

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT# 1001523

NAME: LADERA BUSINESS PARK Unit 1,

AGENT: AKT ARCHITECTS LLC

Your request was approved on 8-26-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA: Availability statement, revise FH

City Engineer:

Parks and Recreation :

Planning:

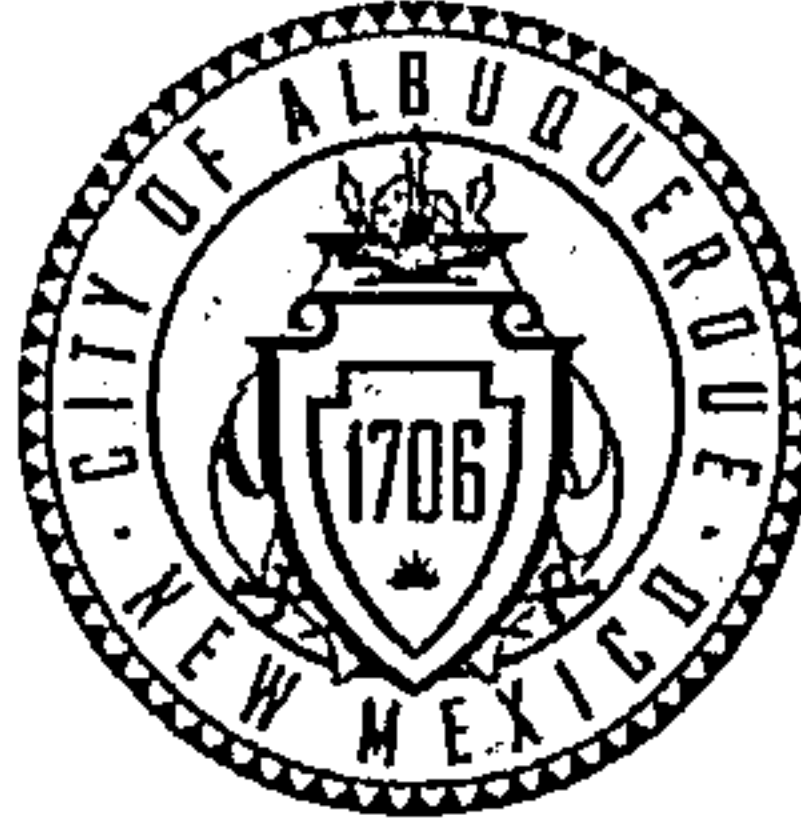
15 day appeal

PLATS:

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1001523

Board hearing date:

WEDNESDAY, August 5, 2015



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
___ Major subdivision action			___ Annexation
___ Minor subdivision action			
___ Vacation	V		___ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
___ Variance (Non-Zoning)			___ Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		___ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
___ for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
___ Administrative Amendment (AA)			
___ Administrative Approval (DRT, URT, etc.)			
___ IP Master Development Plan	D		___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			___ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
___ Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KENT TRAUERNICHT PHONE: 281-9560
 ADDRESS: 55 CAMINO DEL SENADOR FAX: 259-1998
 CITY: TIJERAS STATE NM ZIP 87059 E-MAIL: KTARCH@EARTHLINK.NET
 APPLICANT: WESTERN UNITED ELECTRIC CORP. PHONE: 505-346-9576
 ADDRESS: 7535 2ND ST BLDG D FAX: 505-890-8935
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: DMELE@WUE.CORP
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT OFFICE WAREHOUSE FACILITY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 6 Block: N/A Unit: ONE
 Subdiv/Addn/TBKA: LADERA BUSINESS PARK
 Existing Zoning: SU-1 LIGHT INDUSTRIAL Proposed zoning: NO CHANGE MRGCD Map No _____
 Zone Atlas page(s): H-10 UPC Code: 101005918035720105

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
PROJECT NO. 1001523 / ORIG APP NO 03-01458

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.06
 LOCATION OF PROPERTY BY STREETS: On or Near: ADDRESS: 7311 LA MARADA PL. NW
 Between: UNSER BLYD. and 72ND ST
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: N/A

SIGNATURE [Signature] DATE _____
 (Print Name) KENT TRAUERNICHT Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15DRB - 70246</u>	<u>SBP</u>		<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>		<u>\$75.00</u>
<input checked="" type="checkbox"/> All case #'s are assigned	_____	<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____		\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed	_____	_____		\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____		\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$480.00</u>

Hearing date August 5, 2015

[Signature]
 7-9-15
 Staff signature & Date

Project # 1001523

Revised: 11/2014

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KENT TRAUERNICHT
 Applicant name (print)
K. Trauernicht 7/10/15
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15DRB 70246

Kay 7-9-15
 Planner signature / date
 Project # 1001523

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 21, 2015 To August 5, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

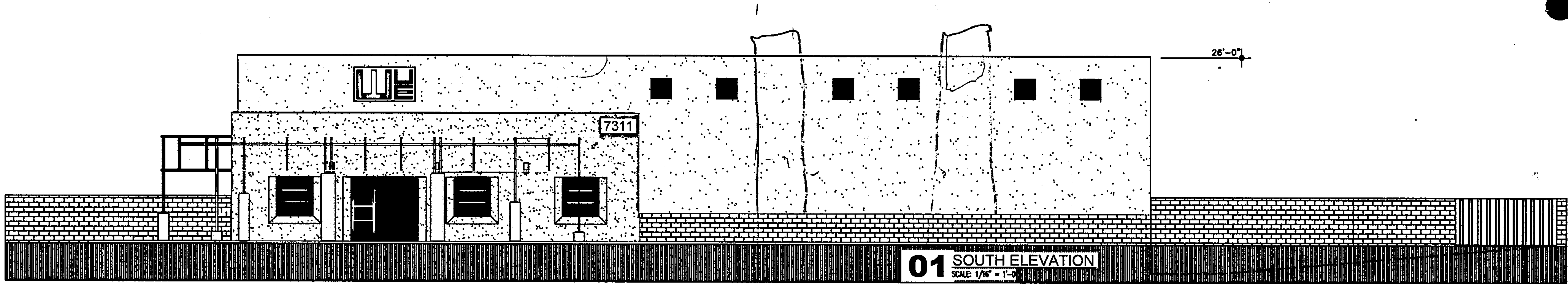
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

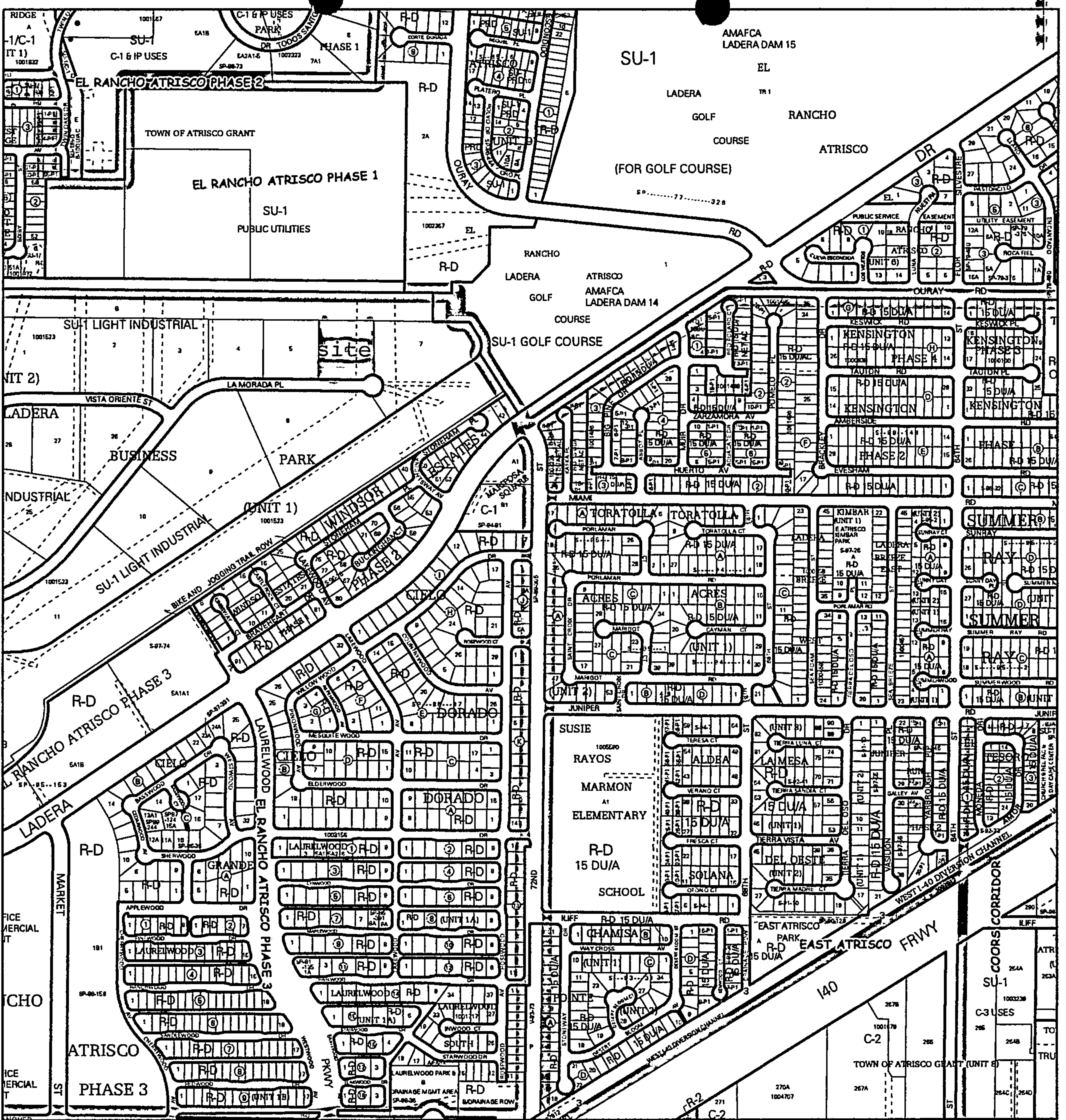
[Signature]
(Applicant or Agent)

7/21/15
(Date)

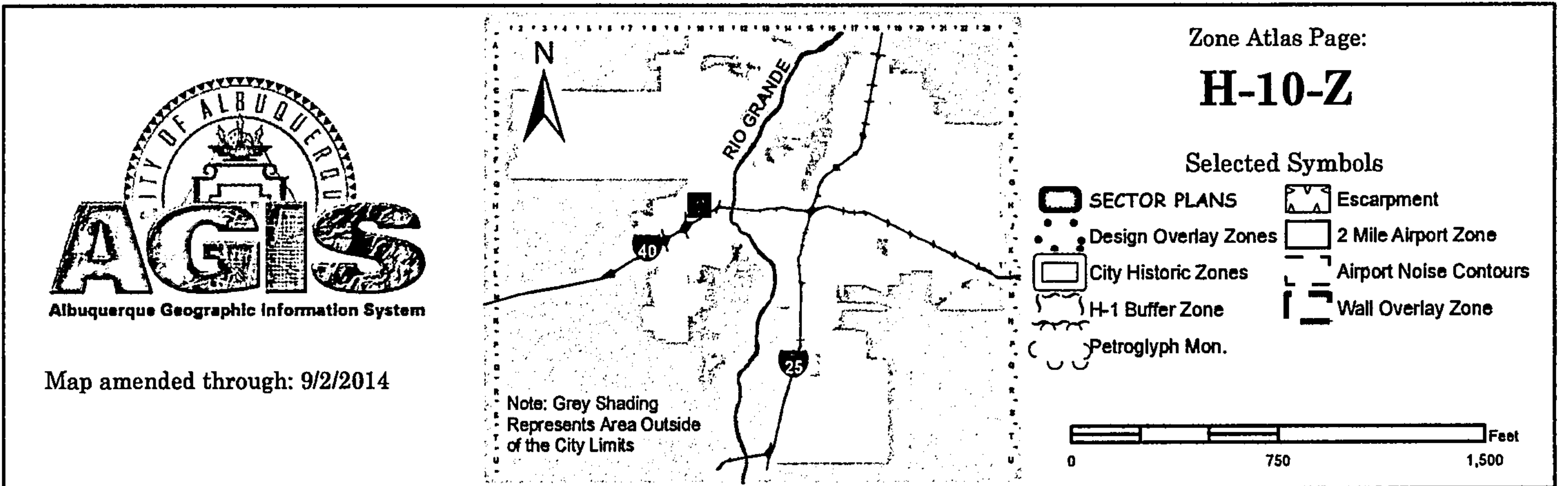
I issued 1 signs for this application, 7-9-15 [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 1001523





For more current information and details visit: <http://www.cabq.gov/gis>





P. O. B O X 3 3 6 6
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

July 8, 2015

City of Albuquerque
Planning Department
Planning and Development
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit
Western United Electric Corp., Office/Warehouse
Tract 6, Ladera Business Park, Unit 1
7311 La Marada Pl. NW
Albuquerque, NM 87120

We request a DRB hearing for the purpose of obtaining a building permit for the referenced office/warehouse project. The property is zoned SU-1 for Light Industrial Use. The project is an office and warehouse with yard. It is designed to blend and compliment, in form, color, and setting, the surrounding improvements and buildings.

Kent Trauernicht

A handwritten signature in black ink, appearing to read "K Trauernicht". The signature is written in a cursive, somewhat stylized font.

AKT Architects, LLC



WESTERN UNITED ELECTRIC SUPPLY CORPORATION

100 BROMLEY BUSINESS PARKWAY

BRIGHTON, COLORADO 80603

PHONE (303) 659-2356

July 7, 2015

City of Albuquerque
Planning Department
Planning and Development
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit
Western United Electric Corp., Office/Warehouse
Tract 6, Ladera Business Park, Unit 1
7311 La Marada Pl. NW
Albuquerque, NM 87120

Please be advised that Kent Trauernicht, AKT Architects is authorized to act on our behalf and represent us for the required City review and approval processes concerning this project.

David Mele

Chief Operations Officer
Western United Electric Supply Corp



P. O. B O X 3 3 6 6
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

July 8, 2015

Ladera West Neighborhood Assoc.
Steven Collins
7517 Vista Alegre NW
Albuquerque, NM 87120

Ladera West Neighborhood Assoc.
Shariesse Taylor McCannon
2808 El Tesoro Escondido NW
Albuquerque, NM 87120

RE: Site Development Plan for Building Permit
United Western Electric Corp., Office/Warehouse
Tract 6, Ladera Industrial Center
Zoned SU-1 for Light Industrial Use
7311 La Marada Place NW
Albuquerque, NM 87120

Please find enclosed the DRB submittal package for the above referenced project. This package is for your information and review. We will submit to the Design Review Board Friday July 10, 2015 and will be heard on August 5, 2015. If you have any questions, comments, or would like additional information please let me know.

Kent Trauernicht

AKT Architects, LLC

LADERA BUSINESS PARK DESIGN GUIDELINES FOR LOTS 12-23 & 29

The purpose of these Design Guidelines is to guide development of Lots 12-23 and 29 in the Ladera Business Park in order to create a high quality pedestrian friendly commercial center. The guidelines set out standards for building design, site plan, landscaping, and parking. These standards are intended to be used in conjunction with the City of Albuquerque's Comprehensive Zoning Ordinance and other applicable codes. These standards have been selected to best serve the goals of the Ladera Business Park and surrounding residential neighborhoods. While the design guidelines listed on about 2 pertain to the Ladera Business Park, the guidelines listed below provide additional architectural guidance for the property.

Design Standards were written to resolve the use of common design elements to unify the project functionally and architecturally. The integration of design elements used to unify the project are:

- Building groupings to reinforce a "main street" theme
- Organization of parking fields to minimize their impact on patrons and the immediate environment
- A strong internal pedestrian path network
- Aesthetic continuity through the use of common building forms and materials
- A common building signage system
- A common landscaping theme

An Architectural Review Committee (ARC), formed by the property owners and master developer, will analyze all potential projects within these standards to ensure the realization of the Development Concept. A conceptual site plan, landscaping plan, and building elevations shall be submitted to the ARC by individual project developers for review and comment. Approval must be obtained prior to proceeding with construction documents and substantial for building permit. Approval will be granted when the Architectural Review Committee is satisfied with the requirements of these standards to the satisfaction of the ARC.

The Main Street

Intent:
The development's primary organizing element is an internal "main street" to which the majority of buildings relate. Buildings along the main street shall be grouped together and oriented to face the street to encourage a pedestrian environment where patrons can park once and walk between the various uses. Spaces between buildings shall be utilized as plaza areas and outdoor gathering places for dining and other outdoor activities. Consecutive parking shall be provided along the main street with drive aisles between buildings to provide access to parking areas behind them. Two traffic circles will act as focal points, traffic calming devices, and opportunities to create patron gathering spaces. Primary entrances to buildings shall be provided on the main street, at the traffic circles, or on side streets. Secondary entrances may be provided at the parking areas behind the buildings.

Design Standards:

- Orient buildings to face the main street with parking fields behind them.
- Group buildings together to maintain the continuity of the main street facade. Provide pedestrian plaza spaces between buildings.
- Access drives to rear parking areas shall be shared so that they occur on only one side of each building.
- Locate primary building entrances on the main street, at the traffic circles where they occur, or along access drives to rear parking areas. Secondary entrances may be provided at the rear parking areas to create "walk through" buildings.
- Shaded portales or canopies shall be provided along the main street and at building entrances.

Trash receptacles and service areas shall be located at the rear of these buildings with appropriate screening as described in the Site Plan.

Pat Site along Unser Boulevard

Intent:
Architectural building poles are provided along Unser Boulevard to take advantage of their high visibility. The poles are spaced along Unser to break up the parking areas into smaller cells and to provide gaps between buildings to allow visual access into the site for traffic traveling along Unser Boulevard. These buildings are highly visible from all directions and shall be aesthetically pleasing on all sides.

Design Standards:

- Buildings shall be sited adjacent to the Unser Boulevard right-of-way with parking fields between and behind them. No parking is allowed between the pole site buildings and Unser Boulevard.
- Buildings shall be located to minimize the size of the parking fields between them.
- The buildings at these pole sites shall be treated as "rear sided" buildings with equal architectural emphasis on all sides. Windows shall be appropriately screened to conceal them from view.
- Sidewalks shall be provided on sides of the pole site buildings to provide a pedestrian friendly environment and to connect to the greater pedestrian path network. These sidewalks may be enlarged to create plazas, outdoor dining or patron gathering spaces.
- Shaded portales or canopies shall be provided along pedestrian paths and at building entrances.
- Trash receptacles and service areas shall be located in the parking areas between buildings and away from building entrances. These areas shall be screened as described below in the Site section.

Pedestrian Path Network

Intent:
A strong pedestrian path network is critical in creating a "park once and walk" commercial environment. Shaded sidewalks around the perimeter of buildings connecting to frequent pedestrian friendly walkways through parking areas reinforce this concept. Walkways create patron gathering spaces at building entries and outdoor dining spaces. Connection to off-site pedestrian paths occurs the network by providing continuity with the surrounding area.

