

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project# 1001523
Application # 15DRB-70471
To be known as: ~~the~~ Ladona Business Park
AGENT: Rio Grande Engineering

Your request was approved on 2-3-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning:

add ABCWUA note, verify signature, idr

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

11. **Project# 1007050**
16DRB-70036 MAJOR - FINAL PLAT
APPROVAL 


SURV-TEK INC agent(s) for RCS-NM HOLDINGS, LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **TIERRA VISTA UNIT 3 AT THE TRAILS Unit(s) 3**, zoned SU-2/VTRD, located on WOODMONT BETWEEN UNIVERS AND RAINBOW containing approximately 2.1272 acre(s). (C-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR UTILITY COMPANY SIGNATURE AND FOR LETTER OF ACCEPTANCE BY THE CITY.**

12. **Project# 1010401**
16DRB-70037 MAJOR - FINAL PLAT
APPROVAL

BOHANNAN HUSTON INC agent(s) for WOODMONT PASEO, LLC request(s) the above action(s) for all or a portion of Tract(s) 7 & 8, **THE TRAILS UNIT 3A** zoned VTML/VTRD, located on WOODMONT BETWEEN RAINBOW AND PASEO DEL NORTE containing approximately 30.21 acre(s). (C-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR UTILITY COMPANIES SIGNATURES AND FOR RECORDED SUBDIVISION IMPROVEMENTS AGREEMENT (SIA).**

13. **Project# 1010731**
16DRB-70032 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

MAJAMA LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 13, **UNIVERSITY HEIGHTS** zoned SU-2 DR & SU-2 RTD, located on SW CORNER OF STANFORD AND GARFIELD containing approximately .326 acre(s). (K-16) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO WATER AUTHORITY FOR AVAILABILITY STATEMENT AND FIREFLOW, AND TO PLANNING FOR AMAFCA SIGNATURE AND ZONE BOUNDARY IDENTIFICATION NOTE ON PLAT.**

14. **Project# 1001523**
15DRB-70471 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

RIO GRANDE ENGINEERING agent(s) for UNSER/98TH STREET PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **LADERA BUSINESS PARK** zoned SU-1/L1, located on LA MORADA BETWEEN UNSER AND VISTA ORIENTE containing approximately 31 acre(s). (H-10) *[Deferred on 1/6/16]* **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, UTILITY COMPANIES SIGNATURES AND WATER AUTHORITY NOTE.**

DEVELOPMENT REVIEW BOARD MEETING –April 16, 2014

PARKS & RECREATION DEPARTMENT COMMENTS Item #6

Project# 1001523 – Ladera Business Park

14DRB-70016 – Major Site Development Plan for Building Permit

Will require Streetscape Maintenance Agreement for street trees planted in City ROW. Agreement Packet provided to applicant. The Agreement requires an irrigation plan for the street trees and other landscaping within the City ROW.

Need to show how other landscaping on site will be irrigated. As the property is 2 separate lots, it may be reasonable to provide two separate irrigation systems especially considering the size of the property and the distances to the planting areas.

505-768-5387 Carol S. Dumont, Sr. Planner, DRB Representative for Parks & Recreation Department

DEVELOPMENT REVIEW BOARD MEETING –April 16, 2014

PARKS & RECREATION DEPARTMENT COMMENTS Item #7

Project# 1009542 – Traction Park and City Electric and West Park Addition
14DRB-70097 – Preliminary/Final Plat Approval

Need to clearly show that the Pedestrian/Bicycle Easement continues over water meter as indicated on the proposed plat and remains at a full 10' minimum easement. The plat as drawn appears to reduce the Pedestrian/Bicycle Easement to 4' along the south edge of the full easement. As shown it is unclear why it would be reduced and unclear as to whether this is a drafting error.

505-768-5387 Carol S. Dumont, Sr. Planner, DRB Representative for Parks & Recreation Department

DEVELOPMENT REVIEW BOARD MEETING –April 16, 2014

PARKS & RECREATION DEPARTMENT COMMENTS Item #10

Project# 1004404 – The Trails Unit 3A
14DRB-70101 Sketch Plat Review and Comment

No comments on proposed plat.

Open Space Division, Hydrology and applicant should discuss the OS-2 and OS-3 Open Space parcels shown on this plat as “Future Unit” as it is Open Space Division understanding that those tracts would be dedicated to the City for Major Public Open Space and it is Hydrology’s understanding that they are Drainage Ponds.

505-768-5387 Carol S. Dumont, Sr. Planner, DRB Representative for Parks & Recreation Department

DEVELOPMENT REVIEW BOARD MEETING –April 30, 2014

PARKS & RECREATION DEPARTMENT COMMENTS Item #3

Project# 1001523 – Ladera Business Park

14DRB-70016 – Major Site Development Plan for Building Permit

The Streetscape Maintenance Agreement for street trees planted in City ROW has been received but has not yet been routed for signatures and recording..

The Irrigation Plan is insufficient.

A Legend is needed for the Irrigation Plan.

Need to identify the point of connection for water service.

Need to show location of and detail of valves.

Identify location of controller.

Need the following specs:

Emitter

Bubbler (for trees)

PVC type

All irrigation in ROW must be to City Standards.

505-768-5387 Carol S. Dumont, Sr. Planner, DRB Representative for Parks & Recreation Department

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 10/4/13
Date Site Plan Approved: 10-9-13
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1002202
DRB Application No.: 13DRB-70671

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Dave and Busters Winrock Town Center, 2100 Louisiana Blvd NE
PROPOSED NAME OF _____ SITE DEVELOPMENT PLAN

Parcel C-2A Winrock Center Addition
EXISTING LEGAL DESCRIPTION PRIOR TO _____ ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Sanitary Sewer	New 30' Pubic Water and Sanitary Sewer Easement within Parcel C-2A	Indian School Road	370' South within Parcel C-2A	/	/	/
		8"	Water	New 30' Pubic Water and Sanitary Sewer Easement within Parcel C-2A	Indian School Road	370' South within Parcel C-2A	/	/	/
		24"	Storm Drain Pipe and Type 'C' Inlet	Indian School Road west of proposed entrance	Within Curb and gutter along southside of Indian School Road	Ex. Storm Drain Manhole in Indian School Road	/	/	/
			Traffic Calming Diverter	Indian School Road	New Winrock Entrance		/	/	/
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NAME OF PLAT AND/OR SITE PLAN - PARCEL C-2A WINROCK CENTER ADDITION

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
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NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Darin Sand
NAME (print)
Winrock Partners LLC
FIRM
Darin Sand 10/9/13
SIGNATURE - date

Paul Chis 10-9-13
DRB CHAIR - date
JA 25 10-9-13
TRANSPORTATION DEVELOPMENT - date
Allan Pette 10/09/13
UTILITY DEVELOPMENT - date
Ante a. Chen 10-9-13
CITY ENGINEER - date

Carol S. Dumont 10-09-13
PARKS & RECREATION - date

AMAFCA - date

- date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 1-YEAR

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL

INFRASTRUCTURE LIST
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Sawmill Crossing, Unit I
PROPOSED NAME OF PLAT ~~ASPER DRIVE AND C&G DRIVE~~
Tract B-1-A-2, Duke City Lumber Company
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			PAVING						
		0'-12' F-E	Perm Pvmnt (South Side) C&G (South Side)	Aspen Ave	W. Terminus of Aspen	NE corner Tract B	/	/	/
		6'	Sidewalk (S.Side)	Aspen Ave	Mill Pond	RR	/	/	/
		6'	Sidewalk (N.Side)	Aspen Ave	W. Terminus of Aspen	SE Corner Tract 2-A, Land of Forest Products	/	/	/
			C&G (N.Side)	Aspen Ave	Tract 2-A Driveway (E.Side)	SE Corner Tract 2A, Land of Forest Products	/	/	/
		26' FF	Res Pvmnt C&G (both sides)	Band Saw Dr.	W. Terminus Band Saw	Timber Dr.	/	/	/
		4'	Sidewalk (both sides Deferred) (1)						
		30' FF	Res Pvmnt C&G (both sides)	Timber Dr.	Aspen Ave.	Band Saw Pl.	/	/	/
		6'	Sidewalk (west side only)						
		4'	Sidewalk	South Side of Tract C	Bandsaw Pl Terminus	Tract B	/	/	/
		4'	Sidewalk	Band Saw Pl.	Lot 1	Lot 64	/	/	/
		4'	Sidewalk	Band Saw Pl.	Lot 72	Tract B	/	/	/

RR Crossing per NMDOT Stds. Aspen Ave. @ Timber Drive
 A tri-party agreement (Developer, City of Albuquerque, and DOT) is required for RR crossing

WATER				
12" Waterline	Timber Dr.	Aspen Ave.	Band Saw Pl.	
6" Waterline	Band Saw Pl.	W. Terminus Band Saw	Timber Dr.	
6" Waterline	S. Side of Tract C	Band Saw Pl Terminus	Tract B	
SANITARY SEWER				
8" Sanitary Sewer	Lot 5 SAS Easement	60" Off-Site Interceptor	Band Saw Pl.	
8" Sanitary Sewer	Band Saw Pl.	Lot 5 SAS Easement	Lumberton Dr.	
8" Sanitary Sewer	Lumberton Dr.	Band Saw Pl.	Aspen Ave.	
8" Remove Existing SAS	Aspen Ave.	Lumberton Dr.	NE Corner of Site	
STORM DRAINAGE				
18" RCP III	Band Saw Pl.	W. Terminus Band Saw	Tract C Pond	
18" RCP III	E. Part Tract C	W. Boundary Tract B	Tract C Pond	
1.04 AF Pond Tract C	Tract C			
Pond Flood Wall (Continuously poured concrete)		Tract C (Internal Perimeter)		
Pond Percolation (Not to be Financially Guaranteed)				
12" Sidewalk Culverts (6)	Per locations on Grading Plan			
12" Rear Yard Channel (deferred)	Lots 1-3	Lot 1	Lot 3	
12" Rear Yard Channel (deferred)	Lots 5-7	Lot 5	Lot 7	

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12"	Rear Yard Channel (deferred)	Lots 12-14	Lot 12	Lot 14
12"	Rear Yard Channel (deferred)	Lots 15-18	Lot 15	Lot 18
12"	Rear Yard Channel (deferred)	Lots 68-69 & Tract B	Tract C	Lot 69
12"-24"	Pipe and Side/Front Yard Channel	Tract C	80' E. of Site's SW corner	Upper Part of Tr. C Pond
12"	Side Yard Channel (deferred)	Lot 5	Rear Lot 5 Boundary	Band Saw PL
12"	Side Yard Channel (deferred)	Lot 8	Rear Lot 8 Boundary	Band Saw PL
12"	Side Yard Channel (deferred)	Lot 12	Rear Lot 12 Boundary	Band Saw PL
12"	Side Yard Channel (deferred)	Lot 15	Rear Lot 15 Boundary	Band Saw PL
5'	Concrete Channel	Tract C	SW Corner of Site	80' east of SW corner of Site

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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
 The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							Signature Date		

Project name: Sawmill Crossing

- 1 Sidewalks to be deferred per sidewalk exhibit.
- 2 Water Infrastructure to include valves, fittings, and firehydrants.
- 3 SAS Infrastructure to include manholes and service connections.
- 4 Storm Drain Infrastructure includes manholes and inlets.
- 5 Grading and Drainage Certification and perimeter wall construction required prior to release of SIA and Financial Guaranty. (Financial Guaranty not required for Grading and Drainage Plan.)
- 6 Pond Agreement and Covenant required for Tract C
- 7
- 8

AGENT / OWNER

John M. MacKenzie, P.E.
 NAME (print)

Mark Goodwin & Associates

FIRM

John MacKenzie 11-11-13
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 11-13-13
 DRB CHAIR - date

[Signature] 11-13-13
 TRANSPORTATION DEVELOPMENT - date

Alan Porter 11/13/13
 UTILITY DEVELOPMENT - date

[Signature] 11-13-13
 CITY ENGINEER - date

Carl S. Dumont 11-13-13
 PARKS & RECREATION - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building
May 7, 2014 9:00 a.m.

MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1001523**
14DRB-70016 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

RIO GRANDE ENGINEERING agents for DLK ENTERPRISES request the referenced/ above action for Lot 25 Unit 1 & Lot 28 Unit 2, **LADERA BUSINESS PARK** zoned SU-1/ LIGHT INDUSTRIAL, located east of UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approx. 6.755 acres. (H-9) [Deferred. from 2/12/14, 3/5/14, 4/2/14, 4/16/14, 4/23/14, 4/30/14] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR RECORDING OF STREETScape AGREEMENT, 15 DAY APPEAL PERIOD, AND REVIEW AND INITIAL BY ZONING ENFORCEMENT.**

2. **Project# 1004976**
14DRB-70089 VACATION OF
PUBLIC UTILITY EASEMENT
14DRB-70090 VACATION OF
PUBLIC RIGHT OF WAY

BORDENAVE DESIGNS agents for CALABACILLAS GROUP request the referenced/ above actions for the P.U.E. on, and a portion of GOLF COURSE RD NW adjacent to, Tract A-1-A-1 **BLACK ARROYO DAM**, located on the west side of GOLF COURSE RD NW between WESTSIDE BLVD NW and the CALABACILLAS ARROYO containing approximately 8.0350 acres. (A-12)) [Deferred. from 4/23/14] **DEFERRED TO 5/21/14.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1001523

Application #: 14DRB-70016

Project Name: LADERA BUSINESS PARK

Agent: RIO GRANDE ENGINEERING

Phone #:

Your request was approved on 5-7-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: address comments

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Site/Scope Approved
15 day appeal in clude all landscaping in Phase 1
the may be shown on phase 2

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

DEVELOPMENT REVIEW BOARD MEETING –February 12, 2014

PARKS & RECREATION DEPARTMENT COMMENTS Item #2

Project# 1001523 – Ladera Business Park

14DRB-70016 Major – Site Development Plan for Building Permit

Please review Landscaping requirements, what is shown is insufficient.

A Streetscape Maintenance Agreement is to be completed for landscaping in City ROW.

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
A	1/23/14	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

Current DRC Project No. _____

Date Submitted: 1-22-14
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: 1-22-14
 Date Preliminary Plat Expires: _____
 DRB Project No. 1002981

ORIGINAL

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
 Duke City Lumber Company Addition Lot B-1-A-3-A

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure Listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		50' R	PAVED CUL DE SAC	BELLEMAH AVENUE		WEST END OF STREET	/	/	/
		40' R	PAVED CUL DE SAC	15TH ST.		NORTH END OF STREET	/	/	/
		4'	SIDEWALK	SAWMILL ROAD	WEST END OF EX SIDEWALK	SW CORNER OF TRACT B	/	/	/
		10' F-F	PAVEMENT WIDENING	SAWMILL ROAD	APPROX 100' NORTH OF SOUTH PROPERTY LINE		/	/	/
		24' F-F	PUBLIC ACCESS ROAD	NW CORNER OF TRACT C	SAWMILL VILLAGE	SAWMILL CROSSING UNIT 2	/	/	/
PUBLIC WATERLINE IMPROVEMENTS									
		12"	WATERLINE	TRACT B	ALONG EAST PROPERTY LINE	ALONG NORTH PROPERTY LINE	/	/	/

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
GLENN BROUGHTON, P.E.		<i>[Signature]</i>	1-22-14	<i>Carol S. Dumont</i>	01-22-14
PREPARED BY: PRINT NAME		DRB CHAIR	DATE	PARKS & GENERAL SERVICES Recreation	DATE
BOHANNAN HUSTON INC.		<i>[Signature]</i>	01-22-14	<i>[Signature]</i>	
FIRM		TRANSPORTATION DEVELOPMENT	DATE	AMAFO	DATE
<i>Sheela</i>	1/22/14	<i>A. Peter</i>	01/22/14	<i>[Signature]</i>	1-22-14
SIGNATURE		ABCWUA	DATE	CITY ENGINEER	DATE
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION			DATE		DATE



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
STORM DRAINAGE (Form D)	L A		APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: UNSER/98TH STREET PARTNERS, LLC PHONE: _____
 ADDRESS: PO BOX 90548 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY/FINAL PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 11 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LADERA BUSINESS PARK
 Existing Zoning: SU1-LI Proposed zoning: SU1-LI MRGCD Map No. _____
 Zone Atlas page(s): H10 UPC Code: 101005910924630201

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
PROJECT#1001523

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total site area (acres): 31
 LOCATION OF PROPERTY BY STREETS: On or Near: LA MORADA PLACE NW
 Between: UNSER BLVD NW and VISTA ORIENTE STREET NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE _____
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>15 DRB-70471</u>	<u>P&E</u>		<u>\$ 355.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>		<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____		\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____		\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____		\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____		\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>Jan. 16, 2016</u>			<u>\$ 375.00</u>

[Signature] 12-18-15 Project # 1001523
 Staff signature & Date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



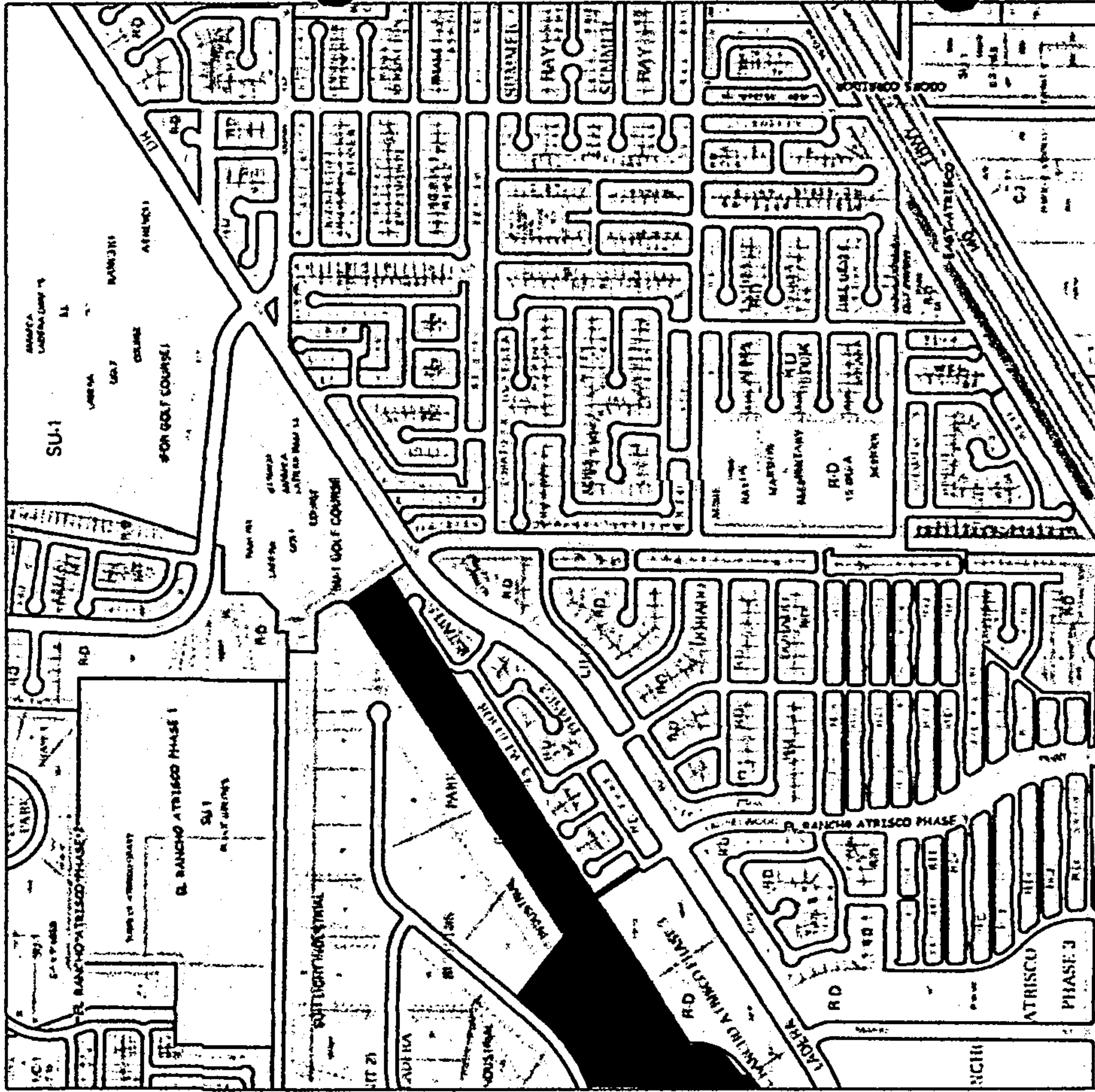
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15-DRB-70471

Planner signature / date
Project # 1001523

12-18-15



For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page
H-10-Z

Selected Symbols

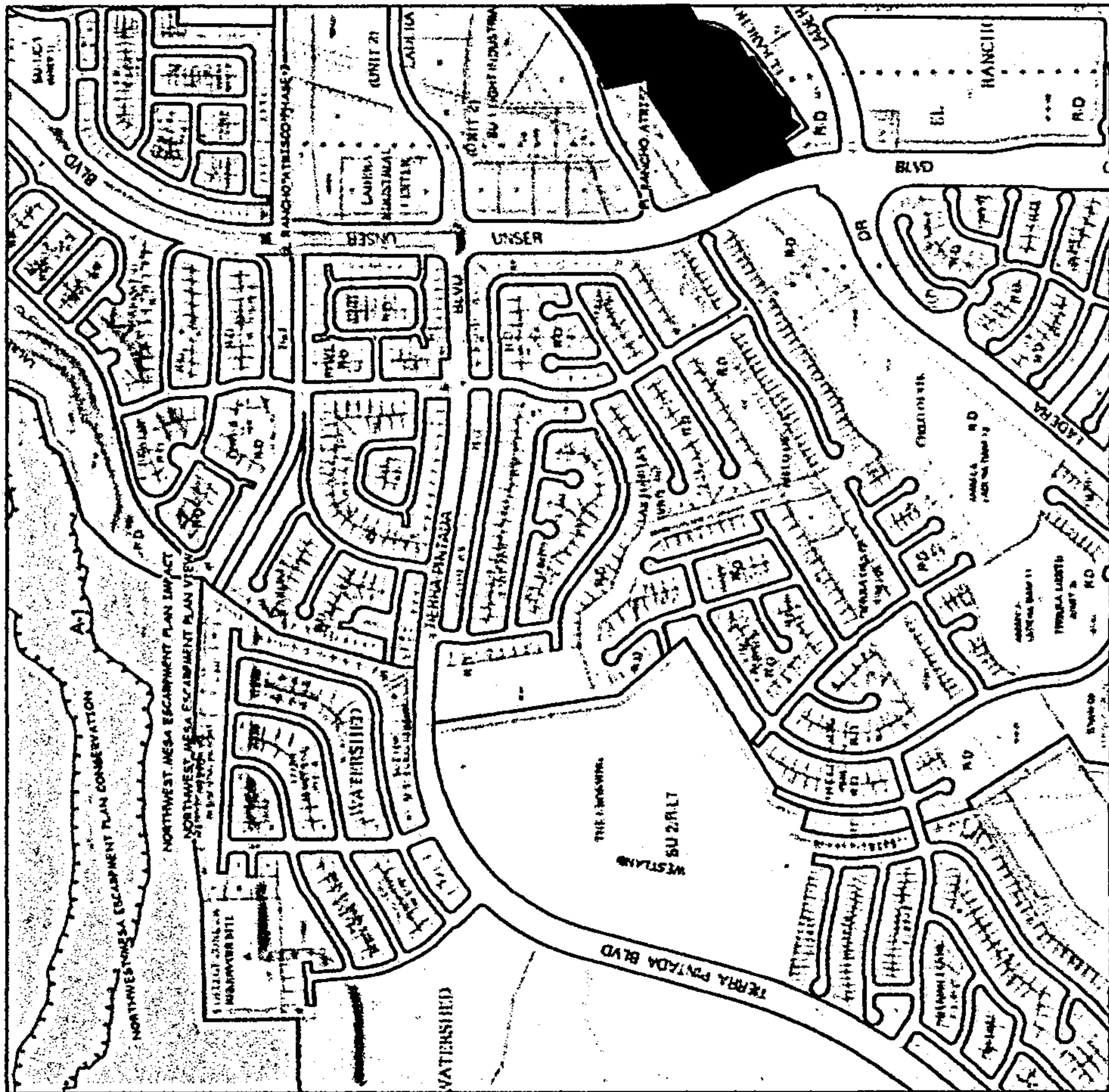
SECTOR PLANS

- 1/2 Mile Airport Zone
- 1/4 Mile Airport Zone
- Airport Noise Contours
- 11-1 Buffer Zone
- Wall Overlay Zone

Map amended through: 2/12/10

Nearest Grey Shading Represents Area Outside of the City Limits

Scale: 1" = 100'



For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page
H-09-Z

Selected Symbols

SECTOR PLANS

- 1/2 Mile Airport Zone
- 1/4 Mile Airport Zone
- Airport Noise Contours
- 11-1 Buffer Zone
- Wall Overlay Zone

Map amended through: 2/12/10

Nearest Grey Shading Represents Area Outside of the City Limits

Scale: 1" = 100'

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

December 17, 2015

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Site Plan for Subdivision
Preliminary-Final Plat
Ladera Business Park- Project# 1001523
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed preliminary/final plat. The proposed plat will subdivide lot 11 into 3 lots. The site plan for subdivision was amended to show this proposed division. *All of the improvements are in place, with the exception of the deferred sidewalks, which are contained within an existing subdivision improvement agreement. Separate water and sewer taps are to be completed.*

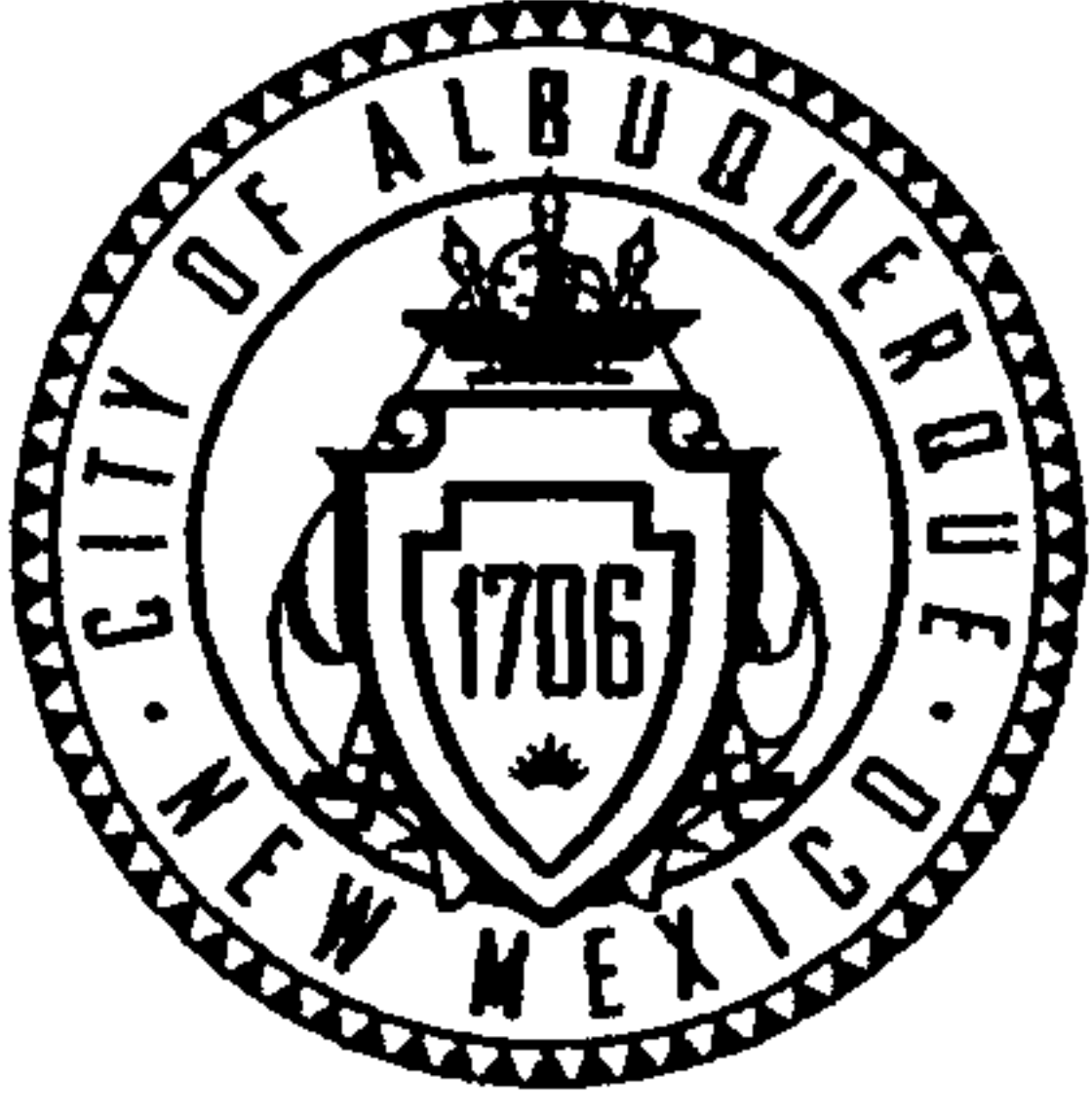
Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
December 15, 2015

Robert J. Perry, CAO

**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation**

Project Number(s): 1010652

Case Number(s):

Agent: RIO GRANDE ENGINEERING

Applicant: UNSER/98TH STREET PARTNERS, LLC

Legal Description: TRACT 11 LADERA BUSINESS PARK, UNIT 1

Zoning : SU-2 for LI

Acreage: 31 acres

Zone Atlas Page: H-9 / H-10

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance).***

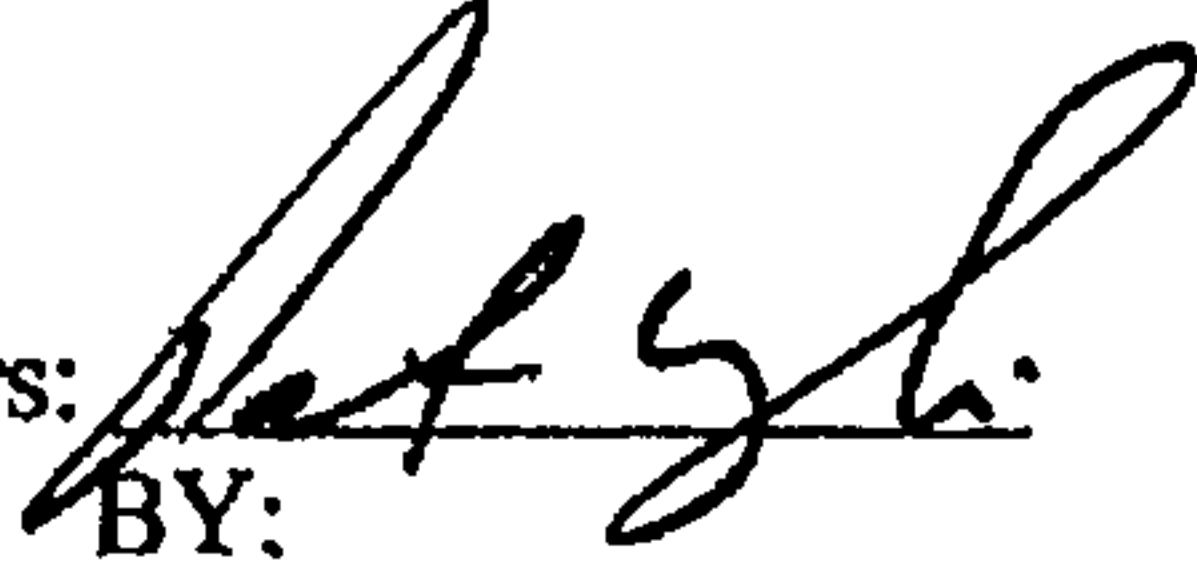
SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

Letter of Authorization

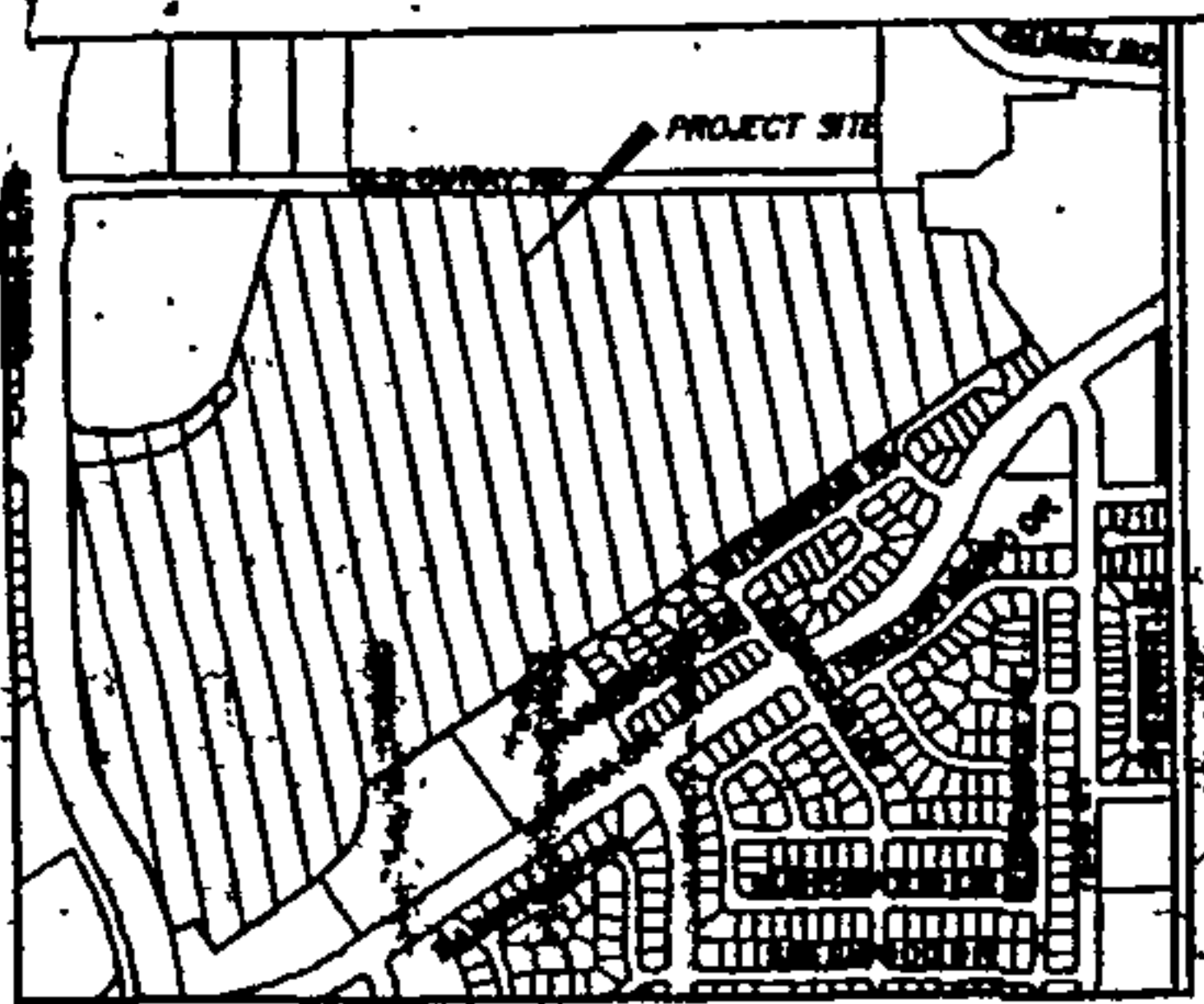
I, Pat Wylie, Managing Member, of UNSER/98TH STREET PARTNERS, LLC, owner of TRACT 11, LADERA BUSINESS PARK UNIT 1, UPC# 101005910924630201 hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the site plan and platting actions required for the subject property within the City of Albuquerque New Mexico.

