOUTH ELEVATION- 3,176 SF X 9%
190 SF ALLOWED
190 SF ILLUMINATED PROVIDED
- WEST ELEVATION- 1,300 SF X 6%
78 SF ALLOWED
78 SF ILLUMINATED PROVIDED

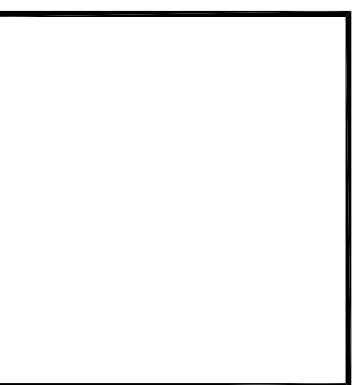
NOTE: ONLY 1 BUILDING MOUNTED SIGN IS PERMITTED PER FACADE PER BUSINESS.

DESCRIPTION

BY

DATE

REV



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JOB NUMBER 16-53

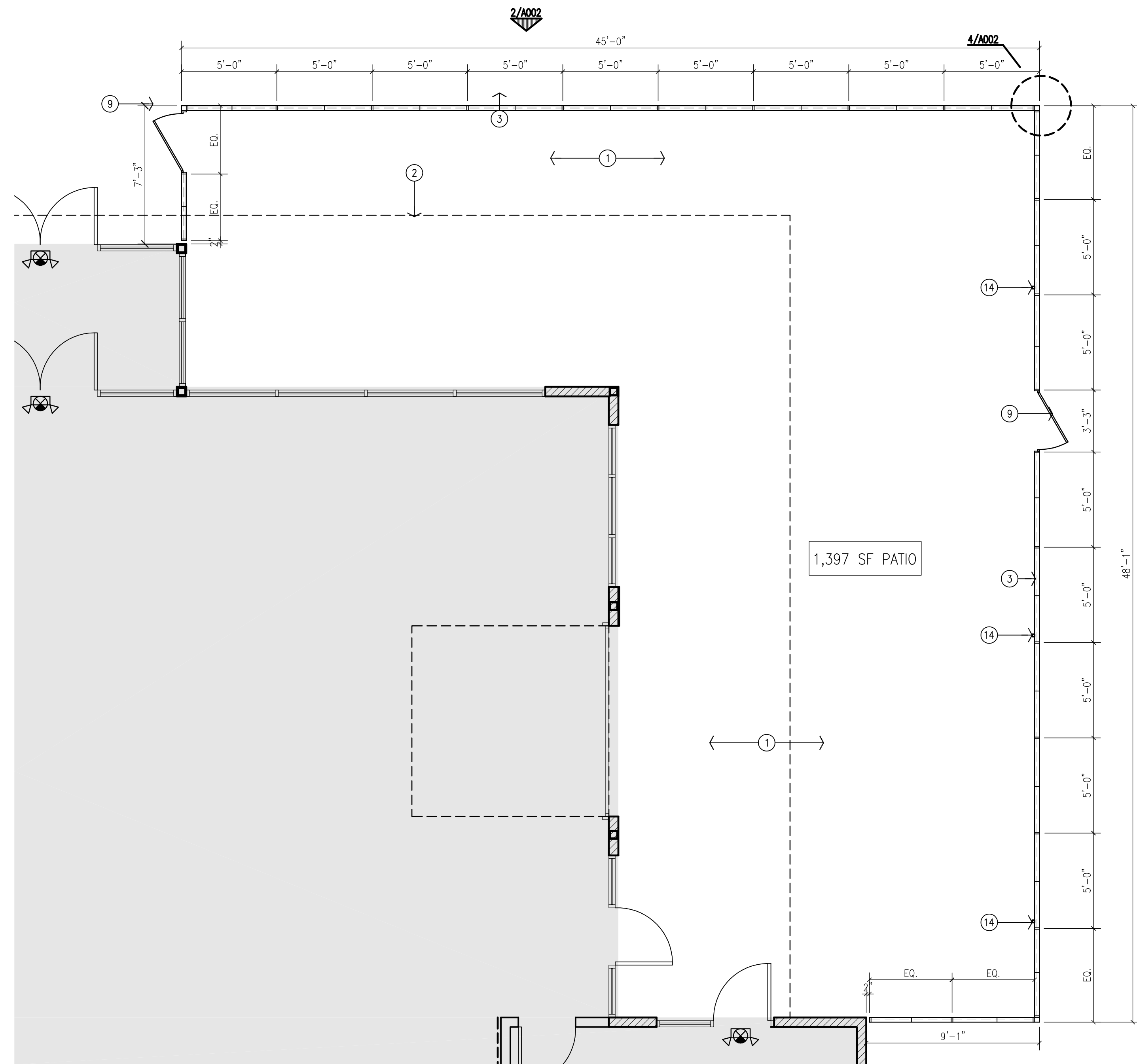
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PROJECT MGR JDH

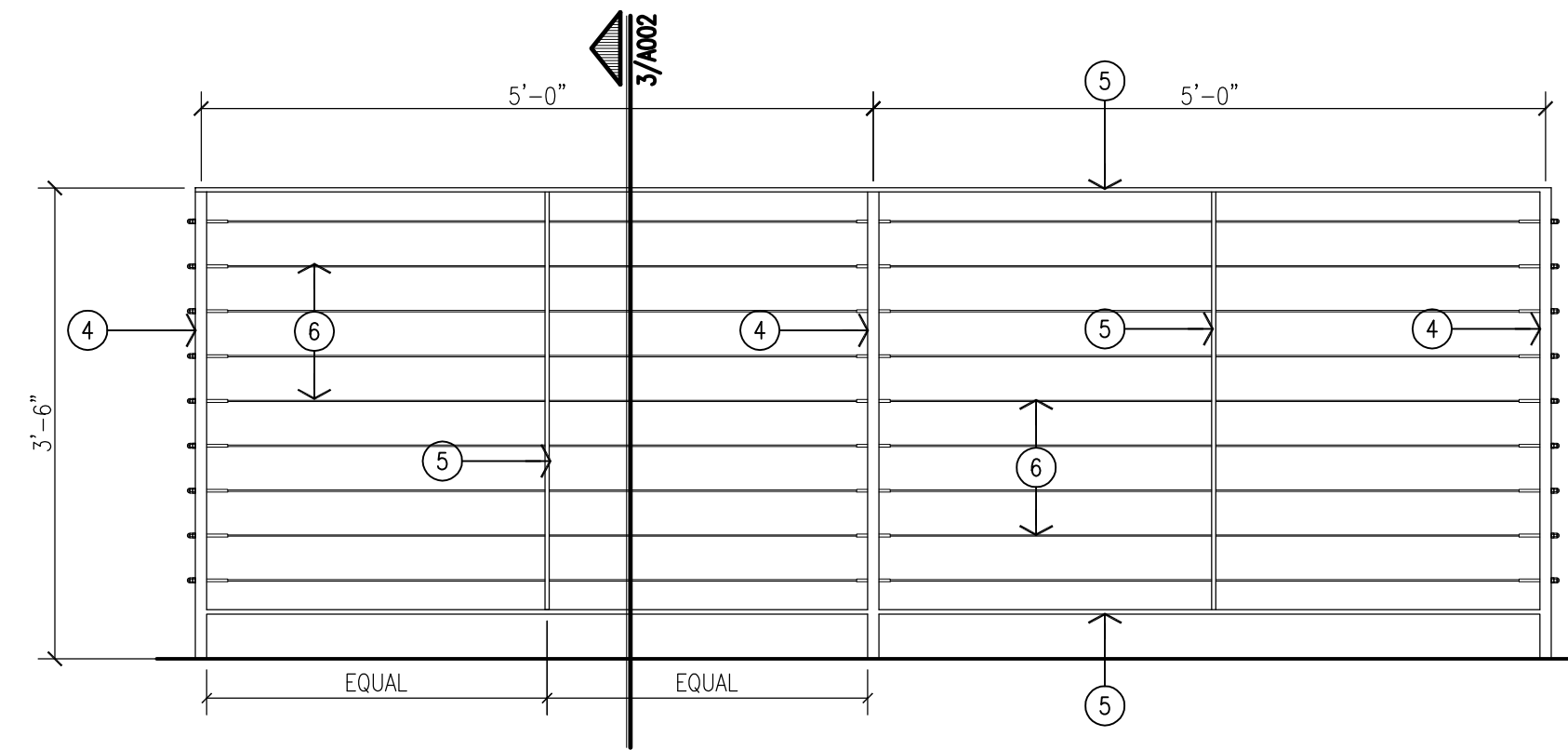
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PHASE CD