Design Standards:

- A continuous 8' wide meandering pedestrian path along Unser shall connect with the existing paths to the north and south. Sidewalks shall be provided that connect this element to the internal pedestrian path network at each pole site and along the main street.
- Shaded crosswalks (speed tables) with special paving shall be provided where pedestrian paths intersect with vehicular paths. These crosswalks shall be provided to create a continuous pedestrian path between buildings and to calm vehicular traffic.
- Continuous sidewalk shall be provided along the main street with raised crosswalks (speed tables) with special paving at intersections with all vehicular drives.
- Benches shall be provided at traffic circles, building entries, and outdoor dining areas. These elements shall be directly adjacent to the pedestrian path network.

Material Forms and Materials

A common architectural theme reinforces the sense of quality and permanence desired for this development. The predominant quality architectural theme is the vicinity is defined by stucco wall systems and pitched Spanish tile roofs. In order to adapt to the sense of quality for the area, the architectural theme for this development is based on these materials as well as other complementary materials used in Spanish Colonial and California Mission architecture.

Design Standards:

- Smaller buildings shall utilize pitched Spanish tile roofs with slopes varying from 3:12 to 6:12 pitch.
- Larger buildings may utilize low-slope roofs with parapets as required over longer span areas, but pitched Spanish tile roofs shall be used as accents at the perimeter and at smaller building elements and porches.
- Vertical wall surfaces shall be predominantly white or light colored earth-tone stucco or EIFS.
- Cut stone, pre-cast concrete or visually similar elements of stucco or EIFS shall be used as accents around prominent entries or other openings, as well as at parapet caps and walkways when they are used.
- Structural elements for portales, balconies, porte cocheres or similar elements shall be either dark stained heavy timber (or visually similar materials) or massive stucco arches.
- Railings shall be of black wrought iron, tubular steel, dark stained wood or other visually similar materials.
- Window frames shall be black, dark stained wood, dark wood tone or appropriately colored aluminum or steel at the discretion of the Architectural Review Committee.
- Window openings, particularly on the South and West facades, may be shaded with cloth awnings (or visually similar materials), louvers, portales, or awnings roofed with Spanish tile and exposed structural elements similar to those described under the ECR bullet point above.
- Roof top mechanical units shall be screened with architecturally integrated parapets, screen walls, or pitched Spanish tile elements at least as tall as the highest part of the equipment.

Sites and Hardscape Materials

Areas:

Sites and hardscape materials shall be complementary to the architectural theme of the development. Appropriate materials include: concrete with exposed materials, colored concrete, brick and concrete pavers.

Design Guidelines

- The predominant hard surfaces for sidewalks, pedestrian crosswalks and plazas may be standard concrete but must have accents of either brick or concrete pavers, or visually similar jointed and colored concrete. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Site furniture such as benches, trash receptacles, light fixtures, bollards, etc shall be of black, dark green or dark red metals. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Pedestrian paths along walkways adjacent to buildings and along the main street shall utilize pedestrian scale light fixtures, twelve feet tall or less, in materials as described in paragraph 2 above.
- Ground level screen walls for utilities and trash enclosures shall be solid with stucco or EIFS finish to match the adjacent or nearby buildings. Gates shall be opaque using dark stained wood or visually similar materials.

Landscaping

Intent:

The general theme and materials of the landscape should be appropriate to our desert climate using hard and drought tolerant water-conserving plants. Patios, courtyards and other patron gathering areas will be treated as oases utilizing shade trees, climbing vines on trellises, or other shading devices to create a cooler outdoor environment. Small fountains or other water features can add further to the sense of oases in these spaces. Care must be taken in selecting plant materials so that excessive shade is absent during the colder months of the year. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

- Plant materials shall be primarily low water use and drought tolerant.
- Density of plant material shall be increased around patron gathering spaces to add "coziness" to these areas. Shade trees, colorful flowering plants and overhanging vines may also be used to reinforce a sense of coziness in these areas.
- Shade trees shall be consistent based on their location. For instance, street trees may be one species and shade trees in patron gathering areas may be another, while parking area shade trees may be another. All shade trees shall be selected to be insect and disease resistant.
- All landscaping shall be served by an automated irrigation system.

Signage

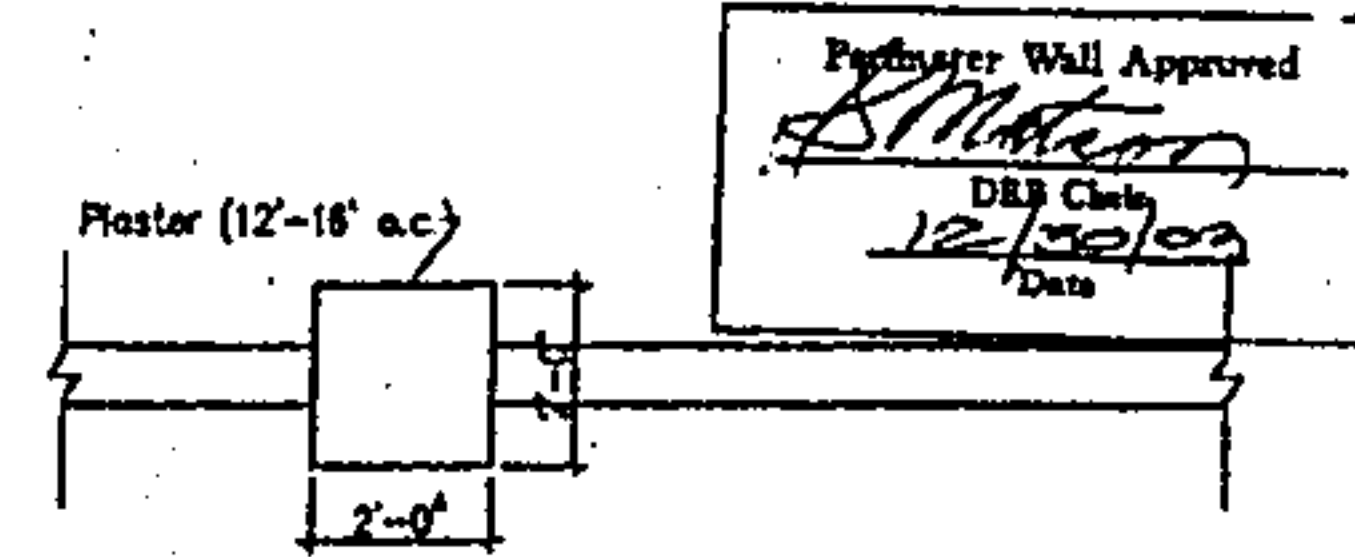
Intent:

Signage shall be complementary to the architectural theme and consistent throughout the development. Tensile standard colors, fonts and logos may be used, but must conform to the detail and construction standards below.

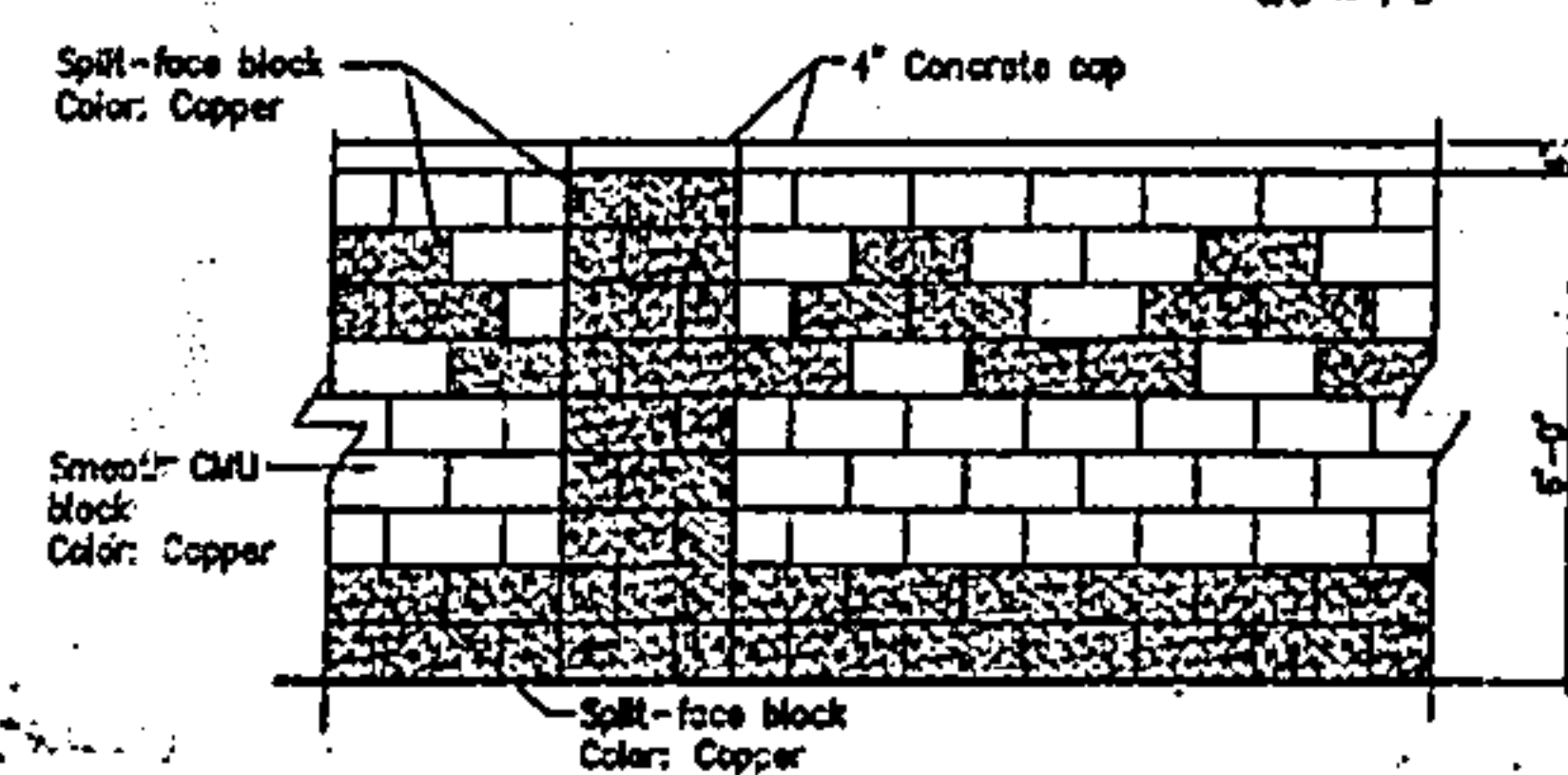
- Monument sign locations are shown on the illustrative site plan at the corners of Unser Boulevard and the main street, and at the intersections of the "main street". These may be utilized by multiple tenants at the discretion of the ARC. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Building signage shall be limited to internally illuminated, individual letter signs, backlit individual letter signs, or neon signs as approved by the ARC, and in conformance with City of Albuquerque requirements.
- No building mounted box signs are allowed, except logo signs as approved by the Architectural Review Committee.
- No pole-mounted signs are allowed.

NOTES:

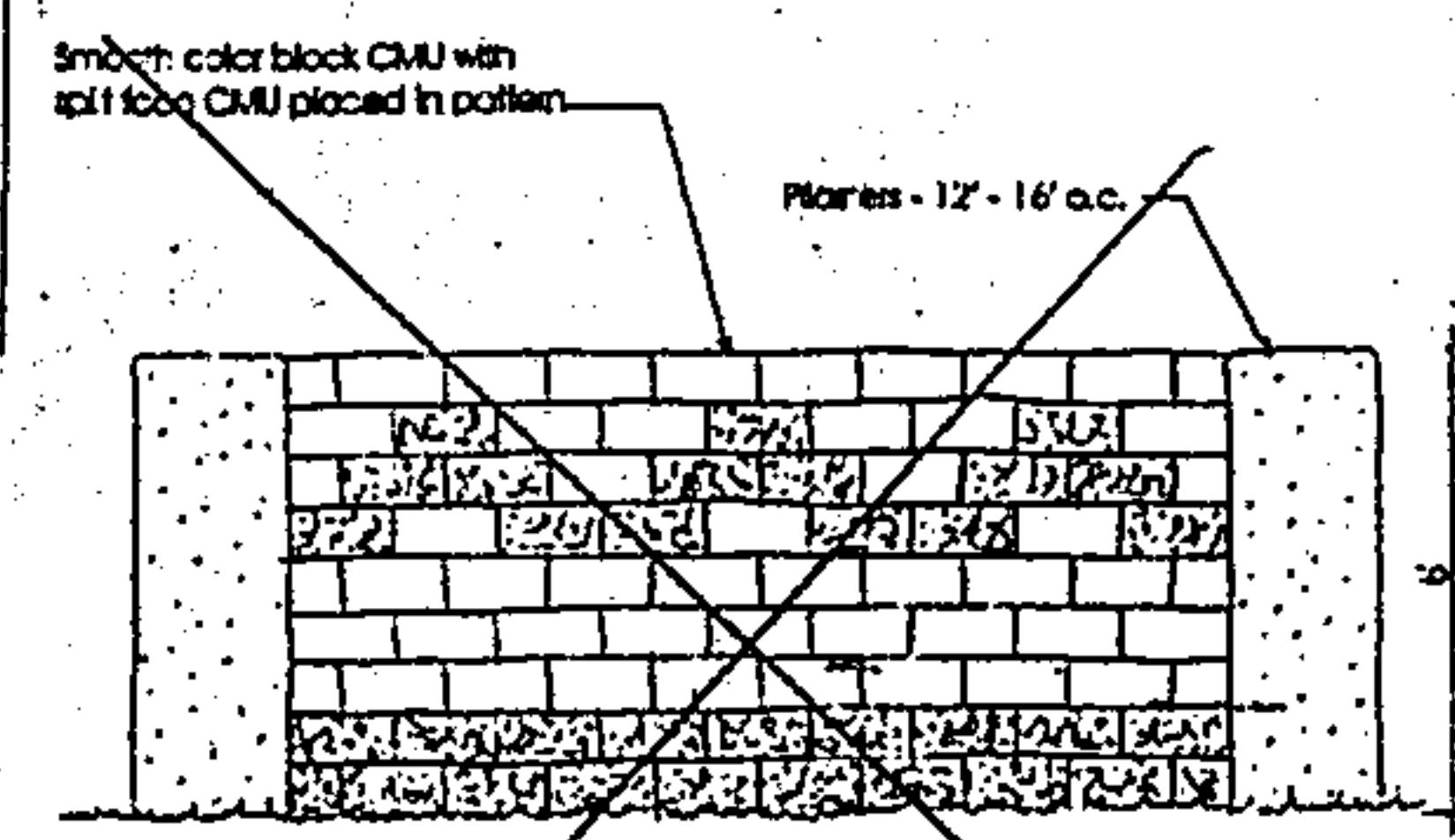
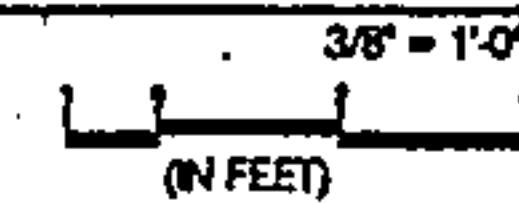
1. ZONE ATLAS - CG, G10, H9, H10
2. NEAREST INTERSECTION IS UNSER & VISTA ORENTE N.W.