Property Owners:


BY:

Date

11/14/15

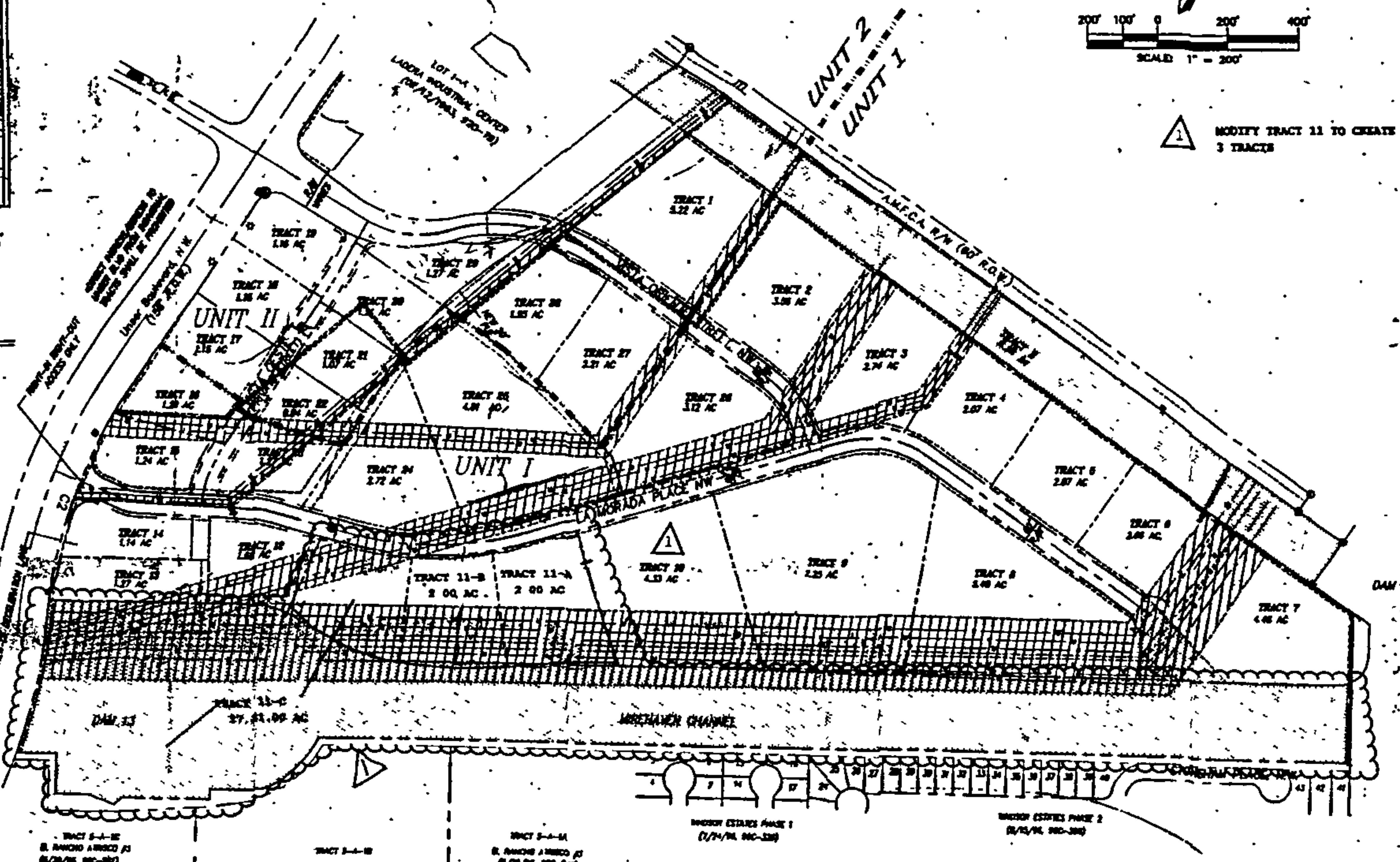


VICINITY MAP ZONE MAPS: G-8, G-10, H-8, H-10

DEVELOPER
 LADERA-BUSINESS PARK PARTNERSHIP, LLC
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 261-1034

PLANNERS
 CONDENSED PLANNING
 624 PARK AVE. S.E.
 ALBUQUERQUE, NEW MEXICO 87108
 (505) 764-8800

ENGINEERS
 MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 261-1034



SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 78.8 ACRES PRIOR TO ANY R/W RELOCATIONS.

PROPOSED USE

THE SITE IS ZONED I-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS
 PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING LADERA BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTROR STREET.

VEHICULAR ACCESS
 VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS
 A BIKE TRAIL CURRENTLY EXISTS ALONG LADERA BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT
 AS THIS SITE DEVELOPS ALONG THIS PORTION OF LADERA BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN
 THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.30

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRP TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRP.

APPROVED AND ACCEPTED BY:

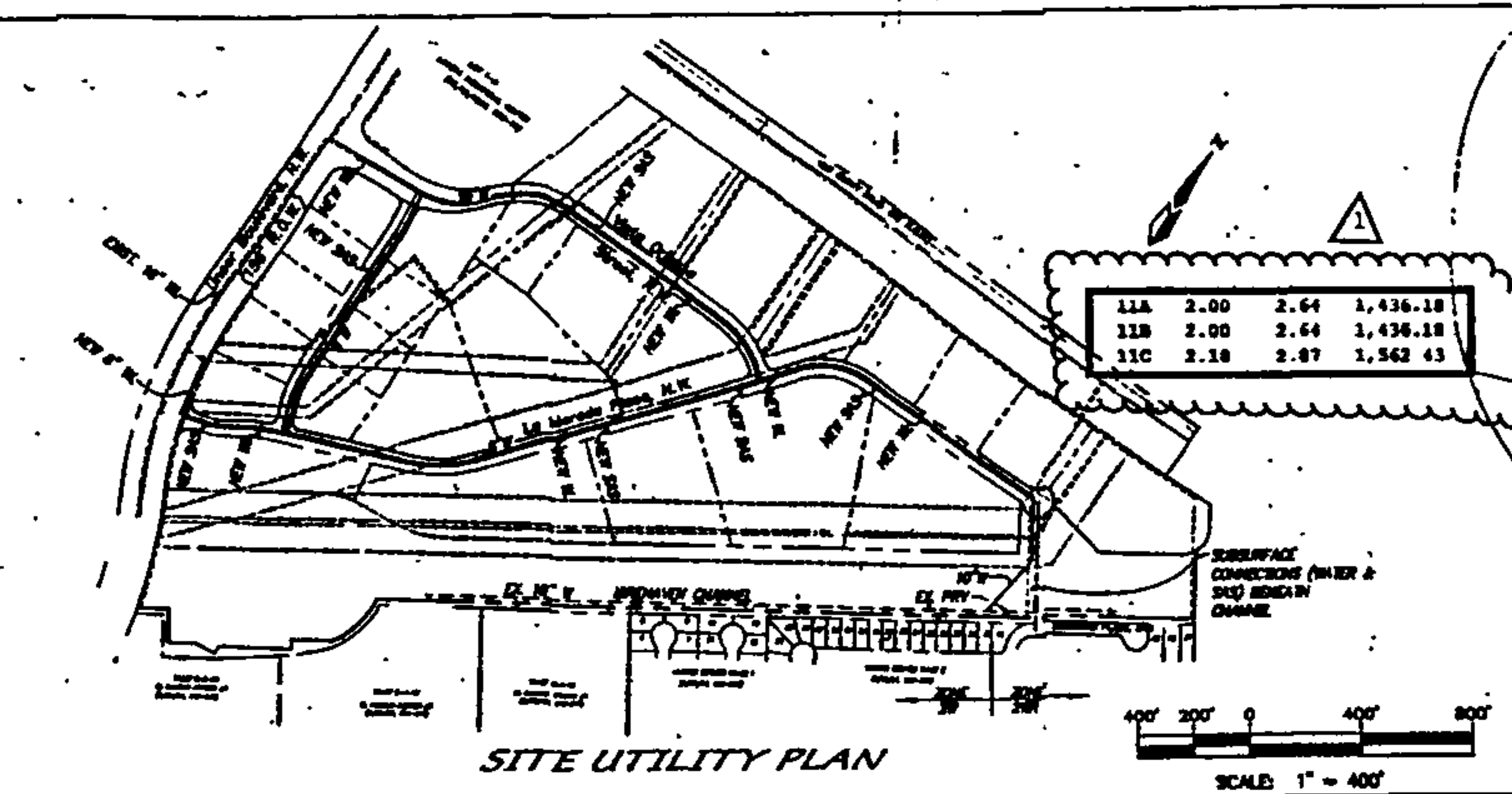
Project No. 1001883
 02-01458
 Approved by:
 Steven Matson 1/16/04
 Planning Department / DRP Chief
 Bruce A. Bjoer 10/8/03
 City Engineer
 [Signature] 10/8/03
 [Signature] 10/8/03
 [Signature] 10/8/03
 City Engineer
 Christine Randall 10/8/03
 Parks and Recreation

PROJECT COST SHARE ESTIMATE - OFF-SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.62	2,742.72	15	1.28	1.62	692.79
2	3.08	3.91	1,682.24	17	1.18	1.50	627.18
3	2.74	3.47	1,504.37	18	1.18	1.50	627.18
4	2.67	3.38	1,466.82	19	1.18	1.50	627.18
5	2.07	2.63	1,105.82	20	1.21	1.54	645.69
6	2.08	2.64	1,108.08	21	1.87	2.37	977.26
7	4.48	5.69	2,379.80	22	0.84	1.07	444.09
8	6.40	8.11	3,421.34	23	1.27	1.62	667.72
9	7.25	9.19	3,922.03	24	3.72	4.71	1,904.48
10	4.38	5.56	2,349.07	25	4.84	6.14	2,448.88
11	6.40	8.11	3,421.34	26	3.19	4.03	1,647.22
12	1.28	1.62	692.79	27	2.21	2.81	1,108.48
13	1.28	1.62	692.79	28	1.88	2.38	954.48
14	1.18	1.50	627.18	29	1.27	1.62	667.72
15	1.24	1.57	685.98				
TOTAL	78.88	100.00	34,144.88				

AN INFLATION FACTOR OF 2% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2008.

NET OF DAMAGE IMPROVEMENT
 OFF-SITE TRAFFIC IMPROVEMENTS ESTIMATED HEREIN TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT SUBMITTANCE.



SITE UTILITY PLAN

LEGEND

- [Hatched] POWER EASEMENT WITH OVERHEAD POWER LINE
- [Dashed] DRAINAGE EASEMENT
- [Dotted] MOVED EASEMENT
- [Solid] UNIT BOUNDARY

ADMINISTRATIVE AMENDMENT
 FILE # 02-01458 PROJECT # 1001883
 SUBDIVIDE TRACT # UNITS
 TRACT 1A, 1B, 1C
 UPDATE IMPROVEMENT CHART
 APPROVED BY [Signature] DATE 11-24-15

LADERA BUSINESS PARK
SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 261-1034, FAX (505) 797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1
 Scale: 1" = 200' Date: 01-03-07 Job: A01130

PROJECT #
1001523

January 6. 2016

P: F

March 4, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: DEFFERAL for Project# 1001523
Site Plan for Building Permit
Albuquerque RV and Boat storage
Lots 25&28 Ladera Business Park
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests a two week deferral to March 19th,2014 for the review and approval of the site plan for building permit. The site plan for subdivision is in the Administrative Approval process to modify the exclusion of metal siding.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

03/04/2014 Issued By: BLDAVM 222402

Category Code **910**
2014 070 016

Application Number: 14DRB-70016, Major - Sdp For Building Permit

Address:

Location Description: VISTA ORIENTE ST NW BETWEEN UNSER BLVD AND LA MORADA

Project Number: 1001523

Applicant

DLK ENTERPRISES

12231 ACADEMY RD SUITE 301
ALBUQUERQUE NM 87111

Agent / Contact

RIO GRANDE ENGINEERING
DAVID SOULE
PO BOX 93924
ALBUQUERQUE NM 87106

DAVID@RIOGRANDEENGINEERING.COM

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions

\$110.00

TOTAL:

\$110.00

City of Albuquerque Treasury
Date: 3/4/2014 Office: ANMEX
Stat ID: W9000009 Cashier: TRSHAB
Batch: 3328 Trans #: 35
Permit: 2014070016
Receipt Num: 00183146
Payment Total: \$110.00
0903 DRB Actions
Check Tendered :
\$110.00
\$180.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

01/17/2014 Issued By: BLDAVM 222402

Category Code **910**
2014 070 016

Application Number: 14DRB-70016, Major - Sdp For Building Permit

Address:

Location Description: VISTA ORIENTE ST NW BETWEEN UNSER BLVD AND LA MORADA

Project Number: 1001523

Applicant

DLK ENTERPRISES

12231 ACADEMY RD SUITE 301
ALBUQUERQUE NM 87111

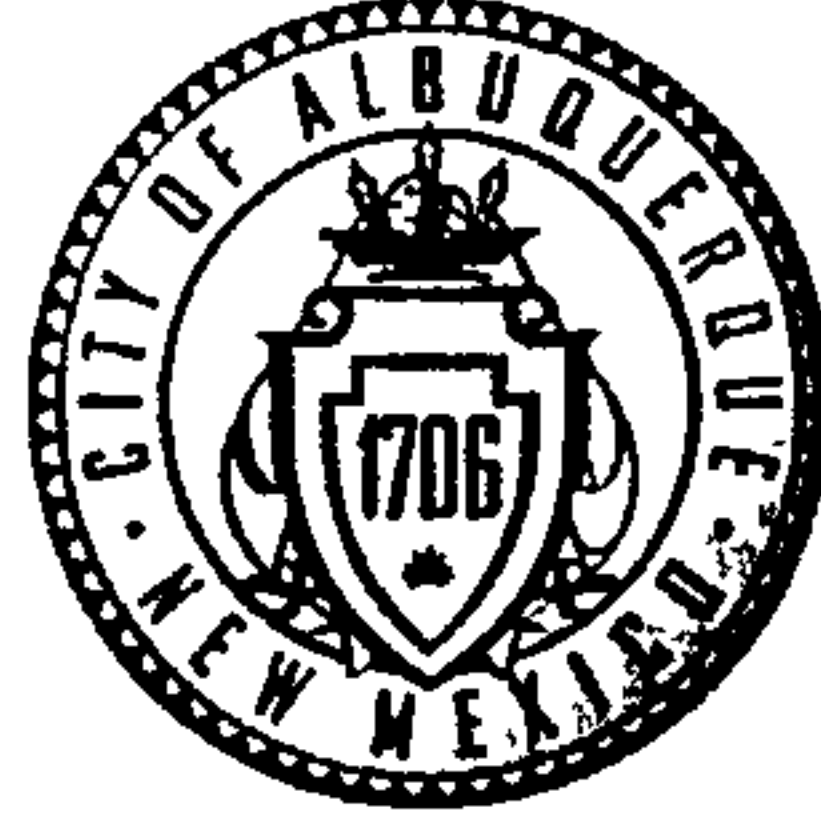
Agent / Contact

RIO GRANDE ENGINEERING
DAVID SOULE
PO BOX 93924
ALBUQUERQUE NM 87106

DAVID@RIOGRANDEENGINEERING.COM

Application Fees	
APN Fee	\$75.00
Conflict Mgmt Fee	\$20.00
DRB Actions	\$385.00
TOTAL:	\$480.00

City of Albuquerque Treasury
Date: 1/17/2014 Office: ANNEX
Stat ID: W5000005 Cashier: TR50XU
Batch: 3132 Trans #: 21
Permit: 2014070016
Receipt Num 00172707
Payment Total: \$480.00
0900 APN Fee \$75.00
0901 Conflict Mgmt. Fee \$20.00
0905 DRB Actions \$385.00
Check Tendered : \$480.00



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN/ JOHN MAKENZIE -	Transportation Development
SHABIH RIZVI - KENDRA WATKINS/ ANDREW GINGERICH -	Transit & Parking Department
LYNN MAZUR -	Council of Governments
STEVE SINK -	AMAFCA
SUSANNAH ABBEY -	APD Crime Prevention
ANTONIO CHINCHILLA -	Open Space Division
DAVID KILPATRICK -	Fire Department
STEPHANI WINKLEPLECK -	Zoning Enforcement Inspector
DANIEL ARAGON -	Neighborhood Coordination
PATRICK SANCHEZ -	Public Service Company of New Mexico
APRIL WINTERS -	New Mexico Gas Company
MICHELE RAMIREZ -	Albuquerque Public Schools
MIKE MORTUS -	CenturyLink
RAY GOMEZ -	Comcast Cable
SUZANNE BUSCH -	Middle Rio Grande Conservancy District (MRGCD) Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1001523

WEDNESDAY, February 12, 2014

Comments must be received by:

Monday, February 7, 2014

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests. **If you have any questions, please contact me at 924-3946 or agomez@cabq.gov**



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Rio Grande Engineering PHONE: 321-9097
 ADDRESS: PO Box 93924 FAX: _____
 CITY: Alb STATE NM ZIP 87199 E-MAIL: David@riograndeengineering.com

APPLICANT: DLK Enterprises PHONE: -
 ADDRESS: 17231 Academy (No.) S 301 FAX: -
 CITY: Albora STATE NM ZIP 87111 E-MAIL: -
 Proprietary interest in site: _____ List all owners: All

DESCRIPTION OF REQUEST: Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract AB E25 Block: _____ Unit: 2
 Subdiv/Addn/TBKA: Ladera Business Park
 Existing Zoning: SU1-LT Proposed zoning: SU1-LT MRGCD Map No. -
 Zone Atlas page(s): H-9 UPC Code: 100100905952631741505

CASE HISTORY:
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1001523

CASE INFORMATION:
 Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 6.2
 LOCATION OF PROPERTY BY STREETS: On or Near: Vista Oriente St NW
 Between: Unser Blvd SW and La Marada SW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 3/19/13

SIGNATURE DM DATE 1/12/13
 (Print Name) David Souza Applicant Agent

FOR OFFICIAL USE ONLY		Revised: 4/2012		
<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F. Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>14NCR - 70016</u>	<u>SBP</u>	_____ \$ <u>385.00</u>
<input checked="" type="checkbox"/>	All fees have been collected	_____	<u>ADK</u>	_____ \$ <u>75.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned	_____	<u>CMF</u>	_____ \$ <u>20.00</u>
<input checked="" type="checkbox"/>	AGIS copy has been sent	_____	_____	_____ \$ _____
<input checked="" type="checkbox"/>	Case history #s are listed	_____	_____	_____ \$ _____
<input type="checkbox"/>	Site is within 1000ft of a landfill	_____	_____	_____ \$ _____
<input type="checkbox"/>	F.H.D.P. density bonus	_____	_____	_____ \$ _____
<input type="checkbox"/>	F.H.D.P. fee rebate	_____	_____	_____ \$ _____
		Hearing date <u>February 12, 2014</u>	Total \$ <u>480.00</u>	
<u>Yufu</u>		<u>1-17-14</u>	Project # <u>1001523</u>	
		Staff signature & Date		

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
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 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
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 - 6 copies of the Infrastructure List, if relevant to the site plan
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 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Solt
 Applicant name (print)
 [Signature]
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 HDRB - 70014

[Signature]
 Planner signature / date
 Project # 1001523

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from January 28, 2014 to February 12, 2014

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

MM
(Applicant/Agent)

1/17/13
(Date)

I issued 2 signs for this application, 1-17-14, Vogel
(Date) (Staff Member)

PROJECT NUMBER: 1001523

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
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- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- Solid Waste Management Department signature on Site Plan
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- Sign Posting Agreement
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- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN

FOR SUBDIVISION or BUILDING PERMIT (DRB10)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
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D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sole
Applicant name (print)
DM
Applicant signature / date

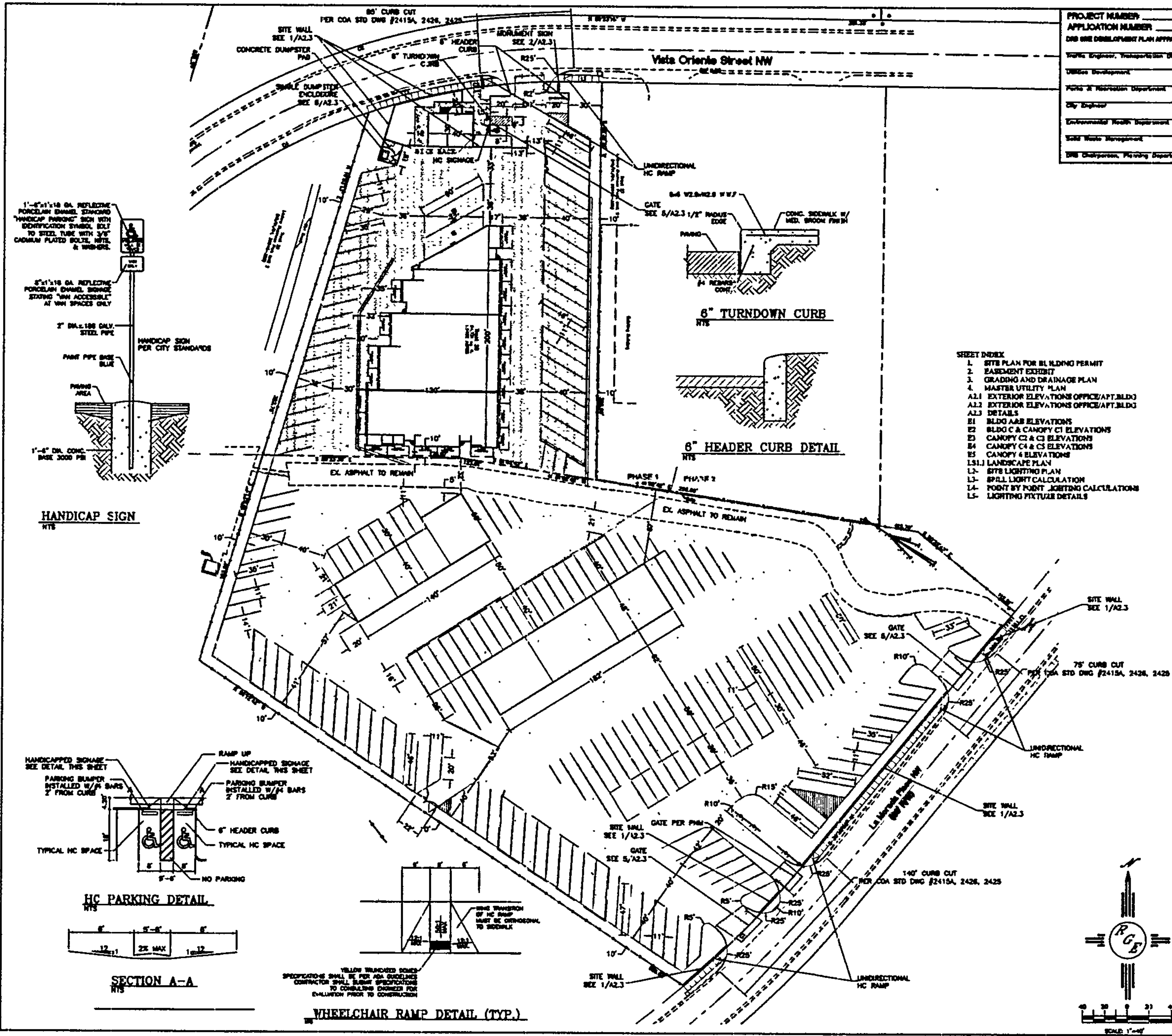


Form revised October 2007

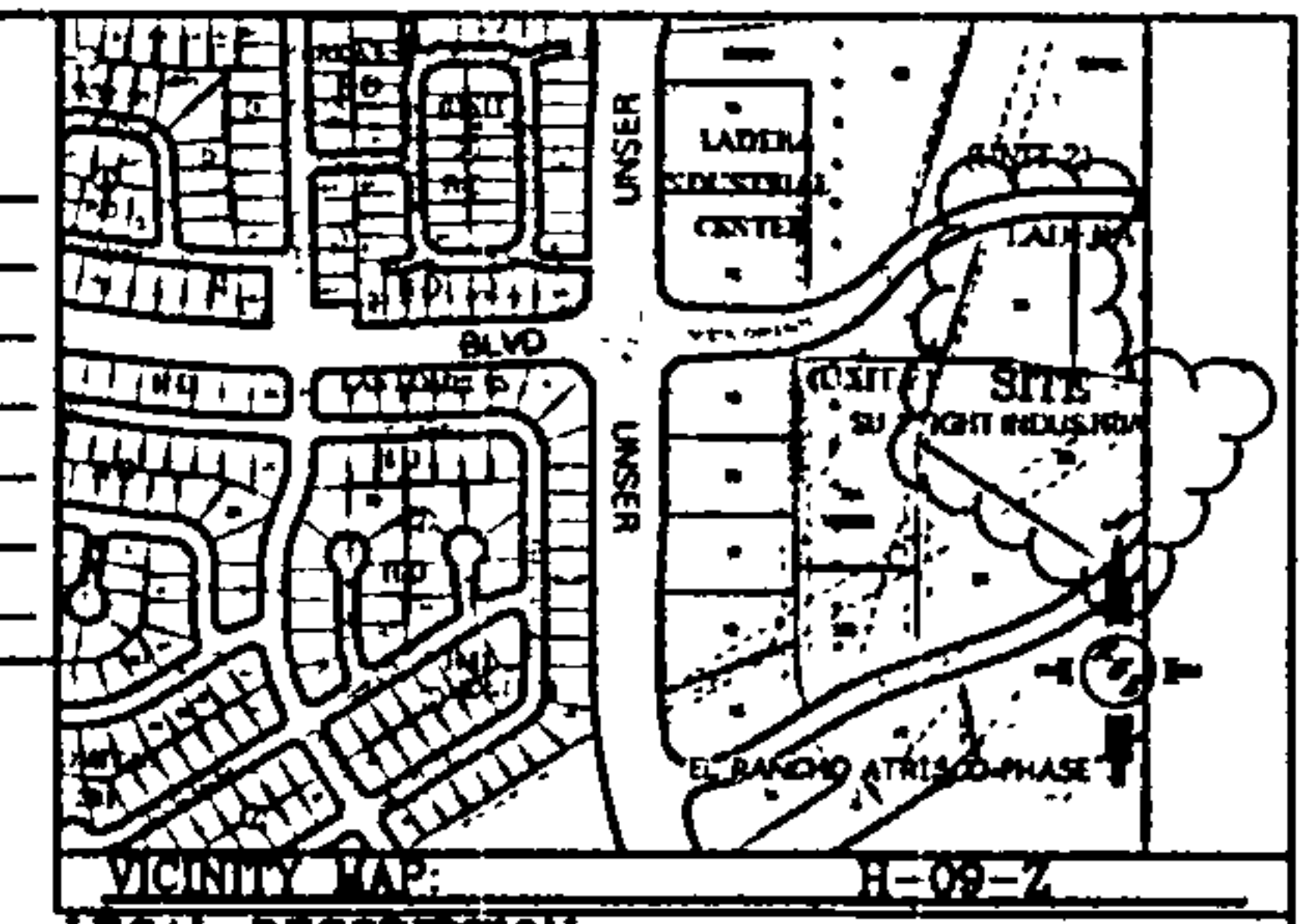
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
MDRB - 70014

K 1-17-14
Planner signature / date
Project # 1001523



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 DIB USE DEVELOPMENT PLAN APPROVAL: _____
 Public Engineer, Transportation Division: _____
 DIB Use Development: _____
 Public Health Department: _____
 City Engineer: _____
 Environmental Health Department (sanitation): _____
 Solid Waste Management: _____
 DIB Chairperson, Planning Department: _____



- LEGAL DESCRIPTION:**
 TR. 24, 24, UNIT 2-CADDER DORY INDUSTRIAL
- GENERAL NOTES:**
1. ALL WHEELCHAIR RAMP SHALL BE BUILT PER DETAIL THIS SHEET.
 2. ALL PRIVATE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED SEE DETAIL SHEET. ALL COA ROW CURBS SHALL BE STD 6" PER COA STD DWG #2415A.
 3. ALL HANDCAP RAMP SHALL BE ADA COMPLIANT.
 4. ALL DRIVABLE SURFACES SHALL BE 3" THICK ASPHALT PAVING.

SITE CRITERIA

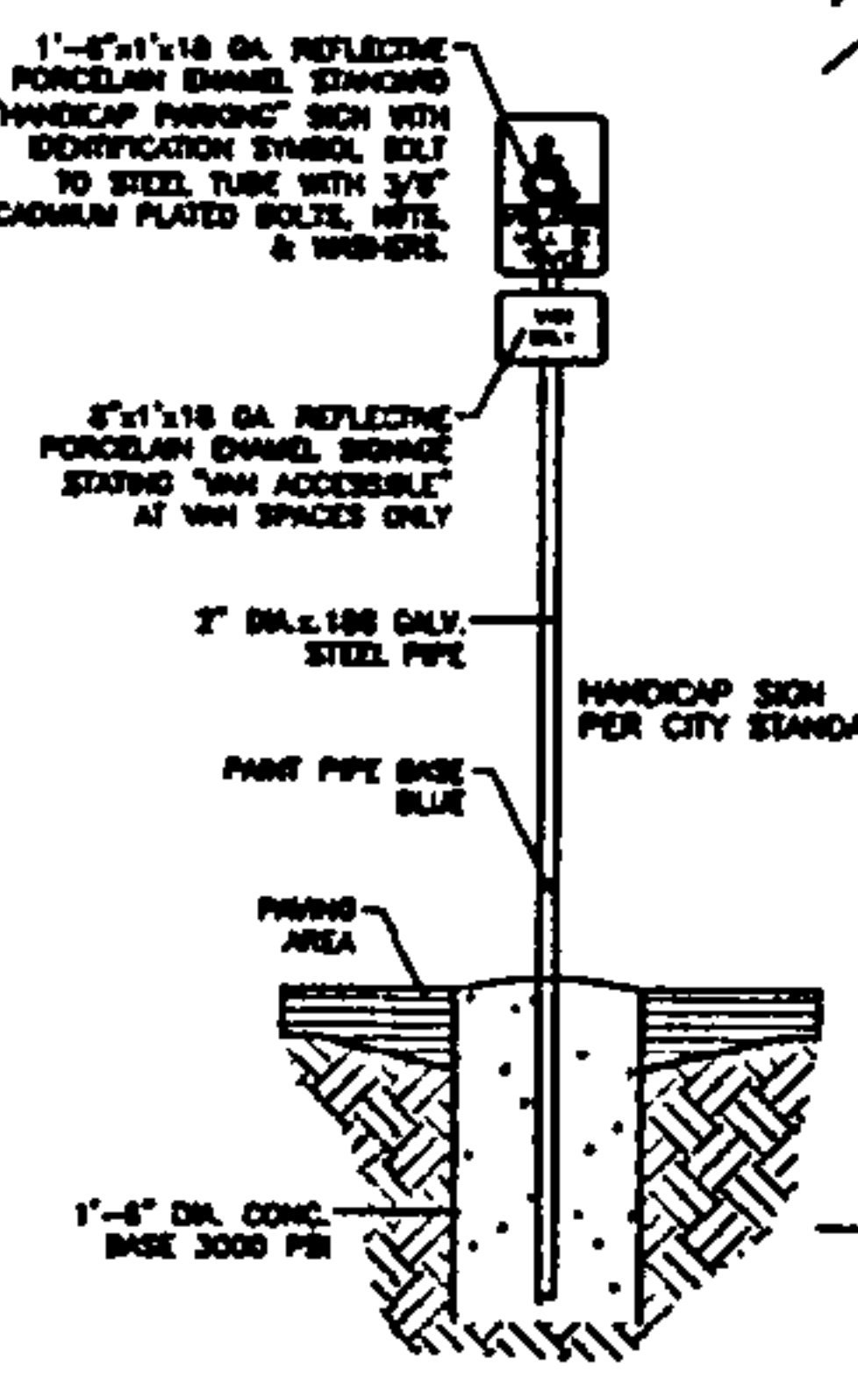
PROJECT: ALBUQUERQUE RV AND BOAT STORAGE
 SECTION: 214 WIDE ORANGE HWY
 ZONING: R10
 APPLICABLE ORDINANCES: 1998 AMM
 LEGAL DESCRIPTION: TR. 24, 24, UNIT 2-CADDER DORY INDUSTRIAL

OFFICE	1200 SF/PH	6
OFFICE	1200 SF/PH	6
SELF-STORAGE	1 SPACE/2000 SF	16
OFF-GROUND	1 SPACE/2000 SF	16
TOTAL		34

TOTAL USE AREA: 4,720 AC.
 PARKING ANALYSIS:
 OFFICE: 1200 SF/PH = 6
 OFFICE: 1200 SF/PH = 6
 SELF-STORAGE: 1 SPACE/2000 SF = 16
 OFF-GROUND: 1 SPACE/2000 SF = 16
 TOTAL: 34
 TOTAL REQUIRED: 34
 AVAILABLE: 34
 ACCESSIBLE PARKING (REQUIRED): 1 PROVIDED
 UTILITY PARKING (REQUIRED): 2 PROVIDED
 TOTAL PARKING PROVIDED: 34

PARKING SPACE SIZES:
 REGULAR: 8'-0" x 30'-0" x 10'-0"
 ACCESSIBLE: 8'-0" x 30'-0" x 10'-0" + 5' SIDE WALK
 MOTORCYCLE: 4'-0" x 6'-0" x 10'-0"
 BICYCLE: 4'-0" x 6'-0" x 10'-0"
 NUMBER OF SELF-STORAGE UNITS: 176
 NUMBER OF BOAT STORAGE SPACES: 211
 MINIMUM BUILDING HEIGHT: 10 FEET
 MINIMUM BUILDING SETBACK: 10' FROM ROAD R.O.S.
 4' FROM PROPERTY LINE
 MINIMUM TOTAL SWELLING: 1"
 BIER RACKS - 3 SPACES

- SHEET INDEX**
1. SITE PLAN FOR BUILDING PERMIT
 2. EASEMENT EXHIBIT
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN
 - A1.1 EXTERIOR ELEVATIONS OFFICE/APT. BLDG
 - A1.2 EXTERIOR ELEVATIONS OFFICE/APT. BLDG
 - A2.3 DETAILS
 - E1 BLDG A&B ELEVATIONS
 - E2 BLDG C & CANOPY C1 ELEVATIONS
 - E3 CANOPY C2 & C3 ELEVATIONS
 - E4 CANOPY C4 & C5 ELEVATIONS
 - E5 CANOPY 4 ELEVATIONS
 - LS1.1 LANDSCAPE PLAN
 - L2- SITE LIGHTING PLAN
 - L3- SPILL LIGHT CALCULATION
 - L4- POINT BY POINT LIGHTING CALCULATIONS
 - L5- LIGHTING FIXTURE DETAILS