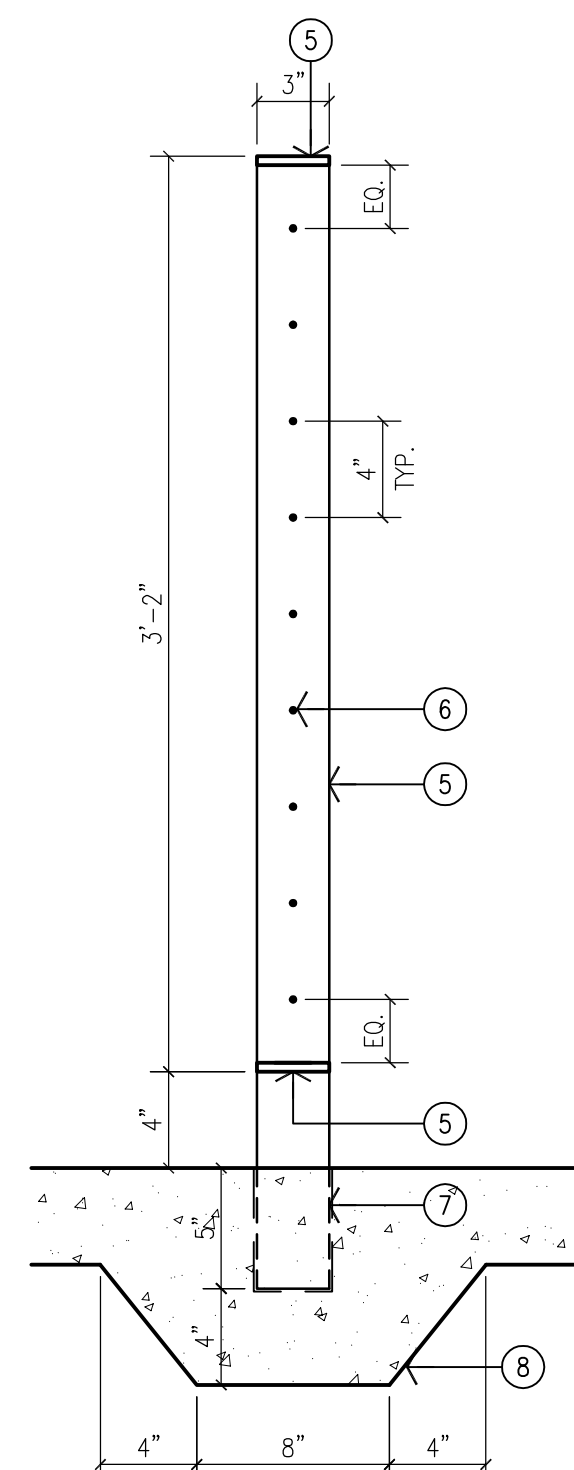
PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120
TITLE
Exterior Elevations



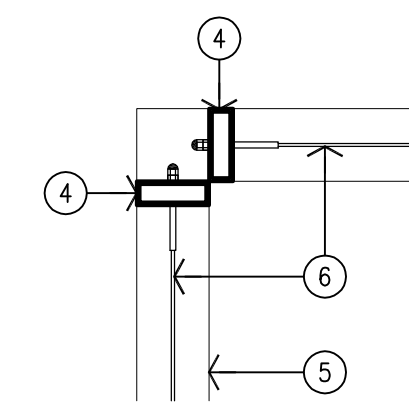
1 Enlarged Site Plan
Scale: 1/4"=1'-0"



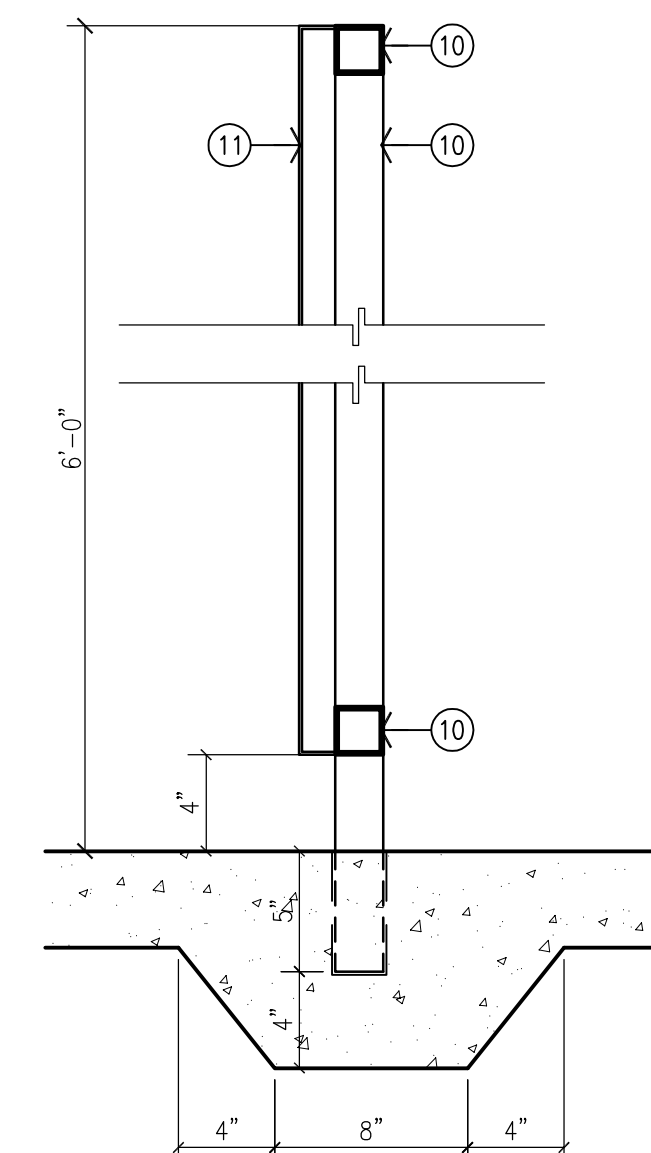
2 Typical Railing Elevation
Scale: 3/4"=1'-0"