PLAN VIEW



PROJECT# 1001523; 03DRB-01360
WALL DETAIL @ LADERA BUSINESS PARK



Wall Detail @ Ladera Business Park



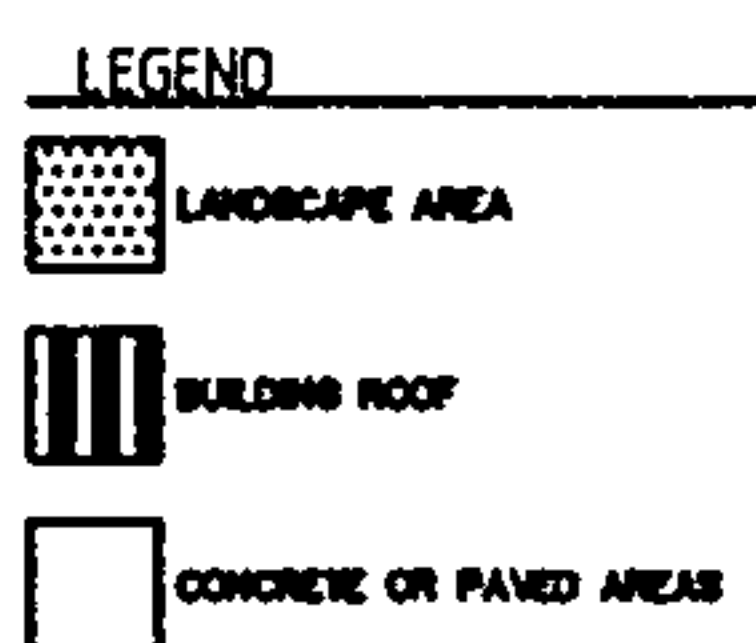
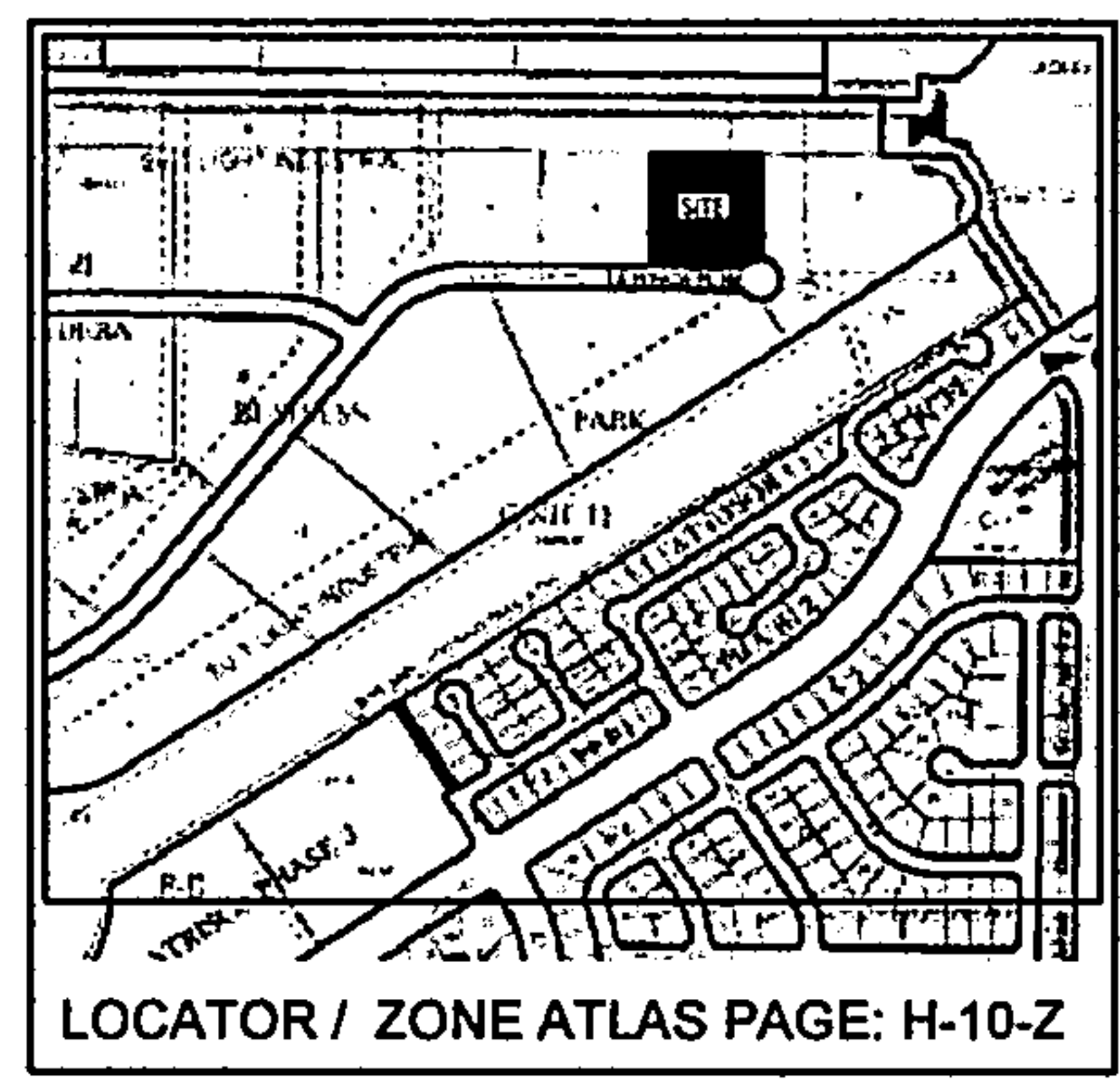
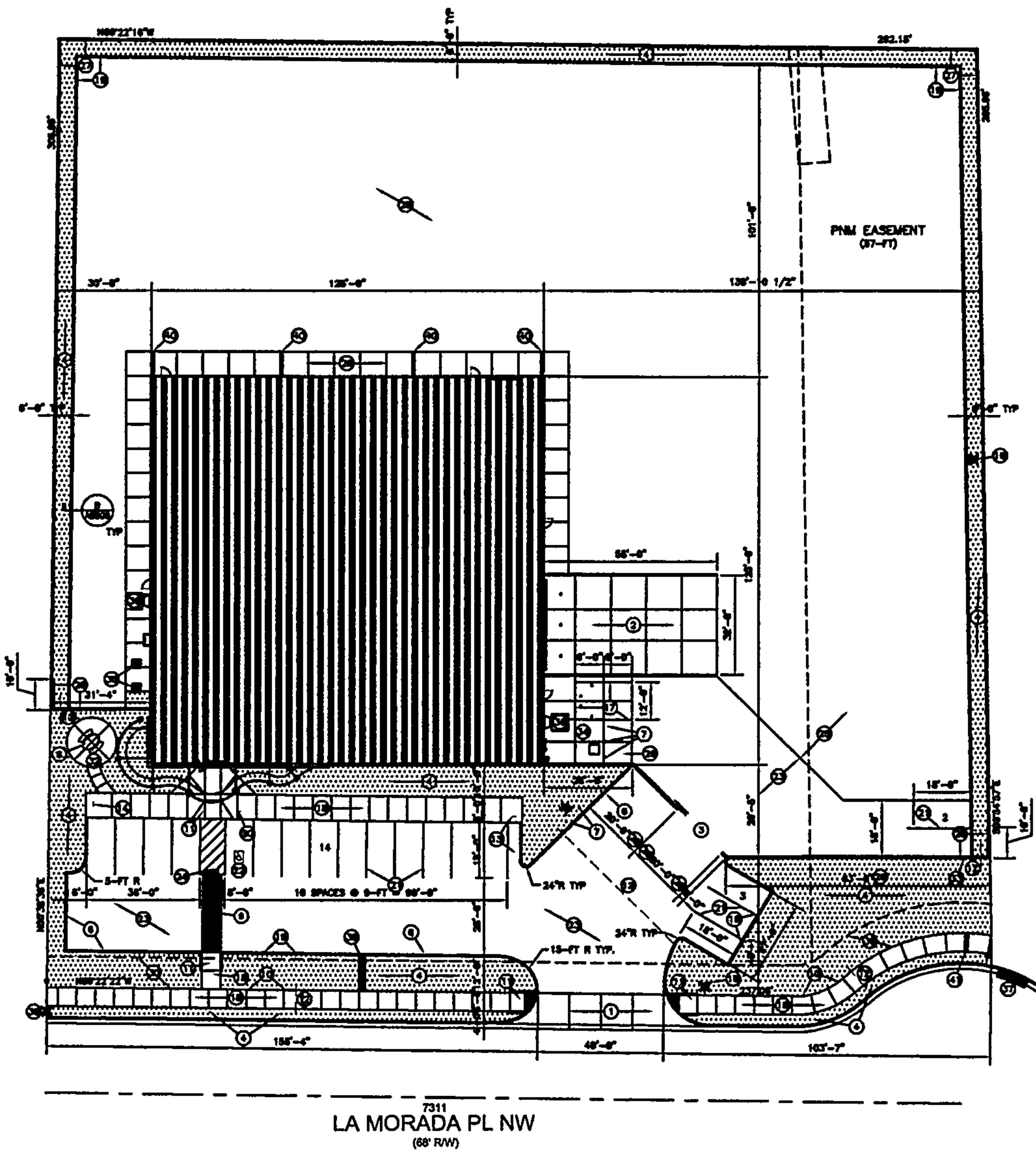
**LADERA BUSINESS PARK
Site Plan for Subdivision
DESIGN GUIDELINES**

Prepared for
Unser 90th Street Partnership LLC
PO Box 80548
Albuquerque, NM 87199

Prepared by
Consensus Planning, Inc.
824 Park Avenue SW
Albuquerque, NM 87102



August 21, 2002



GENERAL NOTES:

1. THE GRADE AT ALL LANDSCAPE OR PLANTED AREAS THAT ADJACENT CONCRETE WALKS OR CURBS SHALL BE DEPRESSIONED SO THAT THE LANDSCAPING SOIL AND/OR ROCK MATERIAL WILL BE FLUSH WITH THE TOP OF ADJACENT CONCRETE.
2. PROVIDE CURB CUTS FOR DRAINAGE AS REQUIRED BY THE GRADING AND DRAINAGE PLAN.
3. ALL EARTHWORK AND SITE PREPARATION SHALL COMPLY WITH THE GRADING AND DRAINAGE PLAN AND GEOTECHNICAL REPORT.
4. THE CONTRACTOR SHALL REMOVE ALL EXISTING SITE IMPROVEMENTS, UTILITIES, AND PLANT MATERIALS AND SHALL DISPOSE OF THEM AS REQUIRED.
5. SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPERE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.

SITE DATA

ADDRESS: 7311 LA MARADA PL NW, ABO 87120
 PROPERTY: TRACT 6, LADERA BUSINESS PARK, UNIT 1
 ZONING: SU-1 (LIGHT INDUSTRIAL USES)
 LOT SIZE: 88,780 SF (2.0613 ACRES)
 LAND USE: OFFICE WAREHOUSE

REQUIRED LANDSCAPE AREA (18% NET LOT AREA)
 LOT AREA: 88,780 SF (2.0613 ACRES)
 NET LOT AREA: 88,780 SF - 18,080 SF (8.18% - 74,186 SF)
 REQUIRED LANDSCAPE (18% NET LOT AREA):
 0.18 x 74,186 SF = 13,353 SF
 LANDSCAPE PROVIDED: 13,228 SF

ON-SITE PARKING PROVIDED: 21 SPACES INCLUDES 1 ACCESSIBLE PARKING SPACE (NAD) PER NM 6800 CODE
 REQUIRED PARKING:
 OFFICE: 2108 SF / 200 = 11 SPACE
 WAREHOUSE: 12,417 SF / 2000 = 7 SPACE
 BICYCLE RACK: 1800 SF / 3000 = 1 SPACE
 REQUIRED ON-SITE PARKING: 19 SPACES
 1 BICYCLE RACK SPACE REQUIRED AND PROVIDED
 1 MOTORCYCLE PARKING SPACE REQUIRED AND PROVIDED

PROJECT NUMBER: 1001523
APPLICATION NUMBER:
DRB APPROVAL: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CITY ENGINEER	DATE
TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION	DATE
SOLID WASTE MANAGEMENT	DATE

- KEYED NOTES**
1. CURB CUT AND CONCRETE DRIVEPAD, PER COMB STANDARD DETAIL 2428
 2. RECEIVED TRUCK LOADING DOCK (CONCRETE PAVING), SEE STRUCTURAL DETAIL.
 3. MANUAL 20'-FT WIDE SLIDING GATE, SEE P/AS-808
 4. LANDSCAPE AREA, SEE LANDSCAPE PLAN.
 5. EXISTING RESIDENTIAL LANDSCAPE AND REDRAWN WALL, VARIES 6" TO 8" HIGH ON PROJECT SIDE
 6. 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB, SHOWN ON PLAN AS A HEAVY LINE AT REQUIRED CURBS.
 7. PIPE BOLLARD, SEE DETAIL L/AS-808.
 8. PRECAST CONCRETE PUNCH TABLES (42"x72"x18") MATERIALS INC. "YECIDA" ON 18'-FT DIAMETER CONCRETE PATIO AS SHOWN.
 9. SEWAGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6'-FT WIDE TYPICAL.
 10. PROPERTY LINE.
 11. WHEELCHAIR RAMP, PER COMB STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE PLANES, WITH TRUNCATED CONE MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF RAMP WITH R.G.R. SEE DETAIL N/AS-808.
 12. 3" PVC PIPE UNDER PAVEMENT FOR INSTALLATION OF PROVISION LINES, STUD UP AT INSPECTION CONTROLLER, COORDINATE WITH LANDSCAPE CONTRACTOR.
 13. 4"x4" MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x12" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
 14. BICYCLE RACK, SEE DETAIL L/AS-808.
 15. CONCRETE WALK, AS SHOWN, PER COMB STANDARD DETAIL 2428, ADA ACCESSIBLE (MAX 1:12 SLOPE) PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, RAMP AS SHOWN AND AS REQUIRED, SEE DETAIL.
 16. NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COMB REQUIREMENTS AND WORK ORDER.
 17. REUSE CONTAINER PAD, SEE SHEET AS-801.
 18. CONCRETE WALK AS SHOWN, PER COMB STANDARD DETAIL, SEE DETAILS AM/AS-808.
 19. CONCRETE CURB, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN, SEE DETAIL, SHEET BAC/AS-800.
 20. ACCESSIBLE PARKING SIGN FOR VAN PARKING, SEE DETAIL, L/AS-808.
 21. TWO COATS TRAFFIC PAINT, 4-INCH WIDE STRIPES (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
 22. HANDICAPPED PARKING SYMBOL, PER COMB STANDARD DETAIL 2428, SEE DETAIL N/AS-808.
 23. ASPHALT PAVING PER GEOTECHNICAL REPORT, SEE DETAIL SHEET AS-800.
 24. TRAFFIC PAINTED "NO PARKING" DESIGNATION MINIMUM 12" AND 8-1/2" W LETTERS, PLACED AS SHOWN.
 25. WAREHOUSE YARD CRUSHED ROCK BASE COURSE FINISH, SEE GEOTECHNICAL REPORT FOR SPECIFICATION, SEE L/AS-808.
 26. 4-INCH CONCRETE PAVING WITH 6-8" ST. AMT. A WW, AROUND 6-INCH DUMPSTER PAD
 27. 6'-FT HIGH CHAINLINK FENCE ALL AROUND YARD, SEE DETAIL N/AS-808.
 28. 6'-FT HIGH CMU WALL, SEE DETAIL O/AS-808.
 29. 6'-FT WIDE 4-INCH CONG CURB ALL AROUND, SEE DETAIL AM/AS-808.
 30. 10'-FT WIDE PUBLIC UTILITY EASEMENT, TYPICAL AT STREET.
 31. 4-INCH CONCRETE PAD, 16'-FT DIAMETER WITH 4'-FT CONCRETE ACCESS WALK AS SHOWN.
 32. DRAIN HOLES THROUGH WALL AS REQUIRED BY GRADING AND DRAINAGE, SEE DETAIL O/AS-808.
 33. ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD, SEE ELECTRICAL AND UTILITIES.
 34. REFRIGERATED AIR CONDITIONING UNITS, SEE MECHANICAL.
 35. GROUND MOUNTED EVAPORATIVE COOLER, SEE MECHANICAL.
 36. EXISTING STORM SEWER INLETS.
 37. EXISTING FIRE HYDRANT.
 38. MONUMENT SIGN, LIGHTED, SEE DETAIL N/AS-808. COORDINATE WITH LANDSCAPE.
 39. CONCRETE WALK TRENCH DRAIN, SEE DETAIL O/AS-808. VERIFY DOWNSPOUT LOCATIONS.
 40. 12-INCH SIDEWALK TRENCH DRAIN PER COMB STD. DET. 2228, VERIFY LOCATION WITH 680.



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PROJECT
WESTERN UNITED ELECTRIC CORPORATION
OFFICE WAREHOUSE LADERA BUSINESS PARK

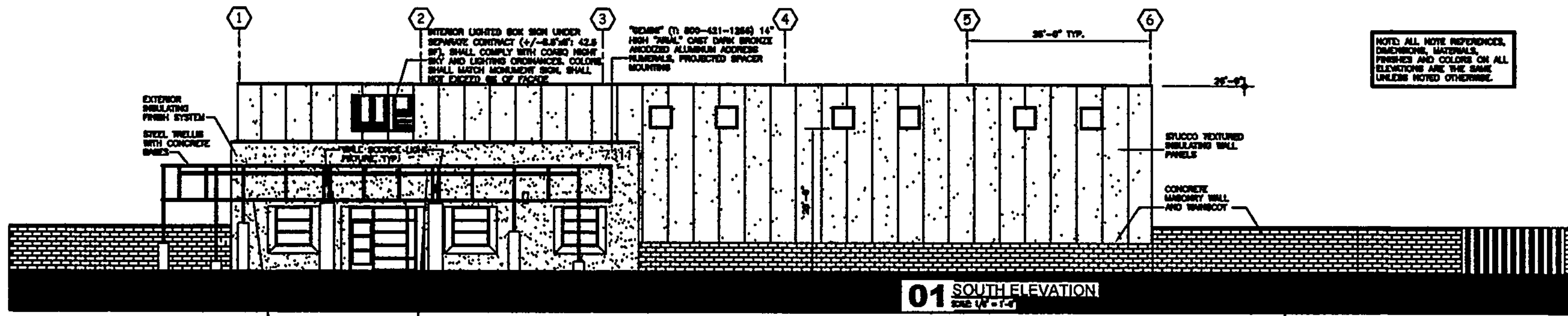
7311 LA MARADA PL NW
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MARK	DATE	DESCRIPTION
		ISSUE DATE: 7/8/18

PROJECT NO: 688
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 SHEET TITLE

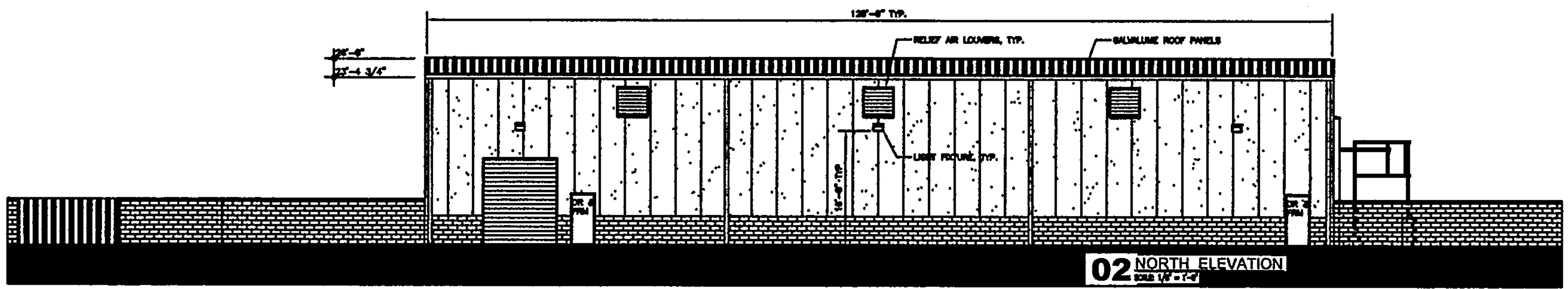
SITE PLAN FOR BUILDING PERMIT

AS-100
1 OF 6

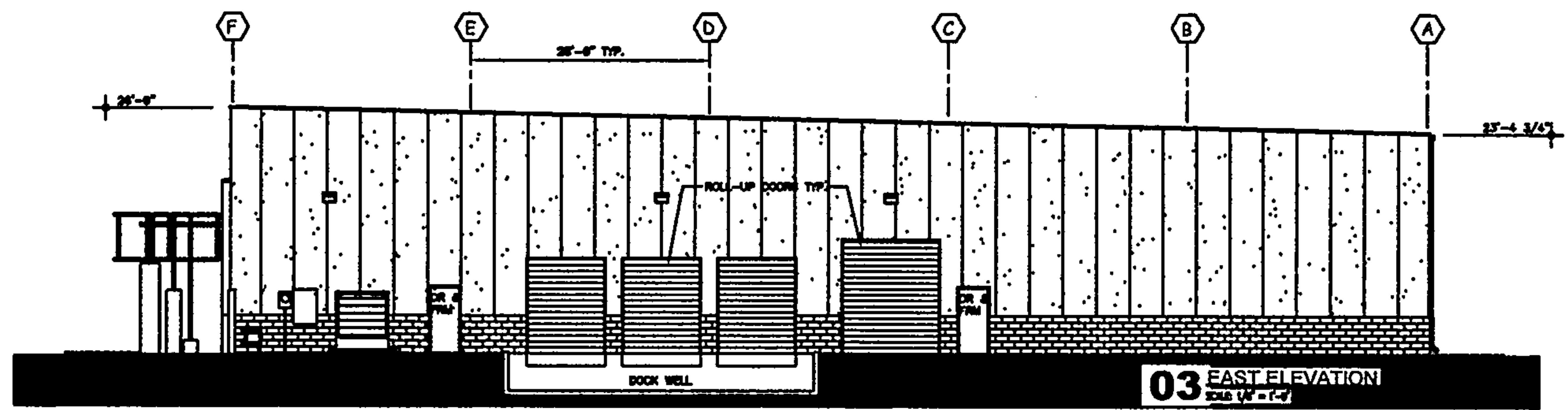


NOTE: ALL NOTE REFERENCES, DIMENSIONS, MATERIALS, FINISHES AND COLORS ON ALL ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.