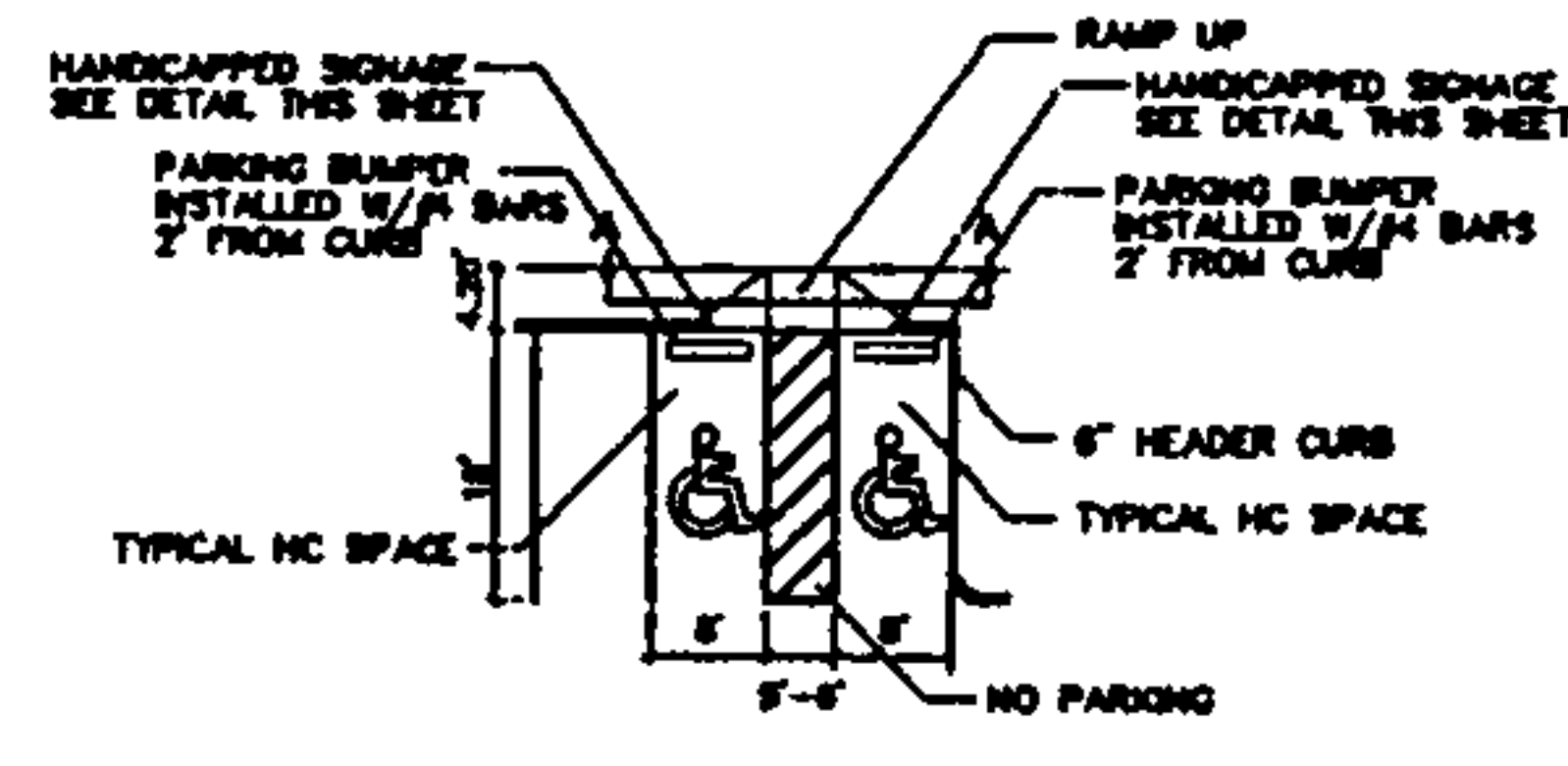
HANDICAP SIGN
 NTS



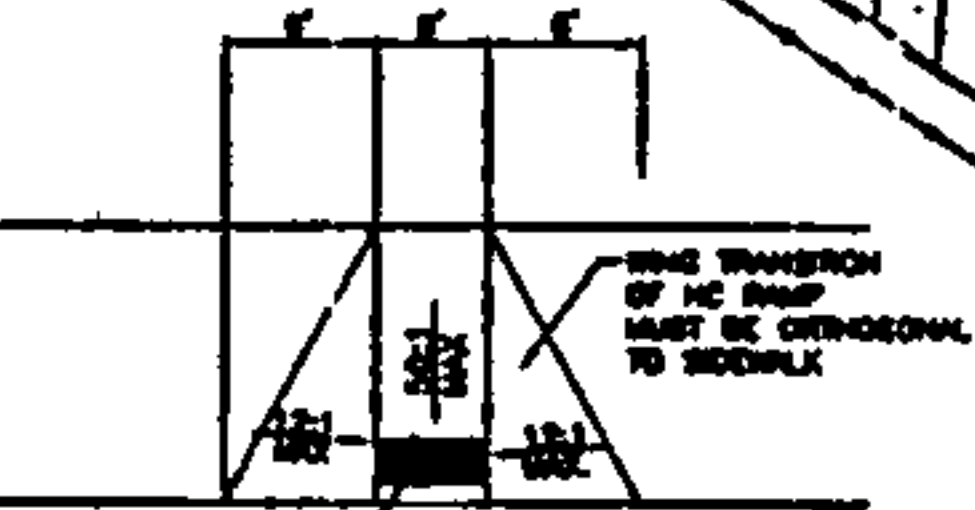
6" TURNDOWN CURB
 NTS



6" HEADER CURB DETAIL
 NTS



HC PARKING DETAIL
 NTS



WHEELCHAIR RAMP DETAIL (TYP.)
 NTS

SECTION A-A
 NTS

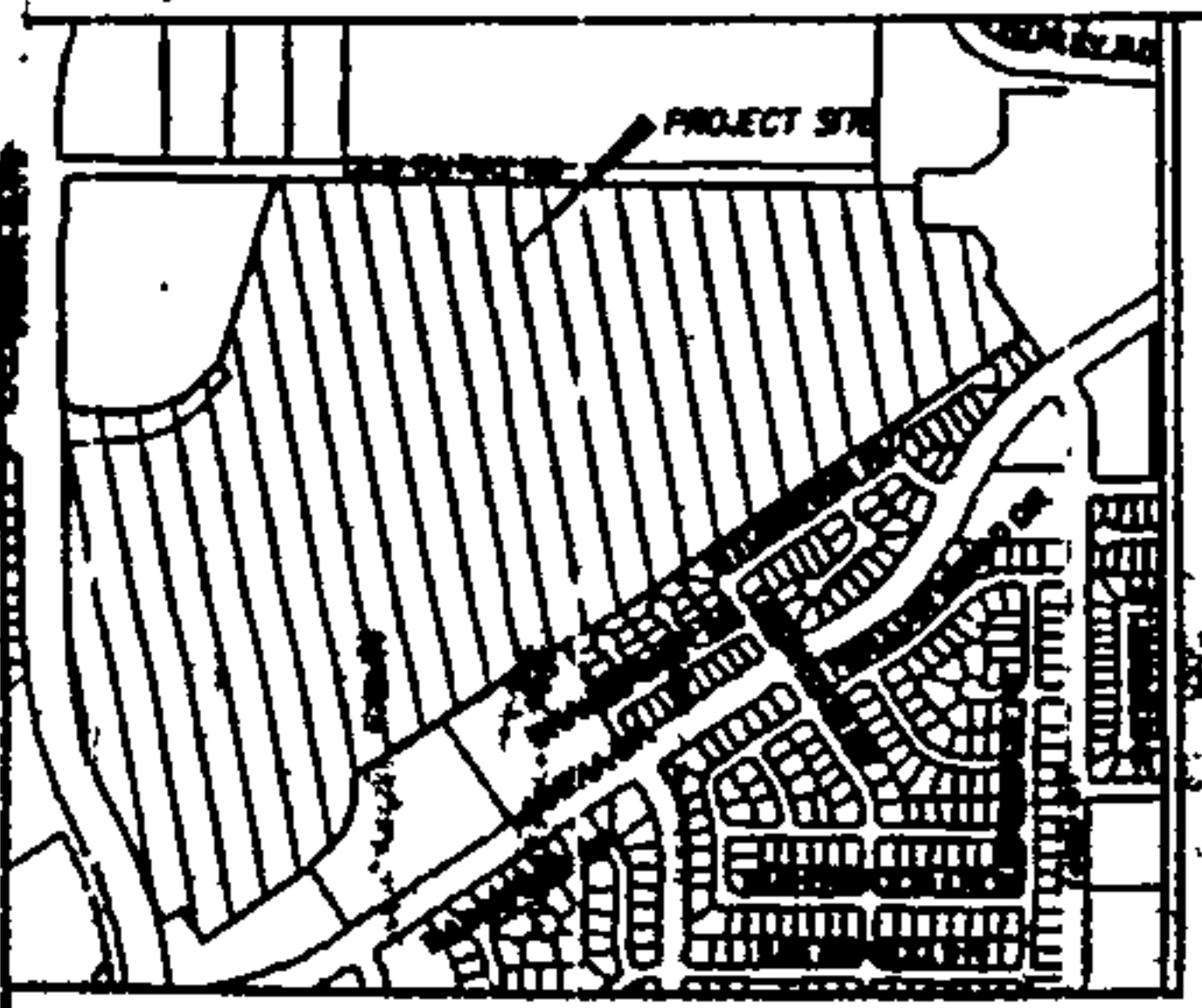
LEGEND

-----	EXISTING CURBS & GUTTER
-----	EXISTING SIDEWALK
-----	PROPOSED 6" HEADER CURB
-----	BOUNDARY LINE
-----	LOT LINE
-----	PROPOSED SIDEWALK
-----	PROPOSED 3" ASPHALT PAVING
-----	PROPOSED 4" ASPHALT MILLINGS
-----	PROPOSED BUILDING
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED 6" CHAIN LINK FENCE
-----	PROPOSED CMU BLOCK WALL
-----	HC STORAGE



DIBNO SCALE P.E. #14522	ALBUQUERQUE RV AND BOAT STORAGE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	DRAWN BY: WCM/J DATE: 12-27-13 SHEET: LAM-13-13
		SHEET # 1 JOB # 21227

LADERA

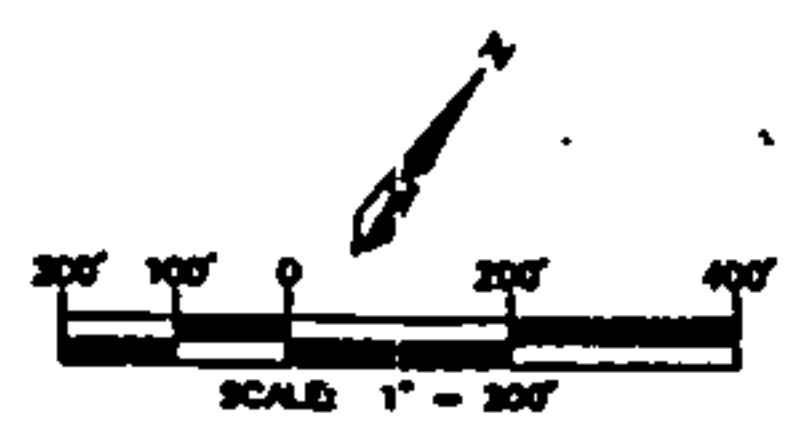
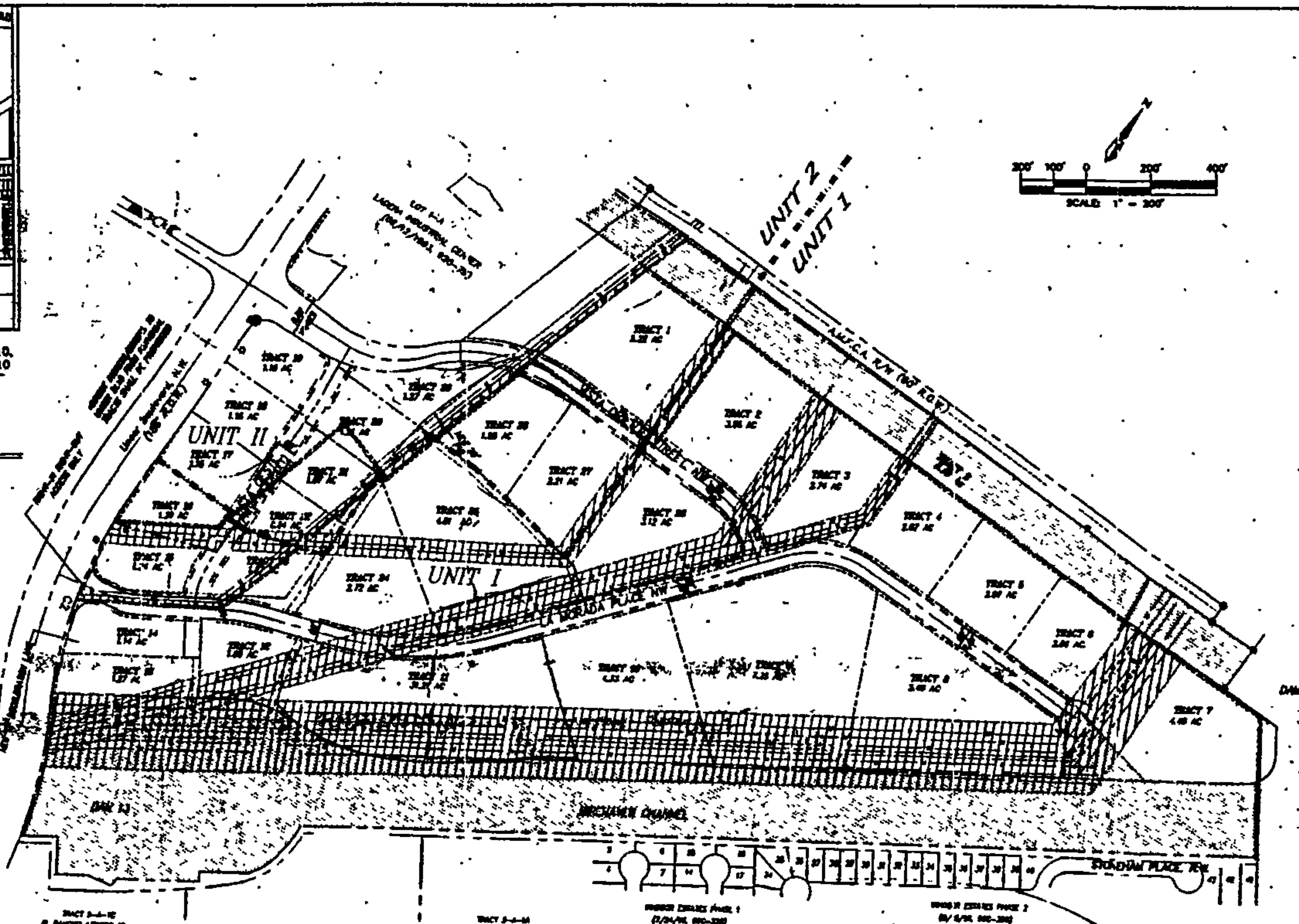


VICINITY MAP
ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER
MCCOY-SONN SE PARTNERSHIP, LLC
P.O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505) 851-3004

PLANNERS
CONSIDER PLANNING
804 PARK AVE. S.E.
ALBUQUERQUE, NEW MEXICO 87102
(505) 794-0001

ENGINEERS
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
112 BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505) 851-3004



SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. THE AREA IS THREE ACRES PRIOR TO ANY R/W RELOCATIONS.

- PROPOSED USE**
THE SITE IS ZONED M-1 FOR UNIT INDUSTRIAL USES.
- PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS**
TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNDER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.
VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S SPW & BULDLINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.
BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNDER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.
- TRAVEL**
AS THE SITE DEVELOPS ALONG THIS PORTION OF UNDER BLVD, COORDINATION SHALL BE WITH THE CITY TRAVEL DEPARTMENT REGARDING PLACEMENT OF TRAVEL STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.
- LANDSCAPE PLAN:**
THE DESIGN GUIDELINES ON SHEET 3 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.
- MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS**
MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 3.
- MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.**
THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35.
- GENERAL NOTES**
- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT ONE TO ESTABLISH ZONE BOUNDARIES AND DESIGNATE R/W.
 - AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DEFERRED TO THE BUREAU.

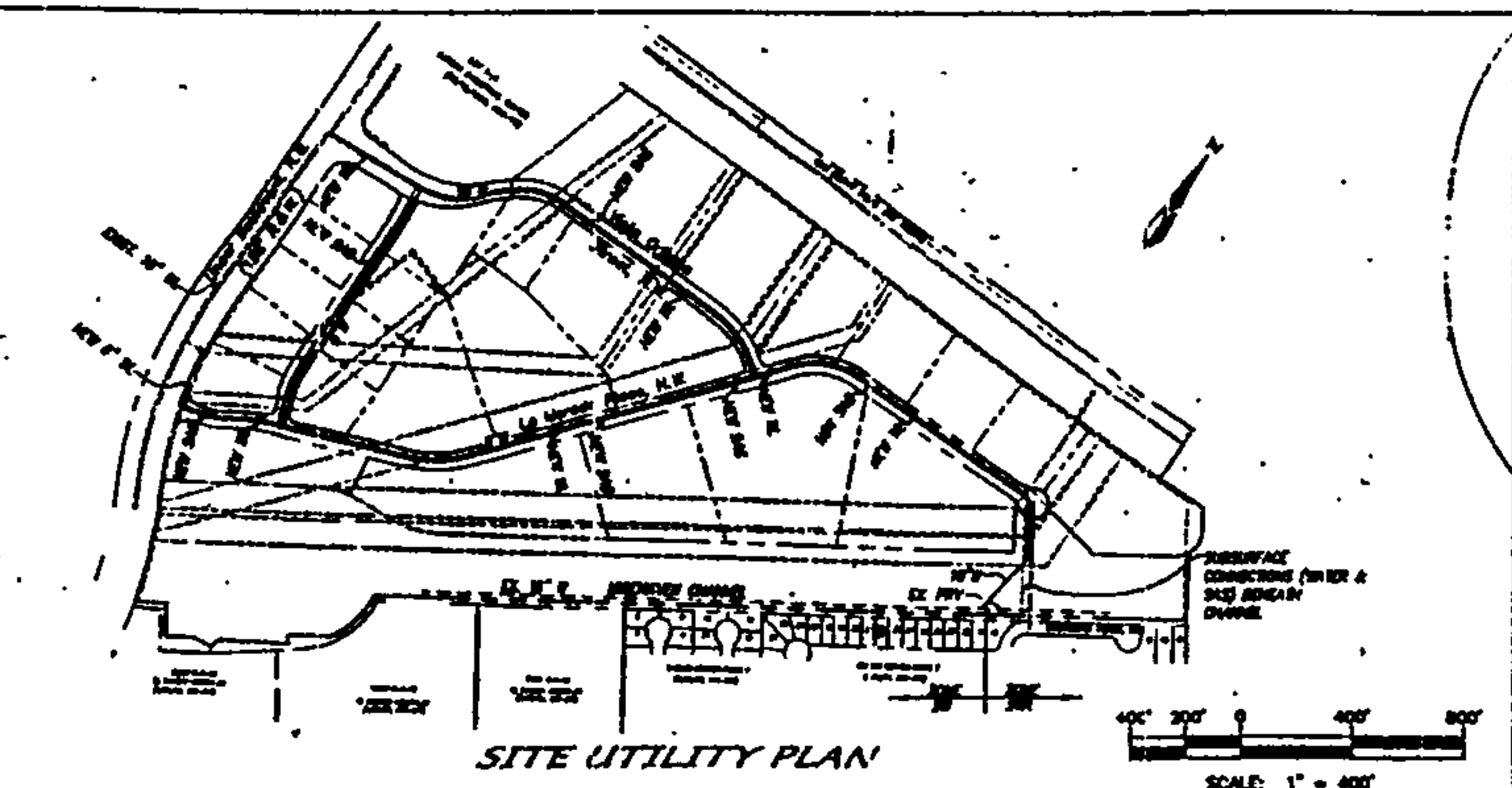
APPROVED AND ACCEPTED BY:

Project No. 0001883
02-01458
1/16/04
10/8/03
10/8/03
10/8/03
10/8/03

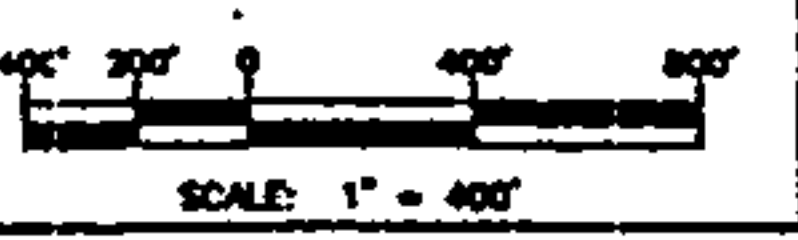
PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	6.32	6.89	3,762.32	15	1.25	1.38	689.76
2	3.88	4.29	2,328.04	17	1.16	1.28	677.16
3	2.74	2.99	1,594.97	18	1.15	1.27	677.16
4	2.87	3.14	1,688.82	19	1.15	1.27	677.16
5	2.87	3.14	1,688.82	20	1.22	1.35	707.86
6	2.86	3.13	1,686.80	21	1.87	2.07	1,097.86
7	4.48	4.91	2,746.88	22	6.04	6.64	3,544.80
8	6.40	7.00	3,894.24	23	1.27	1.39	727.72
9	7.28	7.99	4,322.88	24	2.72	2.97	1,566.48
10	4.28	4.67	2,528.88	25	4.01	4.39	2,347.28
11	6.10	6.67	3,594.20	26	3.15	3.45	1,834.28
12	1.89	2.08	1,128.88	27	2.21	2.42	1,266.48
13	1.20	1.31	688.80	28	1.95	2.15	1,134.48
14	1.15	1.26	677.16	29	1.27	1.39	727.72
15	1.24	1.36	727.72				
				TOTAL	76.88		38,448.80

AN IMPLICATION OF 2% PER YEAR SHALL BE APPLIED TO TRACT DEVELOPMENT COSTS.
TRAFIC IMPROVEMENTS SHALL BE PROVIDED BY INDIVIDUAL TRACT OWNERS AT THE TIME OF ALL OTHER PERMIT REQUESTS.



SITE UTILITY PLAN



LEGEND

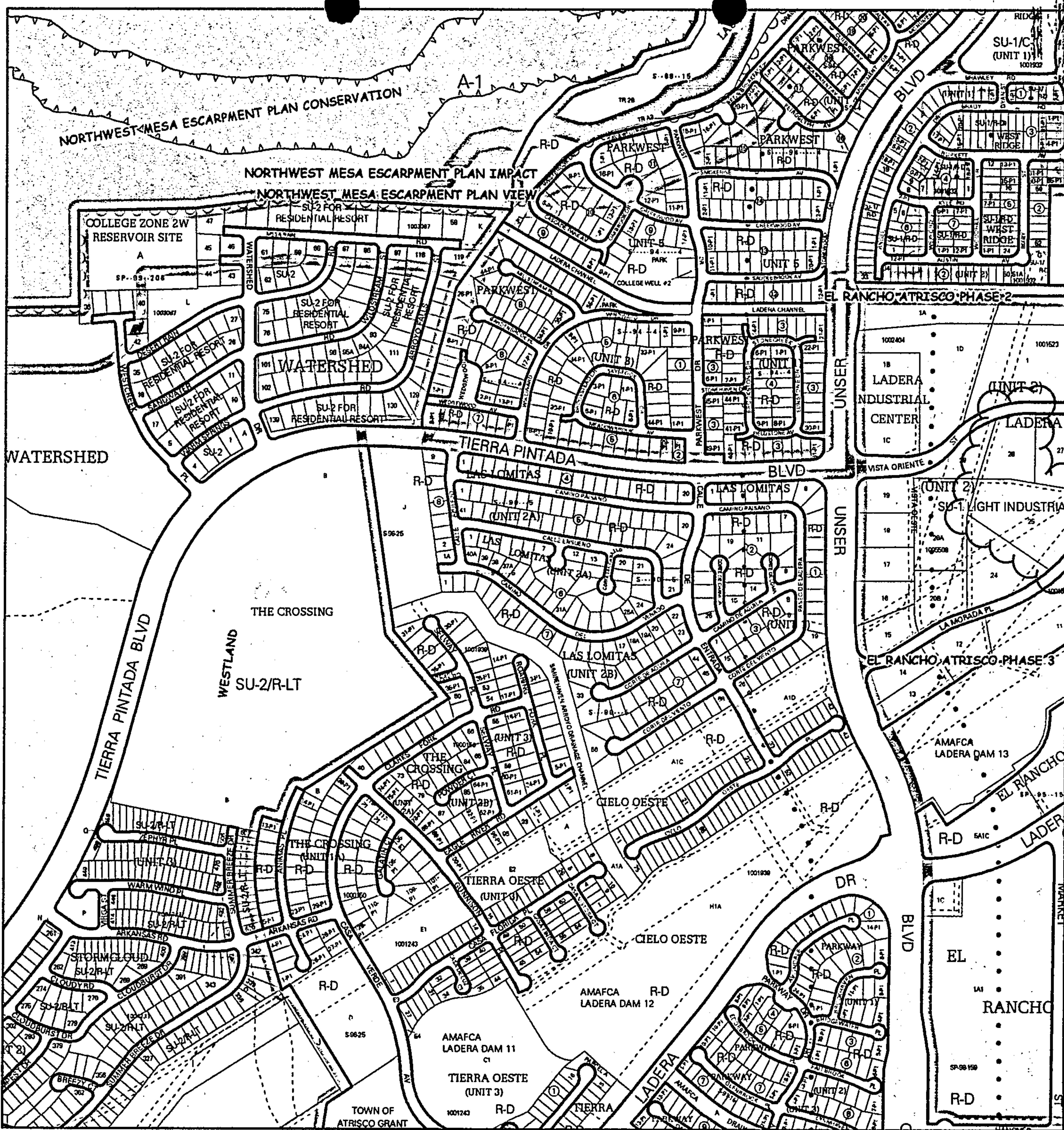
- POWER EASEMENT WITH OVERHEAD POWER LINE
- IRRIGATION EASEMENT
- WATER EASEMENT
- UNIT BOUNDARY

LADERA BUSINESS PARK

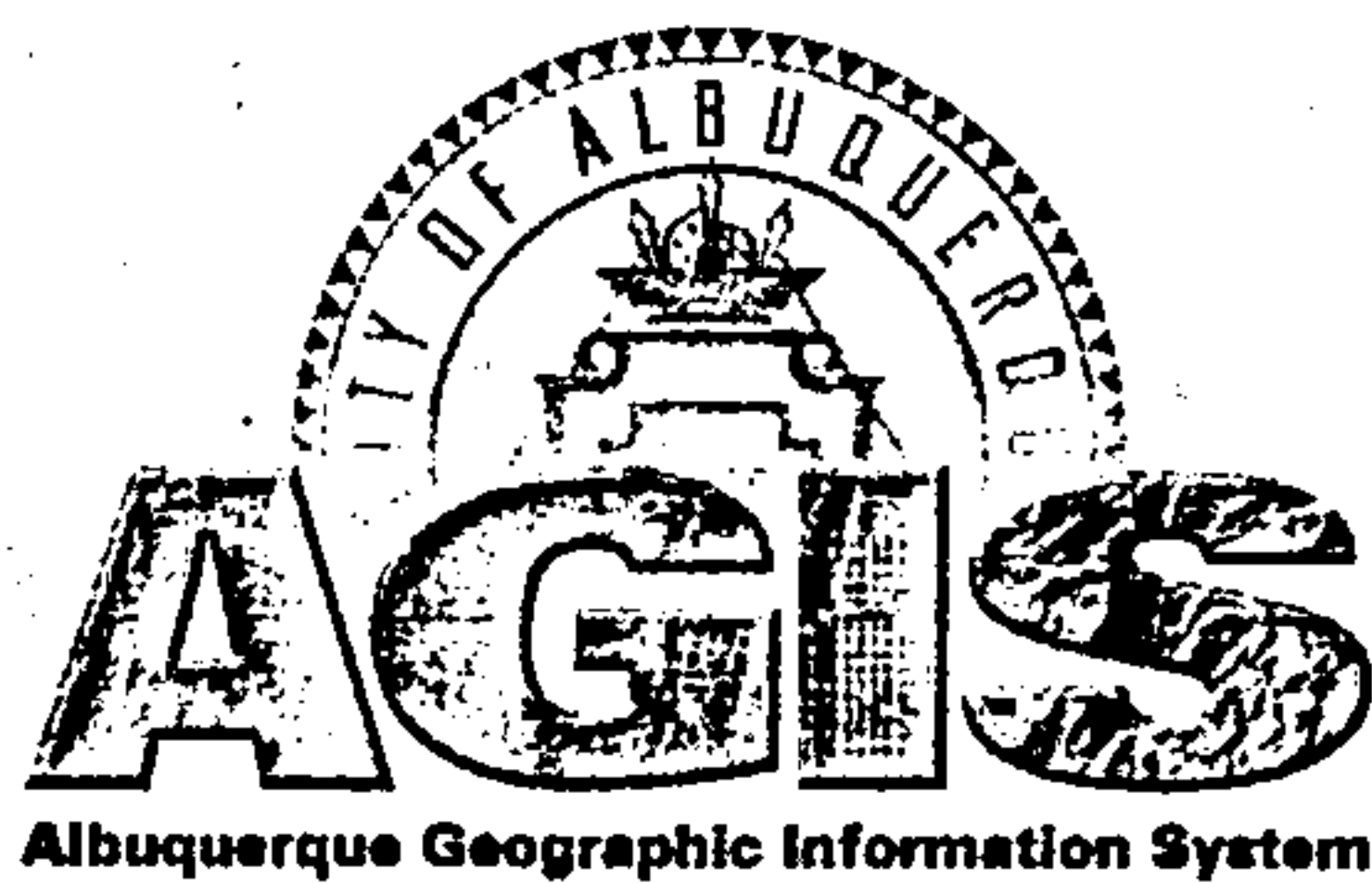
SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505) 228-2200, FAX (505) 777-9530

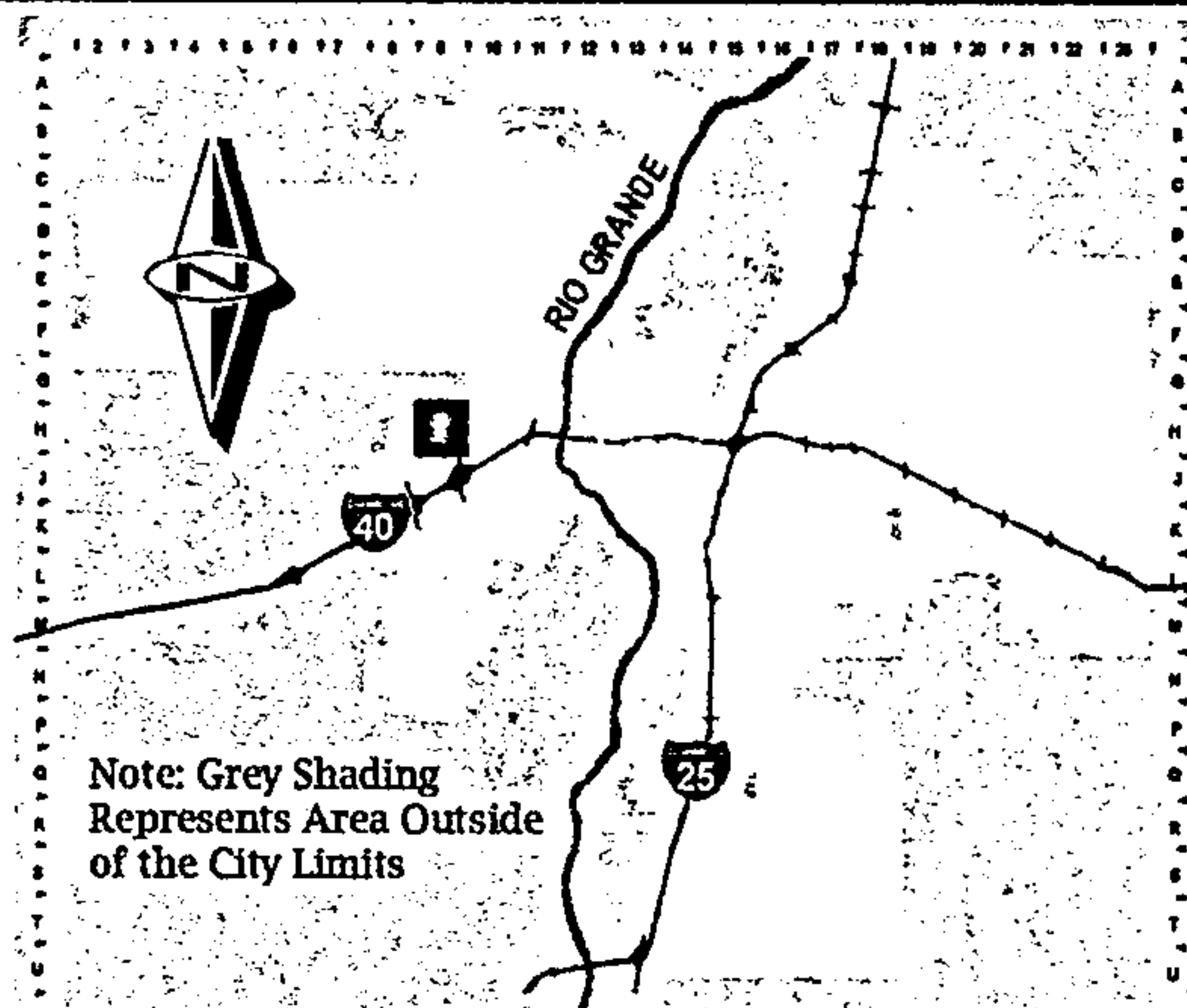
Designed: DMG Drawn: KJS Checked: DMG Sheet: 2
Scale: 1" = 200' Date: 01-03-01 Job: A01130



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010

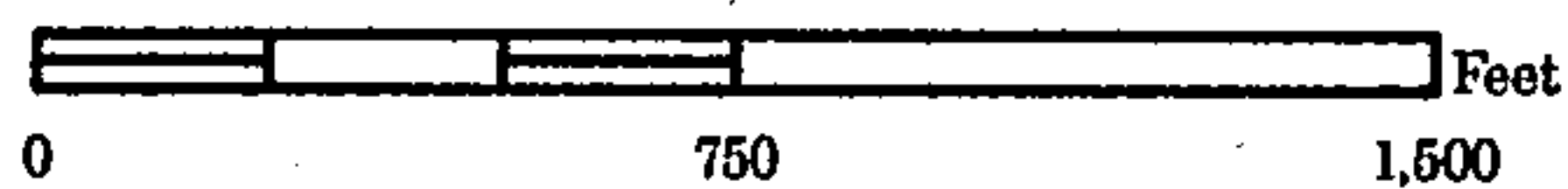


Zone Atlas Page:

H-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



January 13, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Site Plan for Building Permit
Albuquerque RV and Boat storage
Lots 25&28 Ladera Business Park
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the site plan for building permit. The proposed development is consistent with the site plan for subdivision approved by the DRB on 10/8/03. The enclosed documents include all items required for the board to render a decision the approval of the preliminary plat. As shown on the enclosed PRT notes and letter from the Architectural Control Committee, the proposed us is allowed. The site plan for subdivision conforms to the site plan for subdivision and the approval of this site plan for building permit was delegated to the DRB

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2001

OFFICIAL NOTIFICATION OF DECISION

Unser-98th Street Partnership LLC.
P.O. Box 90548
Albuquerque, NM 87199

FILE: 01128-01405 (Project 1001523)

LEGAL DESCRIPTION: Request a Master Development Plan for Lot 2, Ladera Industrial Center, located on Unser Boulevard NW between 98th Street and Ladera Drive NW containing approximately 105 acres. (H-10) Lola Bird, Staff Planner

On November 15, 2001, the Environmental Planning Commission voted to approve 01128-01405, a Master Development Plan, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for Lot 2, Ladera Industrial Center, containing approximately 105 acres and located on Unser Boulevard between Ladera Drive and 98th Street, NW.
2. The applicant is proposing to create 26 lots with areas ranging from 1.2 acres to 5.38 acres.
3. This request furthers the applicable goals and policies of the *Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, and life styles with a location and intensity that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources.
4. This request furthers the applicable goals and policies of the *West Side Strategic Plan* by locating employment uses on the West Side which is critical to achieving the Plan's goals of reducing vehicle trip distances, decreasing commuter demand across the Rio Grande and establishing healthy community and Village Centers.
5. The submitted site plan generally meets the requirements of the *Zoning Code* for site development plan for subdivision. The site plan covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress and internal circulation requirements. The submittal also includes design guidelines regulating building architecture, materials, colors and height as well as building setbacks.
6. The submittal will be adequate with some changes and additions.

OFFICIAL NOTIFICATION OF DECISION

01128-01405 (Project 10015)

November 16, 2001

Page 2

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The design guidelines shall be modified as follows:

Screening Walls and Fences

8th Bullet: shall be changed to read, "Barbed wire or concertina wire are not allowed in the Ladera Site. Chain link fencing shall not be permitted in the first two rows of lots along Unser."

A new bullet should be added which states, "Loading docks visible from residential areas shall be screened by walls which match building architecture, material and color."

Lighting Standards

2nd Bullet: shall be changed to read, "20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements."

Signage Standards

A new bullet shall be added which reads, "No illuminated signage shall face any residential area, except along Unser Boulevard."

3. Conditions of approval for the proposed site plan for building permit should include:

An update of the TIS prior to the submittal for development of any of the tracts within the industrial park. Access to Unser Boulevard is limited to 98th Street and a right-turn-only at La Mirada Street. Internal streets, water and sewer lines must be constructed to City standards.

4. Site Development Plans for Building Permit are delegated to the Development Review Board.

5. Any agreement between the applicant and the neighborhoods that further restricts the allowed uses on the site shall be filed with the County Clerk and cross referenced on the site plan. The agreed upon restrictions and additional design guidelines shall be listed on the site plan and on the design guidelines.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTIFICATION OF DECISION

01128-01405 (Project 101-23)

November 16, 2001

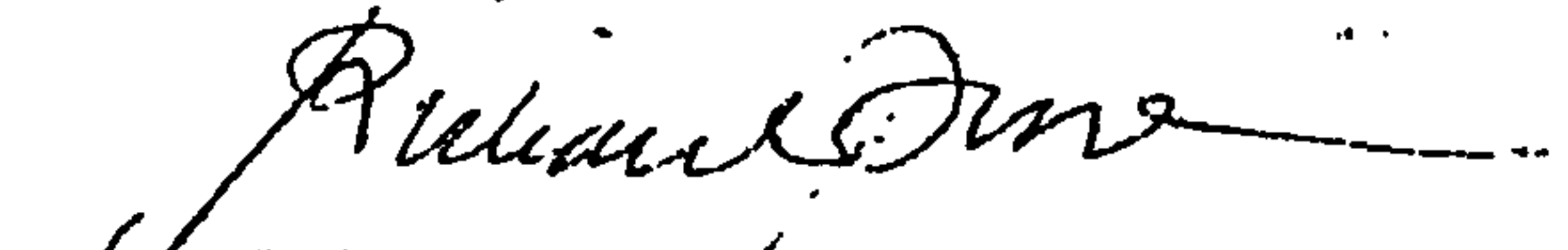
Page 3

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


Robert R. McCabe, AIA, APA
Planning Director

RM/RD/nat

cc: Consensus Planning, Inc., 924 Park Avenue SW 87102
Robert McCannon, Ladera West Neigh. Assoc., 2808 El Tesoro Escondido, NW 87120
Barry King, Ladera West Neigh. Assoc., 3808 Todos Santos, NW; 87120
Randy Summery, Las Lomas Neigh. Assoc., 8310 Camino Paisano, NW; 87120
JoAnn Barnett, Las Lomas Neigh. Assoc., 8106 Calle Ensueno, NW; 87120
John Duff, Park West/Court Yards Neigh. Assoc., 2408 Wetbrook Drive, NW; 87120
Cheri LaCourt, Park West/Court Yard Neigh. Assoc., 2204 Windward, NW; 87120
J.R. & Felicia Wood, 2124 Corte de Loma NW, Albuquerque, NM 87120
Jack Dettweiler, 2340 Menaul NE, #211, Albuquerque, NM 87107
Valerie Turnbow, 8300 Camino del Venado, NW, Albuquerque, NM 87120
Darlene Motly, 8139 Corte de Aguila NW, Albuquerque, NM 87120

**Robert Sparling for the A.R.C.
Unser-98th Street Partnership, LLC
P.O. Box 90548
Albuquerque, NM 87199**

June 13th, 2013

RE: Ladera Business Park Unit 1 & 2

To whom this may concern:

This letter is to clarify the approved use of Lots 1-11 and 24-28 by the Ladera Business Park Architectural Review Committee.