3 Railing Section
Scale: 1 1/2"=1'-0"

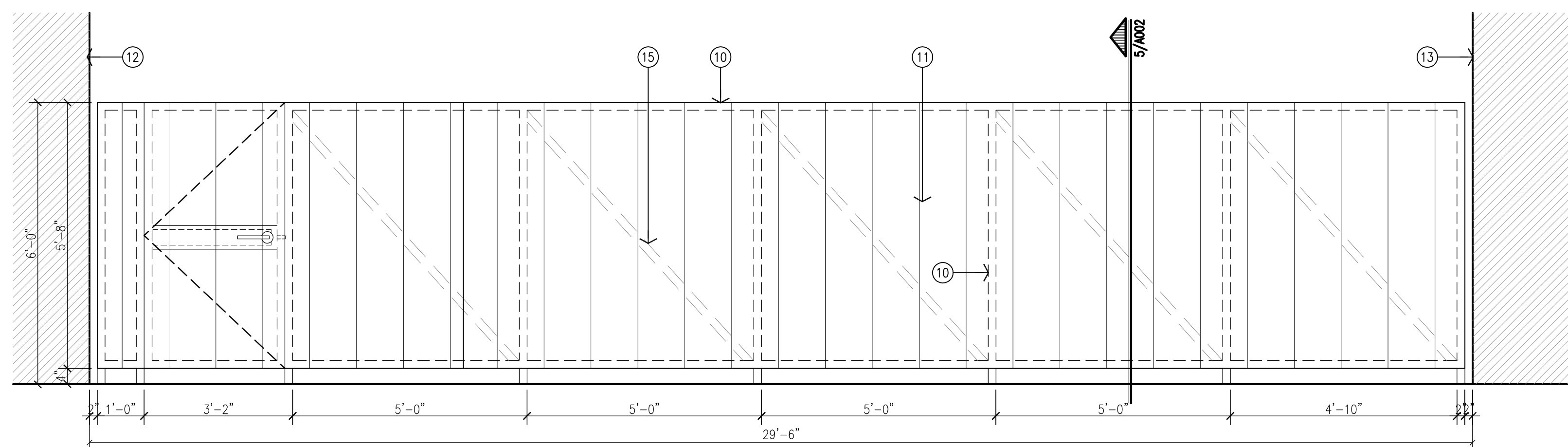


4 Railing Plan Detail
Scale: 1 1/2"=1'-0"

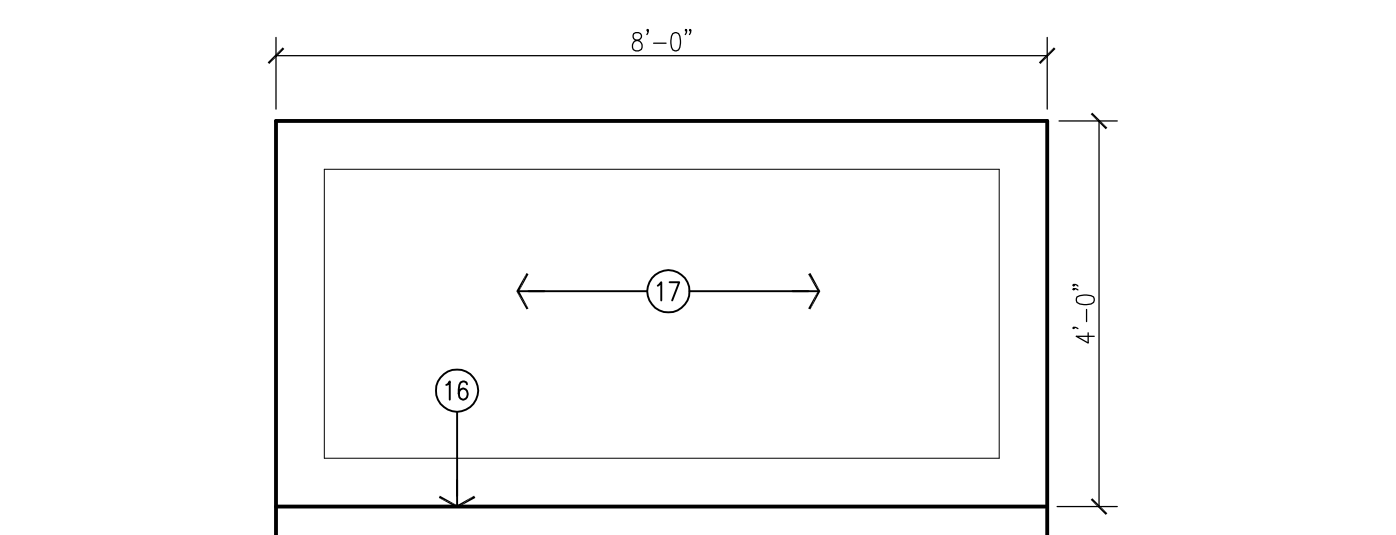


5 Railing Section
Scale: 1 1/2"=1'-0"

- KEYED NOTES:**
- [1] CONCRETE PATIO. REFER TO CIVIL.
 - [2] LINE OF CANOPY ABOVE.
 - [3] STEEL RAILING, PAINTED. REFER TO ELEVATIONS & DETAILS.
 - [4] 1"x3" TUBE STEEL FRAME, PAINTED.
 - [5] 3"x3/8" STEEL BAR, PAINTED.
 - [6] 1/8" STAINLESS STEEL CABLE RAIL WITH STAINLESS STEEL STANDARD ASSEMBLY PARTS.
 - [7] STEEL SLEEVE IN CONCRETE.
 - [8] THICKENED CONCRETE SIDEWALK AT RAILING.
 - [9] PATIO EXIT GATE WITH PASSAGE LEVER SET ON OUTSIDE AND PANIC DEVICE FROM INSIDE PATIO SIDE.
 - [10] 2"x2" TUBE STEEL FRAME.
 - [11] METAL PANEL SYSTEM WITH CONCEALED FASTENERS (TO MATCH BUILDING STANDARD) ATTACHED TO TUBE STEEL FRAME.
 - [12] LINE OF SHELL BUILDING.
 - [13] LINE OF FUTURE BUILDING.
 - [14] WELD 1 1/2" X 1 1/2" TUBE STEEL FRAME TO 9' FOR FUTURE ROPE LIGHT CONNECTION. PAINT.
 - [15] 2X2 STEEL ANGLE BRACING.
 - [16] CONCRETE SIGN BASE/
 - [17] 32SF INTERNALLY ILLUMINATED MONUMENT SIGN WITH FINISH TO MATCH METAL PANEL ON BUILDING.

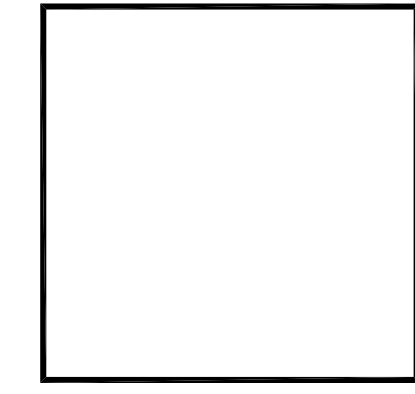
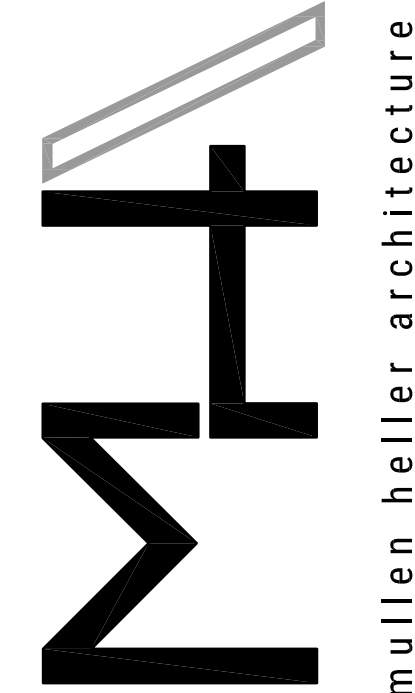


6 Fence Elevation
Scale: 1/2"=1'-0"



7 Monument Sign Elevation
Scale: 1/2"=1'-0"

| REV | DATE | DESCRIPTION |
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| 1 | | |
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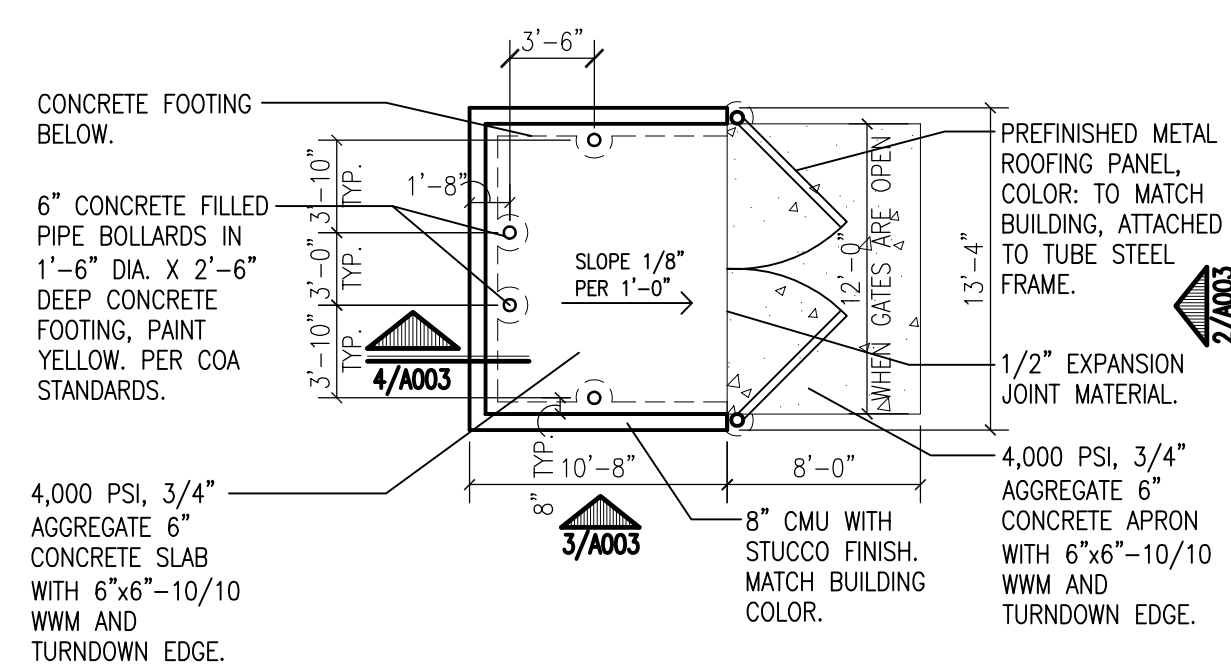