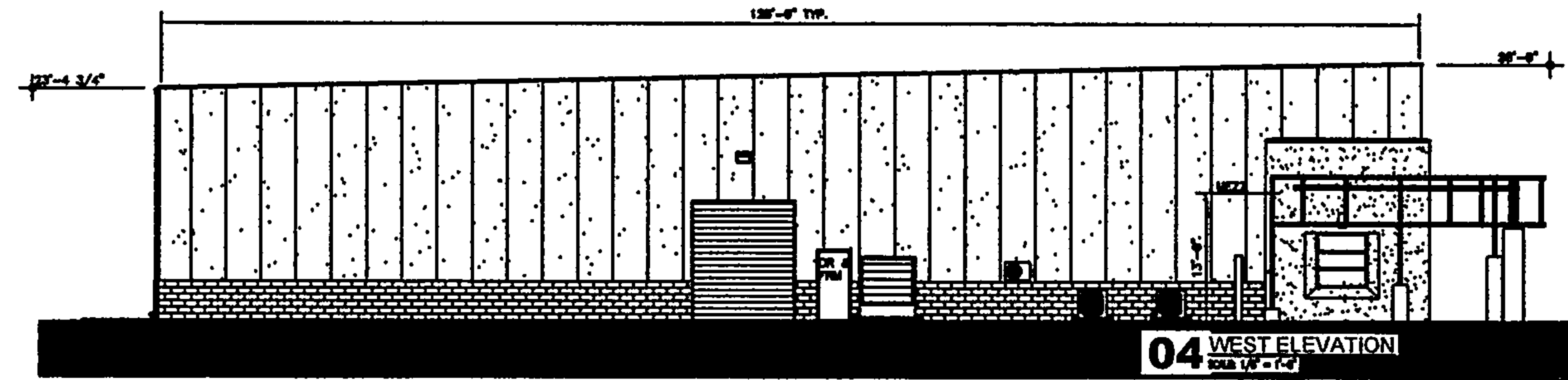
01 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



02 NORTH ELEVATION
SCALE 1/8" = 1'-0"



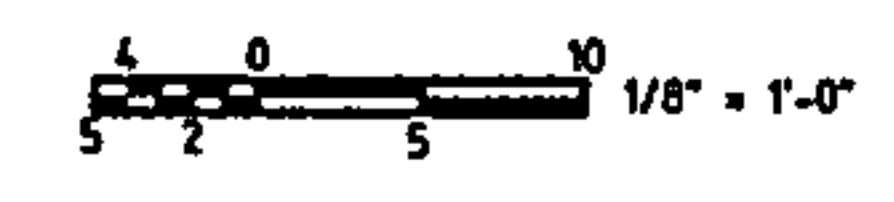
03 EAST ELEVATION
SCALE 1/8" = 1'-0"



04 WEST ELEVATION
SCALE 1/8" = 1'-0"

ELEVATION MATERIALS/COLOR LEGEND

- STUCCO TEXTURED INSULATING METAL WALL PANELS, LIGHT BEIGE COLOR. TRIM AND ALL EQUIPMENT TRIM, TO MATCH.
- METAL ROOF PANELS, GALVALUME FINISH. TRIM, GUTTERS & DOWNSPOUTS TO MATCH WALL PANELS.
- STUCCO, MEDIUM TKN.
- PLAIN FACED CMU, NATURAL COLOR WITH SEALER FINISH. HORIZONTAL JOINTS RACED.
- ALL DOORS TO MATCH CMU'S NATURAL COLOR.
- ENTRY TRUSS CANOPY, MATCH BUILDER COOL OCEAN BLUE COOLER, CONCRETE COLUMNS NATURAL, CONCRETE SEALED FINISH.
- STONEFRONT WINDOW PANELS, ANODIZED DARK BRONZE FINISH.



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PROJECT
WESTERN UNITED ELECTRIC CORPORATION

OFFICE
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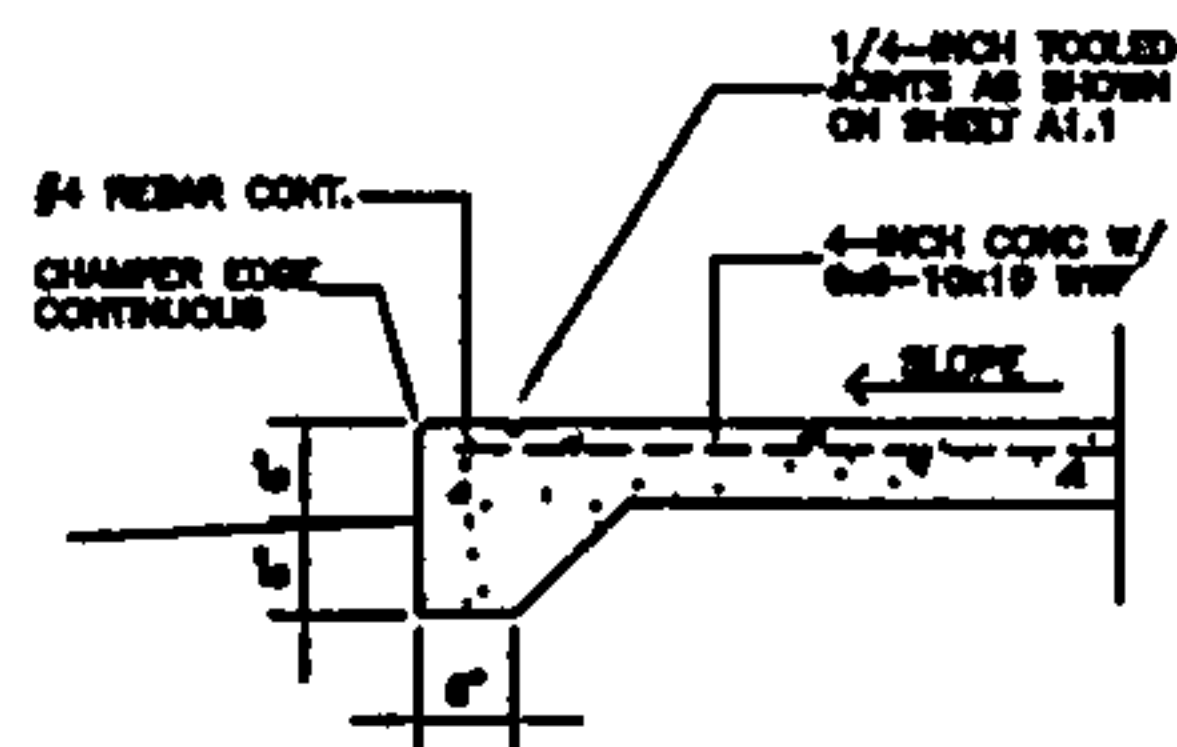
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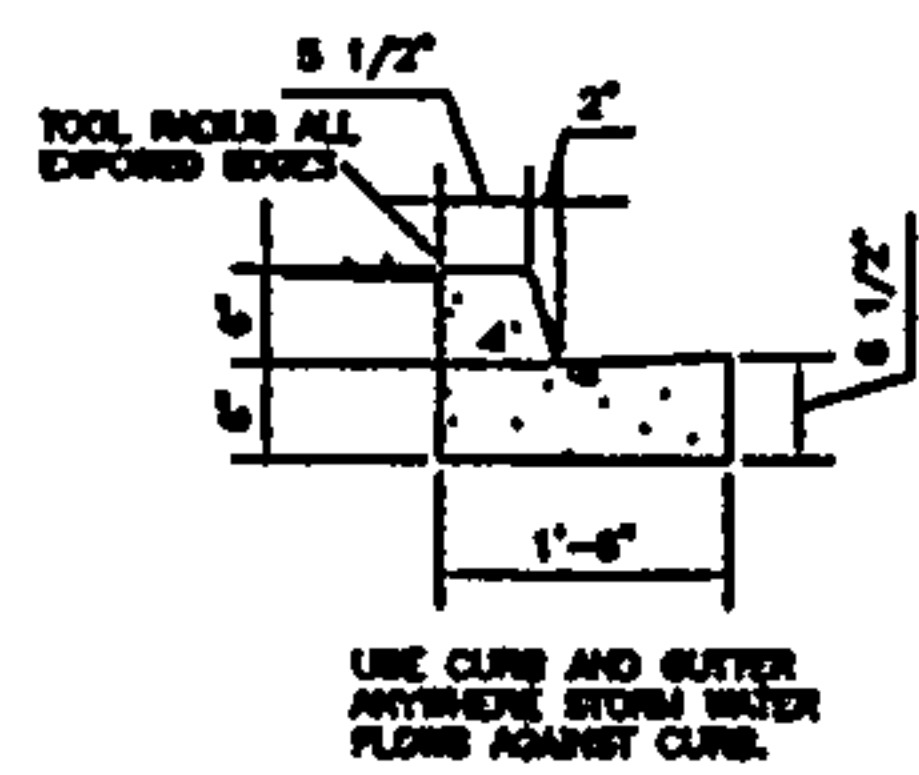
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BUILDING ELEVATIONS

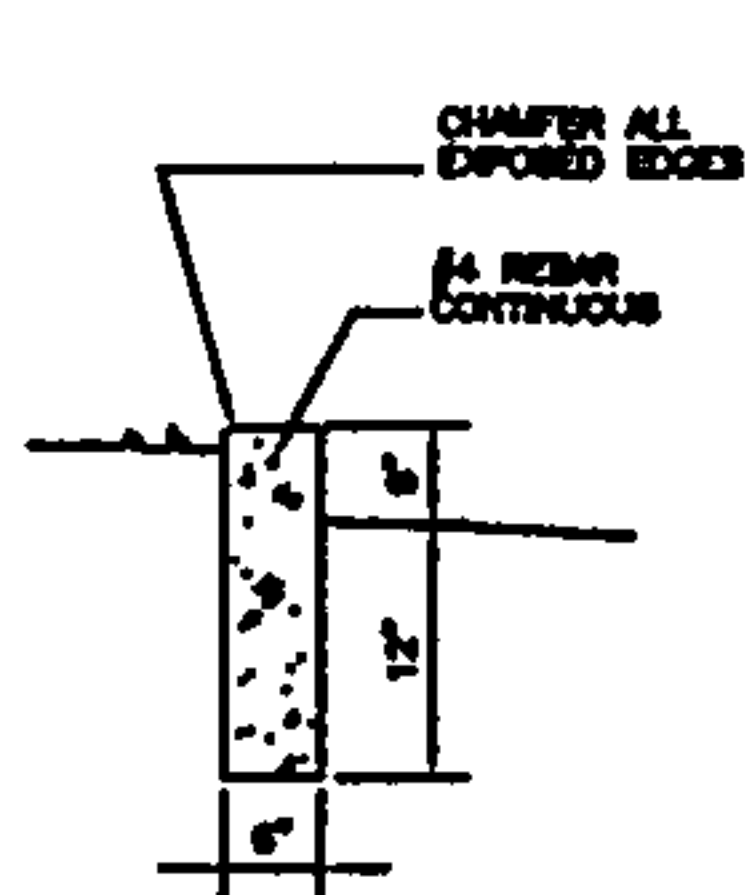


(A) CURB AT WALK

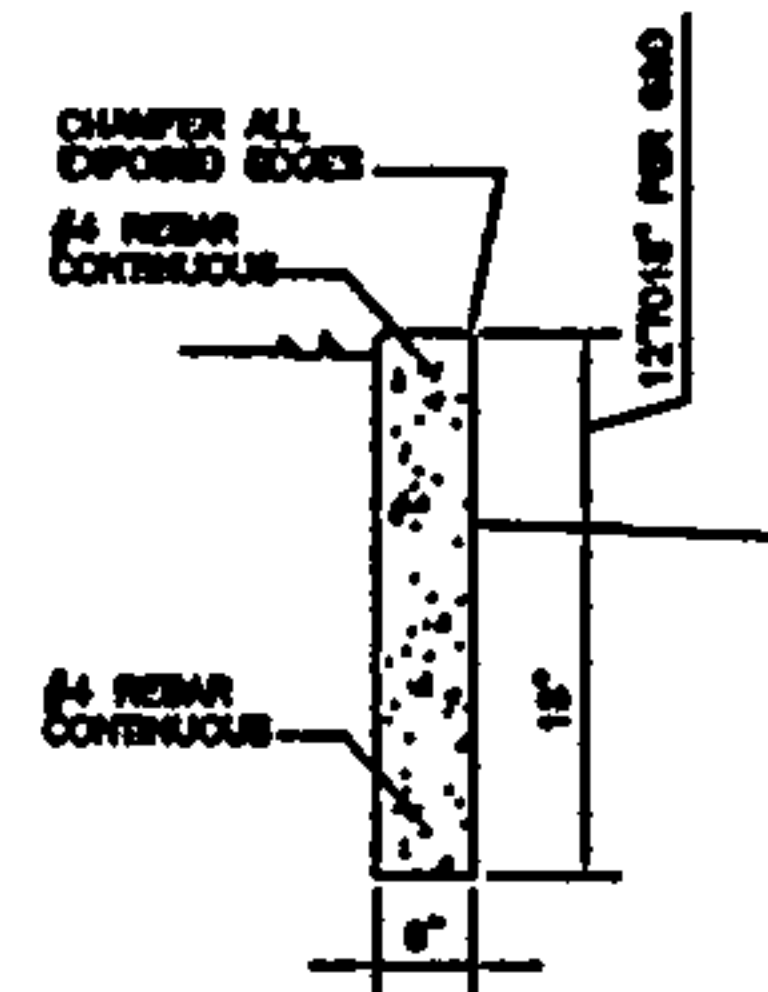


(B) STAND-UP CURB

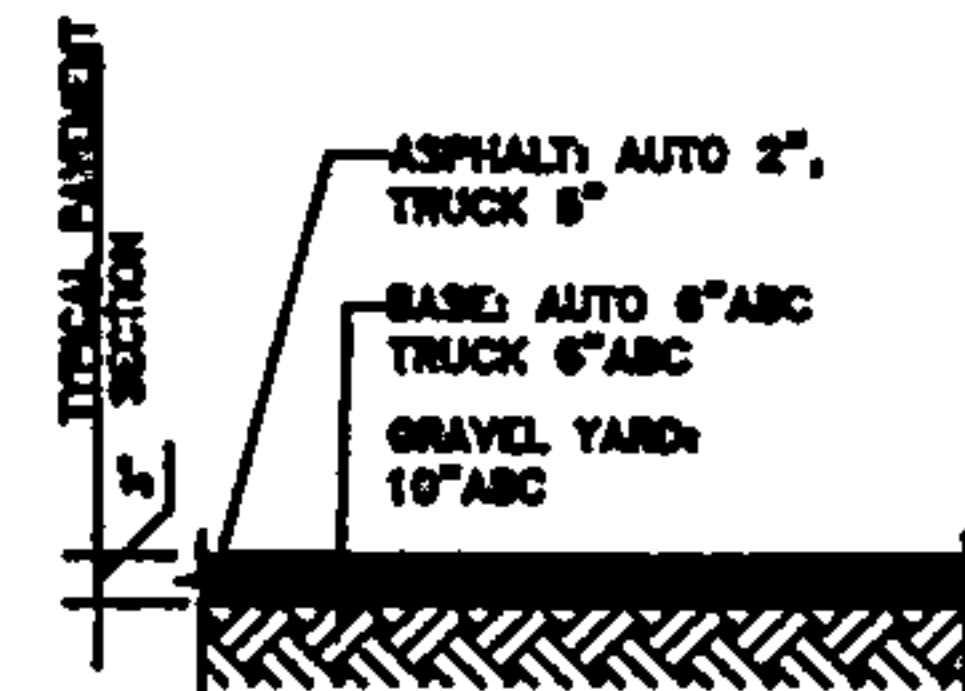
NOTE: LEAVE 6-INCH WIDE CUTS IN EDGES-UP CURBS AS REQUIRED FOR SITE DRAINAGE. COORDINATE WITH GRADING AND DRAINAGE PLAN.



(C) TYPICAL STAND-UP CURB

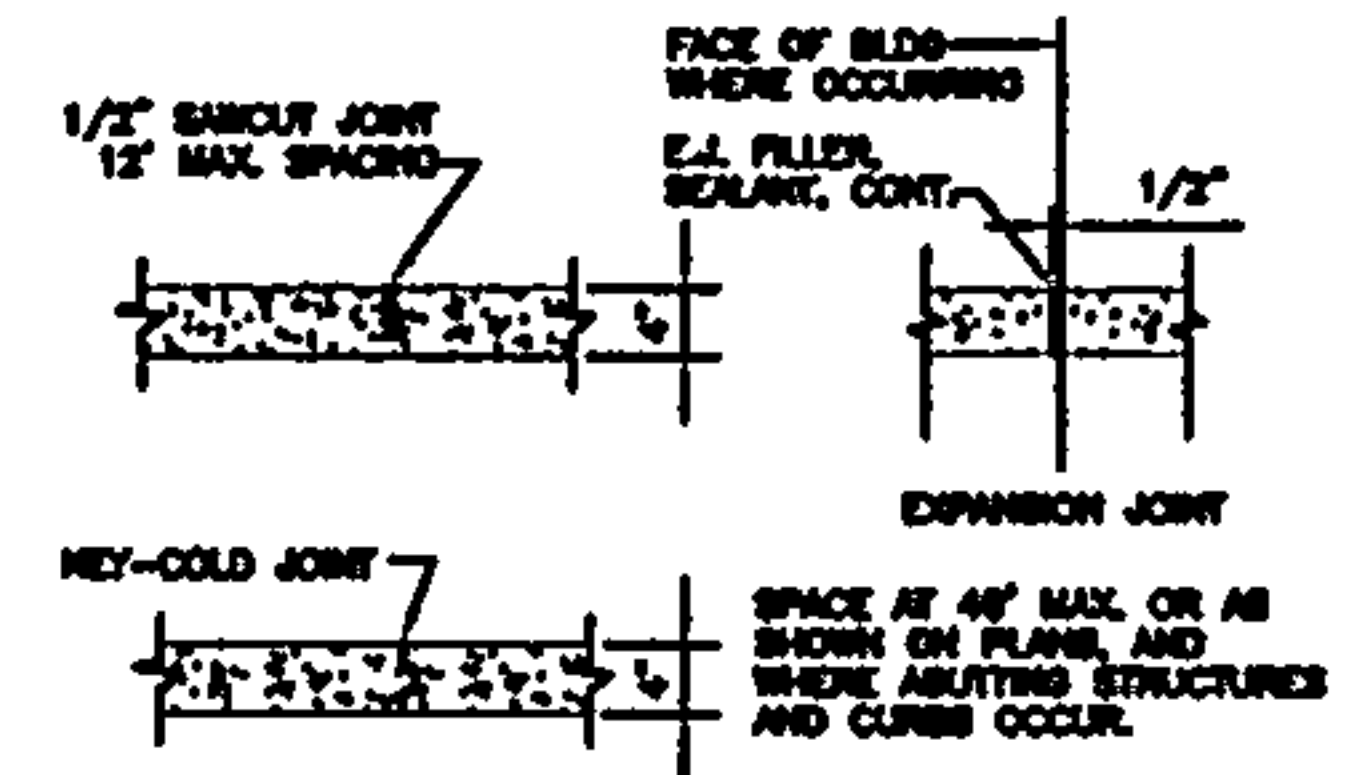


(D) RETAINING CURB

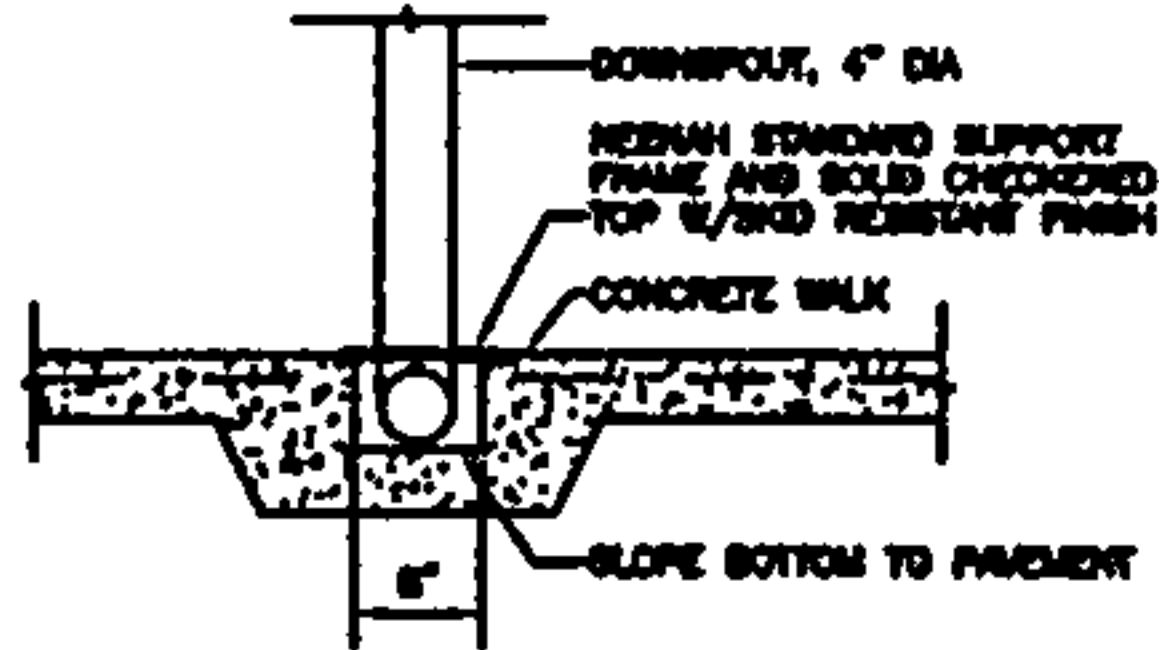


NOTE: THIS DETAIL IS FOR REFERENCE ONLY. REFER TO SOILS INVESTIGATION.