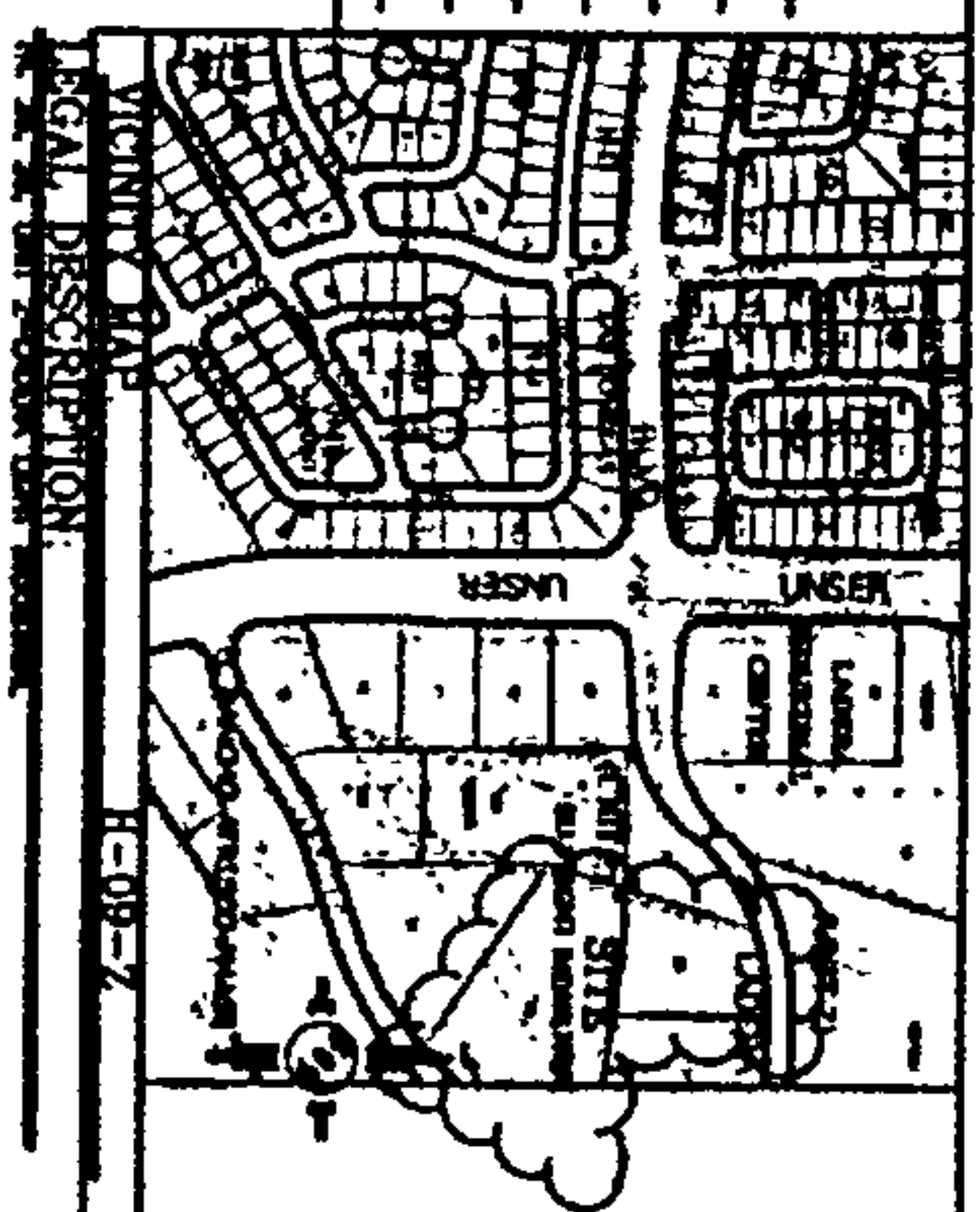
On the above-referenced lots we will allow the proposed outdoor storage of cars, trucks, vans, motorcycles, and recreational vehicles, including motor homes, camper trailers, boats, boat trailers, smaller trailers, towable "fifth wheel" trailers, and smaller vehicles. Semi-truck cabs are allowable but not the associated semi-trailers, whether enclosed or flatbed types. Consolidation, division, and/or distribution of bulk goods associated with any vehicles while on the premises is not permitted. These uses are in conjunction with the recorded C.C.& R's for this development dated 12/13/2004, page 1 – 17. BK-A88 page 3737.

Per the recorded C.C.& R's, a final acceptance by the A.R.C. will occur after a formal submission and review accompanied by a plan check as described in the document.

Please feel free to contact me if you have any questions.


R.L. Sparling
President
Unser-98th Street Partnership, LLC

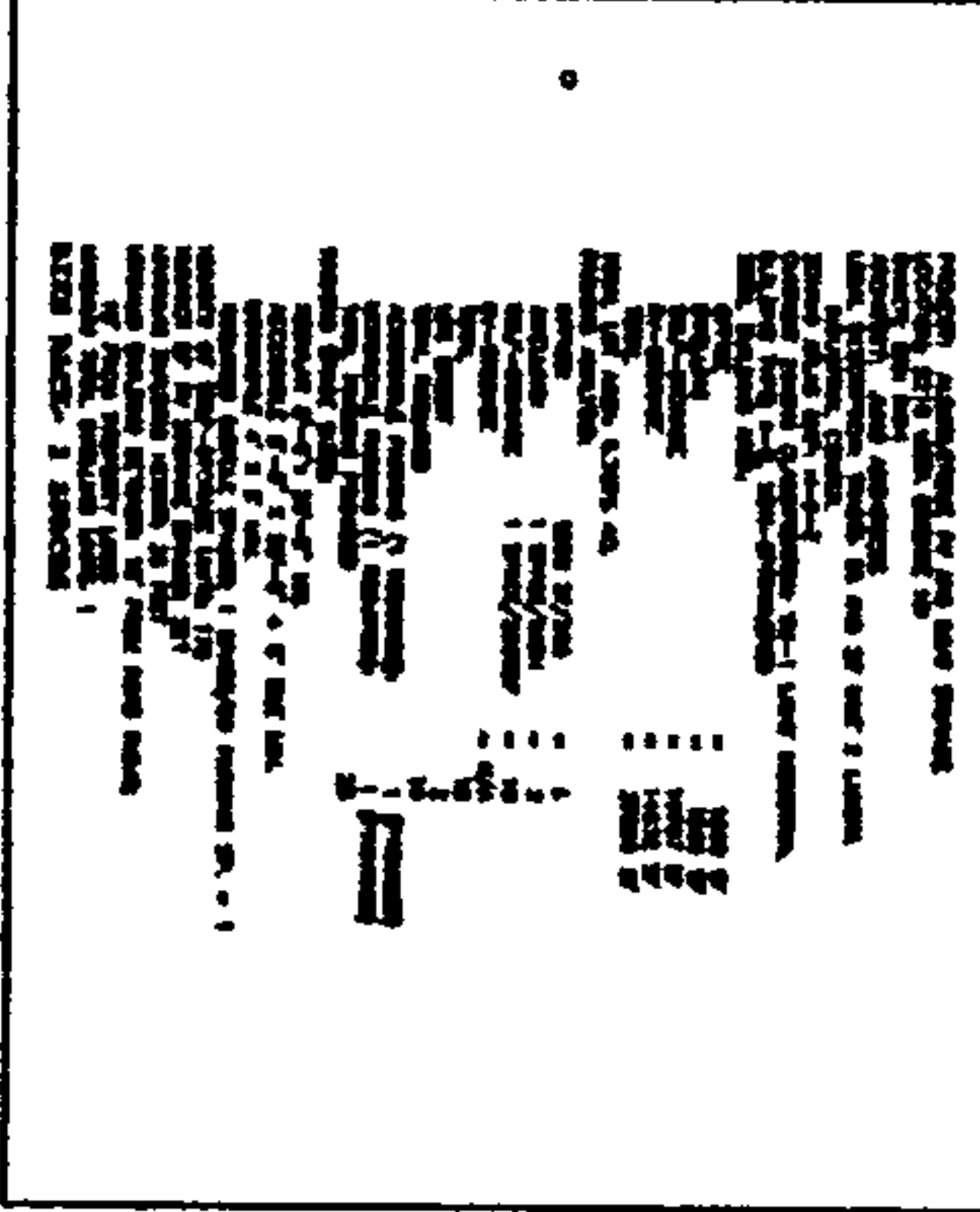
PROJECT NUMBER	ALBUQUERQUE RY AND BOAT STORAGE
APPLICATION NUMBER	12-27-12
DATE	12-27-12
PROJECT LOCATION	12-27-12
PROJECT TYPE	12-27-12
PROJECT OWNER	12-27-12
PROJECT ARCHITECT	12-27-12
PROJECT ENGINEER	12-27-12
PROJECT SURVEYOR	12-27-12
PROJECT CONTRACTOR	12-27-12



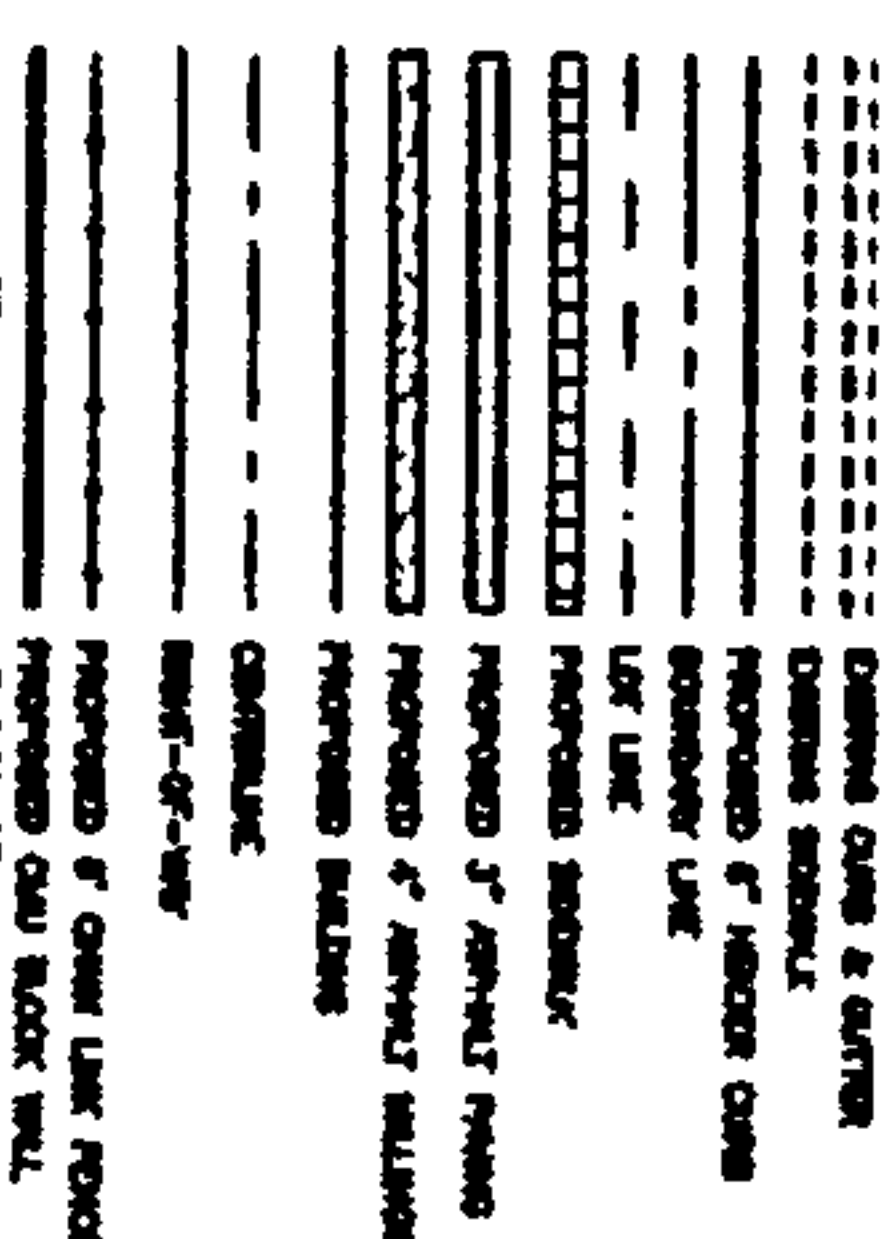
GENERAL NOTES:

1. ALL SIDEWALK RAMP SHALL BE SALT PER DETAIL THIS SHEET.
2. ALL SQUARE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED ON DETAIL SHEET. ALL CURB RISE SHALL BE 5/8" PER COB AND DWS SHEET.
3. ALL SIDEWALK RAMP SHALL BE 5% SLOPE.
4. ALL SIDEWALK SURFACES SHALL BE 2" THICK ASPHALT PAVING.

SITE CRITERIA



LEGEND



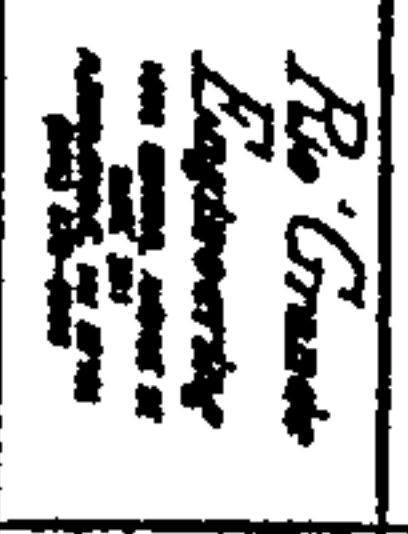
ALBUQUERQUE RY AND BOAT STORAGE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DATE: 12-27-12

SHEET 1

JOB / STREET



- SHORT NOTES:**
1. SEE PLAN FOR BUILDING PERMIT
 2. EXISTING CURB & GUTTER
 3. EXISTING SIDEWALK
 4. EXISTING ASPHALT PAVEMENT
 5. EXISTING UTILITY TRENCH
 6. EXISTING SIDEWALK
 7. EXISTING ASPHALT PAVEMENT
 8. EXISTING SIDEWALK
 9. EXISTING ASPHALT PAVEMENT
 10. EXISTING SIDEWALK
 11. EXISTING ASPHALT PAVEMENT
 12. EXISTING SIDEWALK
 13. EXISTING ASPHALT PAVEMENT
 14. EXISTING SIDEWALK
 15. EXISTING ASPHALT PAVEMENT
 16. EXISTING SIDEWALK
 17. EXISTING ASPHALT PAVEMENT
 18. EXISTING SIDEWALK
 19. EXISTING ASPHALT PAVEMENT
 20. EXISTING SIDEWALK

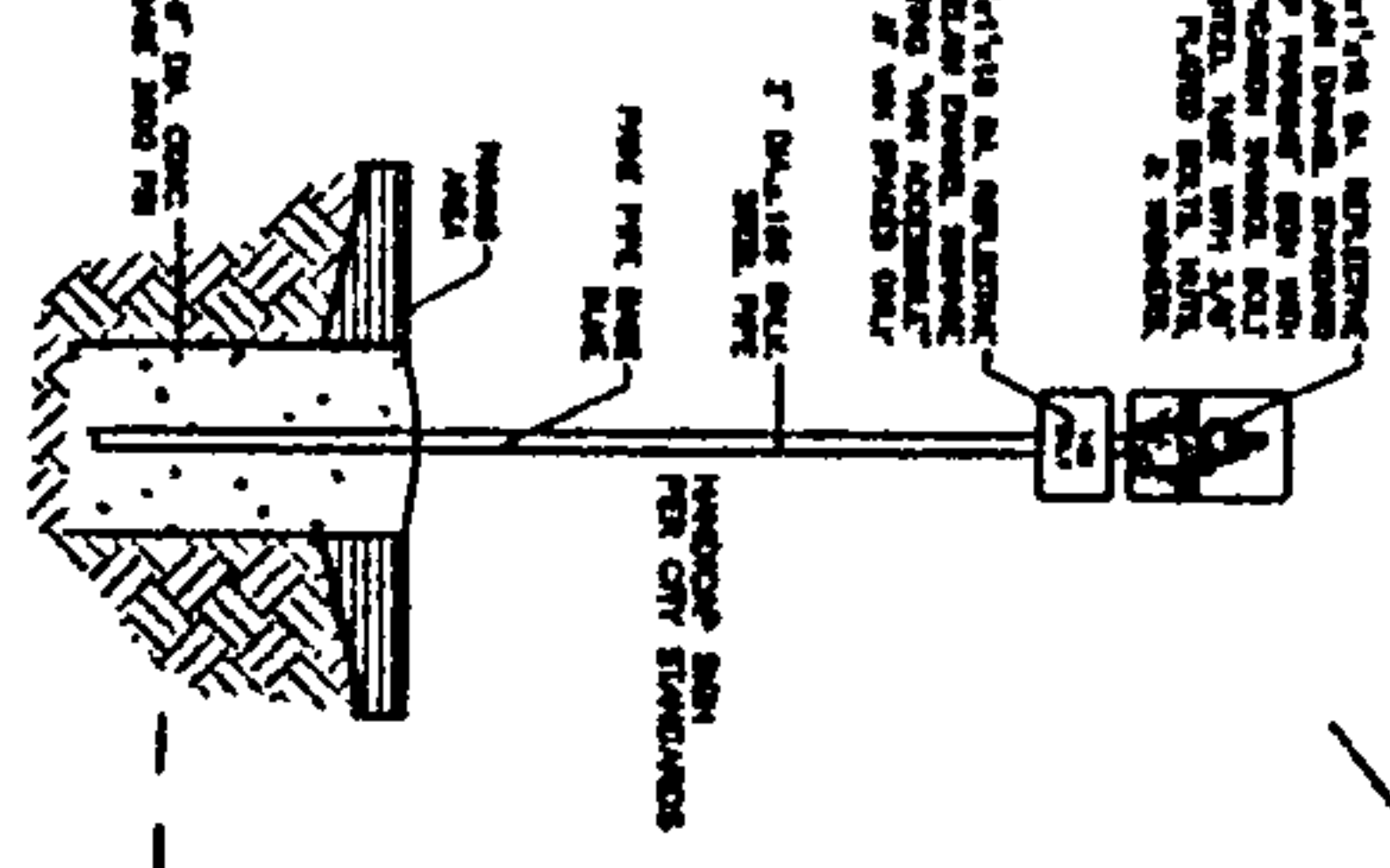
6" TURNDOWN CURB



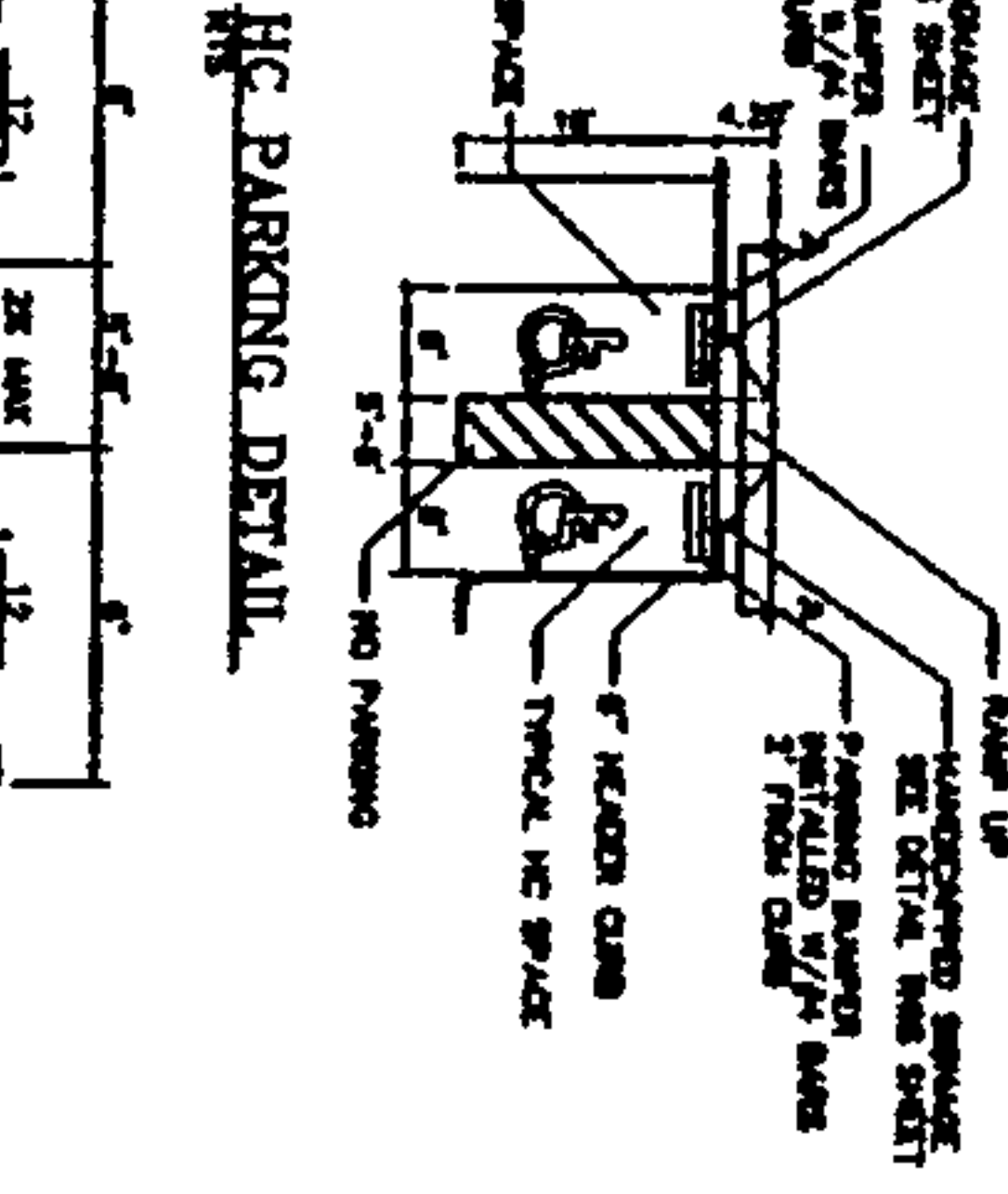
6" HEADER CURB DETAIL



HANDICAP SIGN



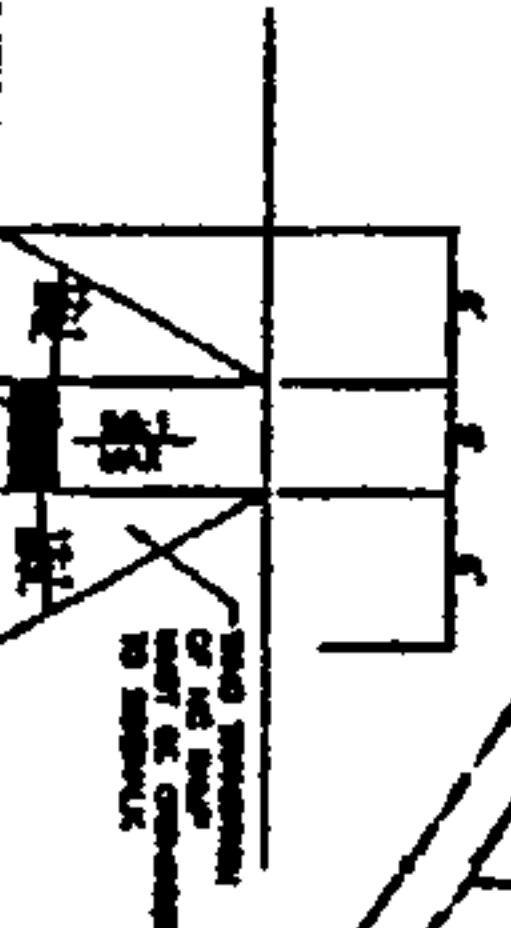
H.C. PARKING DETAIL

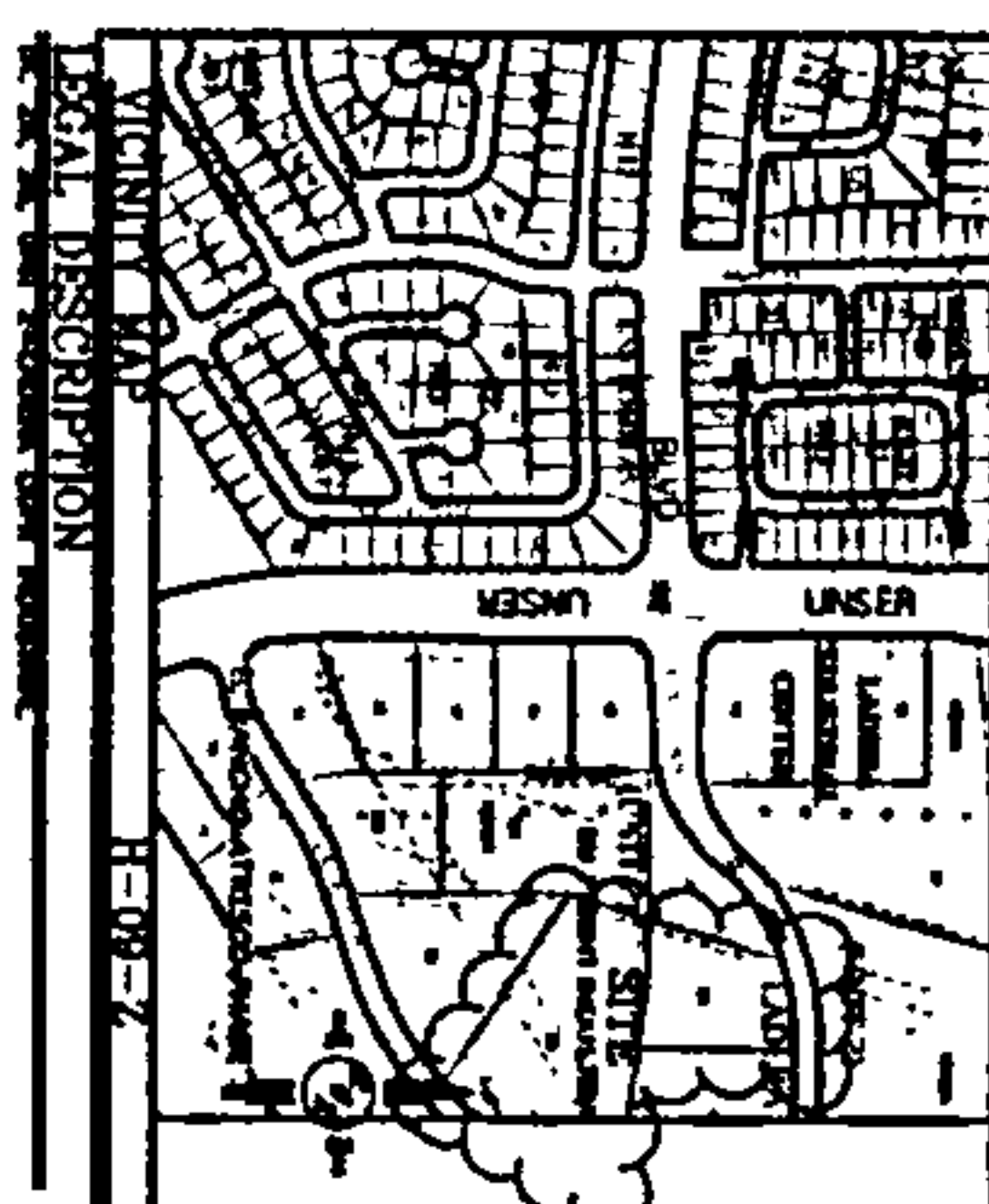
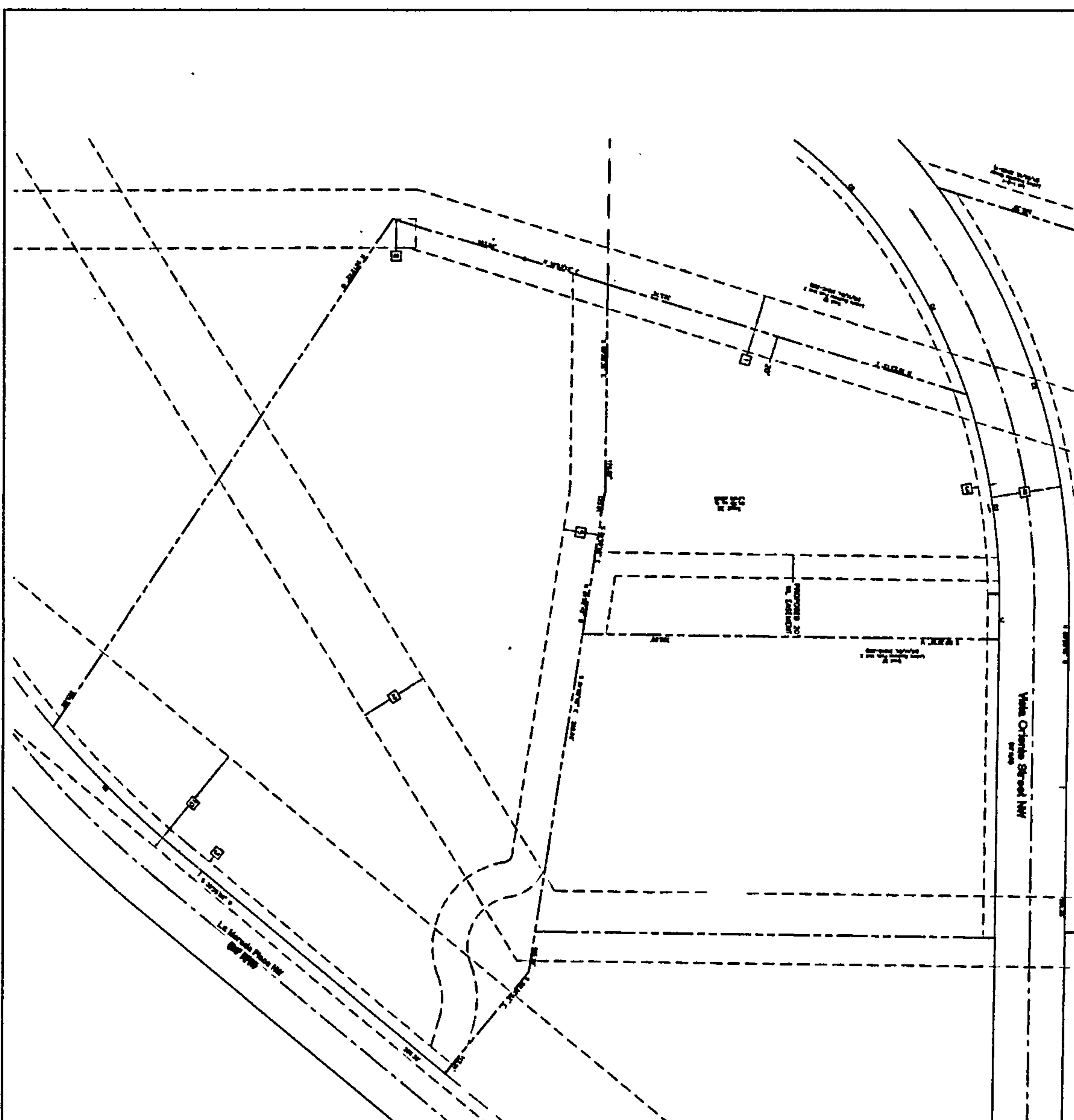


SECTION A-A



WHEELCHAIR RAMP DETAIL (TOP)

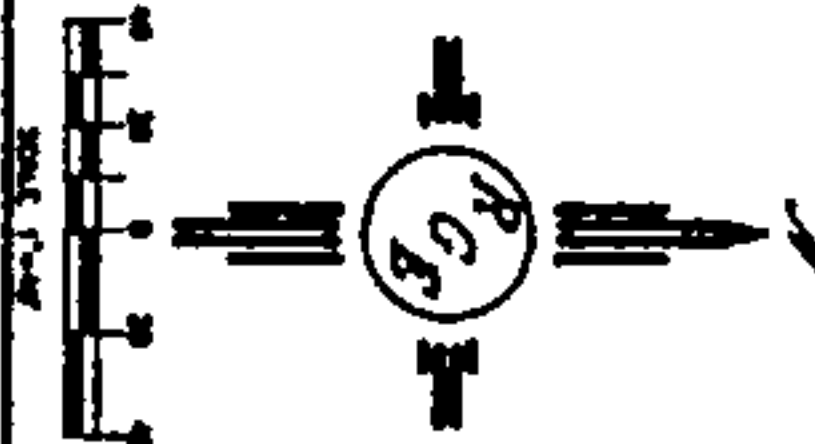




- Easement Notes**
- 1) Location of new easement (01/22/04, 2004-04)
 - 2) Location of easement, see Easement description (01/22/04, 2004-04)
 - 3) Location of easement, see Easement description (01/22/04, 2004-04)
 - 4) Location of easement, see Easement description (01/22/04, 2004-04)
 - 5) Location of easement, see Easement description (01/22/04, 2004-04)
 - 6) Location of easement, see Easement description (01/22/04, 2004-04)
 - 7) Location of easement, see Easement description (01/22/04, 2004-04)
 - 8) Location of easement, see Easement description (01/22/04, 2004-04)
 - 9) Location of easement, see Easement description (01/22/04, 2004-04)
 - 10) Location of easement, see Easement description (01/22/04, 2004-04)

LEGEND

--- Easement
 --- Easement
 --- Easement



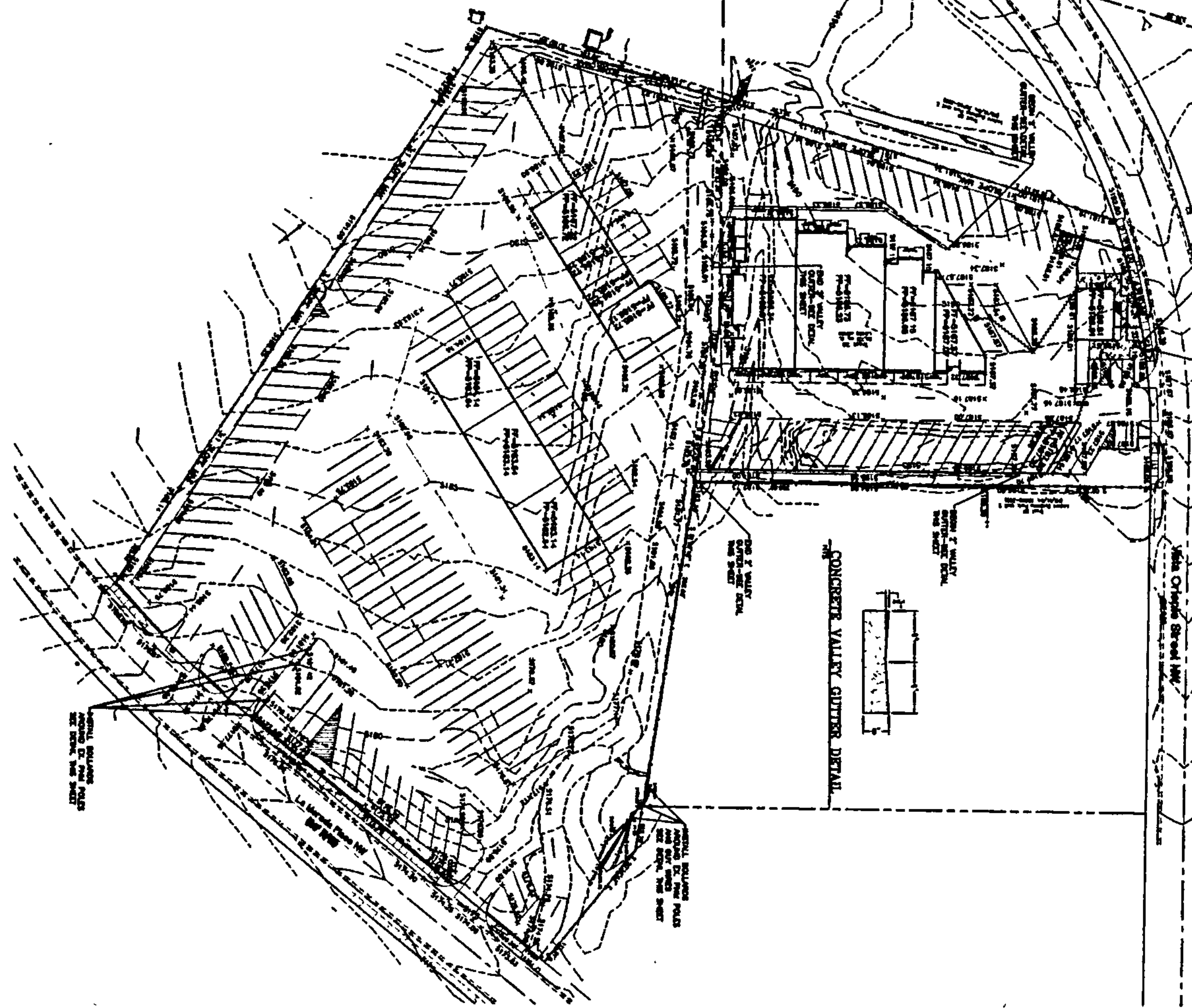
DATE	12-27-13
PROJECT	EASEMENT EXHIBIT SITE PLAN
CLIENT	Re Grantee
PREPARED BY	Engineering
CHECKED BY	
DATE	12-27-13
SHEET	2
TOTAL SHEETS	2

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN IN THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE OF NEW MEXICO PRIOR TO CONSTRUCTION.