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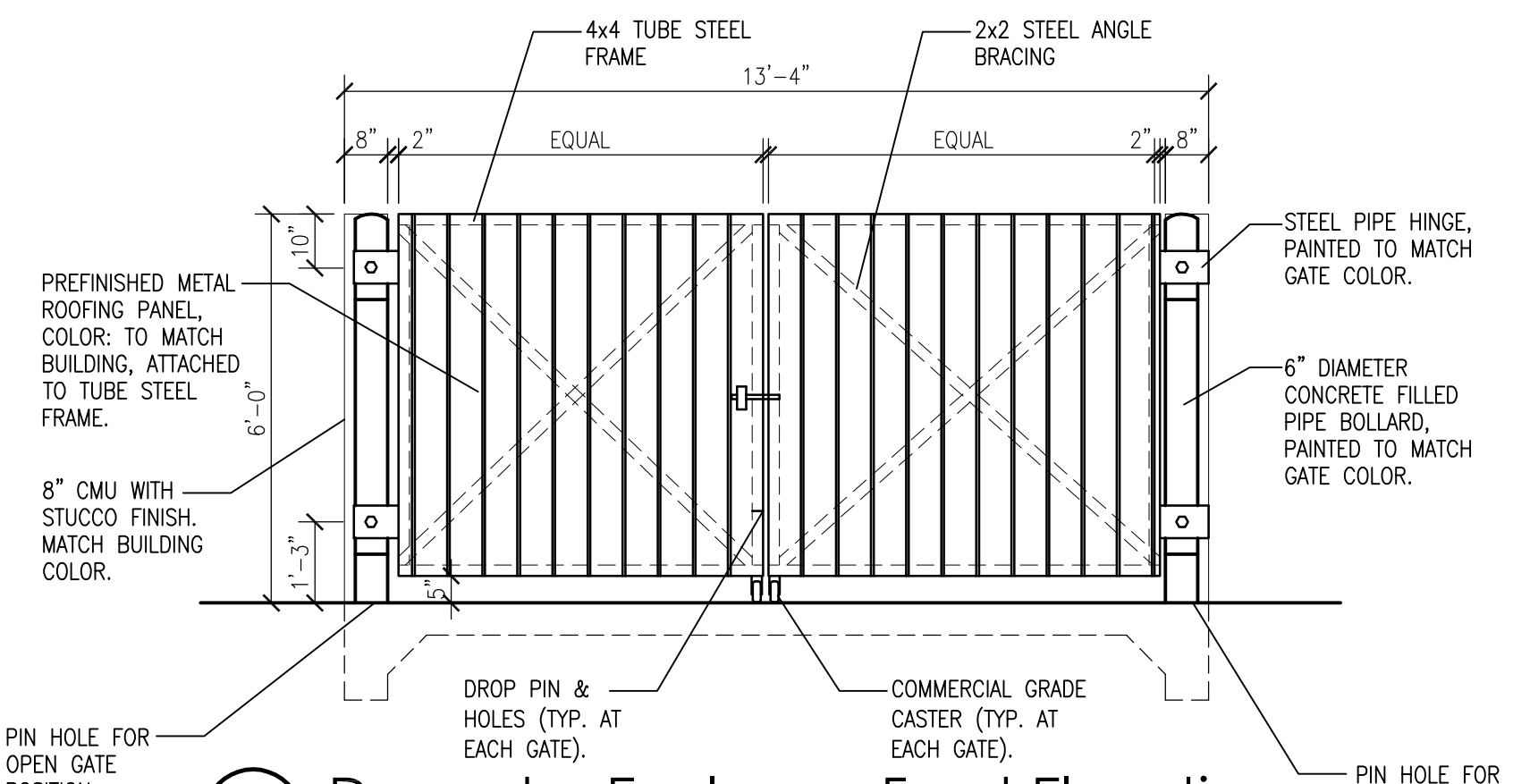
| | |
|-------------|-----------|
| JOB NUMBER | 16-53 |
| DRAWN BY | AV |
| PROJECT MGR | JDH |
| DATE | 1-31-2018 |
| PHASE | CD |

PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

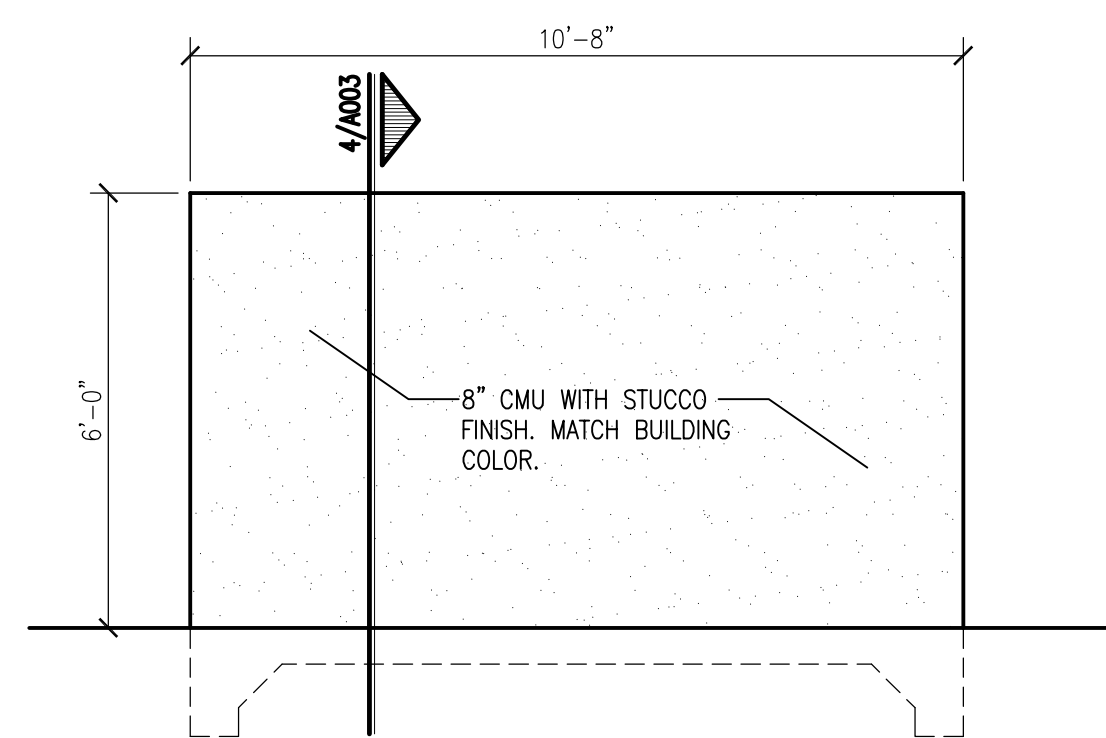
TITLE
Enlarged Patio Plan & Details



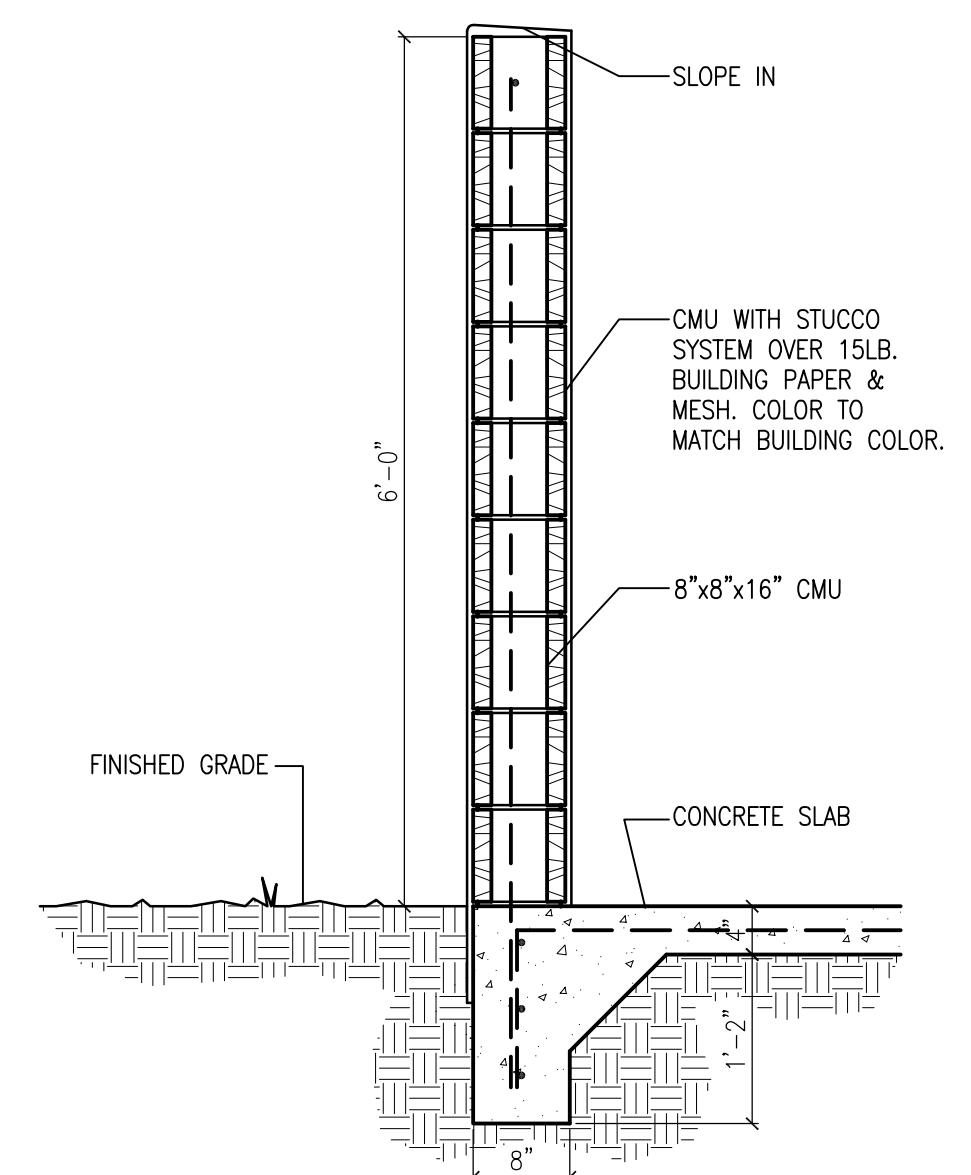
1 Dumpster Enclosure Plan
Scale: 1/8"=1'-0"



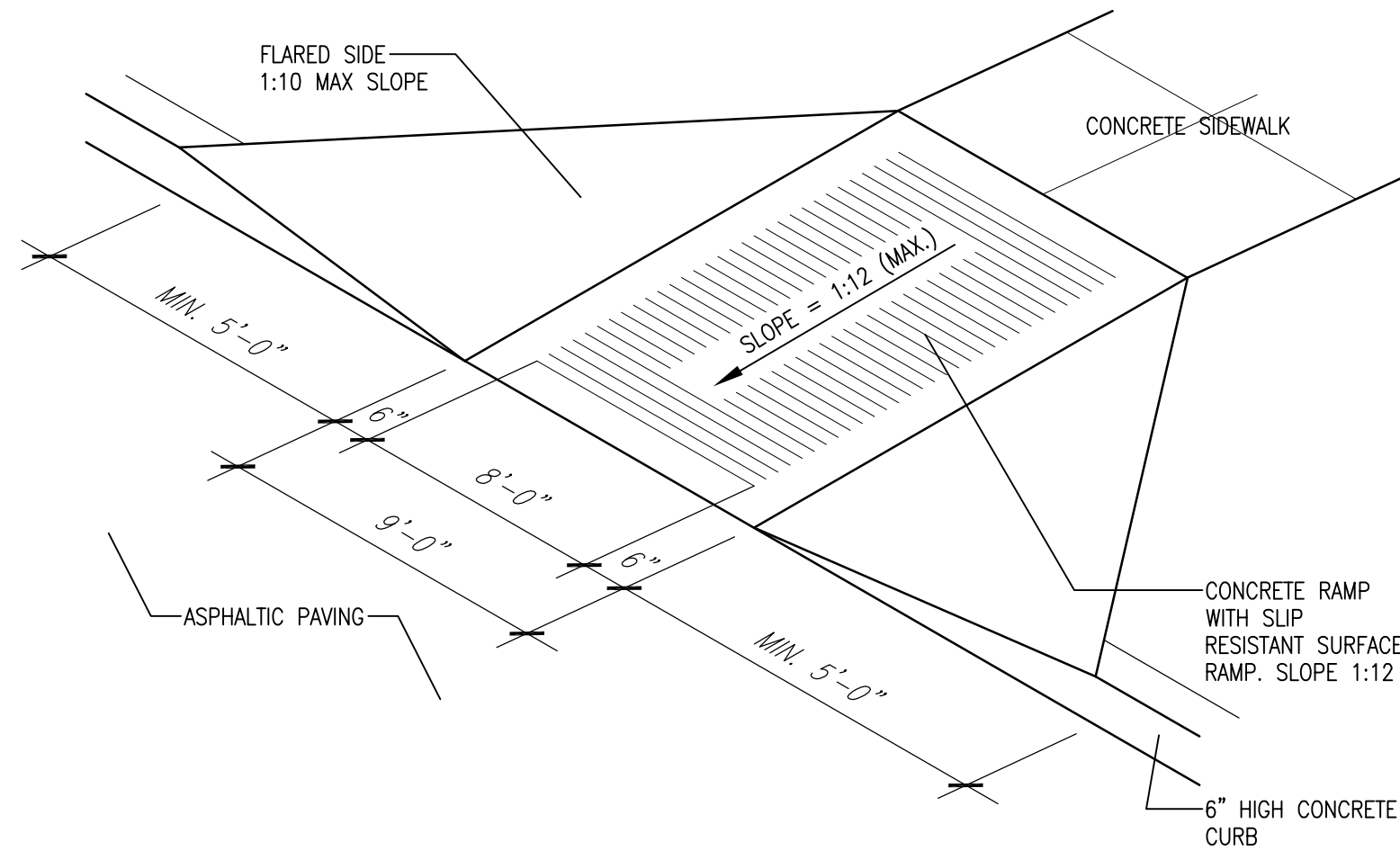
2 Dumpster Enclosure Front Elevation
Scale: 3/8"=1'-0"



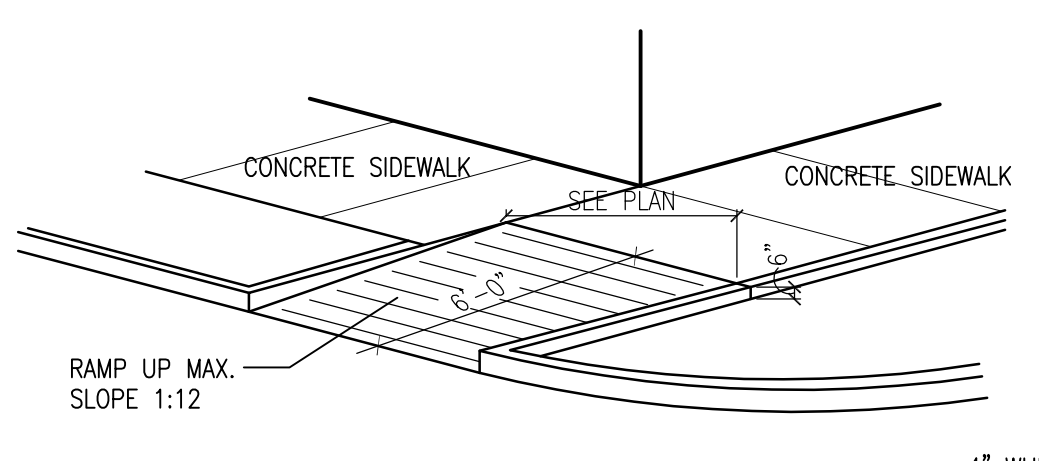
3 Dumpster Enclosure Side Elevation
Scale: 3/8"=1'-0"