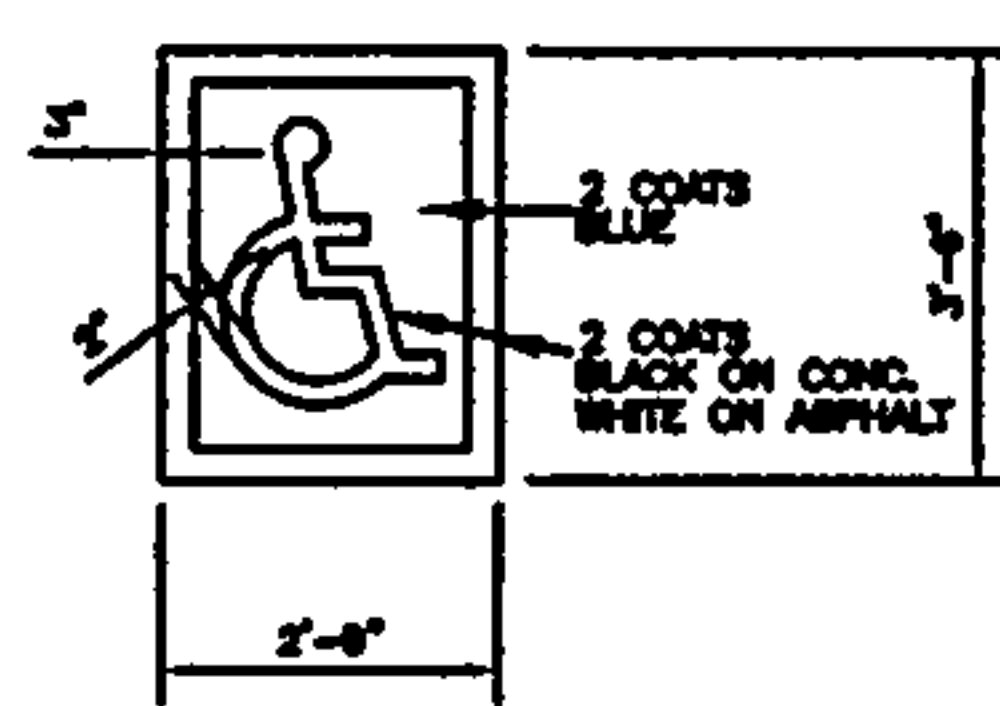
(E) ALL ASPHALT PAVEMENT AREAS



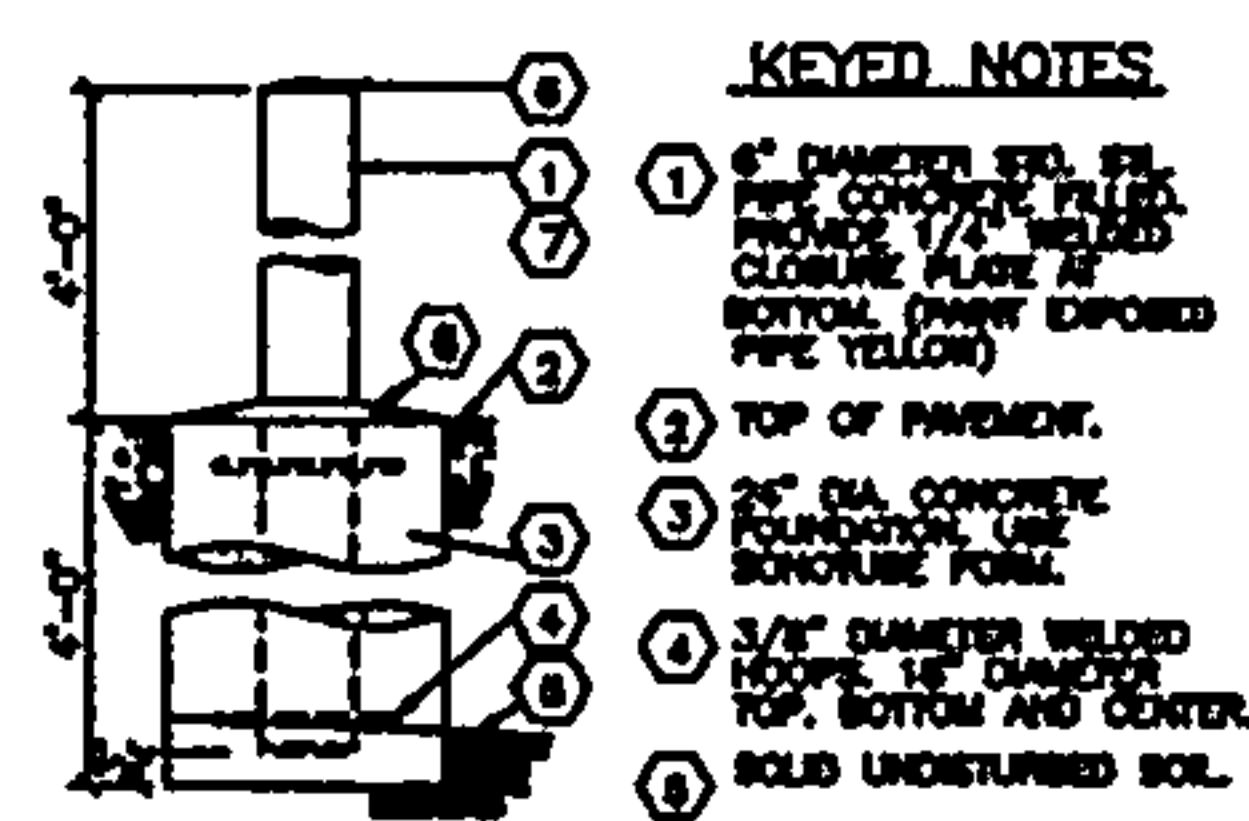
(F) CONCRETE JOINT DETAILS



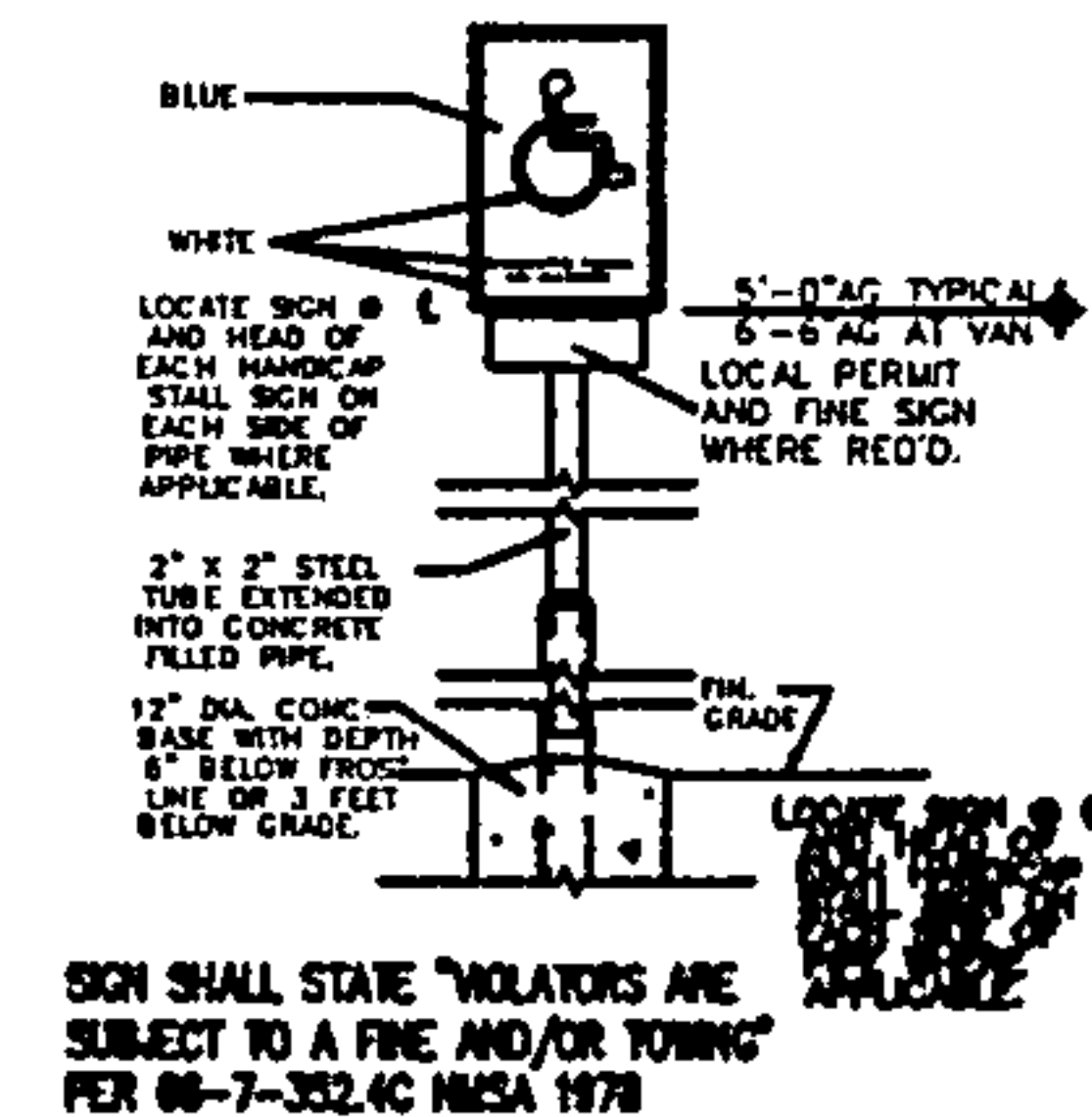
(G) SIDEWALK TRENCH DRAIN
3/4" = 1'-0"