TRACT 22

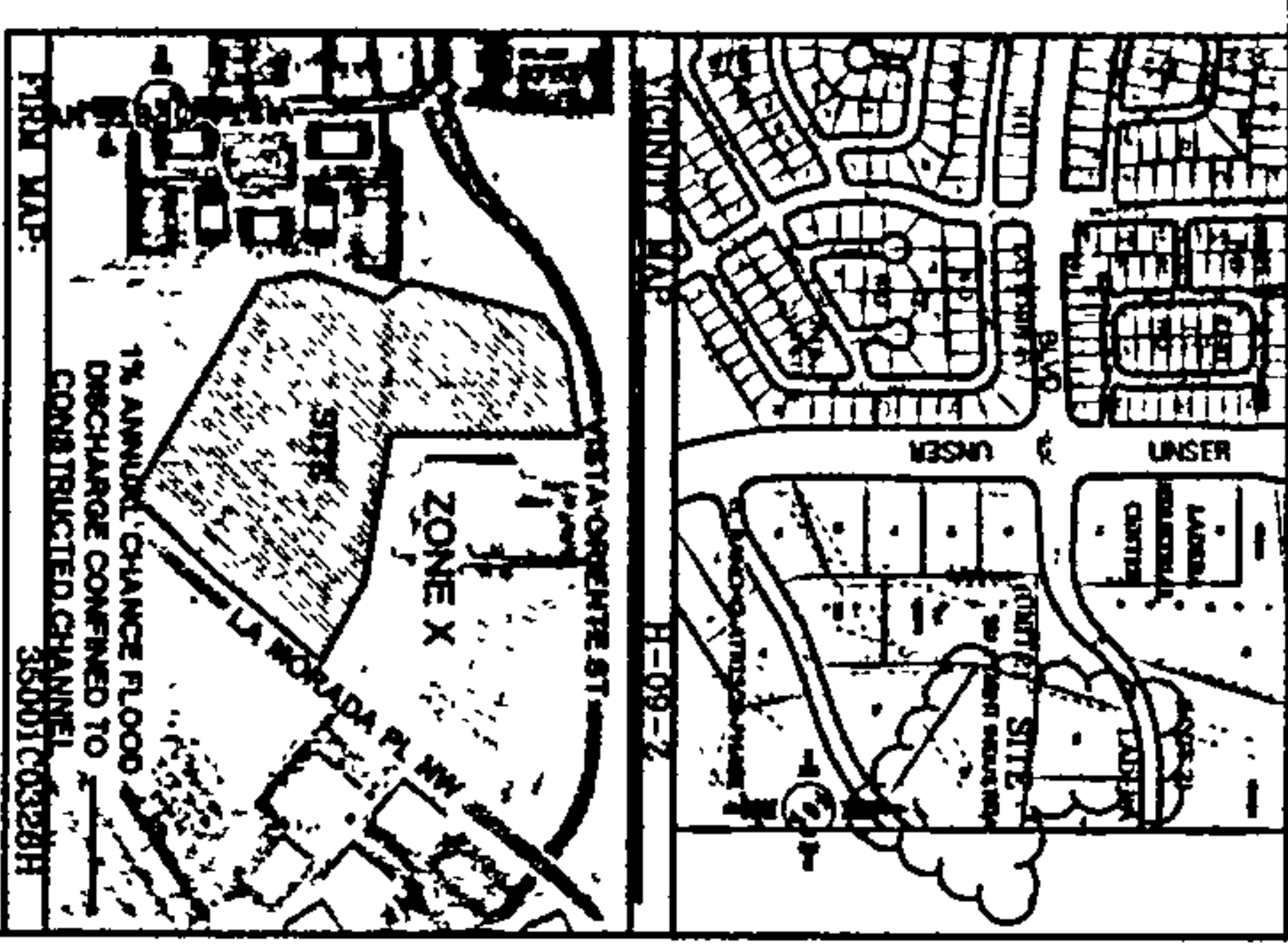
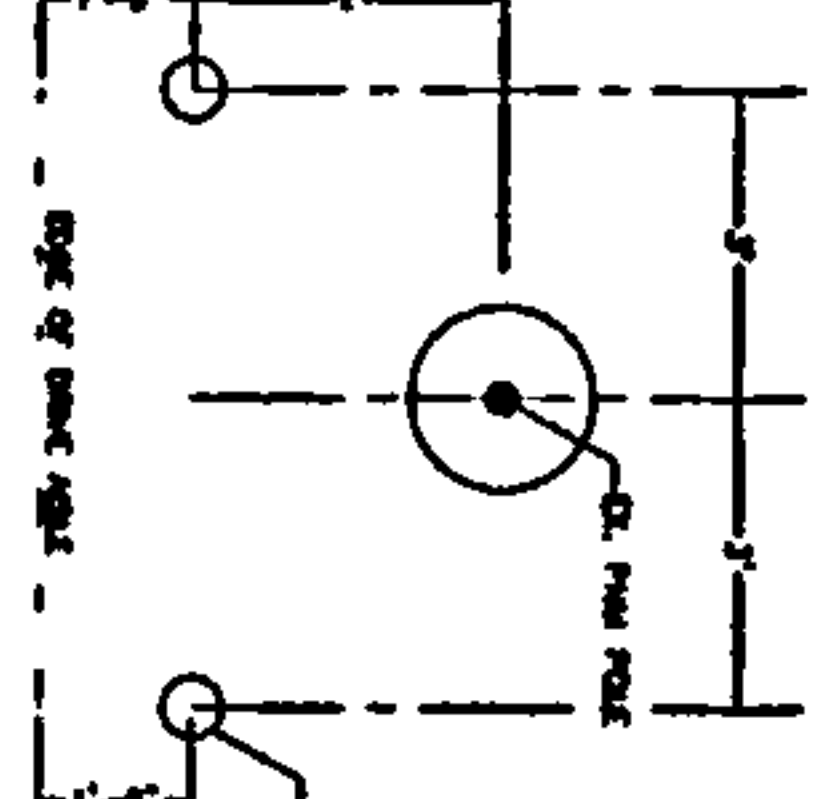
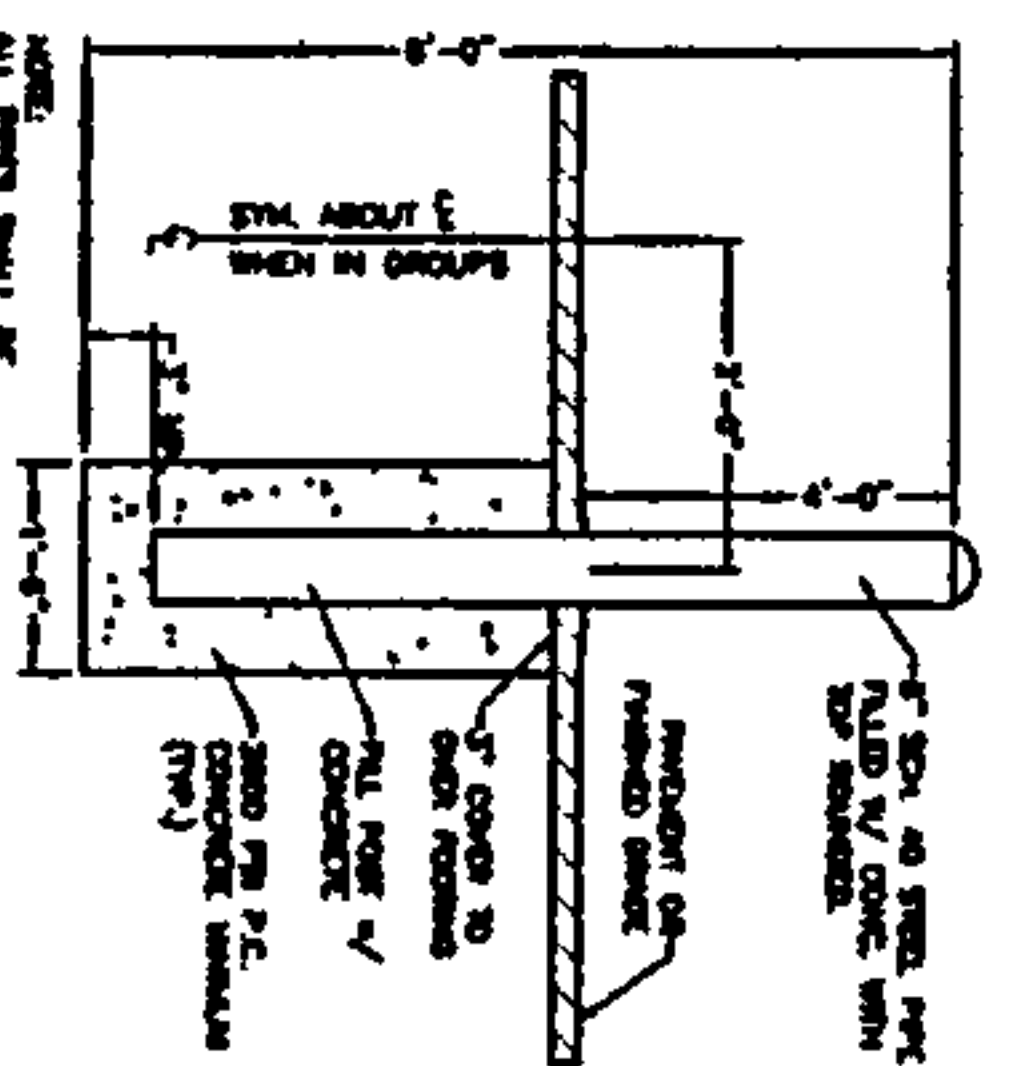
TRACT 21

TRACT 20



EROSION CONTROL NOTES:

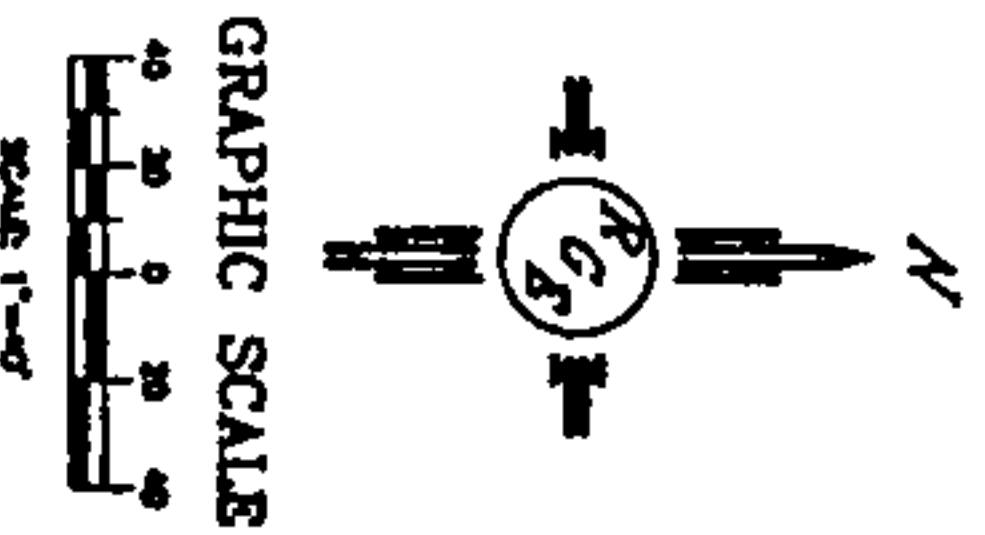
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SPECIAL EROSION CONTROL PLAN FROM THE DISTRICT ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPES ON THE GRADE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE OF NEW MEXICO PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES OF THE STATE OF NEW MEXICO PRIOR TO CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



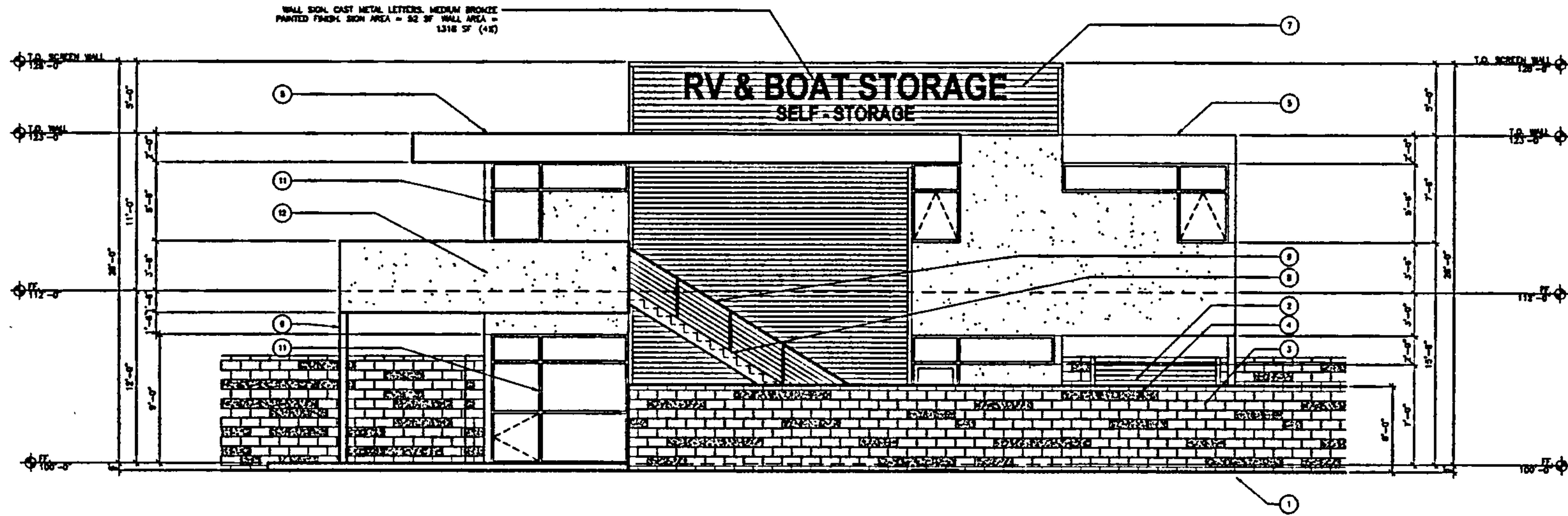
LEGAL DESCRIPTION:
 THE PROJECT IS SITUATED WITHIN THE UNINCORPORATED AREA OF THE DISTRICT OF SANTIAGO COUNTY, NEW MEXICO, AS SHOWN ON THE MAP ATTACHED HERETO.

LEGEND

- DRAINAGE CONTROL
- DRAINAGE DETAIL CONSTRUCTION
- PROPOSED ROAD CONSTRUCTION
- 24" BOLLARD PER LINE
- DRAINAGE SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOLLARD
- ROAD
- ROAD LINE
- ROAD-OF-WAY
- PROPOSED CURB
- DRAINAGE CURB AND GUTTER
- PROPOSED CONCRETE DETAIL
- BRICK LANE

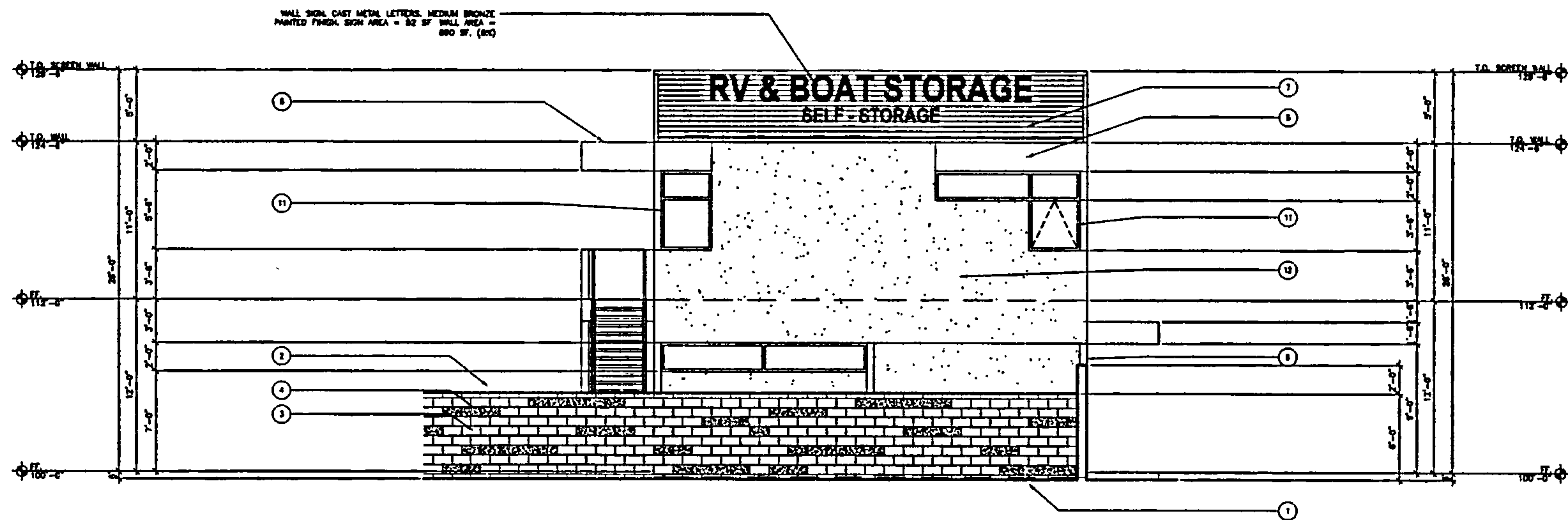


PROJECT	ALBUQUERQUE RV AND BOAT STORAGE AND GRADING AND DRAINAGE PLAN
OWNER	Ro Grando
DATE	12-14-11
SHEET	3
DATE	12-14-11



NORTH ELEVATION - OFFICE/ APARTMENT BUILDING

SCALE: 1/4" = 1'-0" A2.1



WEST ELEVATION - OFFICE/ APARTMENT BUILDING

SCALE: 1/4" = 1'-0" A2.1

KEYED NOTES

- 1 BRICK
- 2 8"X16"X8" SOLID CHU CAP BLOCK, GRAY COLOR
- 3 8"X16"X8" SPLIT FACE CHU, YELLOW SAGE COLOR
- 4 8"X16"X8" SPLIT FACE CHU, MESA SAGE COLOR W/ RANDOM LINE PATTERN (200)
- 5 ALUMINUM FINISH & FLASHING, WHITE COLOR
- 6 STEEL TUBE COLUMN, PAINT GRAY COLOR
- 7 BALANCED ROOFED METAL PANELS AND TRIM
- 8 STEEL STAIR, PAINT GRAY COLOR
- 9 STEEL CABLE RAILING SYSTEM
- 10 HOT IRON
- 11 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/ INSULATED GRAY GLASS
- 12 STUCCO, HWY. 10 WHITE COLOR



ARCHITECTS

7825 Bosque SE, NE, Albuquerque, NM 87114 Ph: (505) 882-8433 Fax: (505) 886-3438

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
EXTERIOR ELEVATIONS OFF/ APT. BLDG.

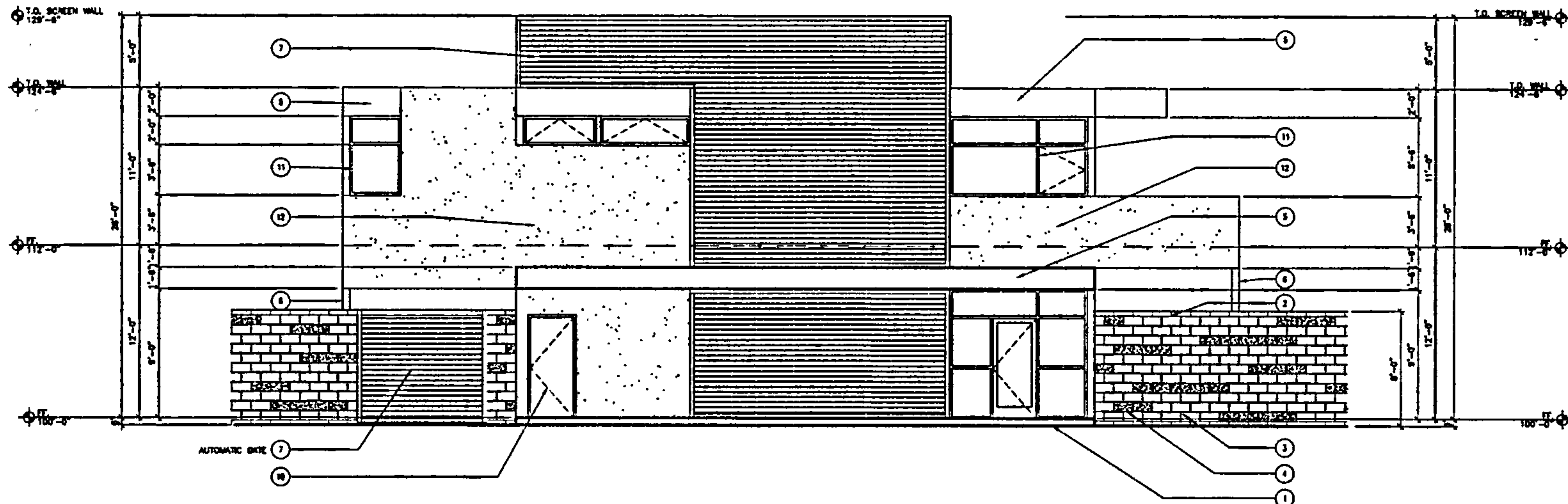
NO.	REVISION	DATE

ARCHITECT STAMP	CONSULTANT STAMP	DATE
		1-1-14
		PROJECT NO. 1384
		SHEET NO.

A2.1

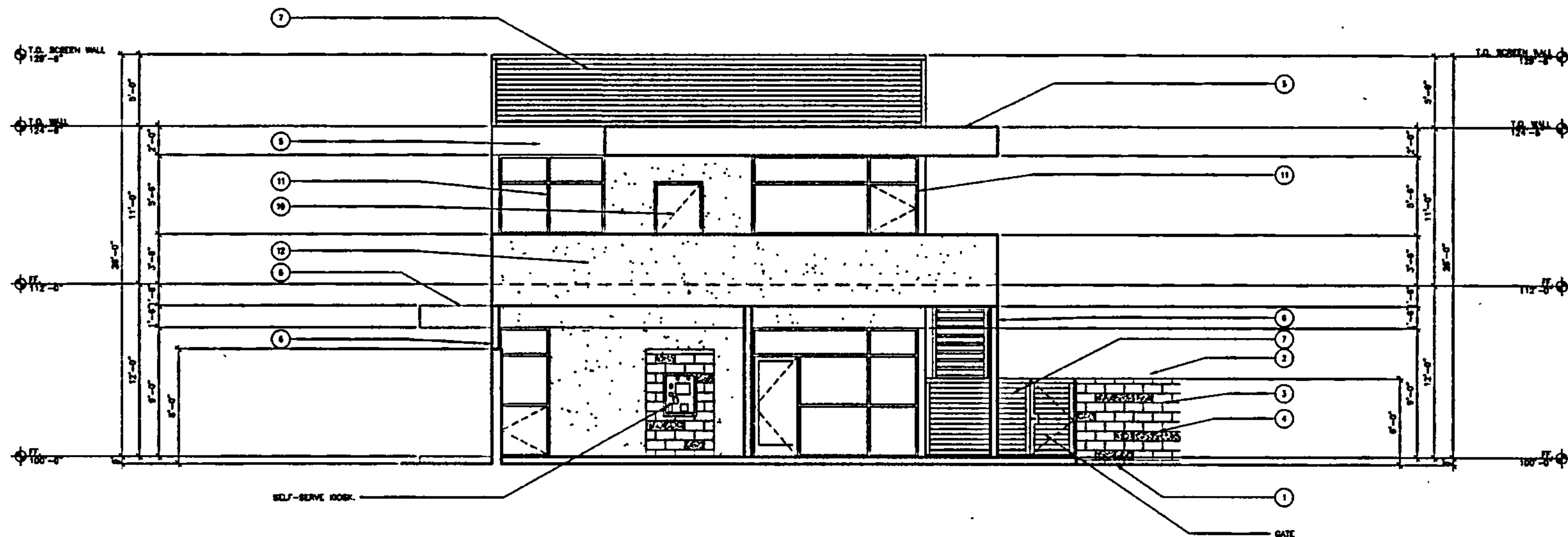
KEYED NOTES

- 1 GRADE
- 2 8"X16" SOLID CHU CAP BLOCK, GRAY COLOR
- 3 8"X16" SPLIT FACE CHU BLOCK, YELLOW SHADE COLOR
- 4 8"X16" SPLIT FACE CHU BLOCK, BURGUNDY COLOR W/ RANDOM LINE PATTERN (204)
- 5 ALUMINUM FASCIA & PLUMBING, WHITE COLOR
- 6 6"X6" TUBE COLUMN, PAINT GRAY COLOR
- 7 GALVANIZED FINISH METAL PANELS AND TRIM
- 8 NOT USED
- 9 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH NAVJO WHITE STUCCO COLOR
- 10 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/ INSULATED GRAY GLASS
- 11 STUCCO, NAVJO WHITE COLOR



SOUTH ELEVATION - OFFICE/ APARTMENT BUILDING

SCALE: 1/4" = 1'-0" **A2.2**



EAST ELEVATION - OFFICE/ APARTMENT BUILDING

SCALE: 1/4" = 1'-0" **A2.2**



ARCHITECTS
7923 Bosque St. NE, Albuquerque, NM 87114 Ph: (505) 882-8433 Fax: (505) 886-3438

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
EXTERIOR ELEVATIONS OFF/ APT BLDG.

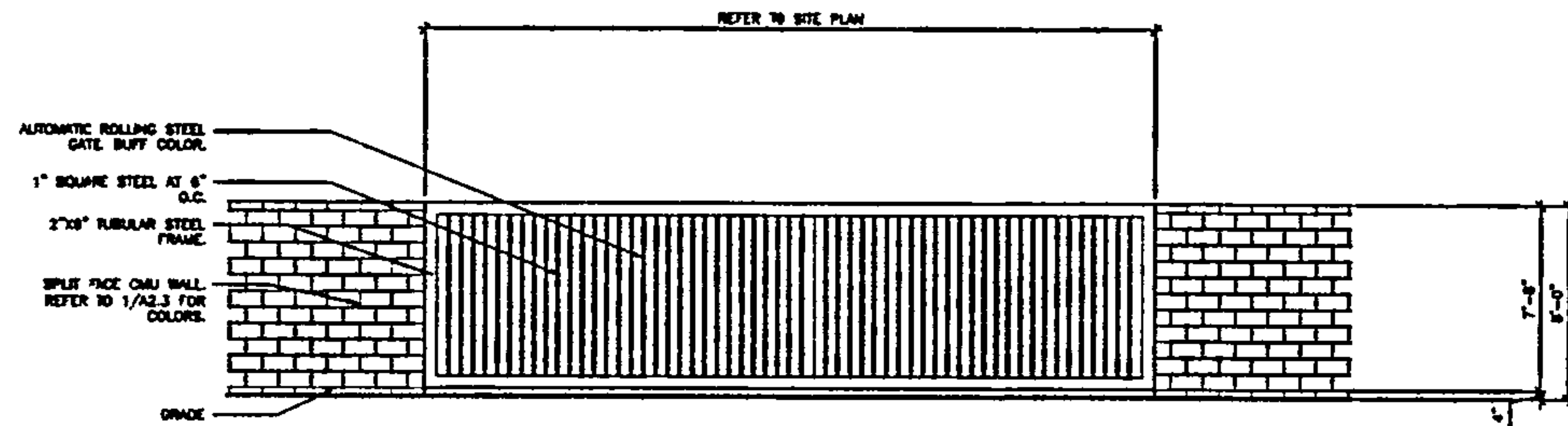
NO. REVISION DATE

ARCHITECT STAMP CONSULTANT STAMP DATE



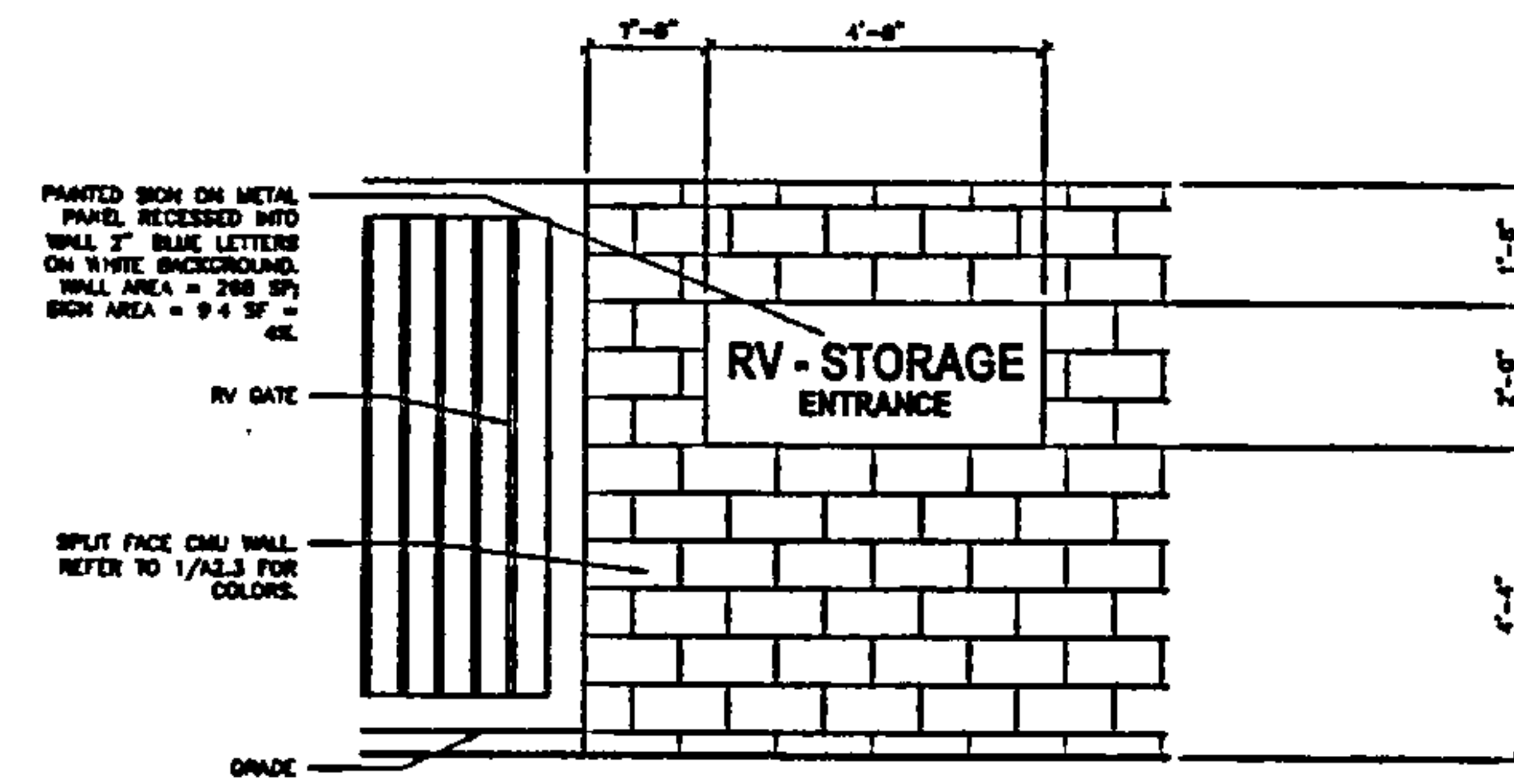
1-4-14
1984
1-2-14

A2.2



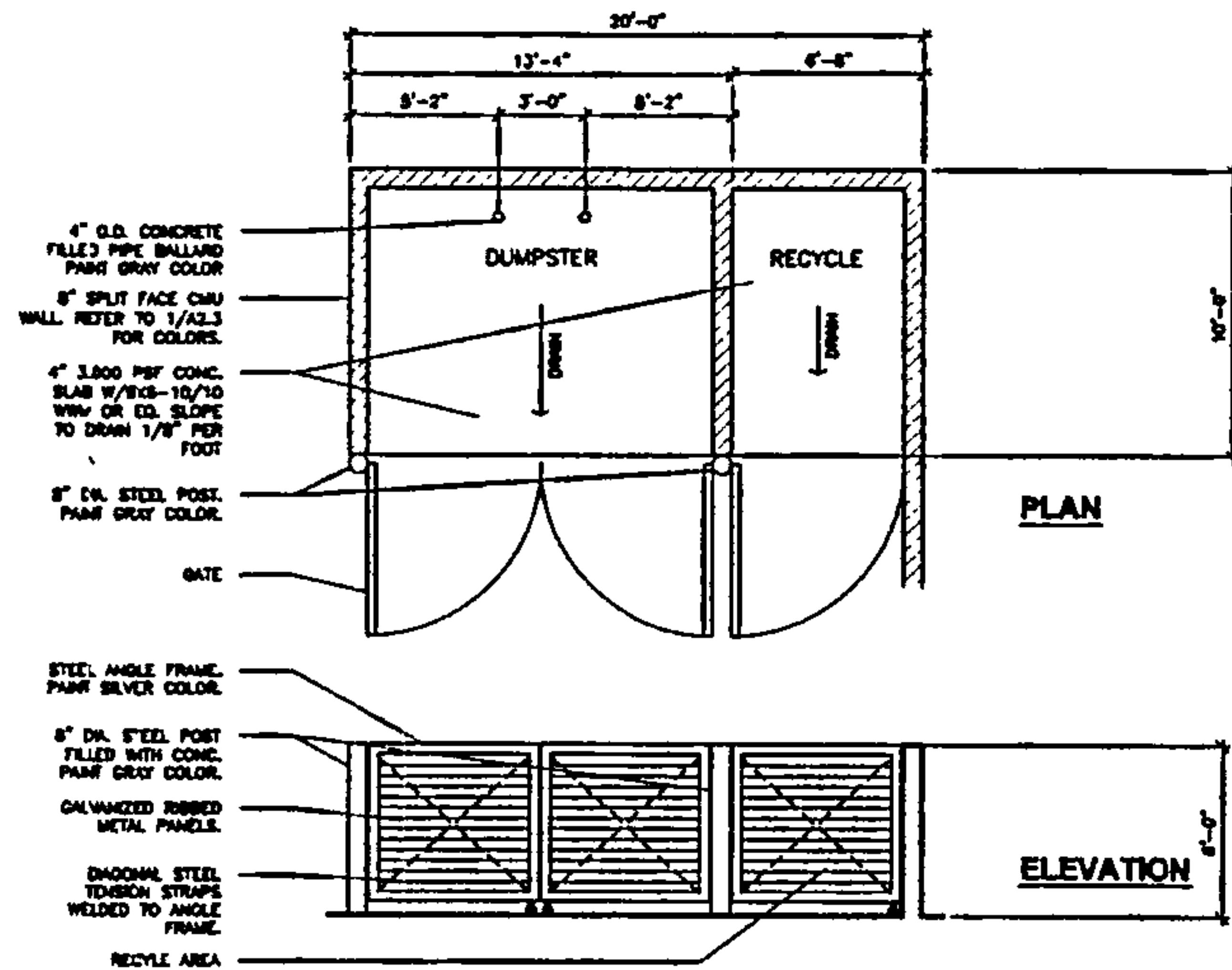
STORAGE ENTRANCE GATE (3 TYPICAL)

SCALE: 1/4" = 1'-0" 5 A2.3



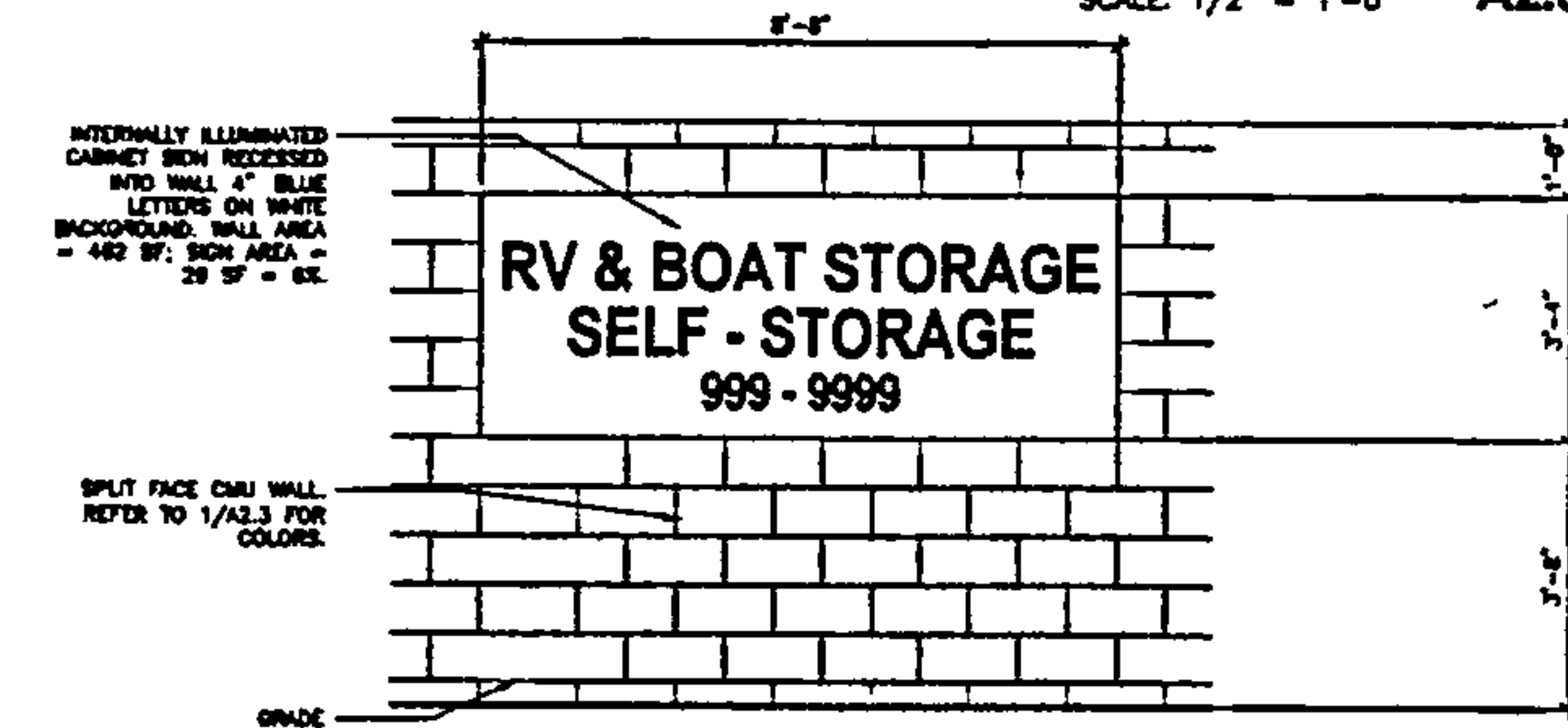
LA MORADA PL. RV ENTRY SIGN (2 TYP.)