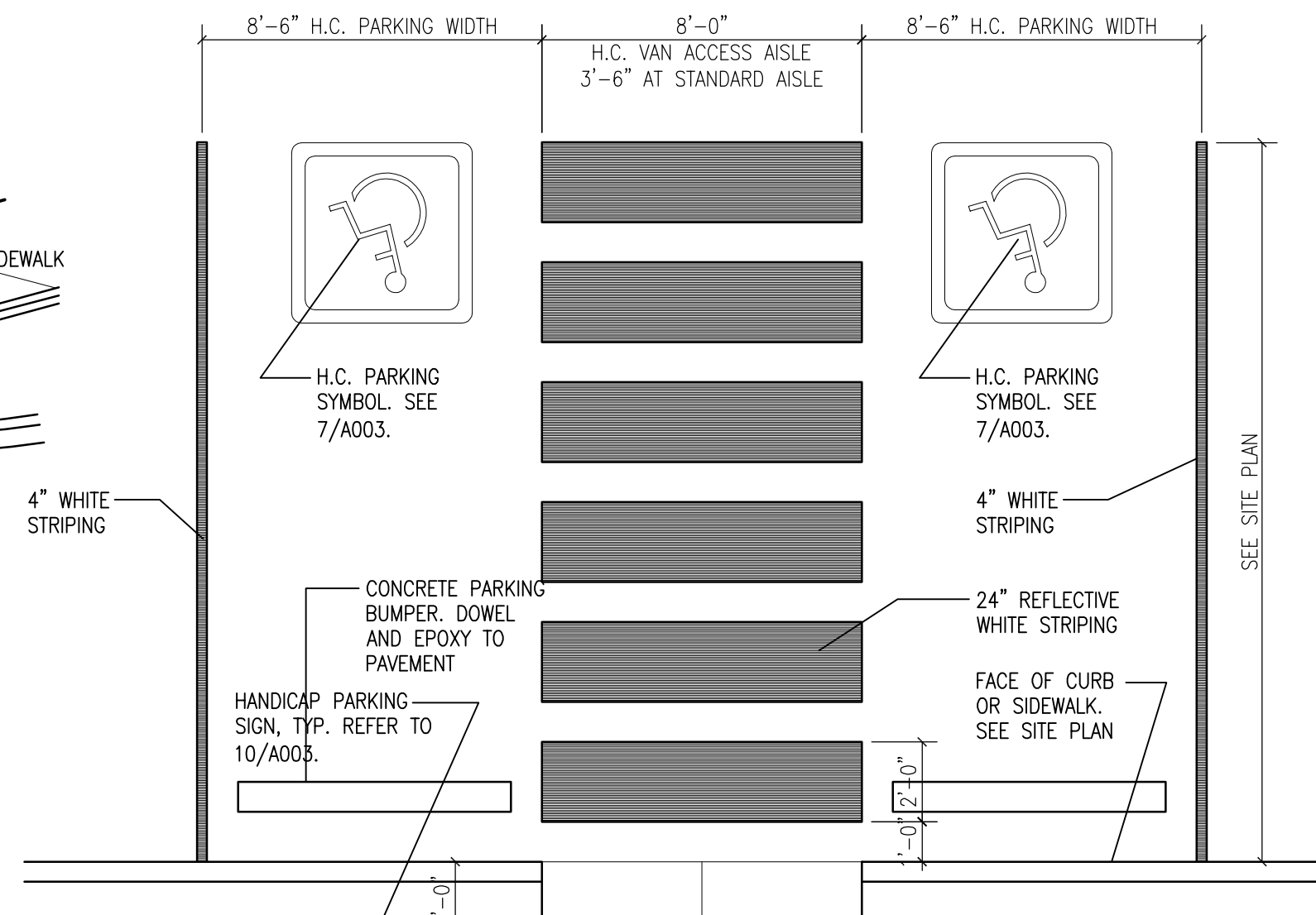
4 Refuse Enclosure Wall Section
Scale: 1"=1'-0"



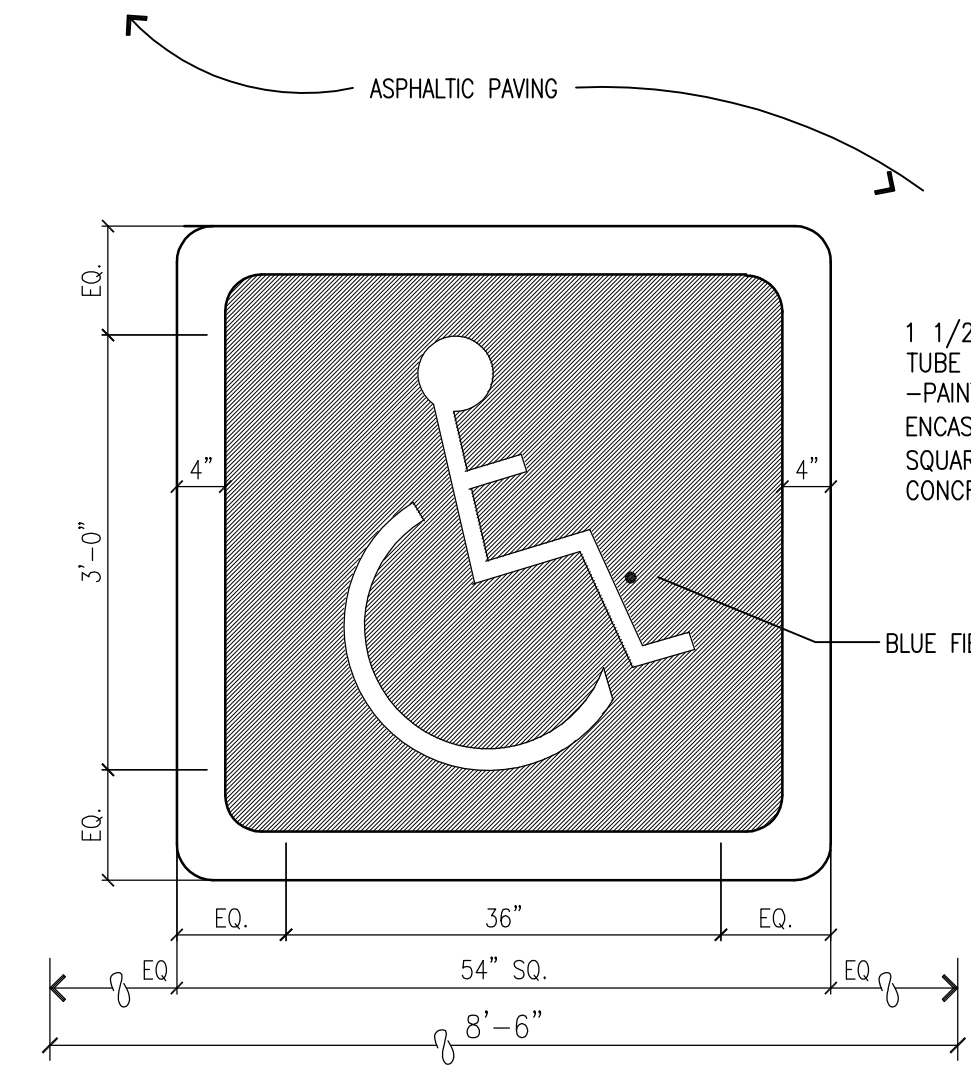
5 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



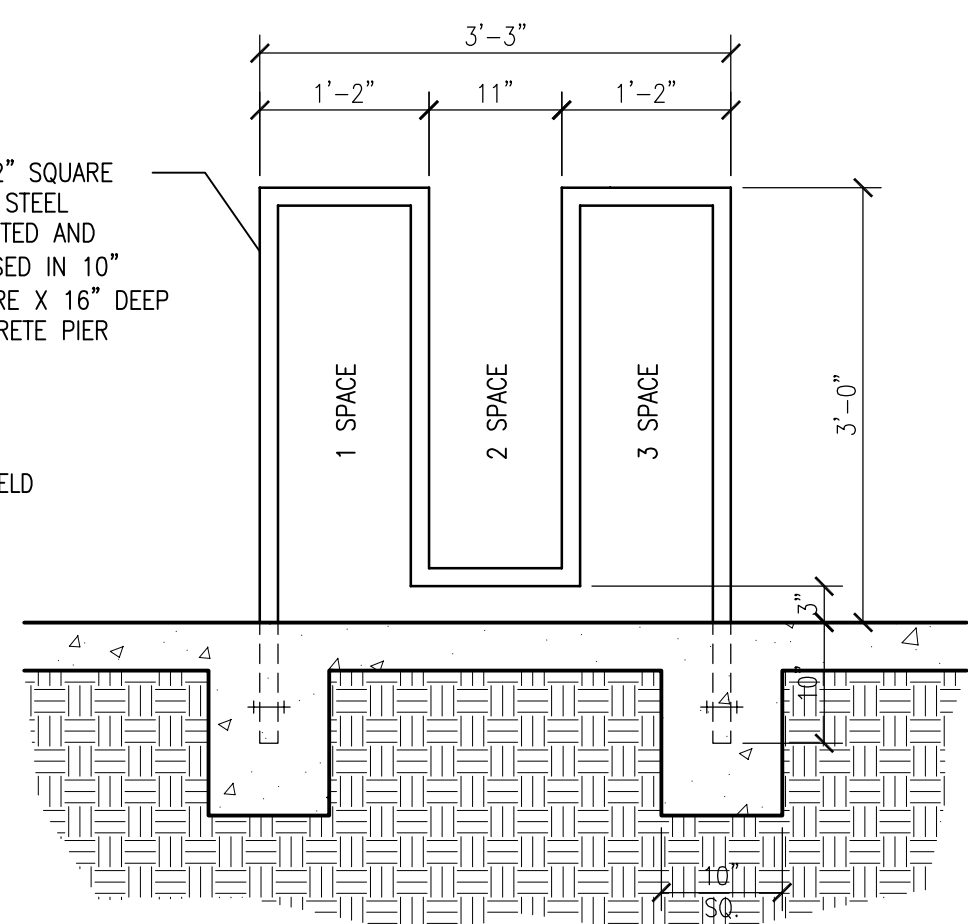
5A H.C. Ramp Detail
Scale: Not To Scale (Isometric)