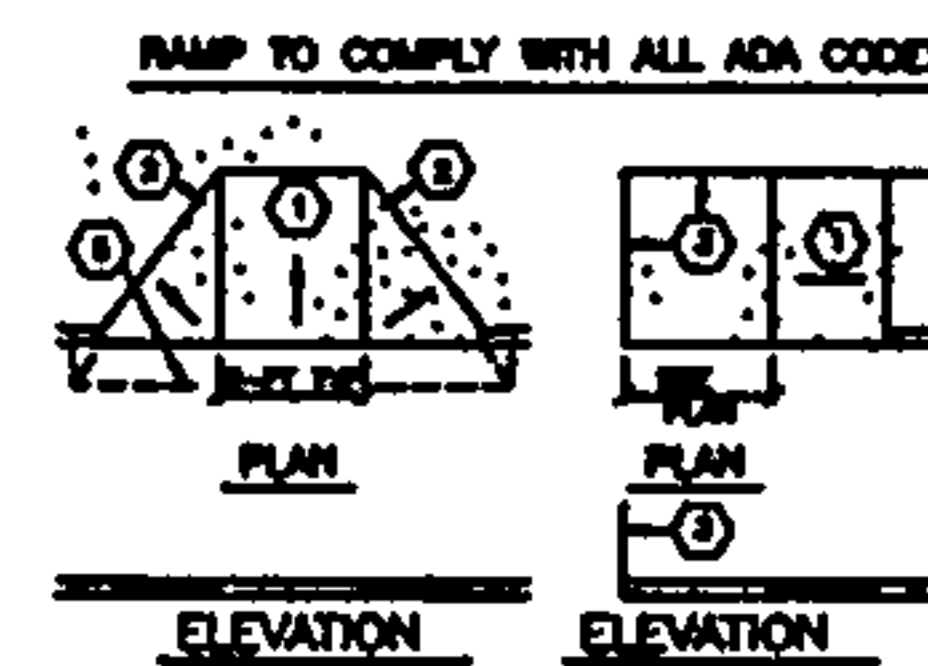
(H) HANDICAP PAINT STRIPING
NTS



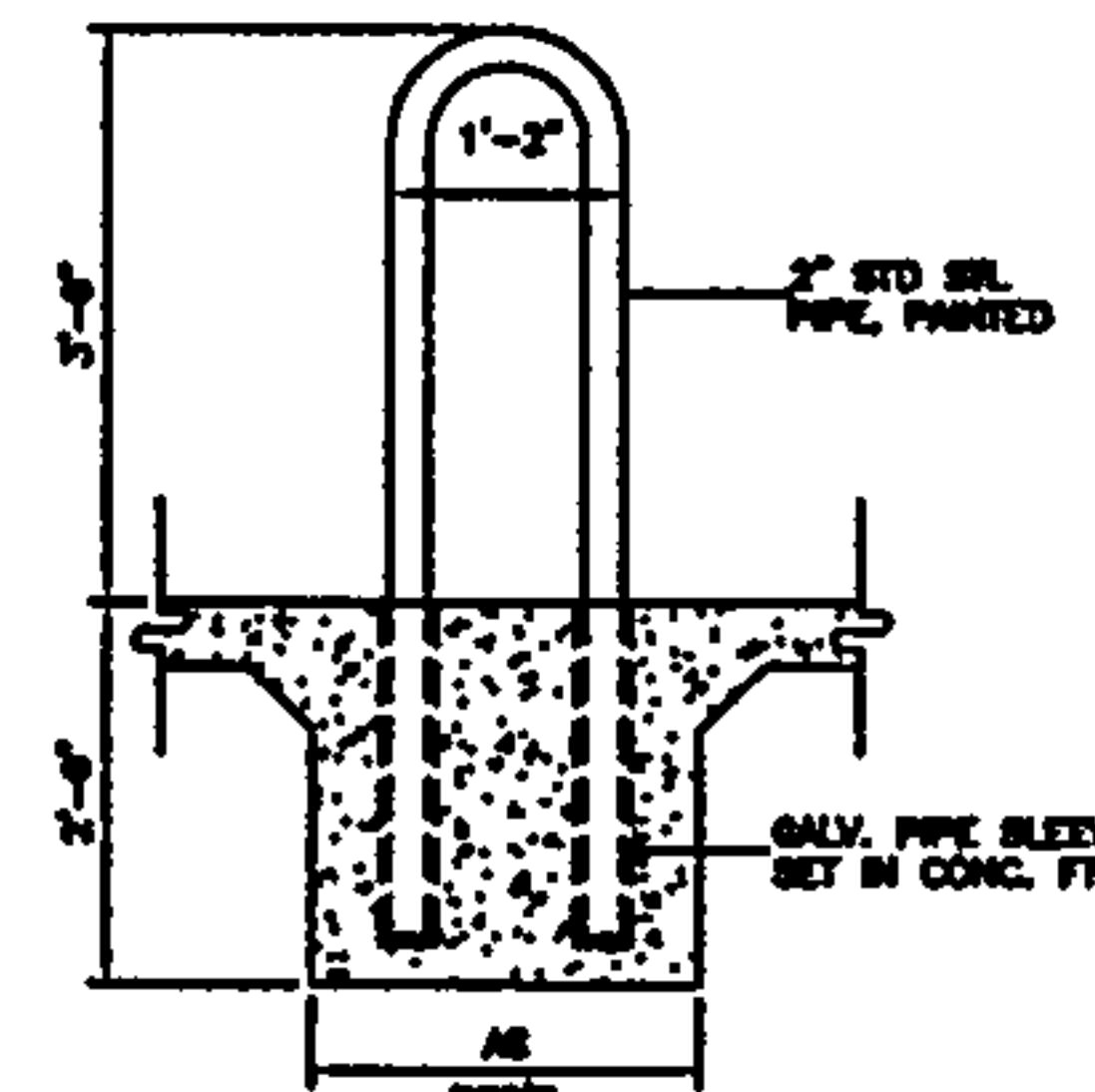
(I) TYPICAL PIPE BOLLARD
NTS



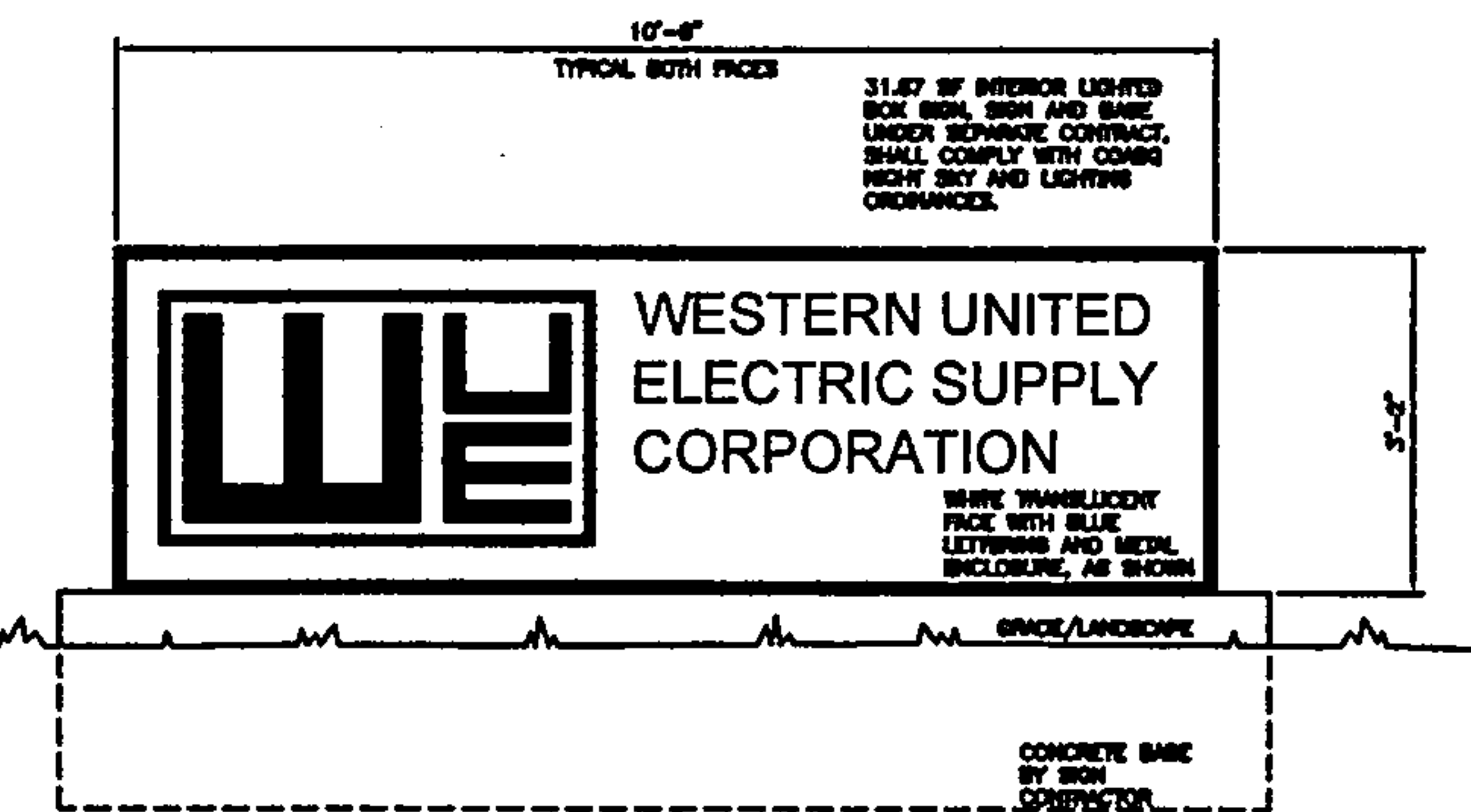
(J) HANDICAP PARKING SIGN



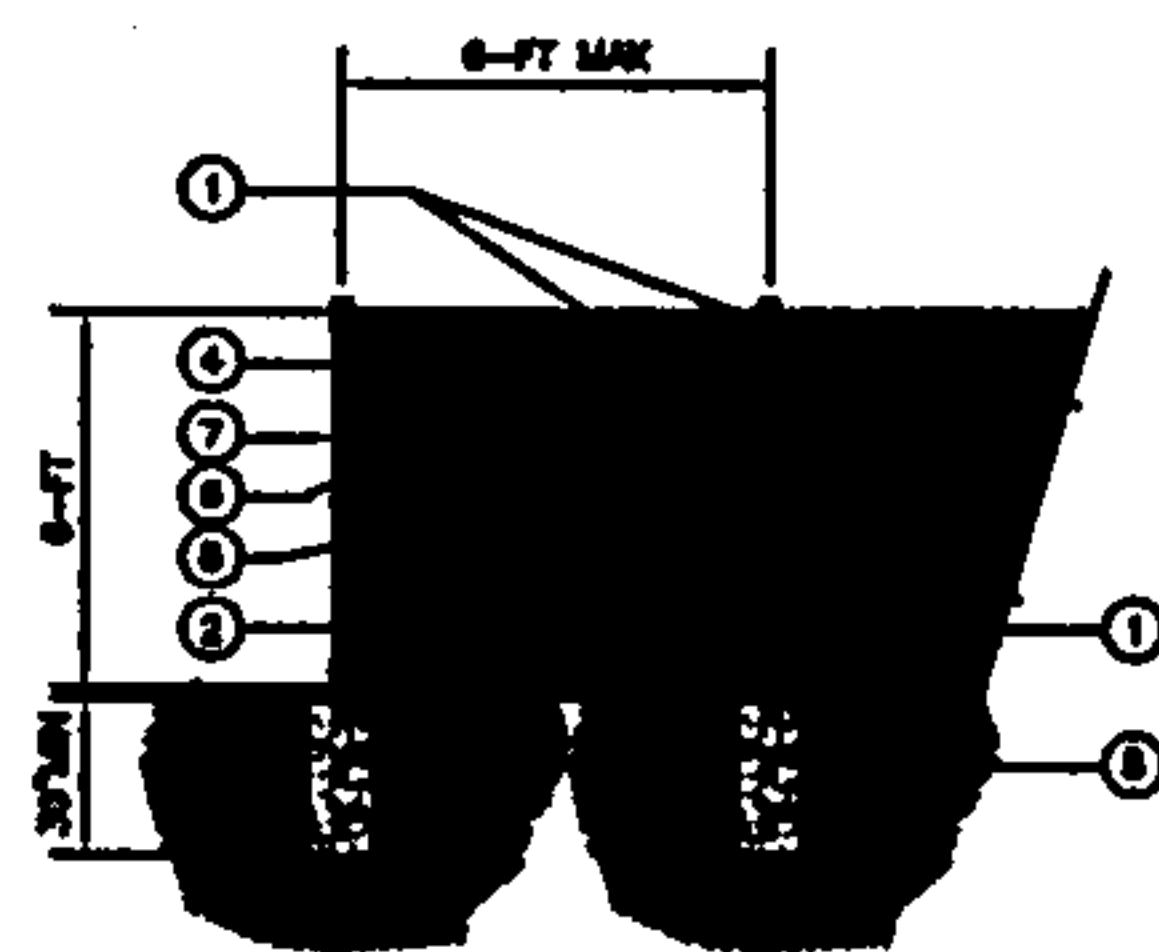
(K) HANDICAPPED RAMP
NTS



(L) BIKE RACK DETAIL
3/4" = 1'-0"

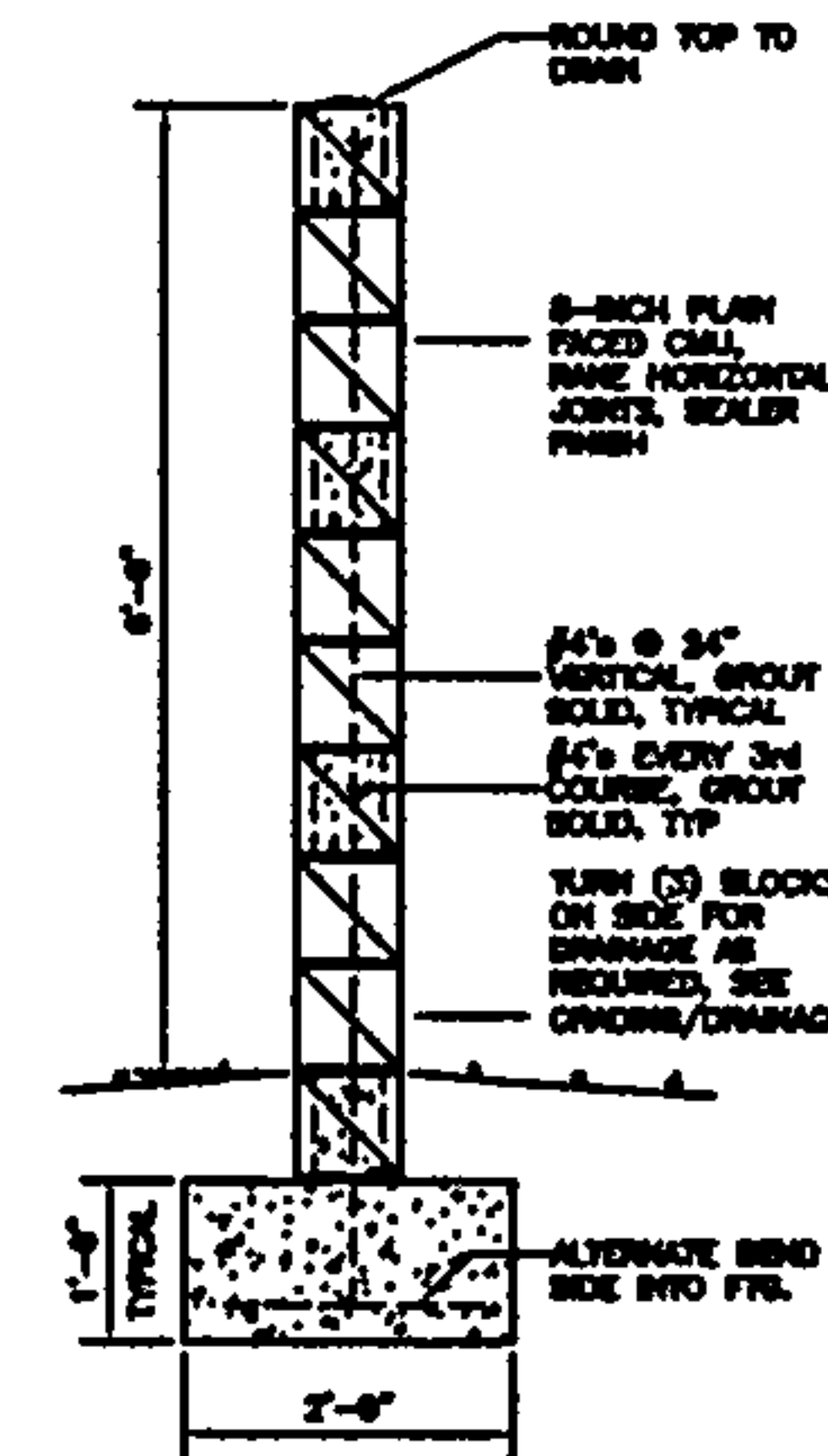


(M) MONUMENT SIGN
3/4" = 1'-0"

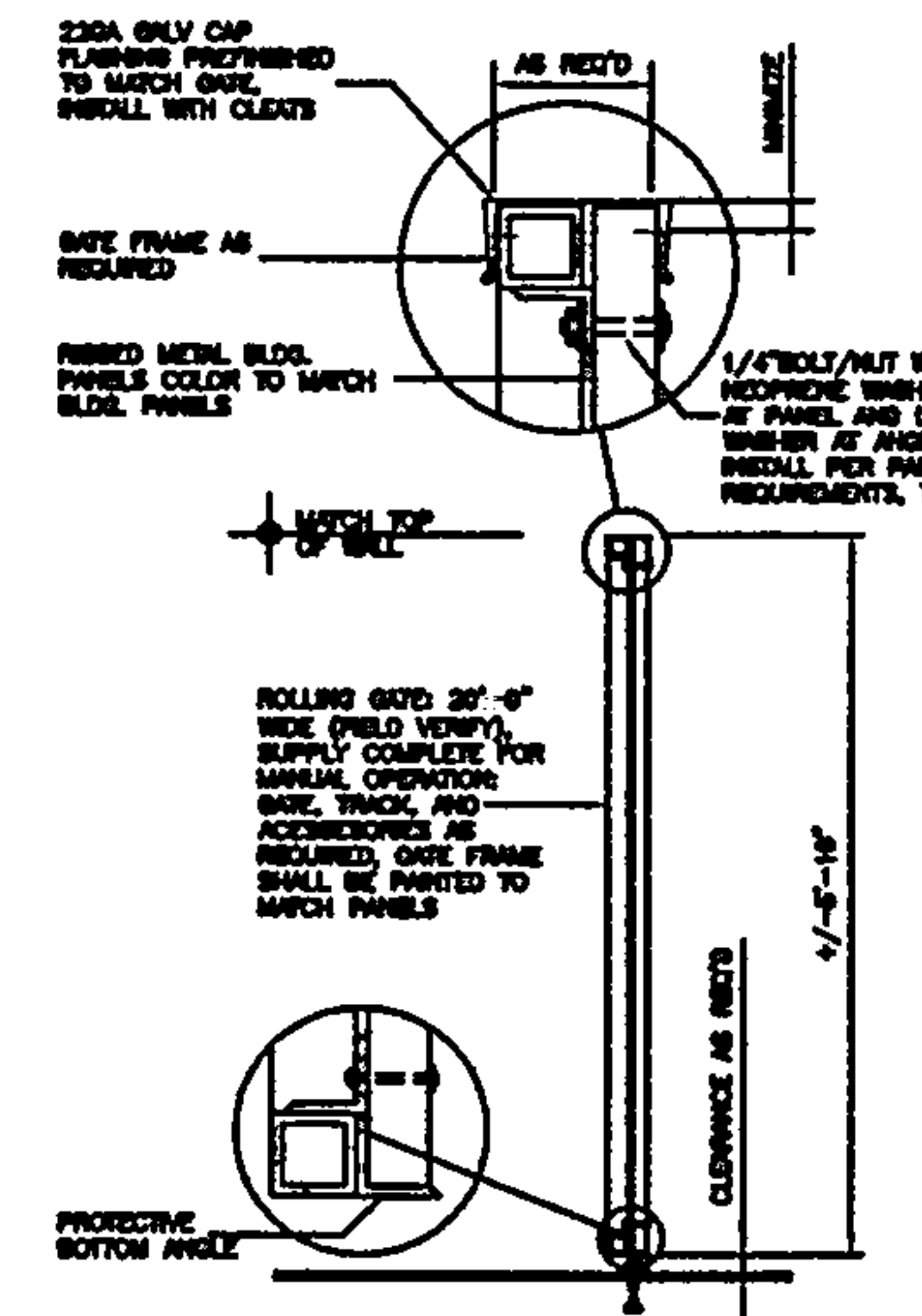


(N) YARD FENCE DETAIL
NTS

- GENERAL NOTES**
- FABRIC (#4) SHALL BE TACK WELDED (2) PLACES TO EACH TENSION BAR, (2) PLACES TO EACH TOP AND BOTTOM BRACE (#4), AND (2) PLACES TO EACH SIDE BRACE (#4), AS SHOWN.
 - POST AND FENCE PIPE SIZES ARE FENCE INDUSTRY STANDARDS. ALL PIPE TO BE GALV.; HOT-DIP, ASTM A-113 GRADE #1. CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.
- KEYED NOTES**
- 2-INCH X 6 GA. GALV. CHAIN LINK WIRE FABRIC, ASTM-362, 2.0 OZ PER SF.
 - TENSION WIRE, 7 GA. GALV.
 - WIRE TACK, 8 GA. GALV. WEL AT 18" O.C. MIN. ALL AREAS.
 - TOP RAIL, 1-3/8" DIA.
 - 12" DIA. DRILLED HOLES, FILLED WITH PORTLAND CEMENT, 9000 2000 PSI.
 - 1/4" X 3/4" GALV. STL. TENSION BAR.
 - ALL POSTS 2 1/2" STANDARD PIPE, 60,000 PSI, GALV. WELDED.
 - POST BRACE, 1-3/8" DIA. AT EACH CORNER, EACH WIRE.



(O) TYP LANDSCAPE WALL
3/4" = 1'-0"



(P) ROLLING GATE DETAIL
3/4" = 1'-0"

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CONSULTANT



PROJECT
WESTERN UNITED ELECTRIC CORPORATION

OFFICE
WAREHOUSE LADERA BUSINESS PAR

PROJECT ADDRESS
7311 LA MAR AVE. NW ALBUQUERQUE, NM 87120

MARK DATE DESCRIPTION
ISSUE DATE: 7/8/18

PROJECT NO: 0638
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SITE DETAILS

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES:

1. CONTOUR INTERVAL IS HALF (1.00) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 4-119, HAVING AN ELEVATION OF 5202.313 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.

Location:
TRACT 6, LADERA BUSINESS PARK, UNIT 1 Tract 6, Ladera Business Park, unit 1 is located at 7311 La Morada Pl., NW, and contains +/- 2.0586 Acres. See attached portion of the Vicinity Map for exact location.

Purpose:
The purpose of this drainage report is to present a grading and drainage solution for new building and improvements with this tract of land.

Existing Drainage Conditions:
This site falls within Master Drainage Plan for the Ladera Business Park, Area 1 (H10/D06A) prepared by Mark Condrin and Associates. Area 1, discharging directly into streets at various locations which eventually drain directly into existing storm drain systems existing for this development.