SCALE: 1/2" = 1'-0" 4 A2.3



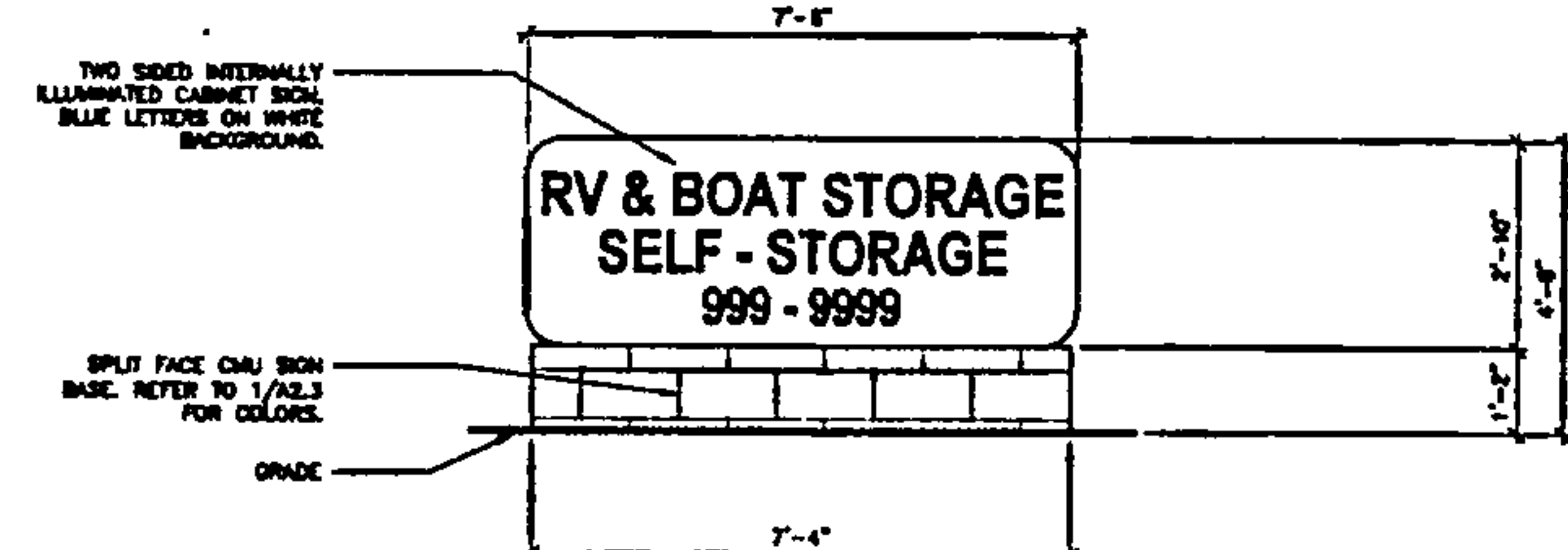
TRASH ENCLOSURE DETAIL

SCALE: 1/4" = 1'-0" 6 A2.3



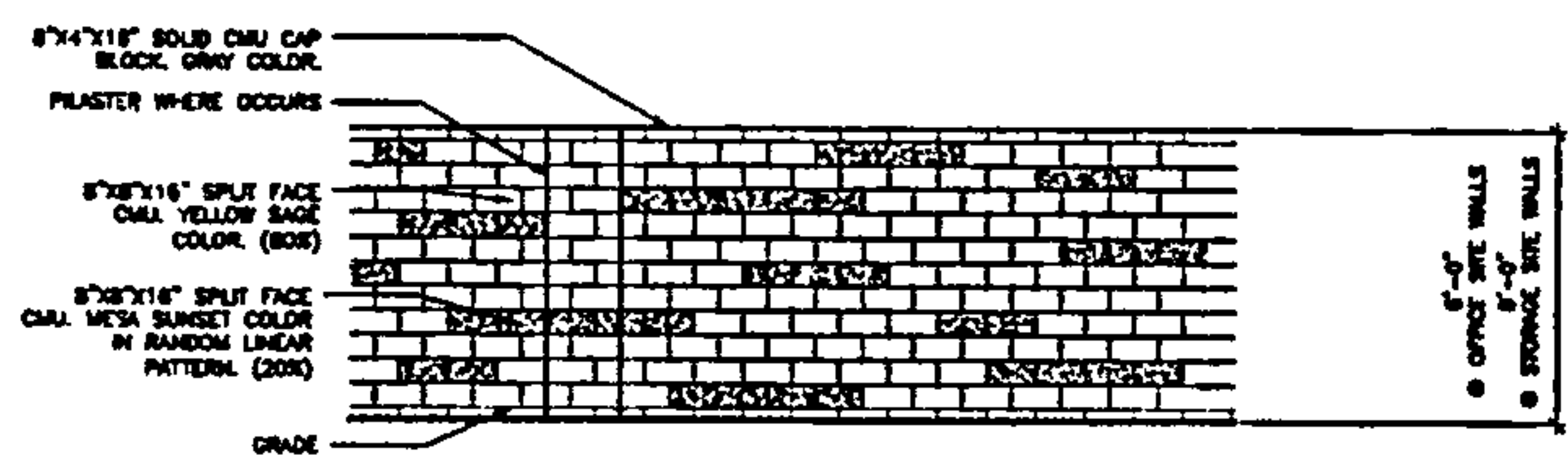
LA MORADA PL. WALL SIGN

SCALE: 1/2" = 1'-0" 3 A2.3



MONUMENT SIGN

SCALE: 1/2" = 1'-0" 2 A2.3



CMU WALL PATTERN (TYPICAL)

SCALE: 1/4" = 1'-0" 1 A2.3

KEYED NOTES



ARCHITECTS

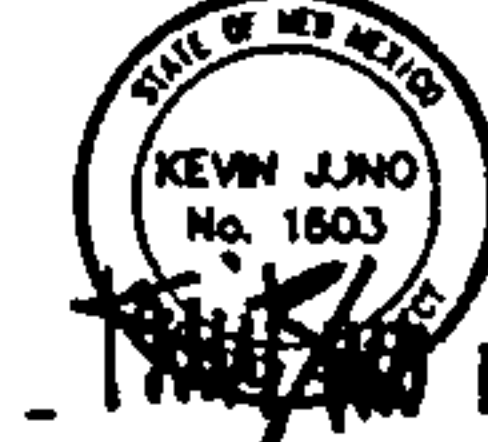
7825 Bogue St. NE, Albuquerque, NM 87114 Ph: (505) 882-8433 Fax: (505) 886-3438

PROJECT
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE, NW, ALBUQUERQUE, NM

SHEET TITLE
DETAILS

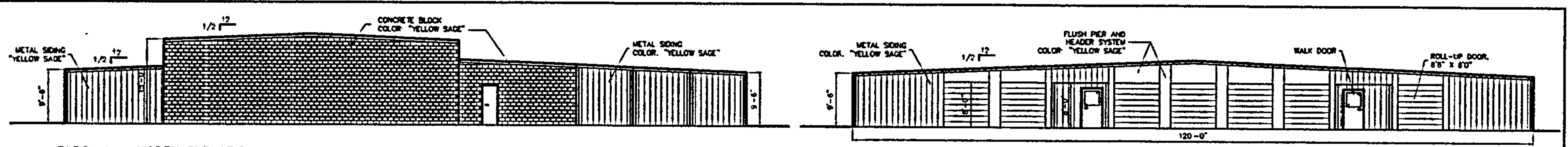
NO.	REVISION	DATE

PROJECT STAMP CONSULTANT STAMP DATE: 1-1-14



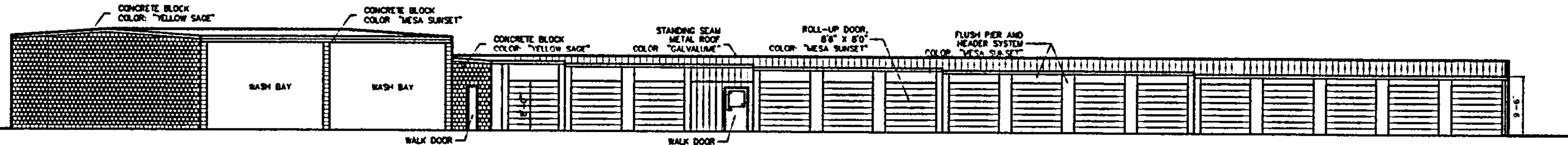
PROJECT NO. 1384
SHEET NO.

A2.3

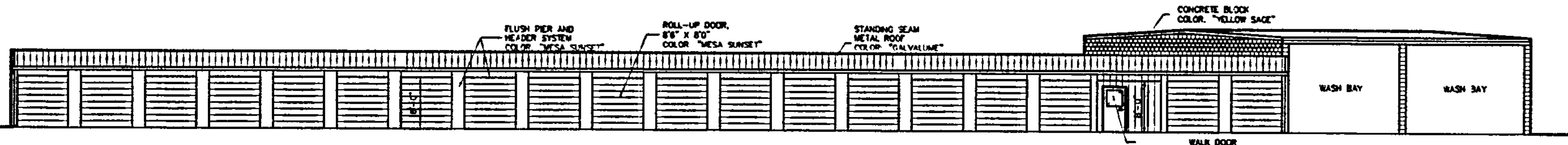


BLDG. A - NORTH ELEVATION

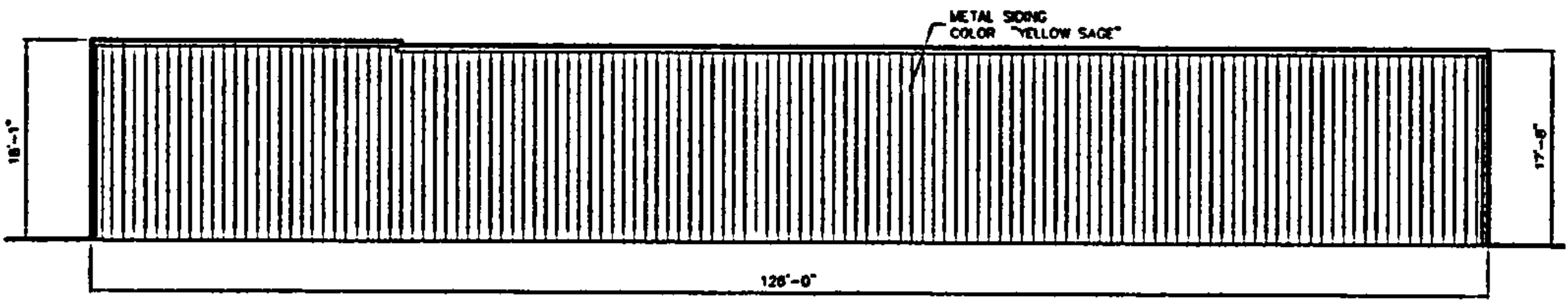
BLDG. A - SOUTH ELEVATION



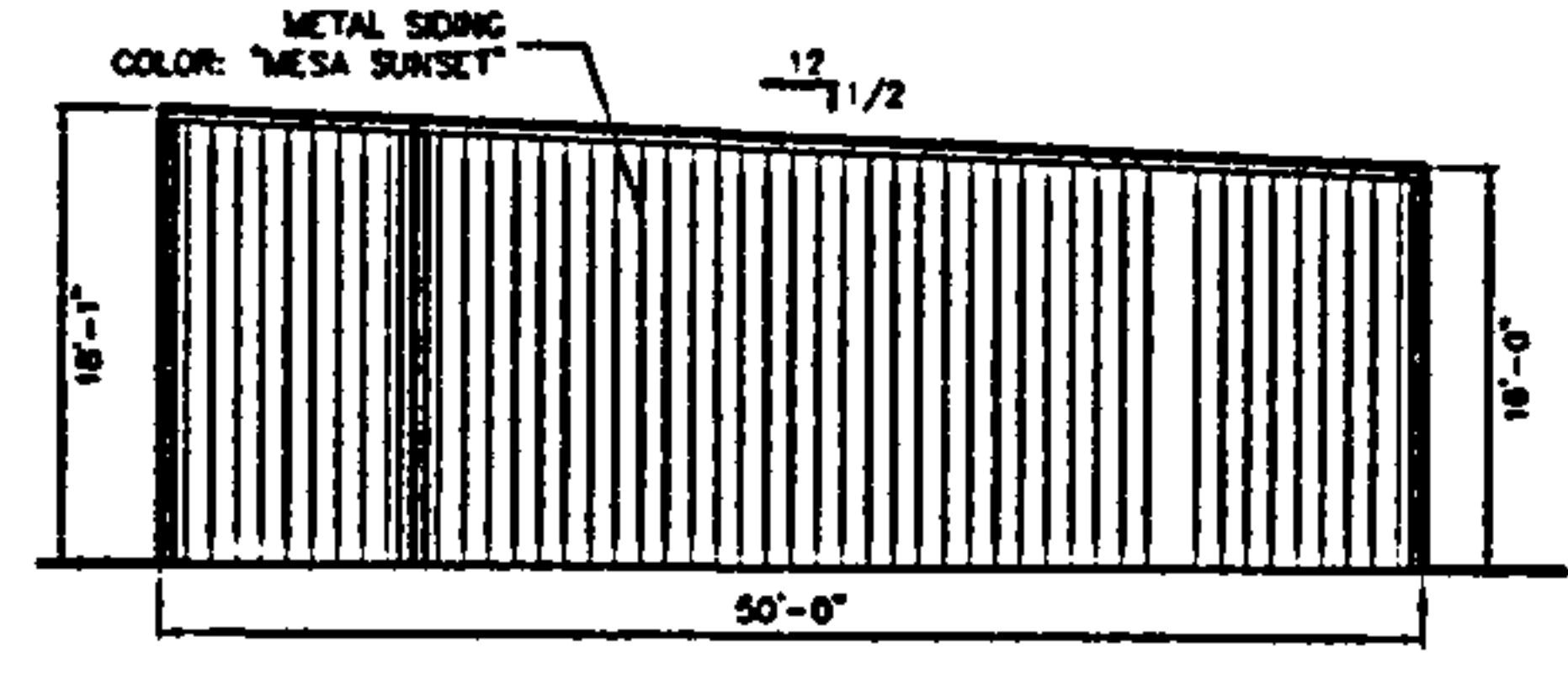
BLDG. A - WEST ELEVATION



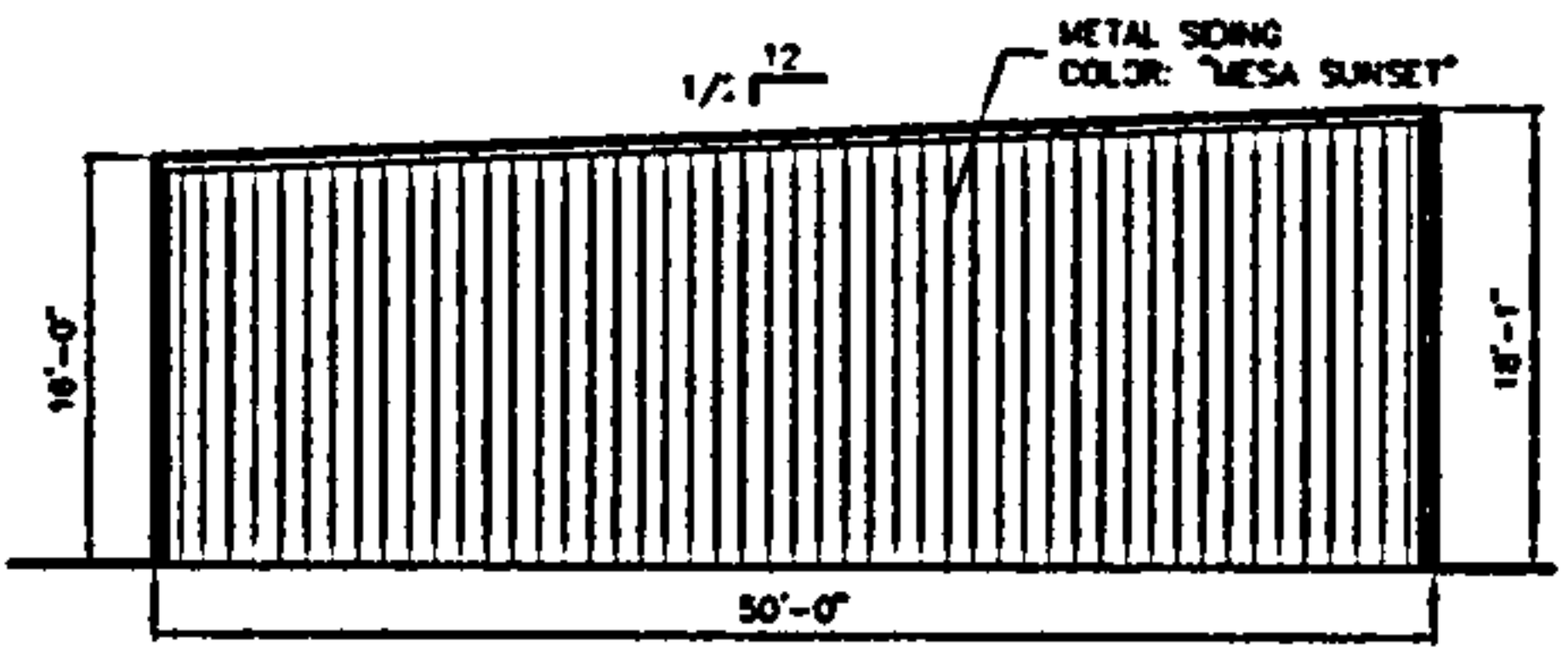
BLDG. A - EAST ELEVATION



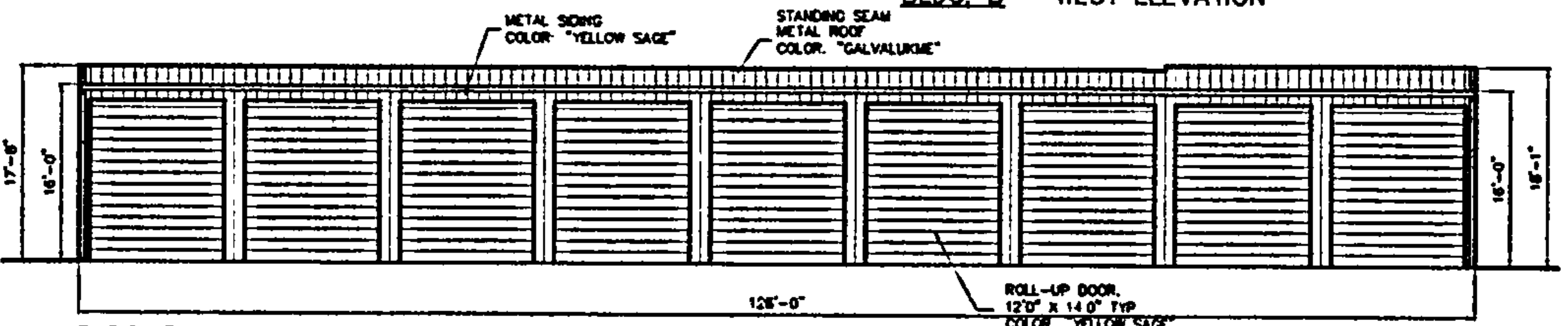
BLDG. B - NORTH ELEVATION



BLDG. B - WEST ELEVATION



BLDG. B - EAST ELEVATION



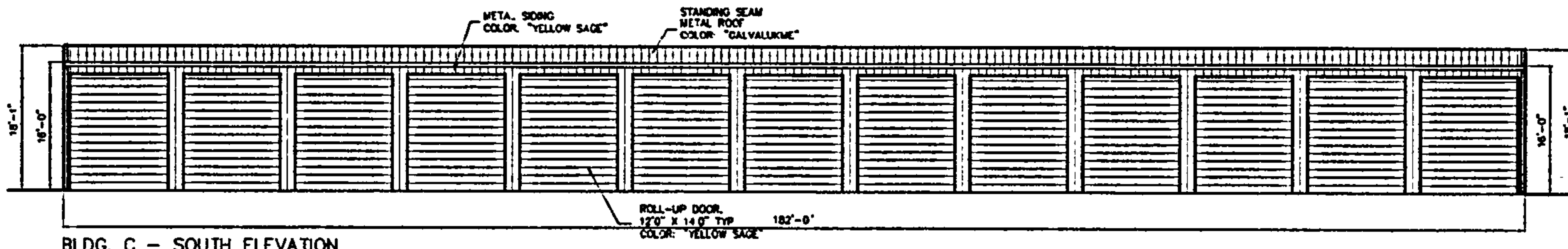
BLDG. B - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

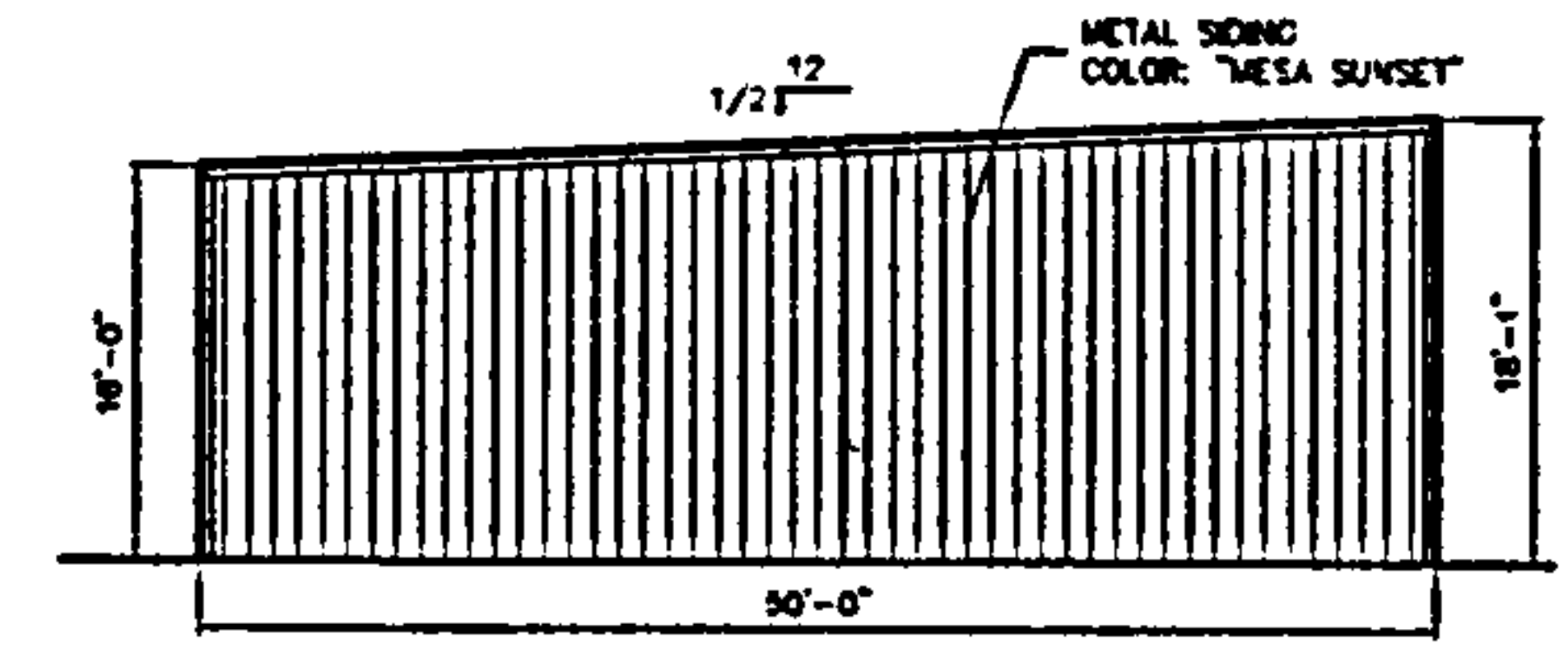


ALBUQUERQUE RV & BOAT STORAGE
2210 Vista Oriente NW., Albuquerque, NM
Dan Rich

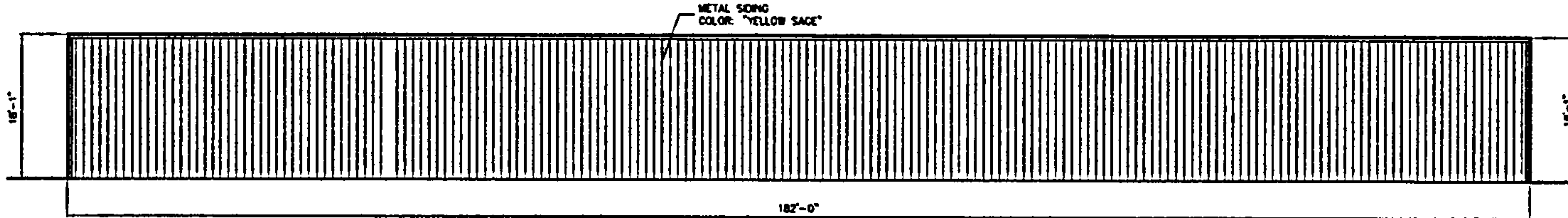
<p>NOTES & CONDITIONS</p> <p>1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.</p> <p>3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.</p> <p>5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND SAFE MANNER AT ALL TIMES.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING PROPERTIES.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING UTILITIES.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING STRUCTURES.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING LAND.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING AIR.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING WATER.</p> <p>12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING SOIL.</p> <p>13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING VEGETATION.</p> <p>14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING ANIMALS.</p> <p>15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING HUMANS.</p> <p>16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING PROPERTY.</p> <p>17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING INTERESTS.</p> <p>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING RIGHTS.</p> <p>19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING OBLIGATIONS.</p> <p>20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORING LIABILITIES.</p>	<p>REVISIONS</p> <p>1 - Wash bay - 1/8/14 - RFR</p>	<p>DRAWN BY: RFR</p> <p>DATE: 11/5/13</p> <p>DWG. NO.: E1 of 5</p> <p>REVISION: 01</p>
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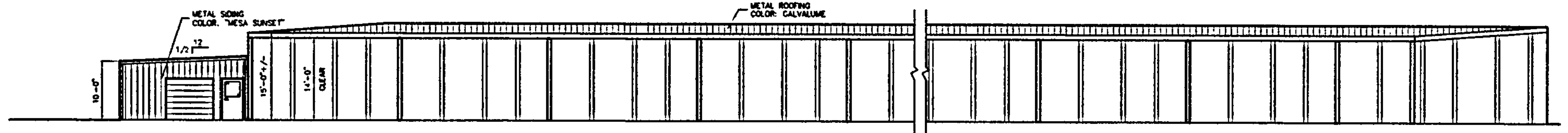
BLDG. C - SOUTH ELEVATION



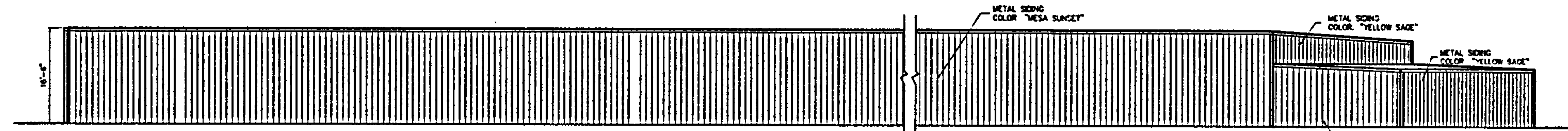
BLDG. C - EAST ELEVATION (WEST, SIM.)



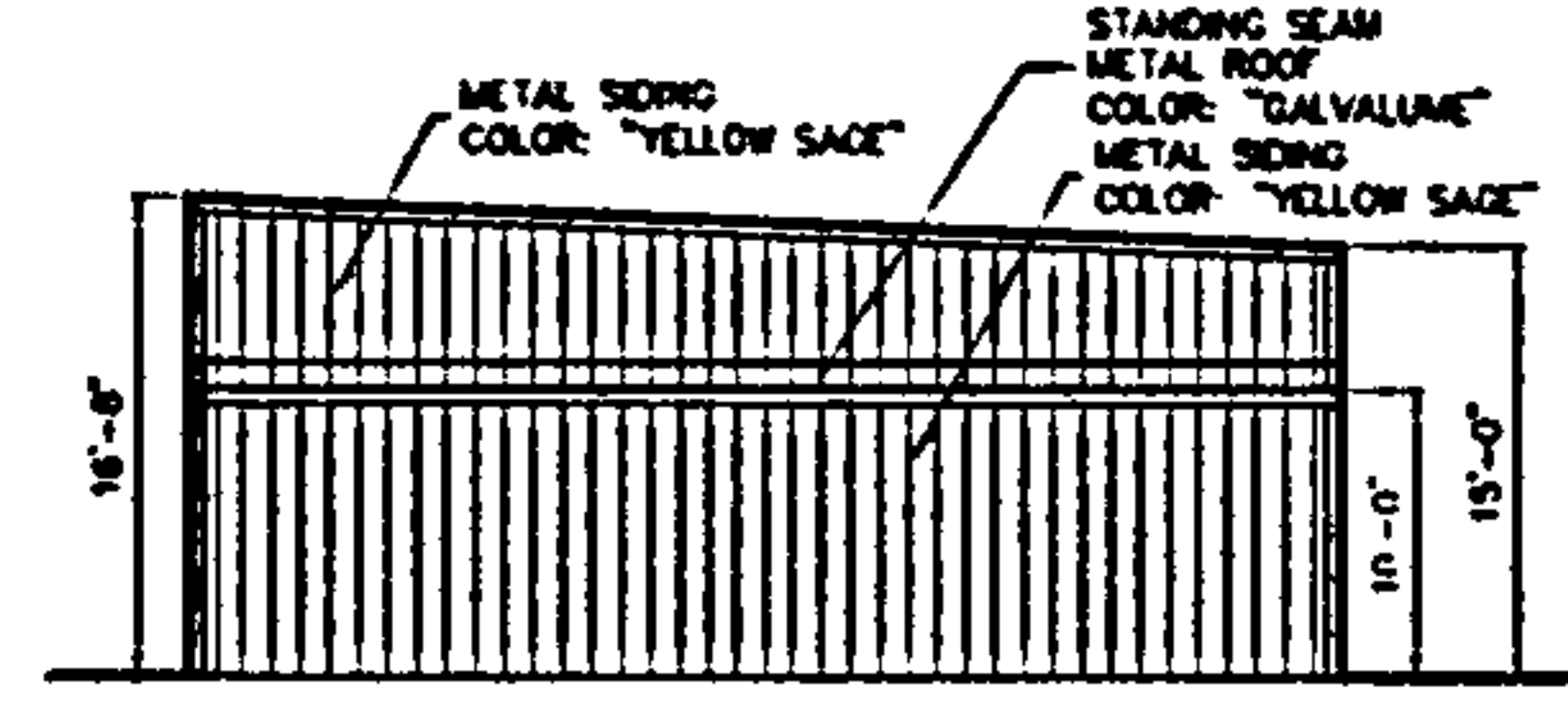
BLDG. C - NORTH ELEVATION



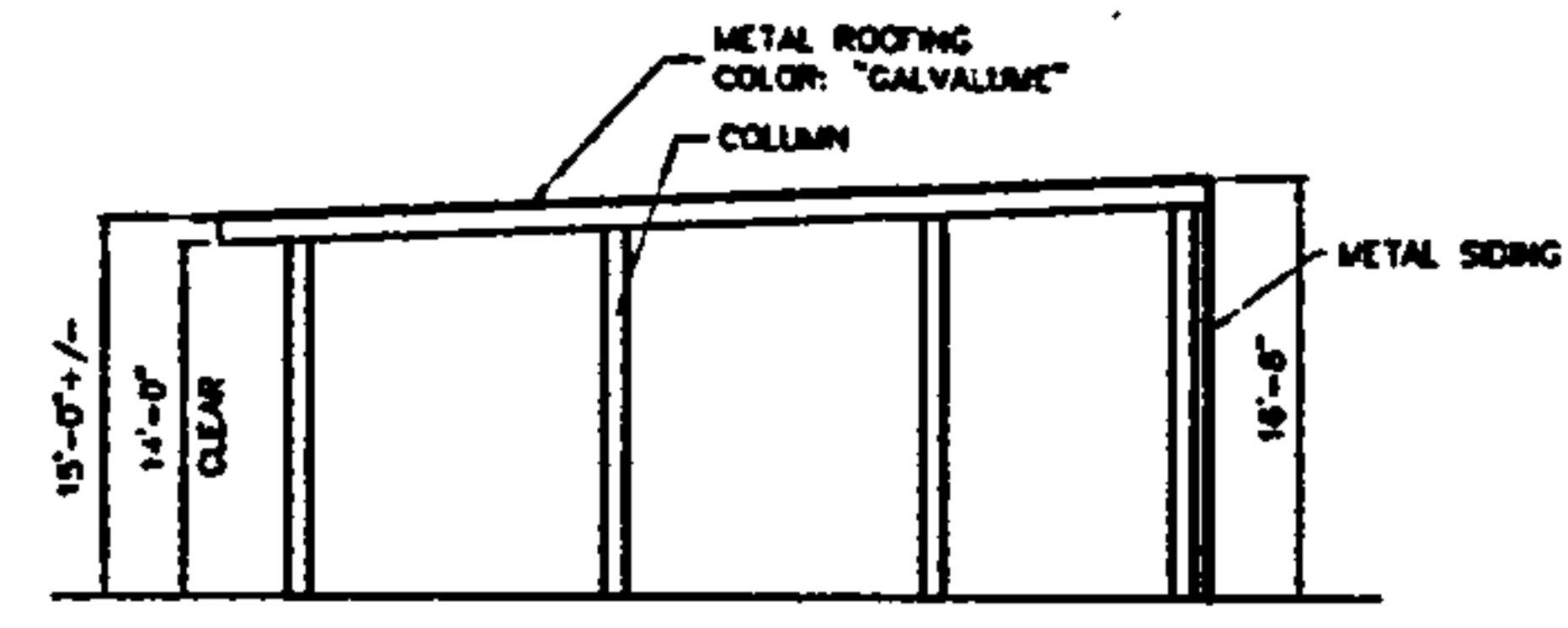
CANOPY C1 - WEST ELEVATION



CANOPY C1 - EAST ELEVATION



CANOPY C1 - NORTH ELEVATION



CANOPY C1 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

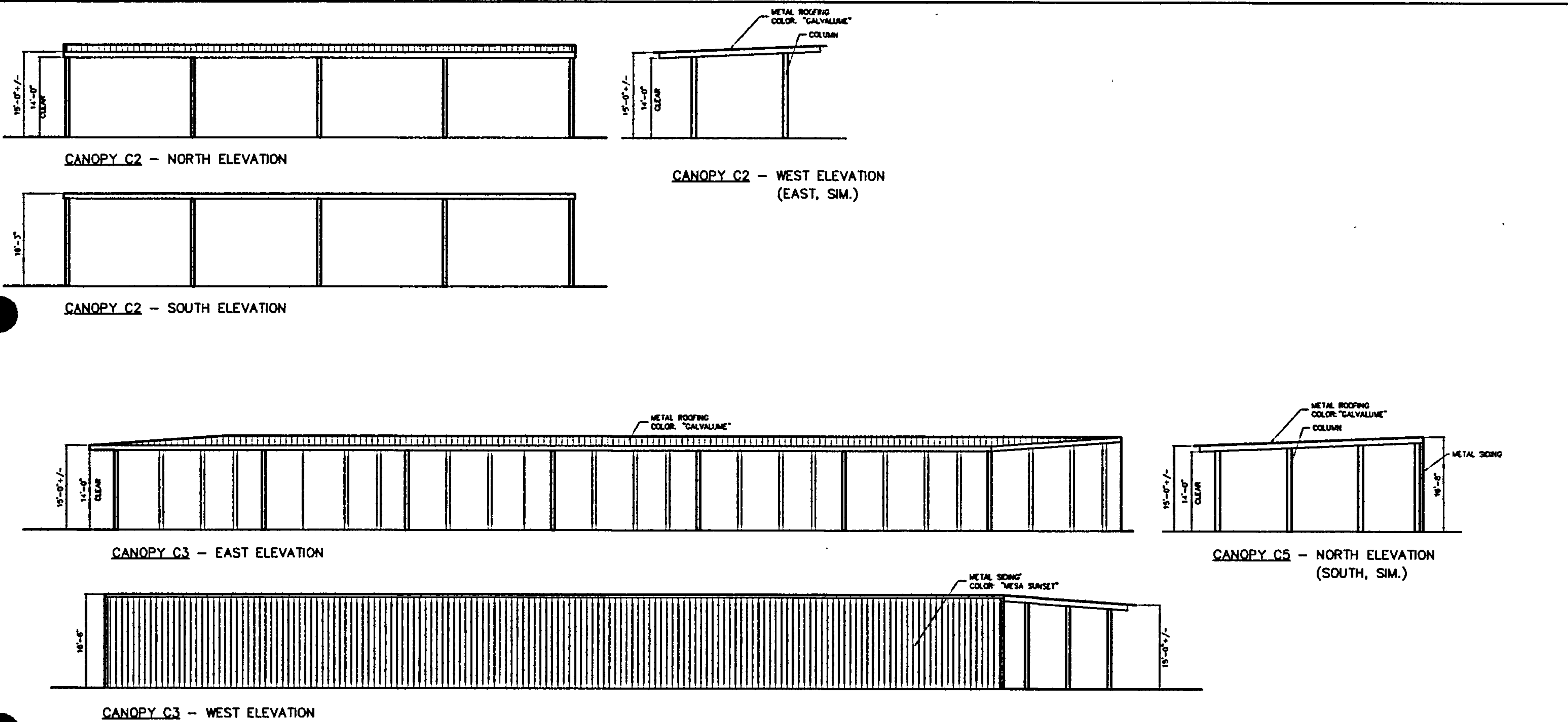


ALBUQUERQUE RV & BOAT STORAGE
 2210 Vista Oriente NW., Albuquerque, NM
 Dan Rich

NOTES & CONDITIONS
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
 6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.

REVISIONS
 1. Work by - 1/8/14 - RRH

DRAWN BY: RRH
 DATE: 11/8/13
 DWG. NO.: E2 of 5
 REVISION: 01



SCALE: 1/8" = 1'-0"

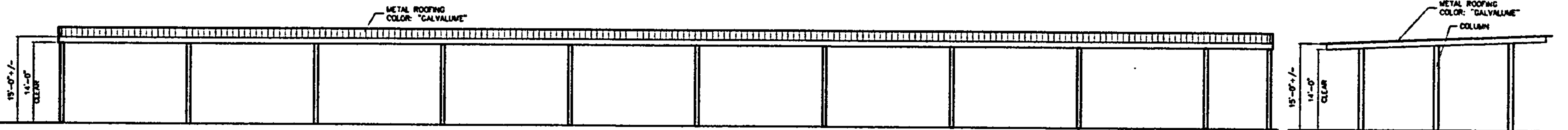


ALBUQUERQUE RV & BOAT STORAGE
 2210 Vista Oriente NW, Albuquerque, NM
 Dan Rich

NOTES & CONDITIONS
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SURROUNDING ENVIRONMENT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC SAFETY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY OF THE OWNER.