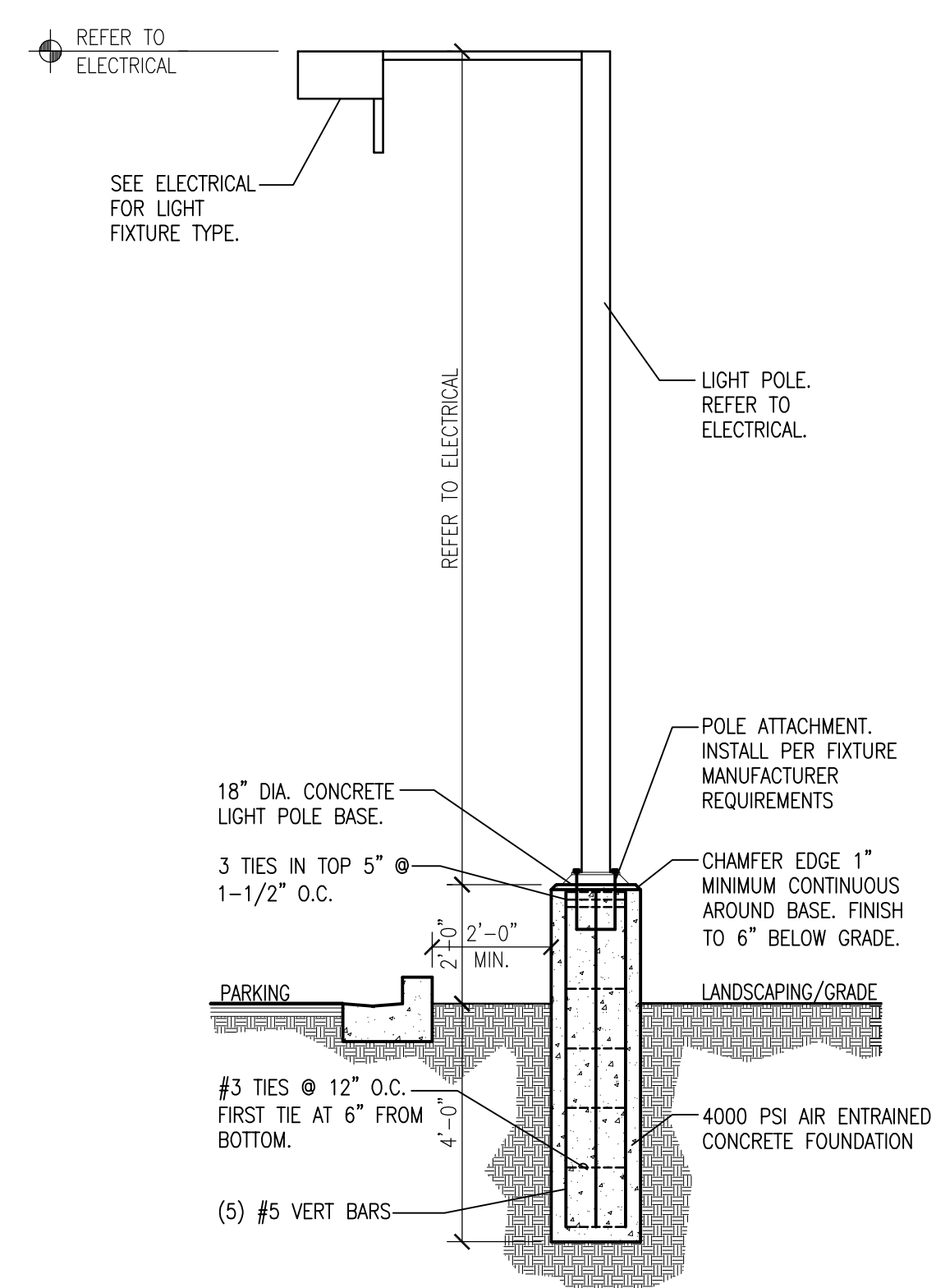
6 HC Parking Striping Detail
Scale: 1/4"=1'-0"



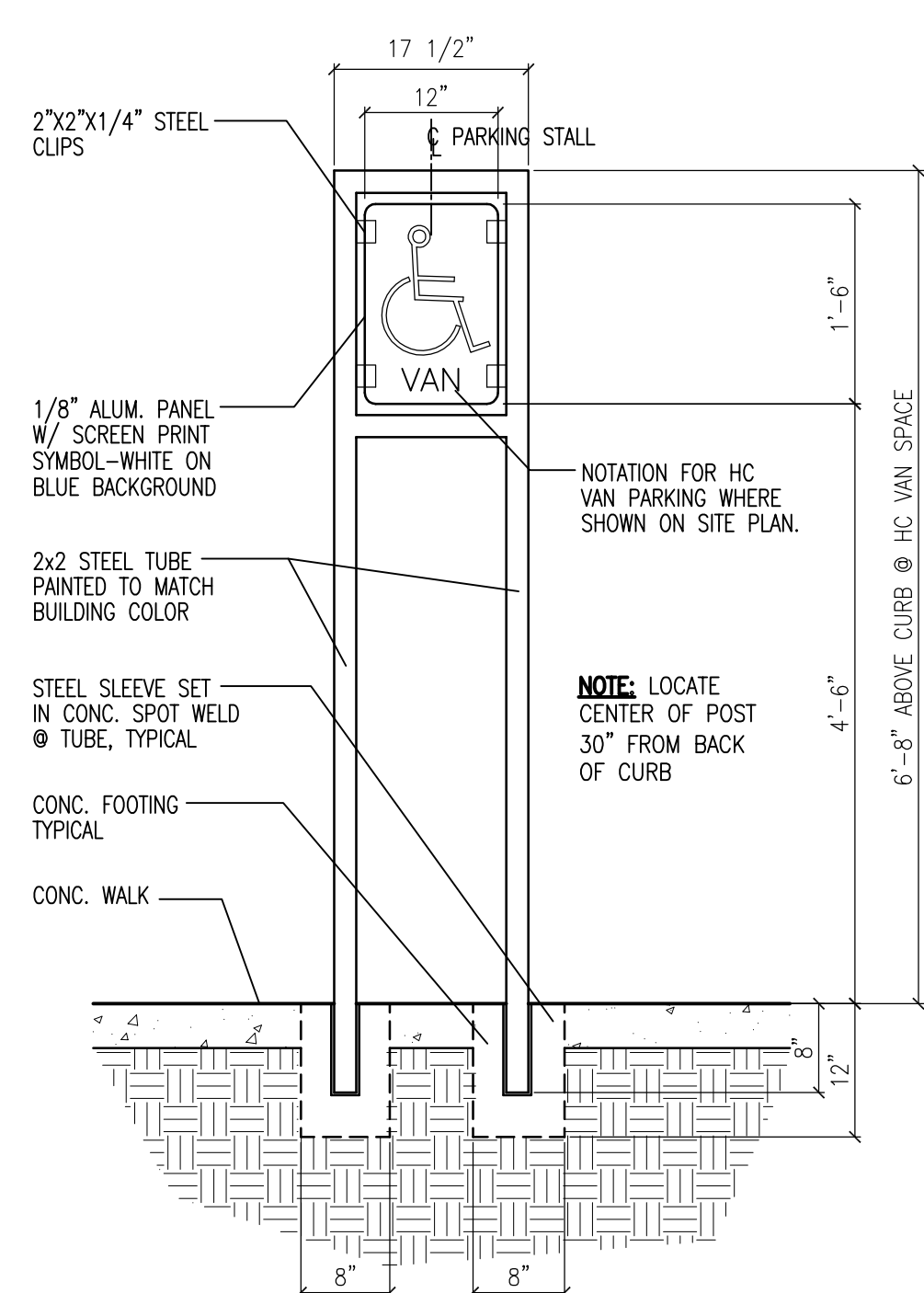
7 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