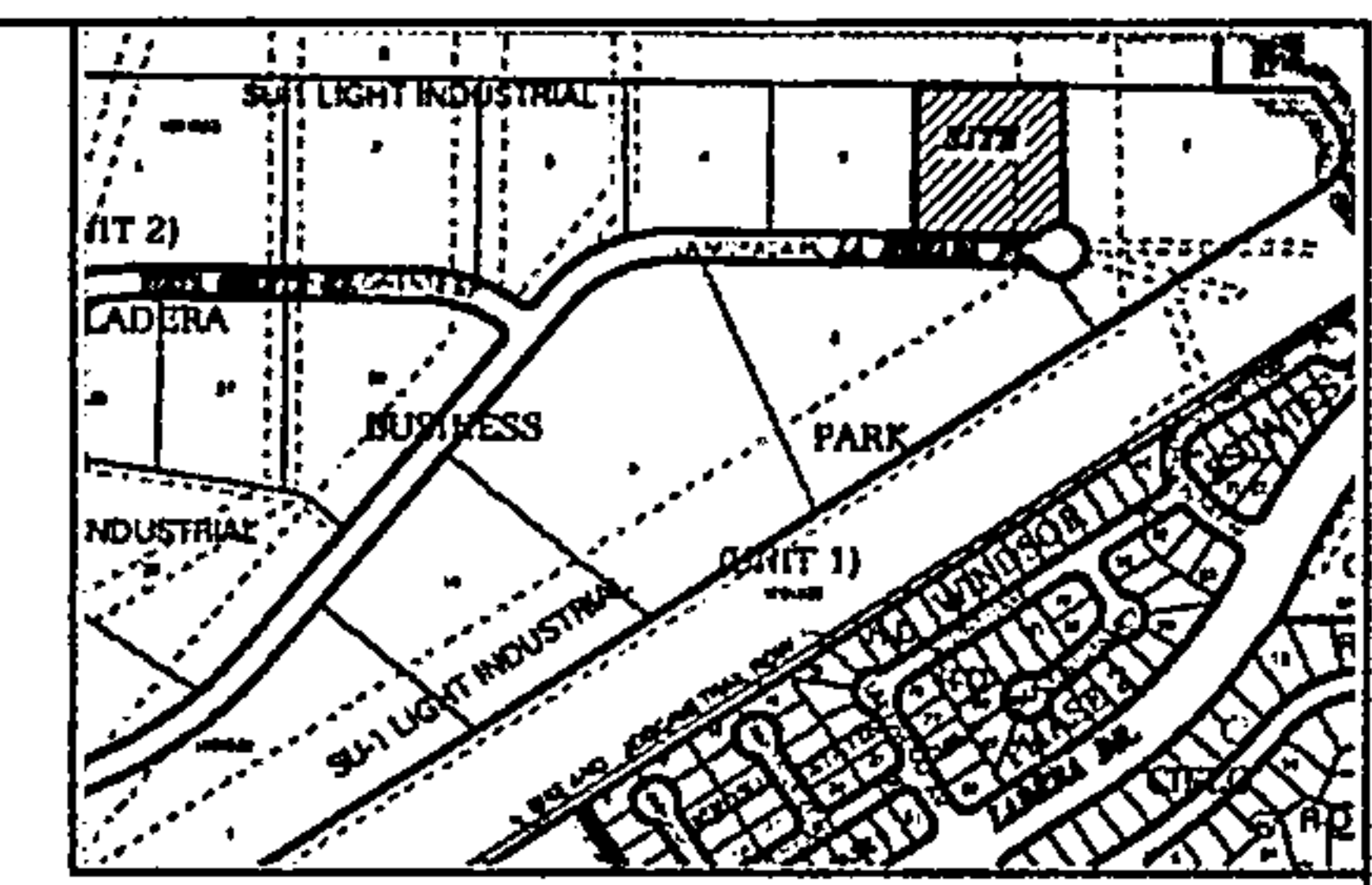
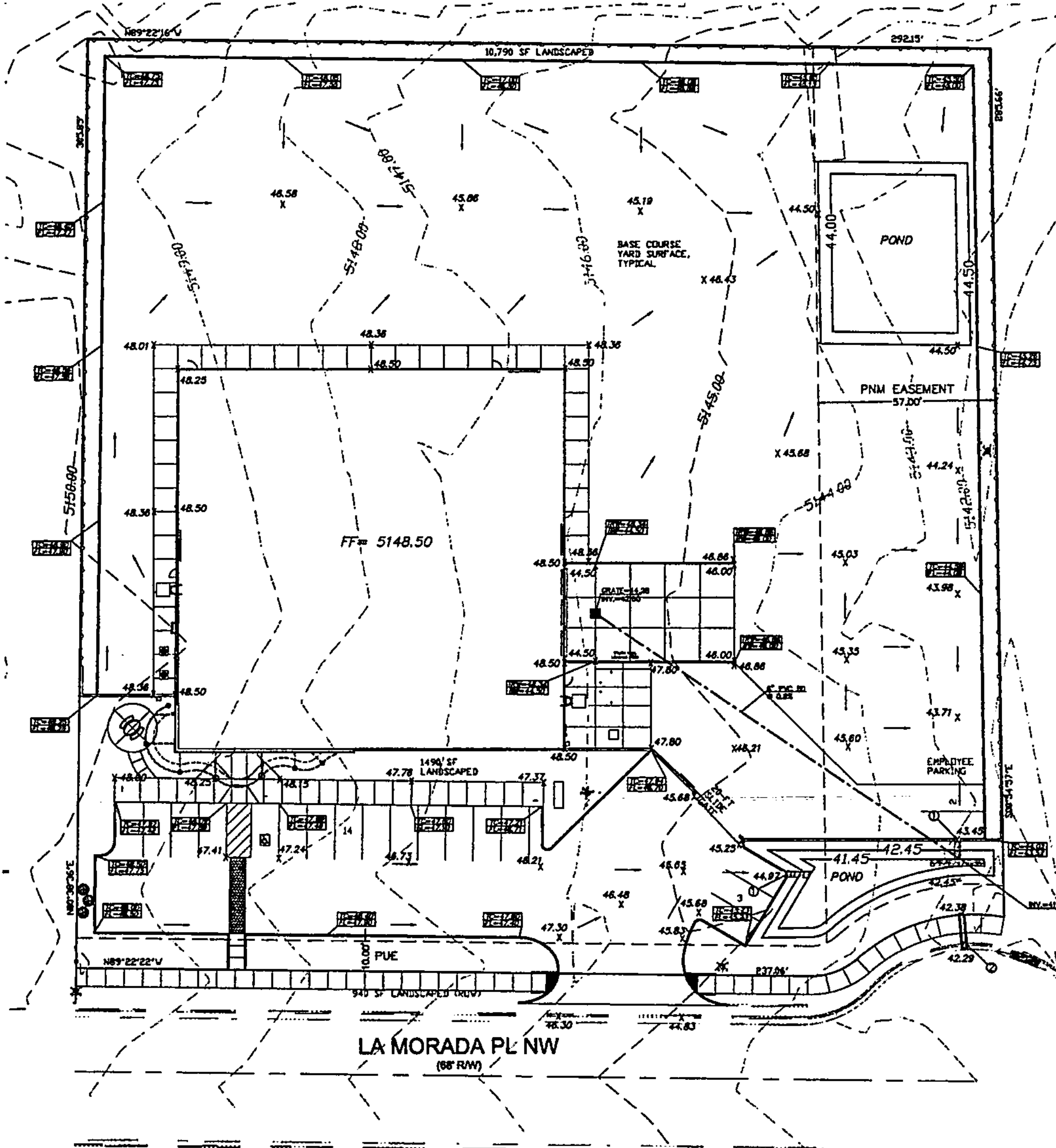
Proposed Conditions and On-Site Drainage Management Plan:
Since the Master Plan (Plan H10/D06A) is designed for complete discharge, we are proposing to pond the 90th Percentile/First Flush requirement which is 0.34 inches times the impervious area 77,390.18 (2192.17 cF). Total retention volume provided (3,605.00 cF) far exceeds the ponding requirement for First Flush (2192.17 cF).

Calculations:
City of Albuquerque, Development Process Manual, Section 22.3, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

POND CALCULATION

TOTAL POND AREA PROVIDED = POND A + B = 3,605.00 CF
TOTAL PONDING VOLUME REQUIRED = VOL. PROPOSED CONDITIONS - VOL. EXISTING CONDITIONS

TOTAL PONDING VOLUME REQUIRED (90TH PERCENTILE/FIRST FLUSH) = 0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 77,390.18) = 2192.17 CF



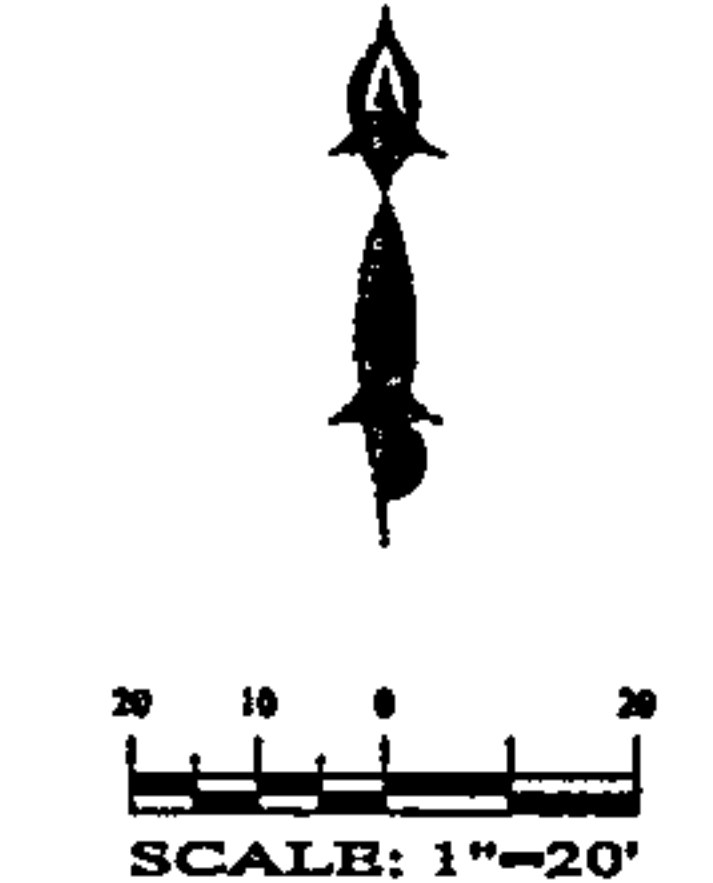
VICINITY MAP: H-10-Z

LEGAL DESCRIPTION:
TRACT 6, LADERA BUSINESS PARK, UNIT 1
CONTAINING 87,780.00 S.F. (2.0513 ACRES)

ADDRESS:
7311 LA MORADA PL., NW, ALBUQUERQUE, NM 87120

LEGEND

---5030---	EXISTING CONTOUR (MAJOR)
---5023---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
X 28.50	PROPOSED SPOT ELEVATION
5029.16	EXISTING GRADE
X 5028.85	EXISTING FLOWLINE ELEVATION
---	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TRW=48.34	TOP OF RETAINING WALL
BW=44.50	BOTTOM WALL
HP	HIGH POINT
TC=47.92	TOP OF CURB
FL=47.42	FLOW LINE



SBS CONSTRUCTION AND ENGINEERING, LLC
1099 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)999-5578

- NOTES:**
1. PROVIDE 12" CURB OPENING
 2. 12" SIDEWALK CURBLET PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT)

WESTERN UNITED ELECTRIC CONCEPTUAL DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201513-00.DWG	SB	07-04-2015	4 OF 6

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PROJECT
WESTERN UNITED ELECTRIC CORPORATION
OFFICE WAREHOUSE LADERA BUSINESS PARK

PROJECT ADDRESS
7311 LA MARADA PL NW ALBUQUERQUE, NM 87120

MARK	DATE	DESCRIPTION
	7/8/18	

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SITE UTILITIES

AS-101
5 OF 6

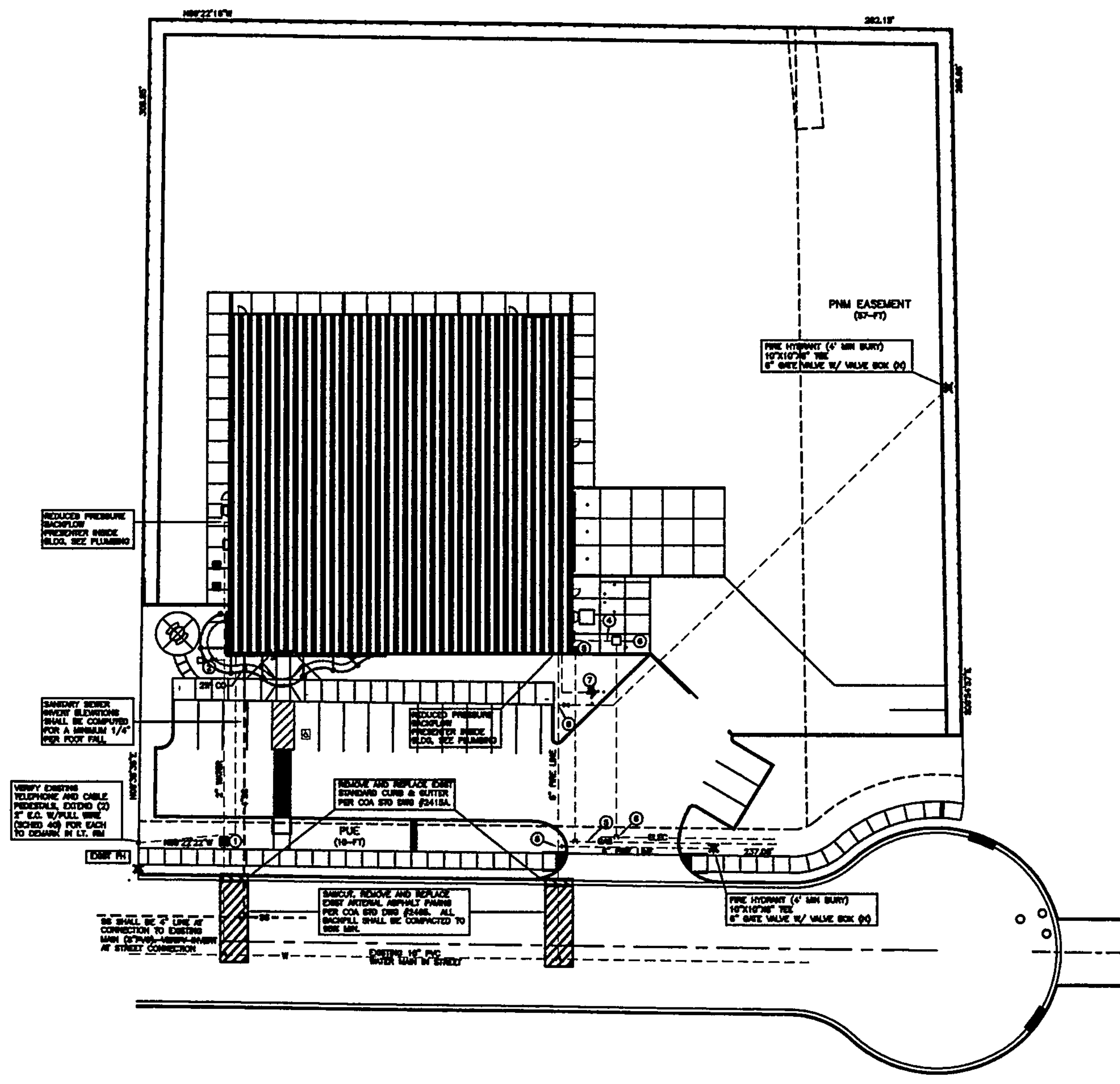
KEYED NOTES

- 1" WATER METER BOX AND ASSEMBLY, 1" TO 2" REDUCER (Q). BEGIN 2" UNDER SERVICE LINE.
- 1-1/2" LINE TO IRRIGATION CONTROL BOX WITH AND BACKFLOW PREVENTION DEVICE 12" ABOVE GRADE IN NEW BOX FOR IRRIGATION SYSTEM. COORDINATE DUCT LOCATION WITH LANDSCAPING. EXTEND CONDUIT TO IRRIGATION CONTROL PANEL AS REQUIRED. EXTEND CONDUIT TO HOUSE PANEL TO POWER A/C-FREEZE DEVICE.
- INSTALL NEW TRANSFORMER AND PAD PER PNM STANDARD. EXTEND UNDERGROUND FROM TRANSFORMER TO SERVICE ENTRANCE. SEE ELECTRICAL CONTRACTOR SHALL INSTALL METER AT TRANSFORMER AND EXTEND 4-INCH UNDERGROUND CONDUIT FOR SECONDARY, OR AS REQUIRED BY PNM.
- USE SECONDARY TO ELECTRICAL SERVICE ENTRANCE, METER AND DISCONNECT. EXTEND SECONDARY IN 4" PVC FROM TRANSFORMER TO SERVICE ENTRANCE. SEE ELECTRICAL.
- ONE REGULATOR/METER. RUN GAS LINE INTO BUILDING. INSTALL SHUT OFF VALVE AND TURN UP INSIDE WALL TO EQUIPMENT. EXTEND YARD LINE TO 4" HIGH PRESSURE GAS MARK. VERIFY EXACT LOCATION WITH PNM. SEE PLUMBING.
- UNDER GROUND ELECTRIC MAIL CONTACT AND COORDINATE WITH PNM FOR SERVICE AND TRANSFORMER INSTALLATION.
- FIRE GBT CONNECTION 1/2" LINE, PER COA STD. 6"X18" TEE GATE VALVE WITH VALVE BOX (V).

WHERE WATER LINES CROSS SEWER LINE THERE SHALL BE A MINIMUM 18-INCH VERTICAL SEPARATION OR MINIMUM 18-FT DISTANCE FROM THE POINT OF CROSSING TO ANY JOINTS IN THE SEWER LINE.

GENERAL NOTES:

- UTILITY LINES AND SERVICE LOCATIONS ARE SHOWN RELATIVE TO SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL UTILITY INSTALLATIONS. ALL UTILITIES SHALL BE COORDINATED AND INSTALLED PER CITY AND UTILITY COMPANY REQUIREMENTS.
- ANY UTILITIES INSTALLED IN SIDE OR CITY RIGHT OF WAY SHALL BE COORDINATED WITH AND INSTALLED PER THEIR SPECIFICATIONS AND REQUIREMENTS.
- UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH AREA FREEZE DEPTH AND SERVICE ACCESSIBILITY.
- INSTALLATION SHALL BE COMPLETE AND SHALL INCLUDE ALL EQUIPMENT AND LABOR. PIPE OR CONDUIT, METERS, BOXES, VALVES, DISCONNECTS, CONDUIT, PADS, BOLLARDS, CUTTING OF EXISTING PAVING, WALLS AND CURBS, FRENCHING, BACKFILL, COMPACTION, AND PATCHING OF EXISTING CONDITIONS. ALL TESTING IN ACCORDANCE WITH UTILITY INSTALLATION SHALL BE INCLUDED IN THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS AND FEES REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW OR EXISTING AND UPGRADE EXISTING SERVICES. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY WITH EACH RESPECTIVE UTILITY COMPANY, EXISTING UTILITY SERVICES AND EQUIPMENT AND PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT.
- THE CONTRACTOR SHALL CONTACT THE RESPECTIVE LOCAL CODE ENFORCEMENT OFFICERS AND THE LOCAL FIRE MARSHAL. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CODES AND INTERPRETATIONS SET FORTH BY THE GOVERNING LOCAL AUTHORITIES.
- ALL UNLINED AND ABANDONED UTILITIES SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED. SEE SURVEY FOR LOCATIONS OF EXISTING SERVICES.
- CONCERN TO INSTALL NEW PEDESTAL AS REQUIRED. EXTEND 4" CONDUIT TO BUILDING. INSIDE WALL TO CEILING SPACE FOR FUTURE EXTENSION.
- CONCERN TO SET NEW PEDESTAL AS REQUIRED. EXTEND (Q) 2" E.C. W/PULL WIRE (SCHED 40) TO CEILING.



REDUCED PRESSURE BACKFLOW PREVENTER INSIDE BLDG. SEE PLUMBING

SANITARY SEWER INVERT ELEVATIONS SHALL BE COMPUTED FOR A MINIMUM 1/4" PER FOOT FALL

VERIFY EXISTING TELEPHONE AND CABLE PEDESTALS. EXTEND (Q) 2" E.C. W/PULL WIRE (SCHED 40) FOR EACH TO CEILING IN LT. RM

DNB FH

IT SHALL BE 4" LINE AT CONNECTION TO EXISTING MAIN (27" DIA.) - VERIFY-REMOVE AT STREET CONNECTION

REMOVE AND REPLACE DNB STANDARD CURB & GUTTER PER COA STD DIB #2418A.

PUE (18'-7")

REMOVE, REMOVE AND REPLACE DNB ORIGINAL ASPHALT PAVING PER COA STD DIB #2418A. ALL BACKFILL SHALL BE COMPACTION TO 95% M.R.

FIRE HYDRANT (4" MIN BURY) 18"X18" TEE 6" GATE VALVE W/ VALVE BOX (V)

FIRE HYDRANT (4" MIN BURY) 18"X18" TEE 6" GATE VALVE W/ VALVE BOX (V)

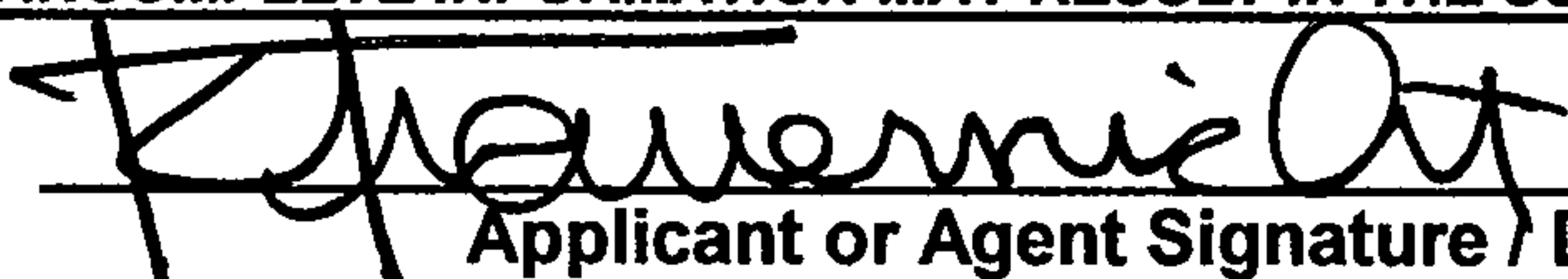
PNM EASEMENT (17'-7")

EXISTING 18" PVC WATER MAIN IN STREET

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.