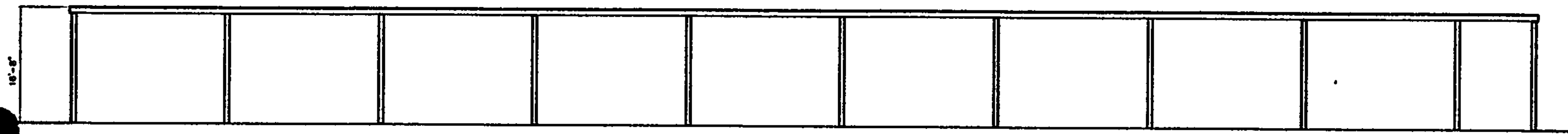
REVISIONS
 1 - Wash Bay - 1/8/14 - RRM

DRAWN BY: RRM
DATE: 11/5/13
DWG. NO.: E3 of 5
REVISION: 01

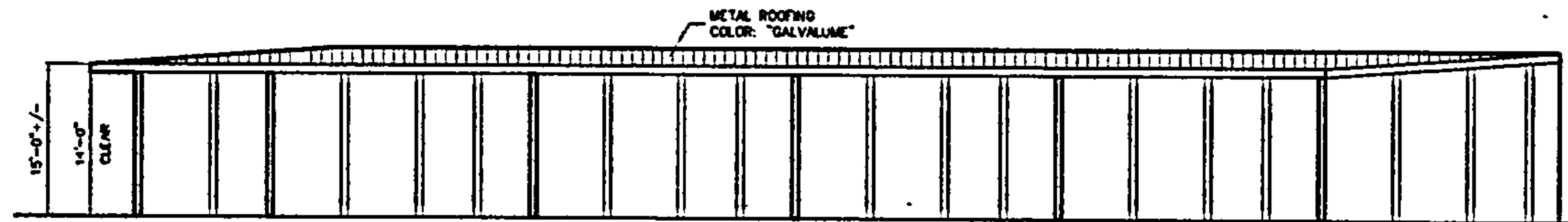


CANOPY C4 - NORTH ELEVATION

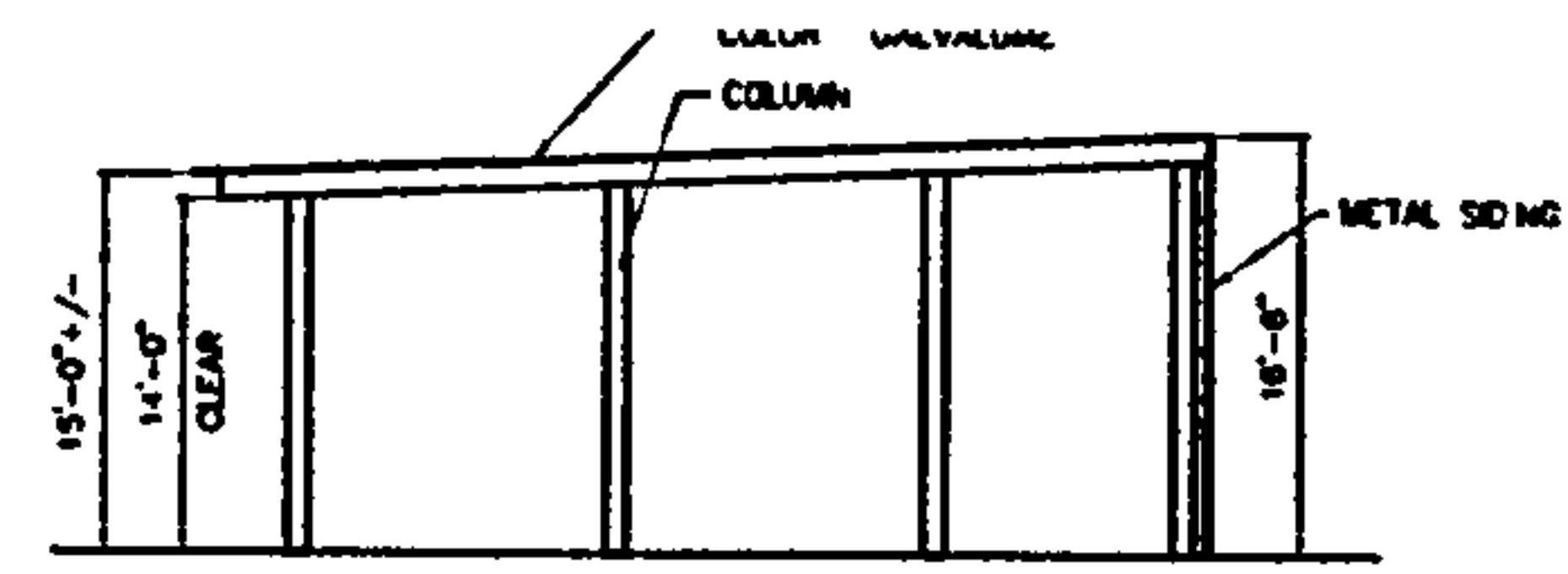
CANOPY C4 - WEST ELEVATION (EAST, SIM.)



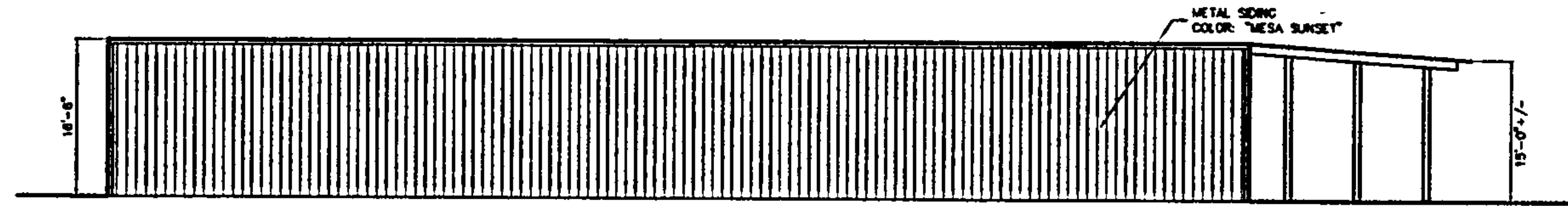
CANOPY C4 - SOUTH ELEVATION



CANOPY C5 - EAST ELEVATION



CANOPY C5 - NORTH ELEVATION (SOUTH, SIM.)



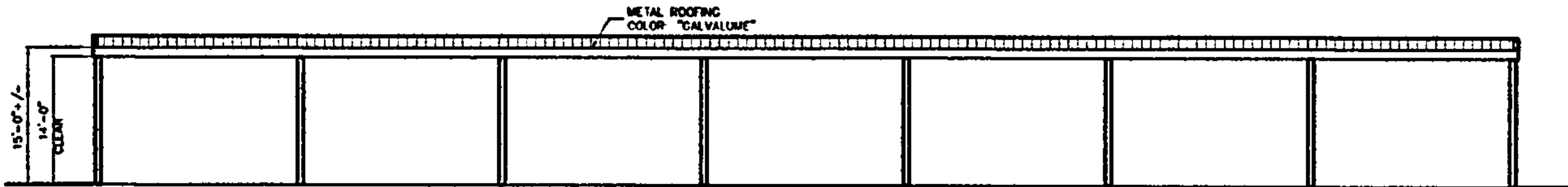
CANOPY C5 - WEST ELEVATION

SCALE: 1/8" = 1'-0"

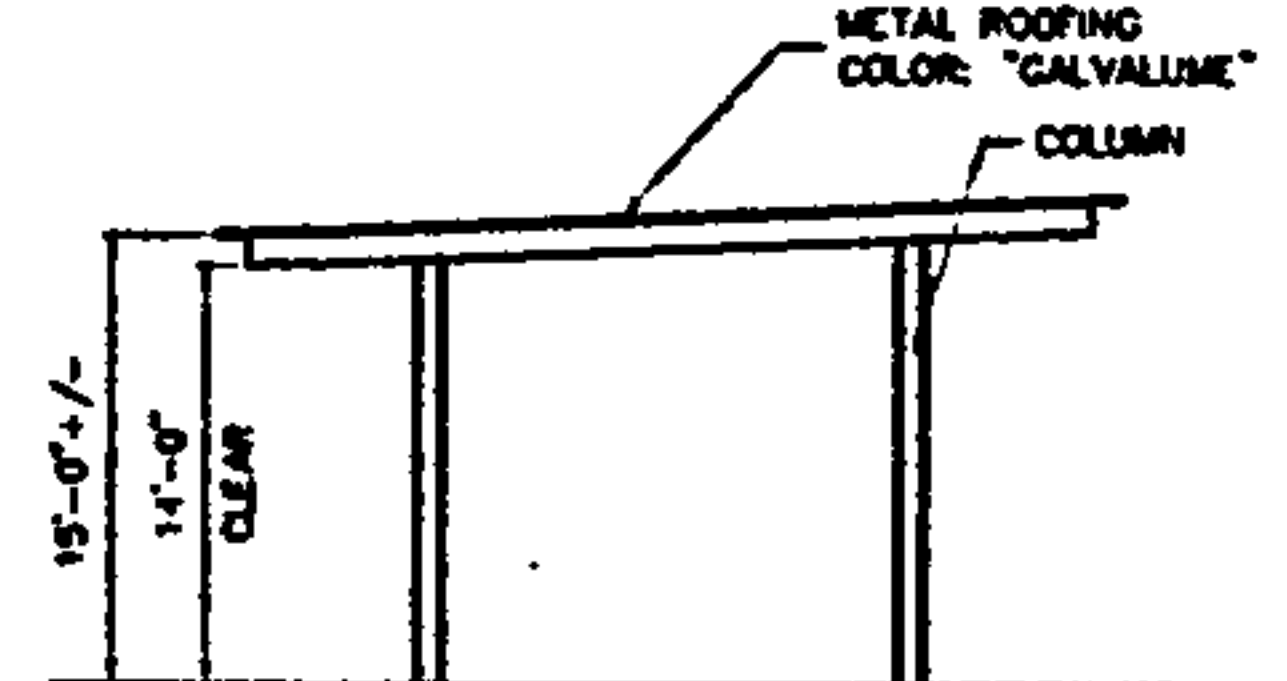


ALBUQUERQUE RV & BOAT STORAGE
 2210 Vista Oriente NW, Albuquerque, NM
 Don Rich

NOTES & CONDITIONS <small>1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STORAGE. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY OFFICE SPACE. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOOLS.</small>	REVISIONS: 1 - Wash Bay - 1/8/14 - RRH 2 - 3 - 4 - 5 - 6 - 7 - 8 - 9 - 10 -	DRAWN BY: RRH DATE: 11/9/13
		DATE: 11/9/13
		E4 of 5
		REVISION: 01



CANOPY C6 - SOUTH ELEVATION



CANOPY C6 - EAST ELEVATION
(WEST, SIM.)



CANOPY C6 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
2210 Vista Oriente NW, Albuquerque, NM
Don Rich

NOTES & CONDITIONS
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS SHALL BE AS SPECIFIED IN THE MATERIALS SPECIFICATION.
 3. ALL CONNECTIONS SHALL BE AS SPECIFIED IN THE CONNECTIONS SPECIFICATION.
 4. ALL FABRICATION SHALL BE IN ACCORDANCE WITH THE FABRICATION SPECIFICATION.
 5. ALL FINISHES SHALL BE AS SPECIFIED IN THE FINISHES SPECIFICATION.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PERMITS AND ORDINANCES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE OF NEW MEXICO PERMITS AND ORDINANCES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODES AND STANDARDS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL CODES AND STANDARDS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE INDUSTRY.

REVISIONS:
 ▲ - Wash Bay - 1/6/14 - NWH
 ▲ -
 ▲ -
 ▲ -
 ▲ -
 ▲ -
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 ▲ -

DRAWN BY: NWH
 DATE: 11/5/13
 SHEET NO.:
 E5 of 5
 REVISION: 01

KEYED NOTES

PLANT LEGEND

All plants shall be sized per American Standards for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for re-plantation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES

- AUTUMN PURPLE ASH 2
Fraxinus americana
2' Cal. 12-14' tall / 60" x 60" maturity
Feller (N) Allergy (N) Col
- EASTERN REDBUD 6
Cercis canadensis
2' Cal. 8-10' tall / 60" x 60" maturity
Feller (N) Allergy (L) Col

SHRUBS/ENVIRONMENTAL TREES

- DESERT YELLOWS 5
Chrysothamnus
15' Cal. 4-10' tall / 30" x 25" maturity
Feller (N) Allergy (L) 2294'
- WESTERN RED CEDAR 5
Thuja plicata Green Glaze
15' Cal. 4-10' tall / 40" x 30" maturity
Feller (N) Allergy (L) 2294'

GROUNDCOVERS

- SHILOSH LINGER 34
Juniperus procumbens
3' Cal. 3'-4' tall / 2' x 8' maturity
Feller (L) Allergy (L) 644'
Symbol indicates 3 plants
- HONEYBUCKLE 7
Lonicera japonica Yellow
1' Cal. 8"-10" tall / 8" x 12" maturity
Feller (N) Allergy (L) 1444'
Unshaded-groundcover

LANDSCAPES

- 2" x 4" PEAVY GRAVEL WITH 1/2" x 1/4" PLANTS TO A MINIMUM 3" DEPTH

* DENOTES EVERGREEN PLANT MATERIAL

STREET TREE REQUIREMENTS - Minimum 2 Caliber

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: VISTA ORIENTE
Required: 6 Provided: 6

PARKING LOT TREE REQUIREMENTS - Minimum 2 Caliber

Street trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required: 2 Provided: 2

NOTE TO CLIENT:

Should the client not receive a grading and drainage plan during the design process or the co-located plan, the client reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestones will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change order to lay cobblestones or rip-rap in lieu of the specified gravel to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restrictions approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with: Trees to receive 1 Netafim spiral (50 length) with 3 loops at a final radius of 4.5' from tree trunk, placed in place. Netafim shall have emitters 12" o.c. with a flow of 5 gph. Shrubs to receive (2) 1/2" drip with Push caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

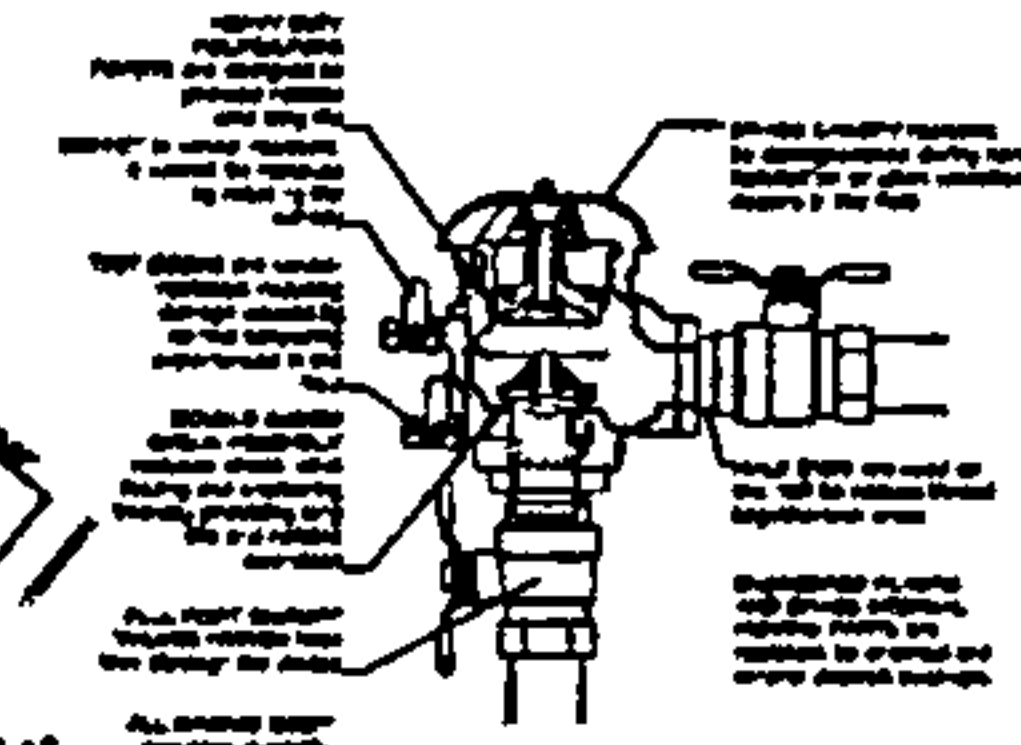
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

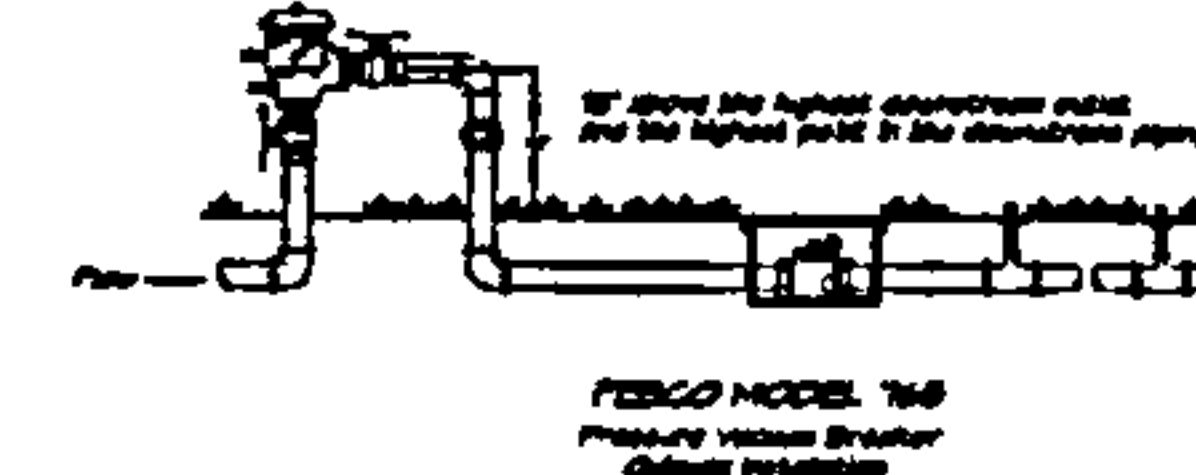
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

NETAFIM SPIRAL IN THE TREE BED SHALL BE INSTALLED TO A MINIMUM OF 12" FROM THE TRUNK OF THE TREE TO PREVENT ROOT DAMAGE.



Netafim Spiral Detail



TORO MODEL 745 Pressure Vacuum Breaker

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	214359	square feet
TOTAL BUILDING AREA	75079	square feet
NET LOT AREA	218478	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32771	square feet
TOTAL BED PROVIDED	32448	square feet
GROUNDCOVER REQ.	15%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4911	square feet
TOTAL GROUNDCOVER PROVIDED	4815	square feet
TOTAL PAVING AREA	0	square feet
TOTAL SOI AREA (max 30% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	32448	square feet

LANDSCAPE PLAN

SCALE: 1" = 30'

1
LS1.1



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #28458
7909 Edith N.E.
Albuquerque, NM 87114
Ph. (505) 898-9690
Fax (505) 898-7737
www.hilltoplandscape.com

JUNO

ARCHITECTS

7025 Bosque St. NE, Albuquerque, NM 87114 Ph. (505) 882-8463 Fax. (505) 880-1726

PROJECT
ALBUQUERQUE RV & BOAT STORAGE

SHEET TITLE

LANDSCAPE PLAN

NO.	REVISION	DATE
1	REVISED PER COMMENTS	1/24/14
2	REVISED PER COMMENTS	1/24/14

ARCHITECT STAMP

CONSULTANT STAMP

DATE

12-18-13

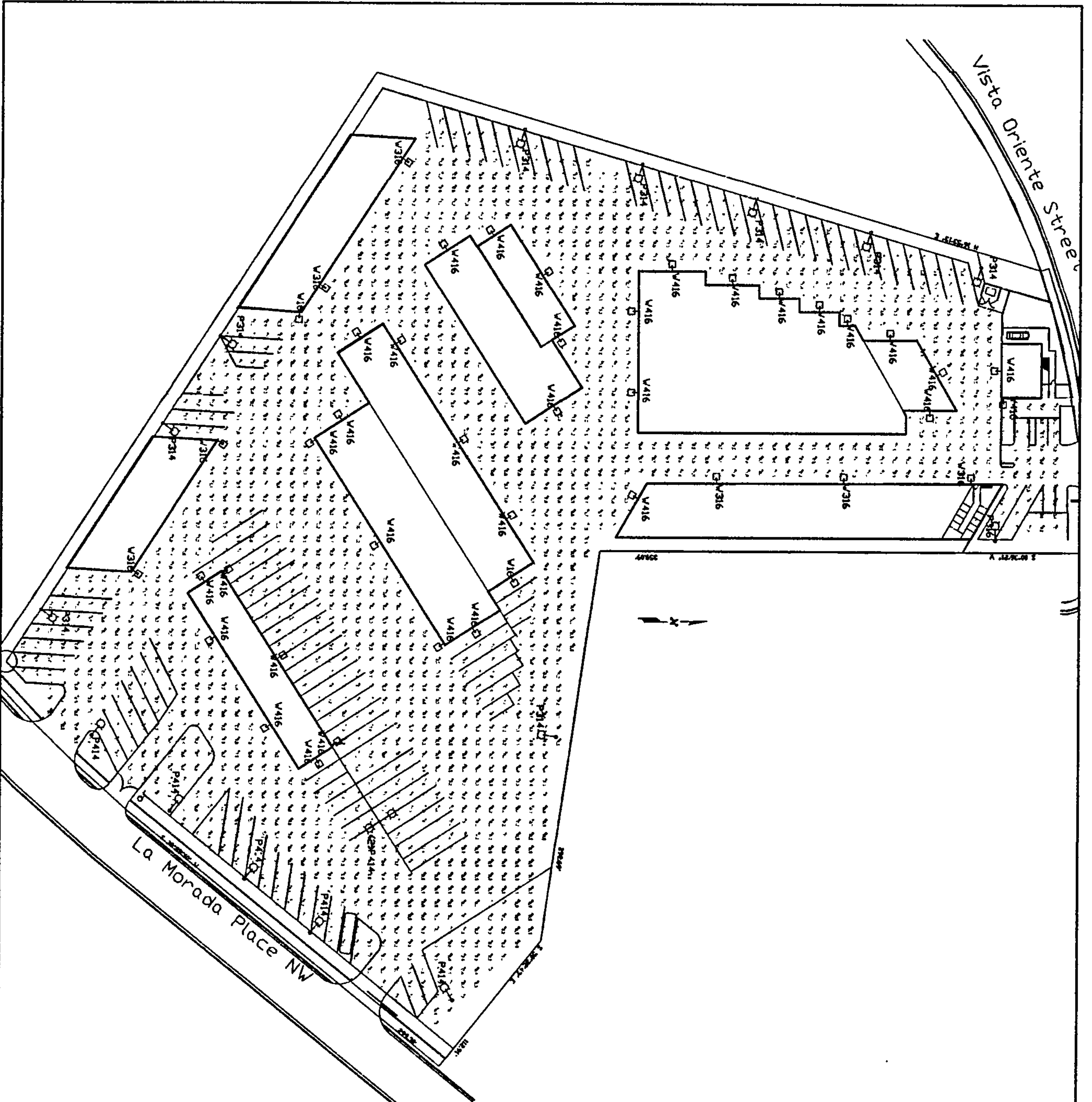
PROJECT NO.

1364

SHEET NO.



LS1.1



IES RECOMMENDED MAINTAINED HORIZONTAL ILLUMINANCES FOR PARKING FACILITIES

Open parking facilities	1.5 fc
Covered parking facilities	2.0 fc
Minimum maintained horizontal illuminance	0.2 fc
Uniformity (min/max)	0.5/1.0

LIGHTING CALCULATION STATISTICS

Area	2.0 fc
Perimeter	1.5 fc
Volume	0.2 fc
Area/Volume	1.0

SITE DEVELOPMENT REQUIREMENTS

1. ALL LIGHTING SHALL BE CONSIDERED WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S LIGHT POLLUTION ACT AND THE CITY OF ALBUQUERQUE'S LIGHT POLLUTION ORDINANCE.

2. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE THE NECESSARY ILLUMINATION FOR THE INTENDED USE OF THE FACILITY AND TO BE COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.

3. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE UNIFORM ILLUMINATION AND TO AVOID GLARE AND LIGHT POLLUTION.

4. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE THE NECESSARY ILLUMINATION FOR THE INTENDED USE OF THE FACILITY AND TO BE COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.

5. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE UNIFORM ILLUMINATION AND TO AVOID GLARE AND LIGHT POLLUTION.

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9. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE UNIFORM ILLUMINATION AND TO AVOID GLARE AND LIGHT POLLUTION.

10. ALL LIGHTING SHALL BE DESIGNED TO PROVIDE THE NECESSARY ILLUMINATION FOR THE INTENDED USE OF THE FACILITY AND TO BE COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.

TYPE	DESCRIPTION	REQUIREMENTS	COMMENTS
AREA	2.0 fc	1.5 fc	0.2 fc
PERIMETER	1.5 fc	1.0 fc	0.2 fc
VOLUME	0.2 fc	0.2 fc	0.2 fc
AREA/VOLUME	1.0	1.0	1.0

SITE LIGHTING POINT BY POINT LIGHTING CALCULATION

DATE	12/29/18
DESIGNED BY	CAH
CHECKED BY	CAH
PROJECT NO.	014-001
DATE	12/29/18
<p>ALBUQUERQUE RV AND BOAT STORAGE</p>	
<p>POINT BY POINT LIGHTING CALCULATION</p>	
<p>L-4</p>	

LUMARK

RV DESIGN AND REARWARD VIEW

1. Application of lighting fixtures to the interior of the vehicle is shown in this drawing. The lighting fixtures are shown in their relative positions to the interior of the vehicle. The lighting fixtures are shown in their relative positions to the interior of the vehicle.

REARWARD VIEW

REAR VIEW

Fixture	Qty	Wattage	Volts	Amperes	Notes
1	2	100	120	0.83	100W 120V
2	2	100	120	0.83	100W 120V
3	2	100	120	0.83	100W 120V
4	2	100	120	0.83	100W 120V
5	2	100	120	0.83	100W 120V
6	2	100	120	0.83	100W 120V
7	2	100	120	0.83	100W 120V
8	2	100	120	0.83	100W 120V
9	2	100	120	0.83	100W 120V
10	2	100	120	0.83	100W 120V
11	2	100	120	0.83	100W 120V
12	2	100	120	0.83	100W 120V
13	2	100	120	0.83	100W 120V
14	2	100	120	0.83	100W 120V
15	2	100	120	0.83	100W 120V
16	2	100	120	0.83	100W 120V
17	2	100	120	0.83	100W 120V
18	2	100	120	0.83	100W 120V
19	2	100	120	0.83	100W 120V
20	2	100	120	0.83	100W 120V
21	2	100	120	0.83	100W 120V
22	2	100	120	0.83	100W 120V
23	2	100	120	0.83	100W 120V
24	2	100	120	0.83	100W 120V
25	2	100	120	0.83	100W 120V
26	2	100	120	0.83	100W 120V
27	2	100	120	0.83	100W 120V
28	2	100	120	0.83	100W 120V
29	2	100	120	0.83	100W 120V
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32	2	100	120	0.83	100W 120V
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92	2	100	120	0.83	100W 120V
93	2	100	120	0.83	100W 120V
94	2	100	120	0.83	100W 120V
95	2	100	120	0.83	100W 120V
96	2	100	120	0.83	100W 120V
97	2	100	120	0.83	100W 120V
98	2	100	120	0.83	100W 120V
99	2	100	120	0.83	100W 120V
100	2	100	120	0.83	100W 120V

REAR VIEW

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	QUANTITY	REMARKS	DATE	BY
1	CEILING LIGHTS	2	100W 120V	12/29/13	CMH
2	TABLE LIGHTS	2	100W 120V	12/29/13	CMH
3	FLOOR LIGHTS	2	100W 120V	12/29/13	CMH
4	REAR LIGHTS	2	100W 120V	12/29/13	CMH
5	SIDE LIGHTS	2	100W 120V	12/29/13	CMH

ALBUQUERQUE RV AND BOAT STORAGE

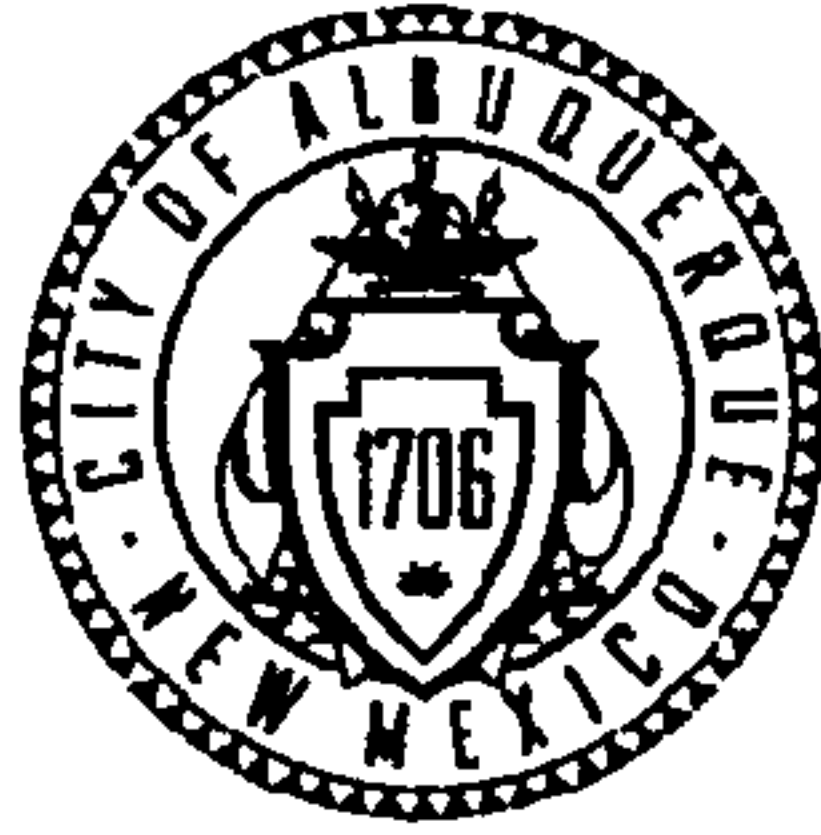
DATE: 12/29/13

PROJECT NO: 014-001

DESIGNED BY: CMH

ORDERED BY: ANAVITEX

L-5



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

January 17, 2014

David Soule
Rio Grande Engineering
P.O. Box 93924
Phone: 505-321-9099/Fax: 505-872-0999
E-mail: david@riograndeengineering.com

Dear David:

Thank you for your inquiry of **January 17, 2014** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACT 28 AND 25 LADERA BUSINESS PARK, UNIT 1 AND 2, LOCATED ON VISTA ORIENTE NW BETWEEN UNSER BOULEVARD NW AND LA MORADA NW** zone map **H-9**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

LADERA WEST N.A. "R"

Steven Collins

7517 Vista Alegre NW/87120 344-1599 (h)

Shariesse McCannon

2808 El Tesoro Escondido NW/87120 220-1776 (c)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **01/17/14** Time Entered: **9:25 a.m.** ONC Rep. Initials: **siw**

January 17, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Site Plan for Building Permit
Albuquerque RV and Boat storage
Lots 25&28 Ladera Business Park
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the site plan for building permit. The proposed development is consistent with the site plan for subdivision approved by the DRB on 10/8/03. The enclosed documents include all items required for the board to render a decision the approval of the preliminary plat. As shown on the enclosed PRT notes and letter from the Architectural Control Committee, the proposed us is allowed. The site plan for subdivision conforms to the site plan for subdivision and the approval of this site plan for building permit was delegated to the DRB

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

cc Steven Collins
7517 Vista Alegre NW
Albuquerque NM 87120

Shariesse McCannon
2808 El Tesoro Escondido NW
Albuquerque NM 87120

Sent To: Sharissa M. Cannon
 Street, Apt. No. or PO Box: 2808 El Tabor Escobedo
 City, State, ZIP+4: ALB NM 87120

Postage	\$	\$1.52
Certified Fee	\$	\$3.10
Return Receipt Fee (Endorsement Required)	\$	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00
Total Postage & Fees	\$	\$7.17

OFFICIAL USE
 U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 For delivery information visit our website at www.usps.com

7013 1090 0002 4289 3814

U.S. POSTAL SERVICE™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	\$1.52	Postmark Here ALBUQUERQUE NM 87120 JAN 17 2014
Certified Fee	\$	\$3.10	
Return Receipt Fee (Endorsement Required)	\$	\$2.55	
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00	
Total Postage & Fees	\$	\$7.17	

01/17/2014

Sent To: Steve Collins
 Street, Apt. No. or PO Box No.: 7517 Vista Alegre NW
 City, State, ZIP+4: ALB NM 87120

PS Form 3800, August 2006 See Reverse for Instructions

209E 6924 2000 0901 E101

Letter of Authorization

I, Dan Rich, Managing Member, of DLK Enterprises, LLC, owner of LOTS 25 & 28, LADERA BUSINESS PARK UNIT 1&2, UPC# 101005901427420601&100905952631741505 hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the site plan and platting actions required within City of Albuquerque NM for the subject property

Property Owner: 
Dan Rich

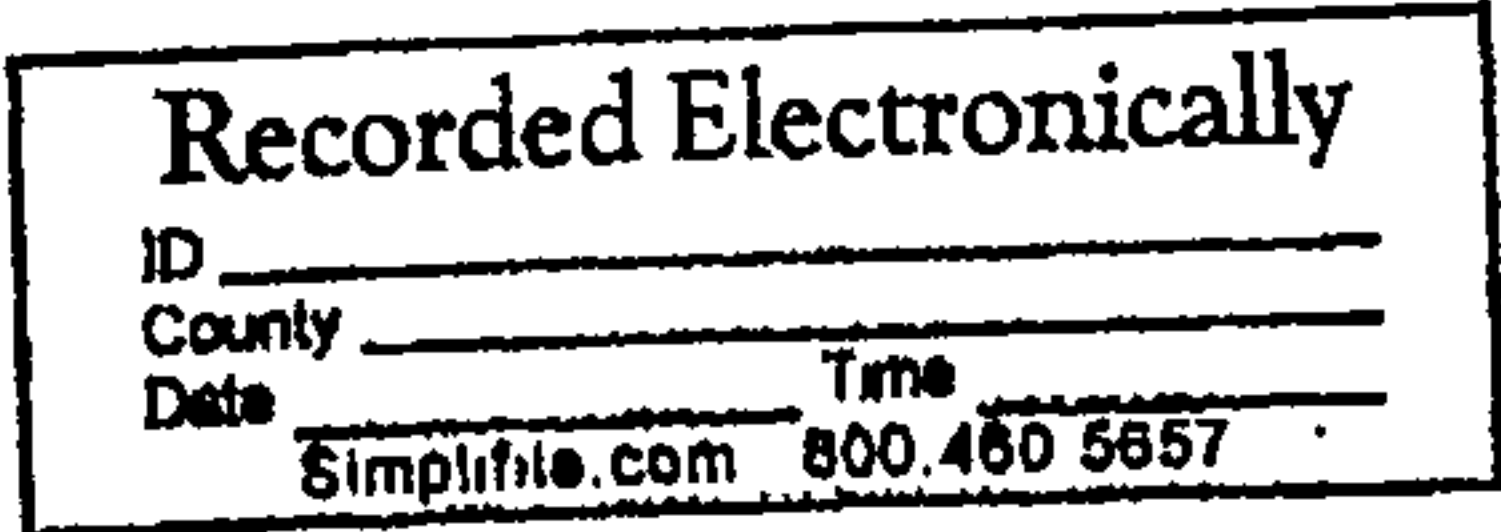
Date 1.13.14

SPECIAL WARRANTY DEED

BBBS DEVELOPMENT COMPANY, LLC, a New Mexico limited liability company, for consideration paid, grants to DLK ENTERPRISES, LLC, a New Mexico limited liability company, whose address is 12231 Academy Road NE, #301 Albuquerque, NM 87111, the following described real estate in Bernalillo County, New Mexico:

Tract numbered Twenty-eight (28) of Plat for LADERA BUSINESS PARK UNIT 2, within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said Plat filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 2004, in Book 2004C, page 325.

Subject to patent reservations, restrictions, covenants and easements of record and to taxes for the year 2013 and years thereafter and all other matters of record.



with special warranty covenants.

WITNESS its hand and seal on June 20, 2013.