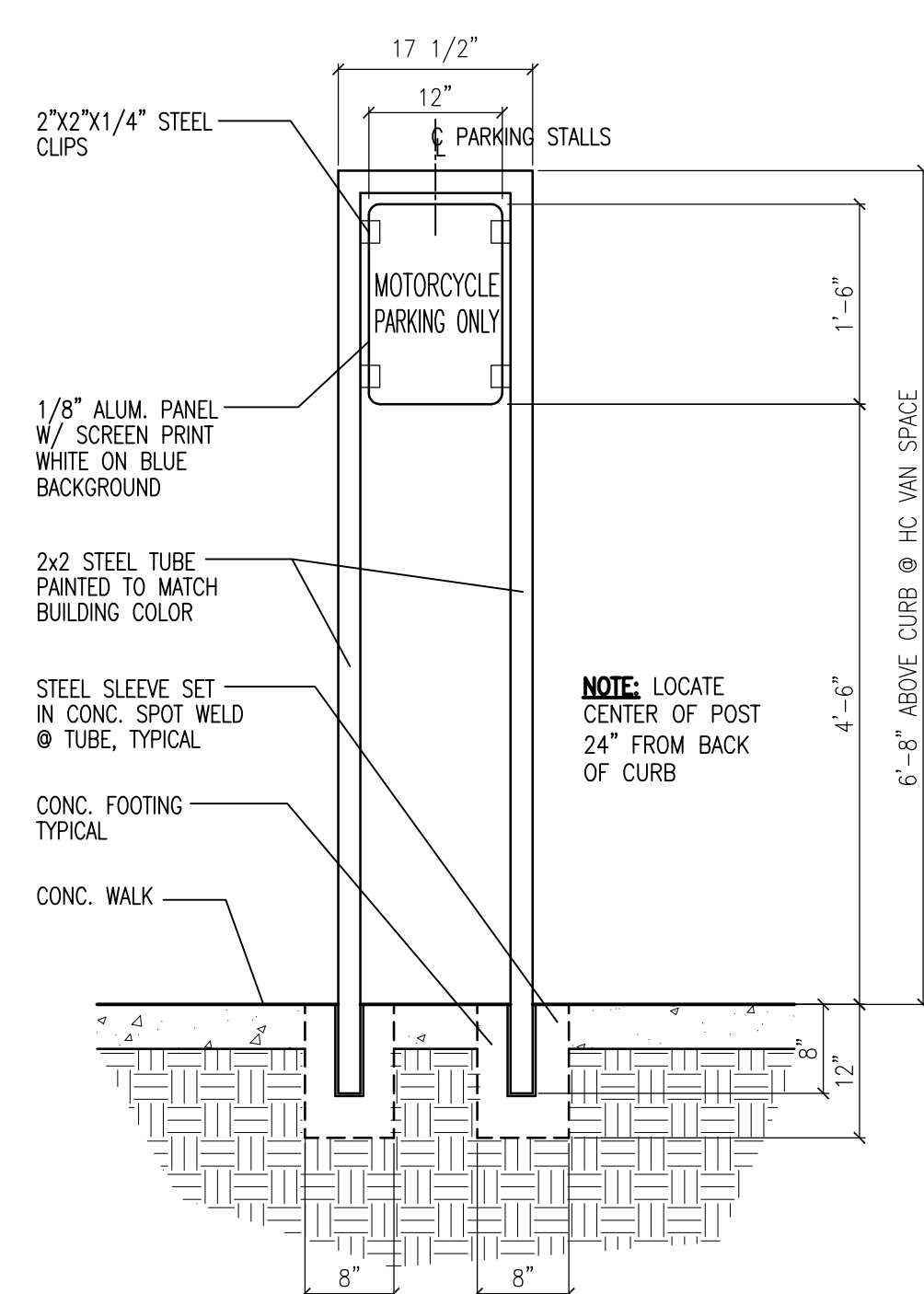
8 Bicycle Rack Detail
Scale: 3/4"=1'-0"



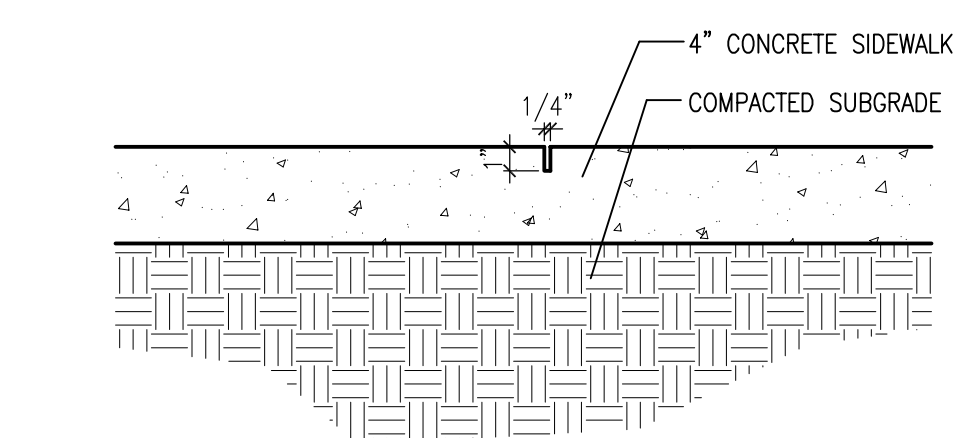
9 Light Pole Detail
Scale: 3/8"=1'-0"



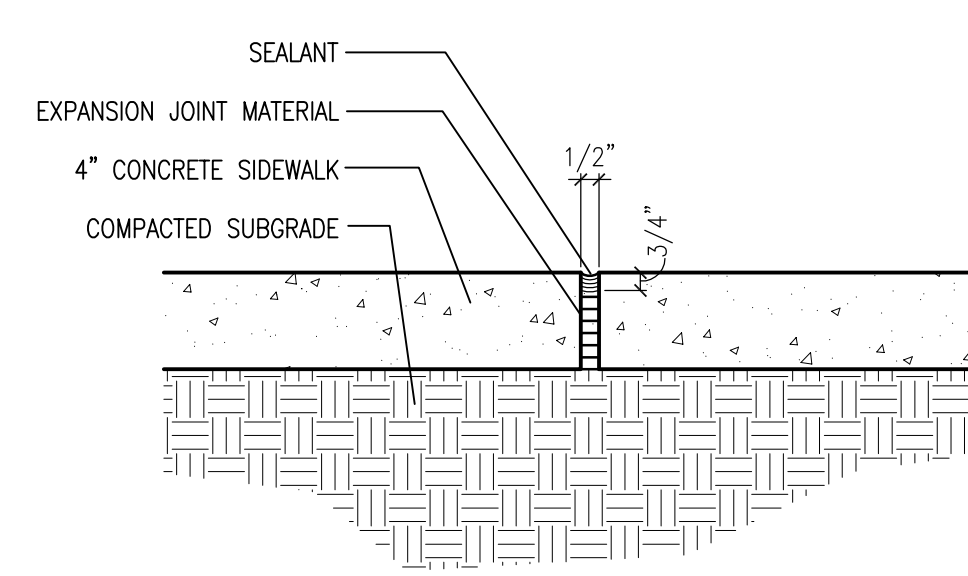
10 HC Parking Sign Detail
Scale: 3/4"=1'-0"



11 MC Parking Sign Detail
Scale: 3/4"=1'-0"

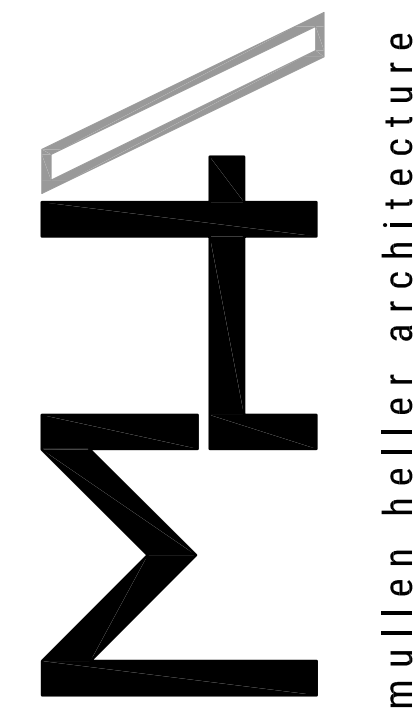


12 Contraction Joint Detail
Scale: 1-1/2"=1'-0"



13 Expansion Joint Detail
Scale: 1-1/2"=1'-0"

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TITLE
Site Details