 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

- ✓ 2 DTLS ✓ 1. **Site Plan** (including easements with recording information)
- 3 2. **Landscaping Plan**
- 4 3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
- 5 4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
- ✓ 6 5. **Building and Structure Elevations**
- 6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- ___ A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan **EMAIL**
- ___ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20' ✓	Over 20 acres	1" = 100'

 [other scales, if approved by staff]
- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Vicinity map
- ✓ 6. Signature Block (for DRB site dev. plans)
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- N/A 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- ✓ 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.

- 1. Location and typical dimensions, including handicapped spaces
- 2. Calculations: spaces required: 19 provided: 21

Handicapped spaces (included in required total) required: 1 provided: 1
Motorcycle spaces (in addition to required total) required: 1 provided: 1

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: 1 provided: 1
- 2. Bikeways and other bicycle facilities, if applicable

- C. Public Transit

- 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions
- 6. Existing and proposed street widths, right-of-way widths and curve radii
- 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 8. Location of traffic signs and signals related to the functioning of the proposal
- 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

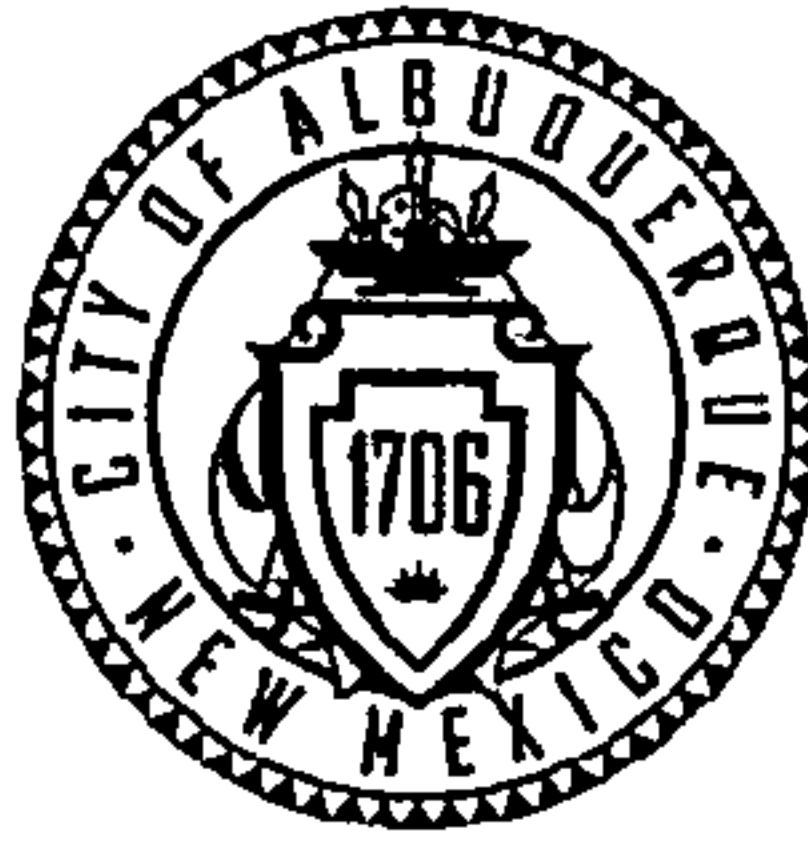
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

June 30, 2015

Kent Trauernicht
AKT Architects
55 Camino Del Senador
Tijeras, NM 87059
Phone: 505-281-9560/Fax: 505-286-1055
E-mail: aktarch@earthlink.net

Dear Kent:

Thank you for your inquiry of **June 30, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of *§14-8-2-7 of the Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) TRACT 6, LADERA INDUSTRIAL CENTER, LOCATED AT 7311 LA MARADA PLACE NW** zone map **H-10**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

LADERA WEST N.A. "R"

Steven Collins, 7517 Vista Alegre NW/87120 344-1599 (h)

Shariesse Taylor McCannon, 2808 El Tesoro Escondido NW/87120 220-1776 (c)

Please note that according to *§14-8-2-7 of the Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT
TO BOTH CONTACTS OF
EACH NA/HOA FOR THIS
PLANNING SUBMITTAL.**

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **06/30/15** Time Entered: **2 p.m.** Rep. Initials: **siw**

7015 0640 0004 1363 1214

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

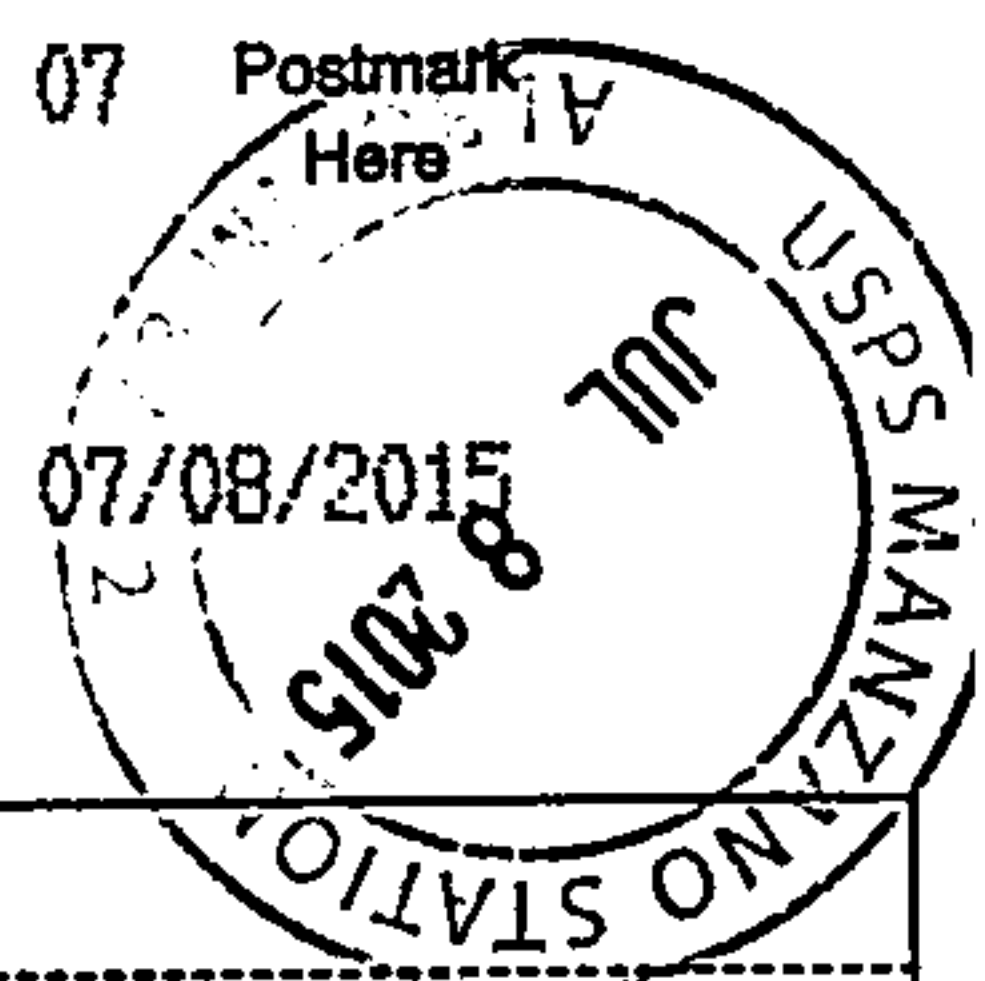
For delivery information, visit our website at www.usps.com®

ALBUQUERQUE NM 87120-1524
OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$2.90
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	N/A
<input type="checkbox"/> Adult Signature Restricted Delivery	N/A
Postage	\$5.75
Total Postage and Fees	\$12.00

0112

07 Postmark Here



Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 0640 0004 1363 1207

U.S. Postal Service™
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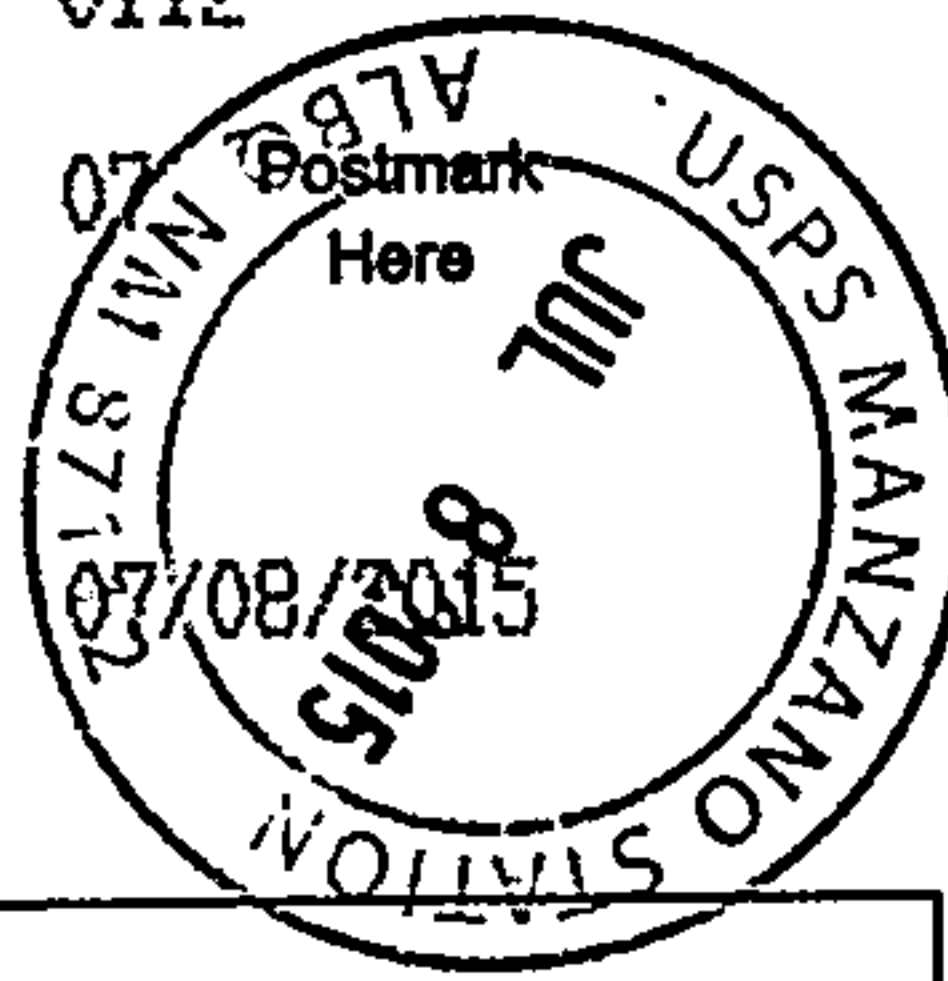
For delivery information, visit our website at www.usps.com®

ALBUQUERQUE NM 87120-5104
OFFICIAL USE

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$2.90
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	N/A
<input type="checkbox"/> Adult Signature Restricted Delivery	N/A
Postage	\$5.75
Total Postage and Fees	\$12.00

0112

07 Postmark Here



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City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

PROJECT #
1001523

AUG. 5. 2015

SPB



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1001523

Application No. 70246

TO: ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Rita Harmon, P.E., Hydrology

Racquel Michel, P.E., Transportation Development

Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 8/27/15

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: ORIGINAL HEARING 8/5/15
DEFERRED TO 8/27/15 SITE PLAN FOR
BUDG PERMIT - REQUESTED REVISIONS
ATTACHED.



CONTACT NAME: Kent Trauernicht

TELEPHONE: 201 9560 EMAIL: AKTARCA@GARTHUNK.NET

Businesses

Availability Statement Request Form

A Water and Sanitary Sewer Availability Statement issued by the Planning Department/Utility Development Section within the past 12 months is required for any proposed development, subdivision plat, or site plan within the City or for anyone contemplating service in Bernalillo County. Below is a Request for Availability Statement form. Please enter all requested information below for the Request for Availability Statement. Any errors or omissions may cause a delay in receiving an Availability Statement.

WATER/SEWER
AVAILABILITY
APPLIED

Project Name: Western United Electric Corp. Date Submitted 8/6/15

Project Description: New building for office and warehouse. 125'X125'=15,625SF. Site developed for building and associated functions.

Project Address: 7311 La Marada Pl. NW Albuquerque 87120

Legal Description: Tract 6, Ladera Business Park, Unit 1

Zone Atlas Page: H-10-Z

DRB Project Number (if applicable): 1001523

CDRA Project Number (if applicable):

Jurisdiction: City

Requestor Name: Kent Trauernicht

Requestor Company: AKT Architects

Requestor Address: 55 Camino del Senador
Tijeras, NM 87059

Requestor Phone Number: 281-9560

Requestor Email: aktarch@earthlink.net

Prior Availability Statement Number: N/A

Attachment: Availability Info WUE.pdf


**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS 7311 LA MIRADA PL NW

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1800 GPM

SQUARE FOOTAGE - LARGEST BUILDING 15,062 SF

TYPE CONSTRUCTION _____

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE _____

DATE: 8/5/15

FIRE DEPARTMENT INSPECTOR: ERIC MENDOZA

RECEIVED BY: KENT TRAUERNICHT TELEPHONE: _____

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

PNM
2401 Aztec NE, Z200
Albuquerque, NM 87107
505-241-2792
www.pnm.com



August 13, 2015

City of Albuquerque
Planning Department, Jack Cloud
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit
Western United Electric Corp. Office/Warehouse
Tract 6, Ladera Business Park, Unit 1
7311 La Morada Pl. NW
Albuquerque, NM 87120

We have received and reviewed the following sheets for the above referenced project: Site Plan/sheet 1 of 6 (architect's stamp date 8/9/15), Landscape Plan/sheet 3 of 6 (architect's stamp date 8/10/15) Grading Plan/sheet 4 of 6 (engineer's stamp date 8/9/15), and the Utilities Plan/sheet 5 of 6 (architect's stamp date 8/9/15).

The following requirements have been identified:

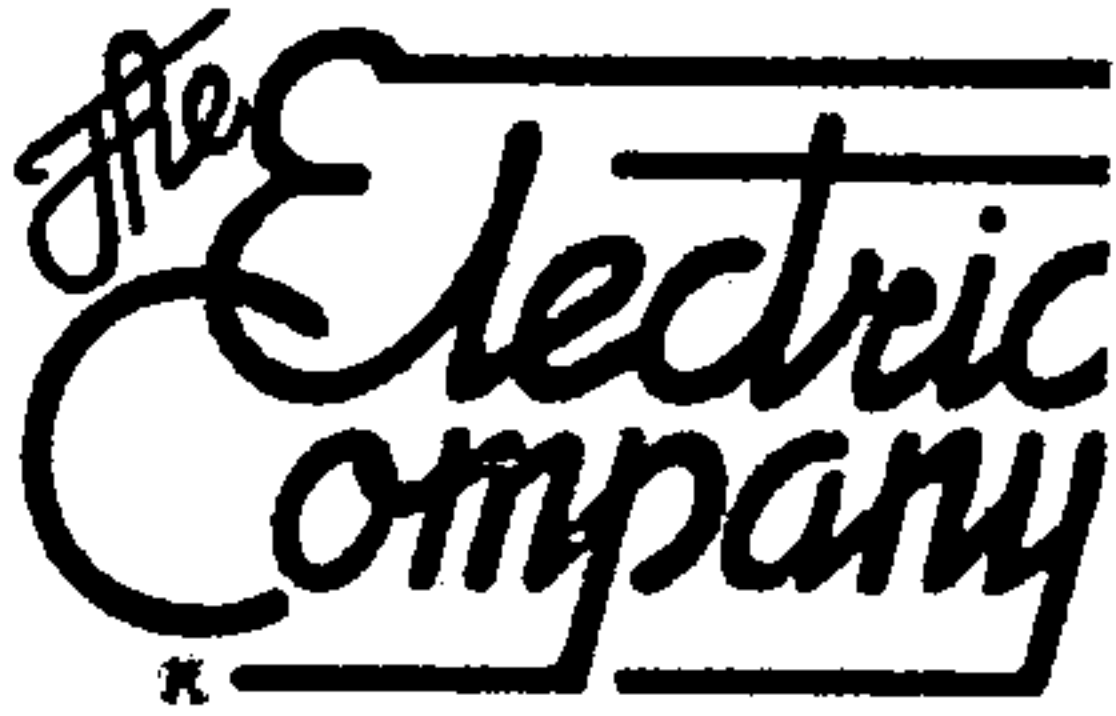
1. No permanent structures or ponding shall be installed in existing distribution easement.
2. Any trees and shrubs planted in distribution easement are subject to trimming and or removal.
3. A 10-ft wide gate will be installed, as shown at the NE corner of the site, for access by EPE and PNM at any time.

Public Service Company of New Mexico (PNM) bears no liability or responsibility for any improvements within the easement.

Sincerely,

A handwritten signature in cursive script that reads "Laurie Moye".

Laurie Moye
Coordinator, Regulatory Project and Public Participation



El Paso Electric

P.O. Box 982
El Paso, Texas
79960-0982
(915) 543-2244

August 17, 2015

City of Albuquerque
Planning Department
Building and Safety Division
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit
Western United Electric Corp., Office/Warehouse
Tract 6, Ladera Business Park, Unit 1
7311 La Marada Pl. NW
Albuquerque, NM 87120

We have received, reviewed, and approved the following sheets for the above referenced project: Site Plan/sheet 1 of 6 (architect's stamp date 8/9/15), Landscape Plan/sheet 3 of 6 (architect's stamp date 8/10/15) Grading Plan/sheet 4 of 6 (engineer's stamp date 8/9/15), and the Utilities Plan/sheet 5 of 6 (architect's stamp date 8/9/15).

The following requirements have been addressed and recorded on the plan sheets listed above.

1. No permanent structures or ponding shall be installed adjacent transmission structures. Existing EPE transmission structures are away from this property's easement.
2. The chain link fence and access gate within the easement shall be grounded per EPE specifications (see attached Exhibit A).
3. Any improvements within the easement, including trees and shrubs, shall not encroach within the EPE clearance requirements. All trees have been moved out of the easement.
4. No public utilities are within the easement. A plastic (PVC) drain pipe from the truck loading dock well extends through the easement and is shown on the grading plan. Utilities shall be marked and coordinated with EPE prior to installation.
5. A 16-ft wide gate (two 8' gates) will be installed, as shown at the NE corner of the site, for access by EPE and PNM at any time.
6. All parking has been moved out of the EPE easement and no future parking shall occur within the easement.

El Paso Electric Company bears no liability or responsibility for any improvements within the easement.

Sincerely,

A handwritten signature in black ink that reads "Adrian Aguirre". The signature is written in a cursive, flowing style.

Adrian Aguirre
Manager TSR Engineering, El Paso Electric