BBBS DEVELOPMENT COMPANY, LLC, a New Mexico limited liability company

By: [Signature]
ANTHONY S. BACA, Member

By: [Signature]
DANIEL J. BEATY, Member

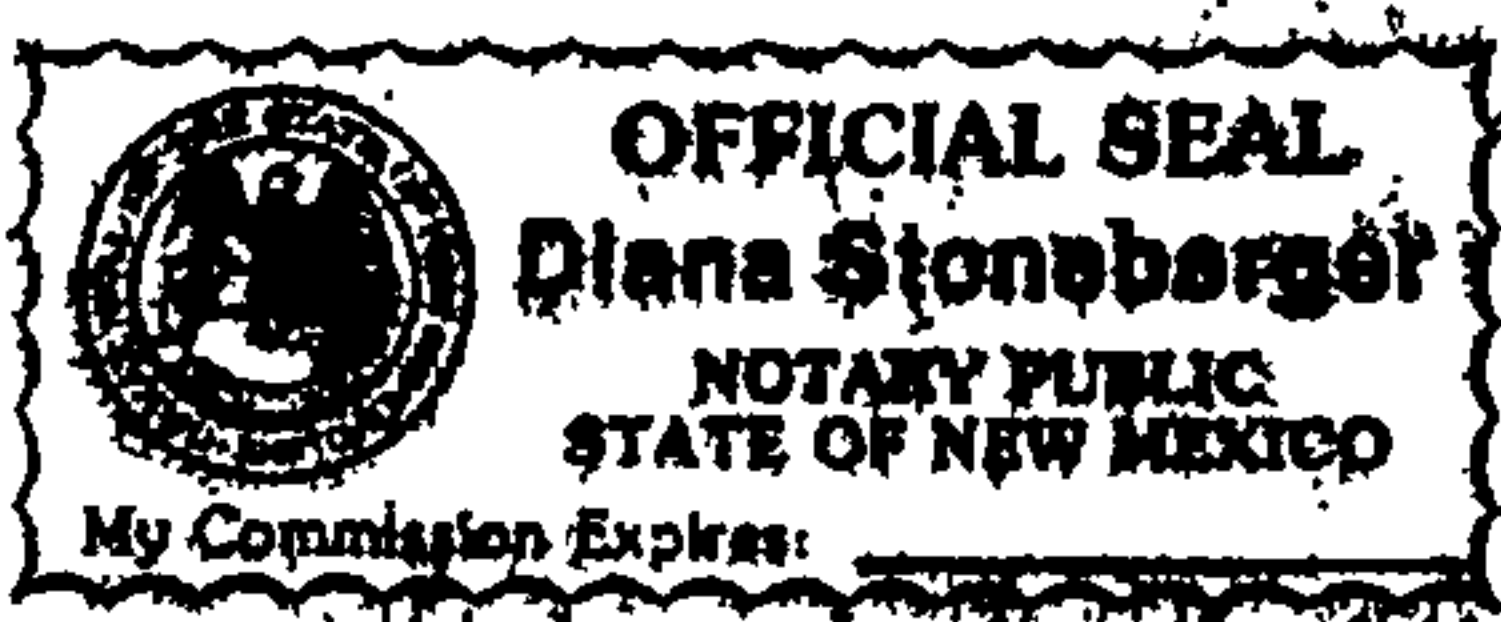
ACKNOWLEDGMENT

STATE OF New Mexico)
COUNTY OF Bernalillo)

This instrument was acknowledged before me on June 20, 2013 by ANTHONY S. BACA and DANIEL J. BEATY, Members of BBBS DEVELOPMENT COMPANY, LLC, a New Mexico limited liability company.

MY COMMISSION EXPIRES:
09/13/2013

[Signature]
NOTARY PUBLIC



WARRANTY DEED

Unser and 98th LLC, a New Mexico limited liability company, for consideration paid,
grants to DLK Enterprises LLC, a New Mexico limited liability company,
whose address is 12231 Academy Rd., NE, S-301, Albuquerque, NM 87111,
the following described real estate in BERNALILLO County, New Mexico:

Tract Twenty-Five (25) of LADERA BUSINESS PARK, Unit 1, within the Town of Atrisco Grant, Projected Sections 9 and 10, Township 10 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same shown and designated on the Plat of said Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 22, 2004, in Plat Book 2004C, folio 24.

Doc #2013069471 eRecorded
06/21/2013 09:39:00 AM Page 1 of 1
WD Rec Fee: \$25.00 M. Toulouse Oliver, Bernalillo County

SUBJECT TO reservations, restrictions and easements of record, and taxes for the year 2013 and subsequent years, with warranty covenants.

WITNESS my hand and seal this 17th day of June, 2013.

Unser and 98th LLC, a New Mexico limited liability company

by
its

[Signature]
Managing Member

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

COUNTY OF Bernalillo

} SS

This instrument was acknowledged before me this 20th day of June, 2013.

By

ROBERT L. SPRELLINE

(Name of Officer)

MANAGING MEMBER

(Title of Officer)

of

Unser and 98th LLC, a New Mexico limited liability company

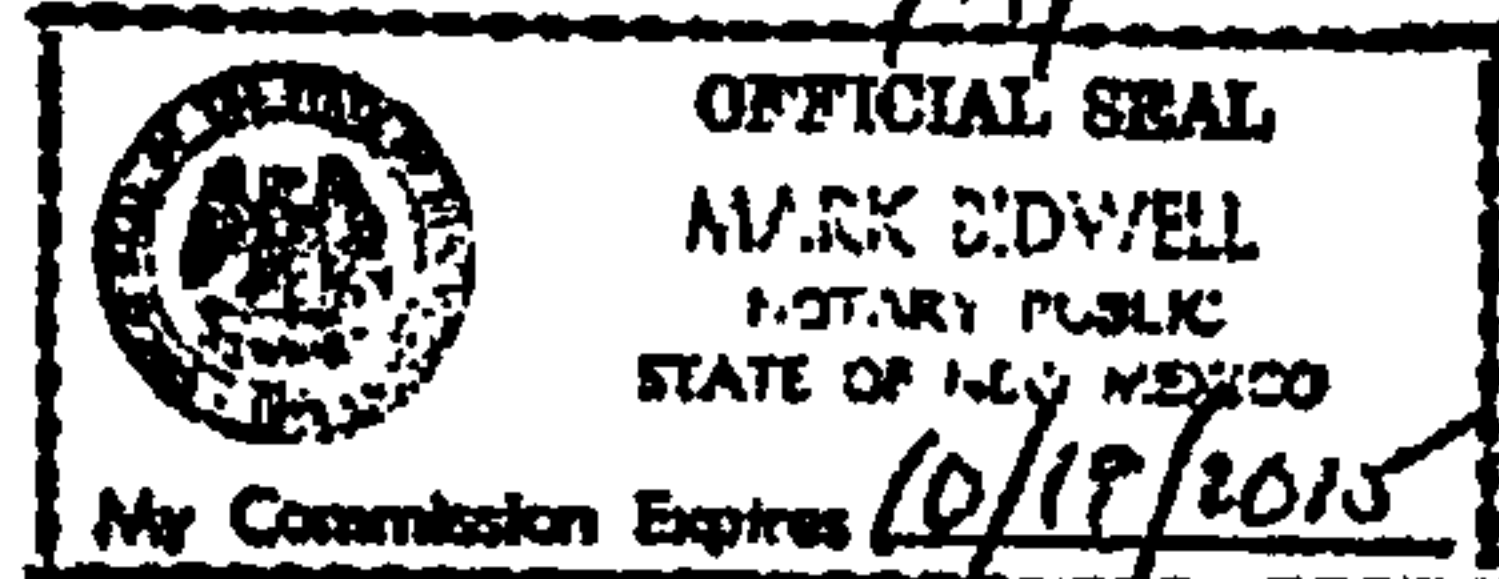
(Name of Corporation Acknowledging)

a

corporation, on behalf of said corporation.

(State of Incorporation).

My commission expires: 10/19/2015



[Signature]
Notary Public

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

11-11-11

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date

1/12/13

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each) (S(100) sheet)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) *separate sheet L 2-5*
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. *Sheet A, 2, 3*
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 16 provided: 28
Handicapped spaces (included in required total) required: 1 provided: 1
Motorcycle spaces (in addition to required total) required: 1 provided: 1
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2 provided: 1
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required (*on user*)
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
- A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
- B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
- C. Ponding areas either for drainage or landscaping/recreational use
7. Identify type, location and size of plantings (common and/or botanical names).
- A. Existing, indicating whether it is to preserved or removed.
- B. Proposed, to be established for general landscaping.
- C. Proposed, to be established for screening/buffering.
8. Describe irrigation system – Phase I & II . . .
9. Backflow prevention detail
10. Planting Beds, indicating square footage of each bed
11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
12. Responsibility for Maintenance (statement)
13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
14. Landscaped area requirement; square footage and percent (specify clearly on plan)
15. Landscaped area provided; square footage and percent (specify clearly on plan)
16. Planting or tree well detail
17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Administrative Officer
January 15, 2014

Robert J. Perry, Chief

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Rio Grande Engineering

Applicant: DLK Enterprises, LLC

Legal Description: Lots 25 and 28, Ladera Business Park Units 1&2

Zoning: SU- LI

Acreage: 6.2 acres

Zone Atlas Page: H-09

PROVISIONAL CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

**TREATMENT PLAN REVIEW:
DISCOVERY:**

**SUPPORTING DOCUMENTATION:
SITE VISIT: n/a**

RECOMMENDATION(S):

- ***PROVISIONAL CERTIFICATE OF NO EFFECT IS ISSUED to allow for submittal purposes only.***
- ***Archaeological survey required and will be completed prior to issuance of building permit***

MFSchmader

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA # 13- 033

Date: 3/19/13

Time: 2:15

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Carmen Marrone Others _____
Transportation: Nilo Salgado-Fernandez Others Cynthia Beck
Code Enforcement: Jonathan Turner Others _____
Others: _____

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- Zone Map Amendment EPC Approval City Council Approval
- Sector Dev. Plan Amendment EPC Approval City Council Approval
- Site Dev. Plan for Subdivision EPC Approval DRB Approval Admin. Approval
- Site Dev. Plan for Bldg Permit EPC Approval DRB Approval Admin. Approval
- Other _____

3. SUMMARY OF PRT DISCUSSION:

• an agreement between the ppty owner & the neighborhoods was approved that restricts allowed uses on the site. Condition # 5 of the 2001 EPC Notice of Decision required that the list of uses (restricted) be put on the site plan. This did not occur. Zoning Enforcement needs a copy of the agreement in order to determine what uses are allowed.

• site dev. plan for bldg. permit must comply with the site plan for subd. design guidelines & General Regulations of the Zoning Code

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

C. Marrone
PRT CHAIRMAN / DATE

[Signature]
APPLICANT OR AGENT / DATE

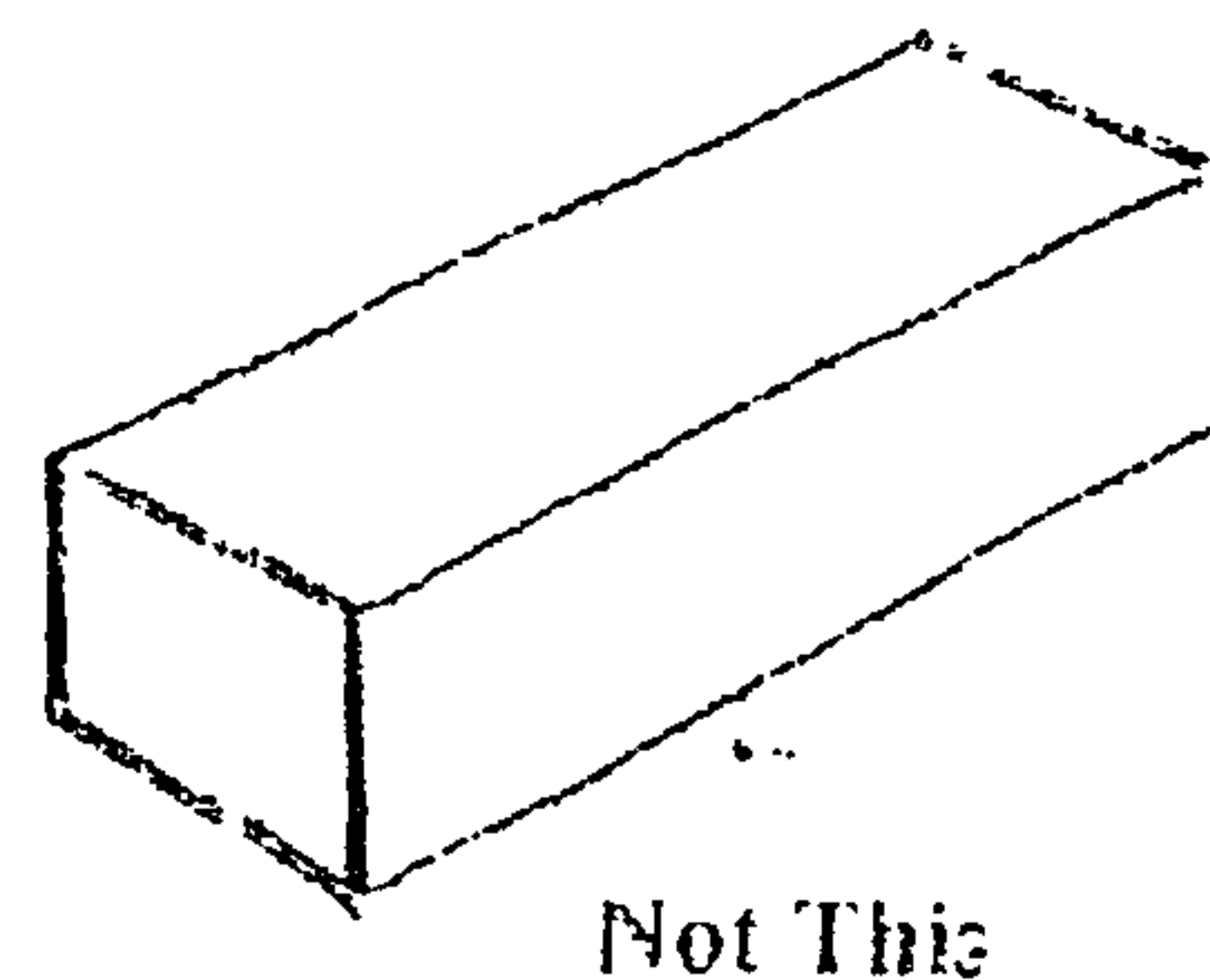
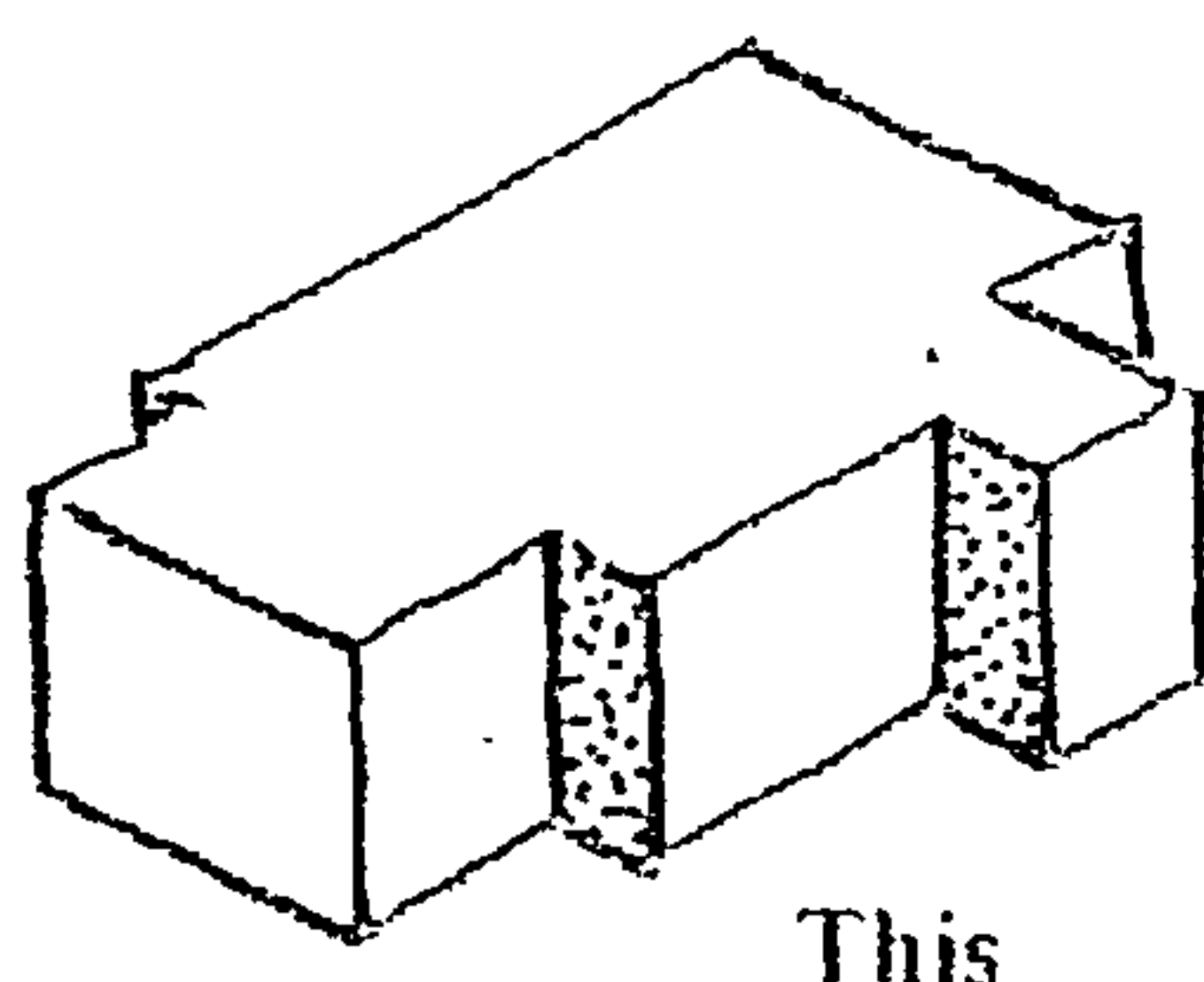
***Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NON-BINDING. Additional research may be necessary to determine the exact type of application needed.

be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

Additionally, all buildings shall conform to the following requirements:

- The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along Unser Blvd. (lots 13 through 19) shall be restricted to a height of 26 feet (including parapets) and have flat roofs without parapets.
- Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing an emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- The primary building colors shall be limited to: Yellow Ochres, Browns, Dull Reds, Blues, Grays, and Grey-Greens however; sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors.

- The staggering of planes and/or distinct articulation of building façades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades.
- Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.



The staggering of planes along an exterior wall is encouraged.

- Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along façades.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.
- All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- The top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way.
- Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall.
- All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.

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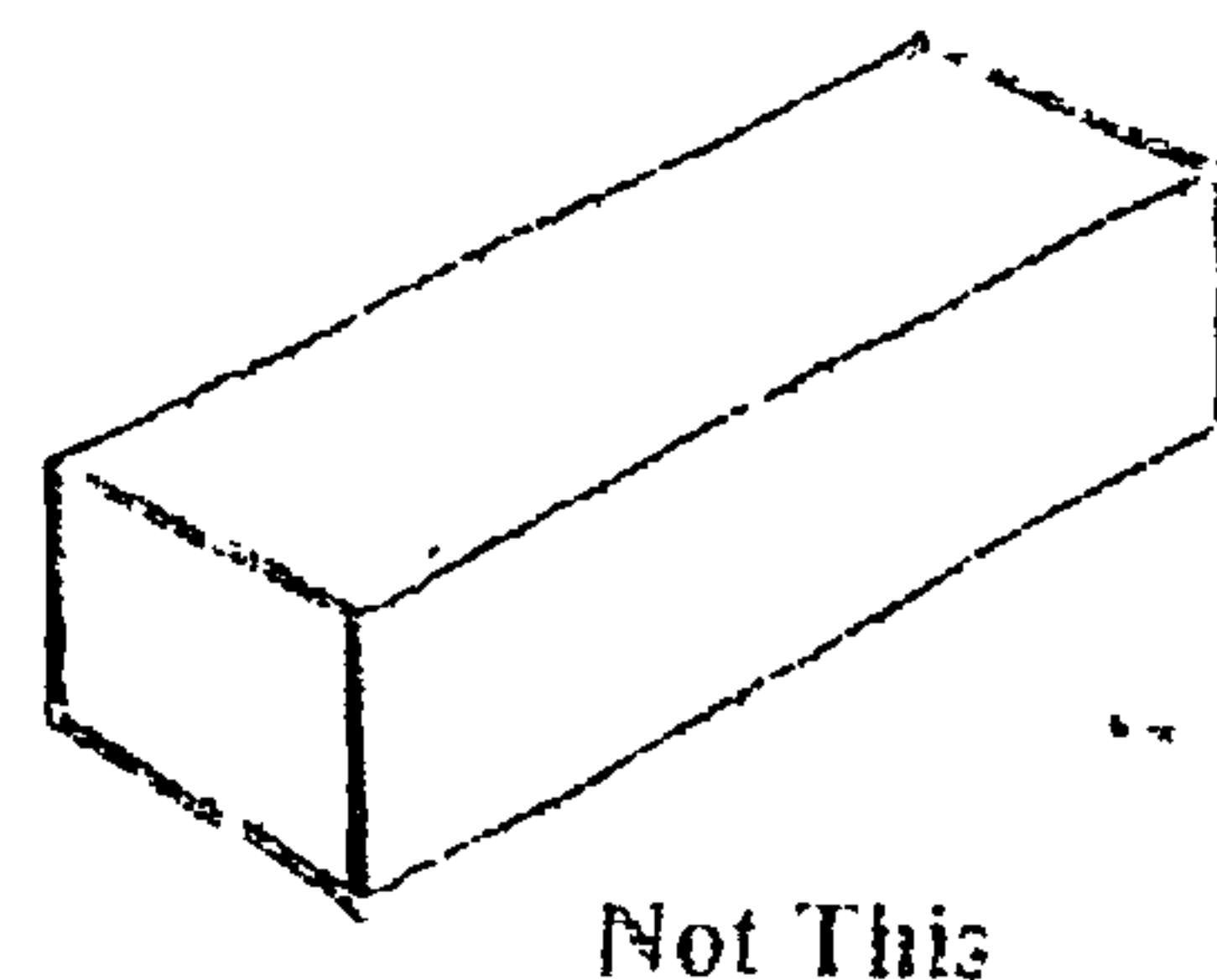
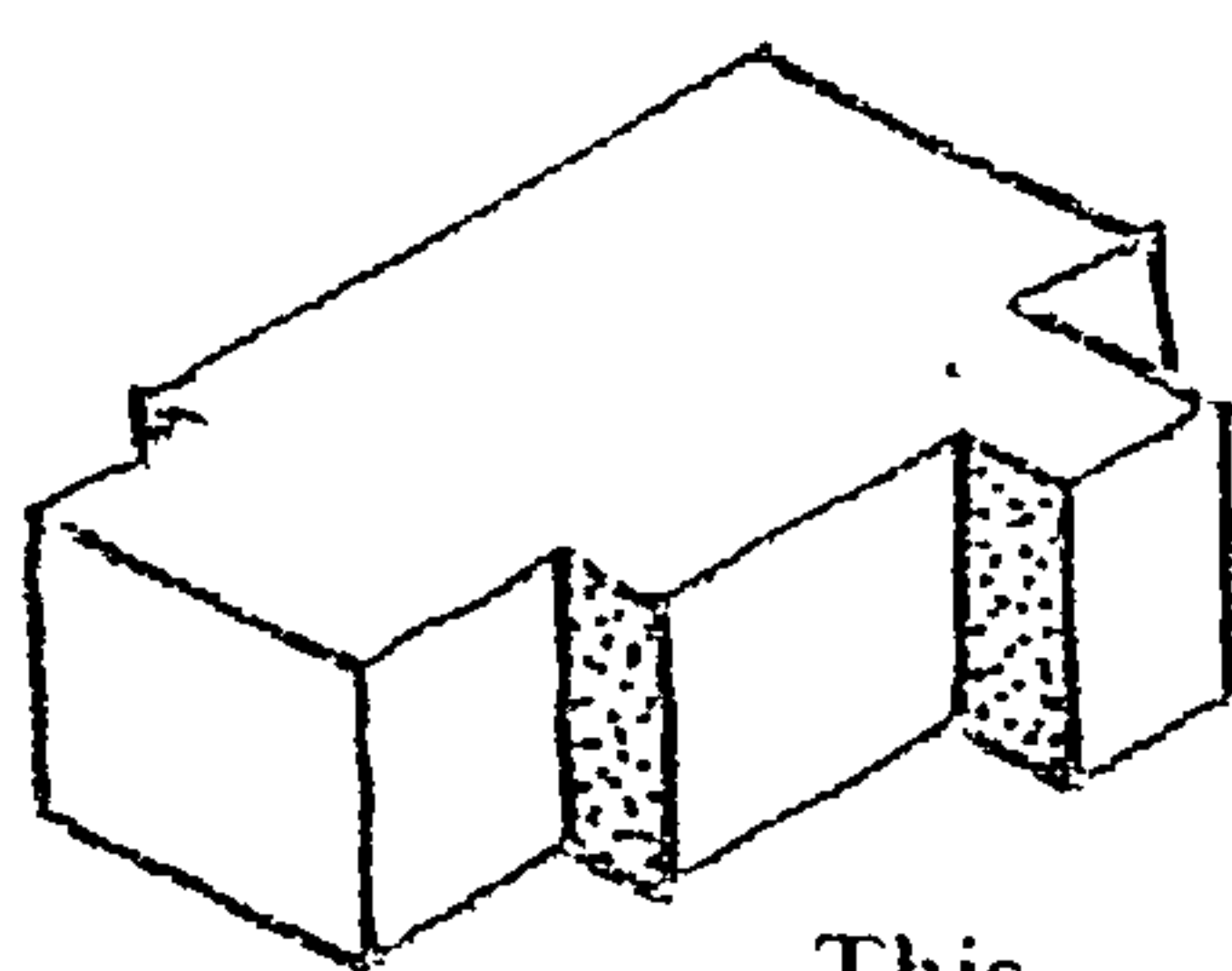
tries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition

indows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.

ne primary building colors shall be limited to: Yellow Ochres, Browns, Dull Reds, Blues, Grays, and Grey-Greens however sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors.

ne staggering of planes and/or distinct articulation of building façades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades.

ghly reflective surfaces (other than windows), exposed, treated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.



The staggering of planes along an exterior wall is encouraged

arming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along façades.

ne roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

l rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.

ne top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way

reen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall

out buildings and canopies shall be architecturally integrated and compatible in material and design

freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.

February 12. 2014

(SBP) ^{*****}



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 100523

TO: Application No. _____

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

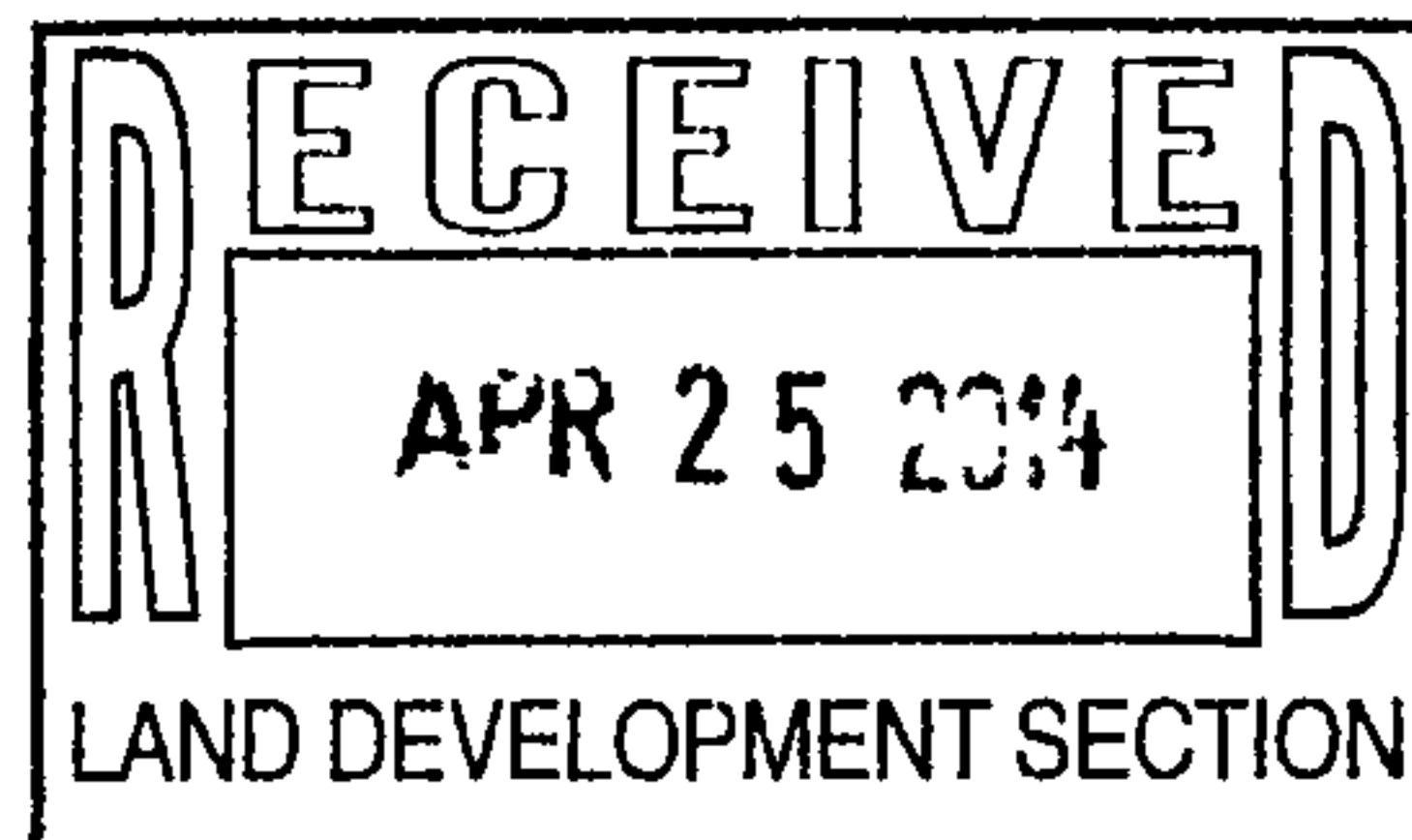
Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 14 DAB-70016

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised Dr Community



CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____



11-11-11

DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 100523

TO: Application No. _____

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

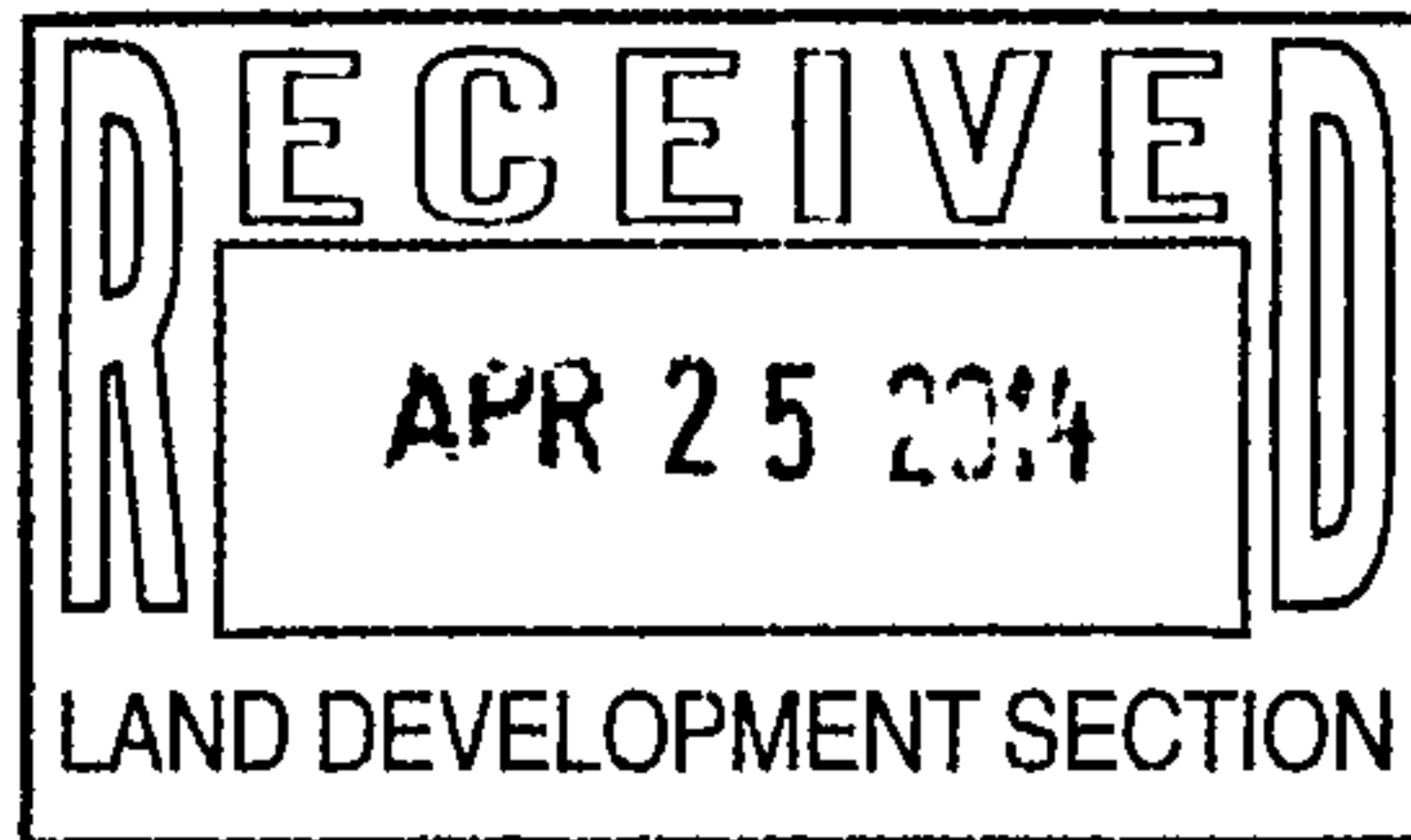
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 14 DRB 70016

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised per comments



CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

April 25, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Project# 1001523
Site Plan for Building Permit
Albuquerque RV and Boat storage
Lots 25&28 Ladera Business Park
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests review and approval of the enclosed site plan for building permit. This project was initially heard at the DRB on February 12, 2014. The initial site plan package received numerous comments. We subsequently were heard on April 23, 2014. The plan has been modified to address the comments. Below is a summary of the comments and a description as to how they were addressed:

Parks and recreation

Provide landscape agreement
We have included the recorded agreement

TRANSPORTATION

Remove build note 2425 and call out driveway width
We have removed 2425 and included driveway width

End Aisle Island required for parking spaces per the DPM
It is our understanding the end aisle islands are a requirement for the off street parking areas. The only required off street parking is adjacent to the office. The internal spaces are not required for off street parking and are vehicle storage spaces not available to the general public, therefore we feel the islands are not required in the storage areas.

Additional striping and signage required for one way
We have added additional striping to clarify, the only one way is the exit on La Morada. We have added striping and signage

Build notes for sidewalks much match
We have included thee proper build notes

All text must be legible and a minimum .1" in height
We increase the size of certain text; we believe all text meets this standard

Parallel parking adjacent to building needs more information, label drive isle widths
We changed the parking to loading zones, since that was the intent, we have labeled the isles

A cross access easement is required.
We have created a cross access easement. A recorded copy is enclosed

Minimum 15' radius required
We have shown on the site plan all turns meet this requirement

All ramps in right of way must have truncated domes
We have added this label to the plan

Clearly show gates and clear site triangle
We have shown the entrance gates. We have modified the site plan such that there is only one exit gate, the second gate on La Morada is a locked access gate for PNM only. We have added the clear site triangle to the drawings

Call out isle widths
We have labeled

Provide legend, include all line types used
We have added all of the line types to the legend

Provide cross access agreement
We have added

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

**GRANT OF EASEMENT
FOR RECIPROCAL PRIVATE CROSS LOT ACCESS AND DRAINAGE AND LANDSCAPE
IRRIGATION UTILITY LINES**

DLK ENTERPRISES, ("Grantor"), being the owner of both properties described herein, for good and valuable consideration, the receipt of which is hereby acknowledged, hereby grant, bargain, sell and convey to the LOT 25 and 28, LADERA BUSINESS PARK UNITS 1 AND 2 in Bernalillo County ("Grantee"), the permanent and reciprocal right and easement for cross lot access and drainage for the conveyance of vehicular and pedestrian ingress and egress, storm water and landscape irrigation utilities with maintenance of, and access to, area as may be necessary on and across the following described real estate:

The land in which the foregoing rights and easement are granted is located within LOT 25 and 28, LADERA BUSINESS PARK UNITS 1 AND 2 in Bernalillo County, New Mexico as shown on plat filed 10/11/04, as in Book 2004C, page 325.

Except with the mutual approval of Grantee and Grantors, no fence, wall, building, or other obstruction may be placed or maintained in a way that restricts ingress, egress or storm water or landscape irrigation between lots 25 and 28. Grantee shall maintain area of lot and/or improvements that it specifically agrees, by written agreement filed for public record, to maintain. Landscaping or maintenance work by the Grantors, within the easement hereby conveyed, shall not alter the flow or capacity, of the easement area, except in an emergency. If emergency work is performed, Grantors shall notify Grantee as soon as practical thereafter.

Grantors covenant and warrant that they are the owners in fee simple of the property and that they have a good and lawful right to grant the easement described herein. The grant and other provisions of this easement constitute covenants running with the land for the benefit of Grantee and its successors and assigns until terminated.

TO HAVE AND TO HOLD the said right and easement for the uses and purposes aforesaid, unto Grantee, its successors and assigns, to run with the land forever. However, to the extent any portion of the above granted easement area is declared unnecessary for access or drainage by the City of Albuquerque, said portion of the easement shall revert to the Grantor. Any such reversion shall be accomplished by way of a quitclaim deed to Grantor, his successors or assigns.

THERE IS RESERVED to the Grantors, their successors and assigns, the right to use said lands as needed. Such uses shall not interfere with the rights and easements granted to Grantee. Other purposes, which will not interfere with the rights and easements hereby granted, may be permitted, provided that Grantors obtain Grantee's written licensed approval for such use, not to be unreasonably withheld.

WITNESS _____ hand and seal this 25th day of April, 2014.

GRANTORS:

[Handwritten Signature]

Dan Rich
Managing Member
DLK Enterprises, LLC
12231 Academy Blvd NE, STE 301
Albuquerque, NM 87111

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO)
)SS
COUNTY OF BERNALILLO)

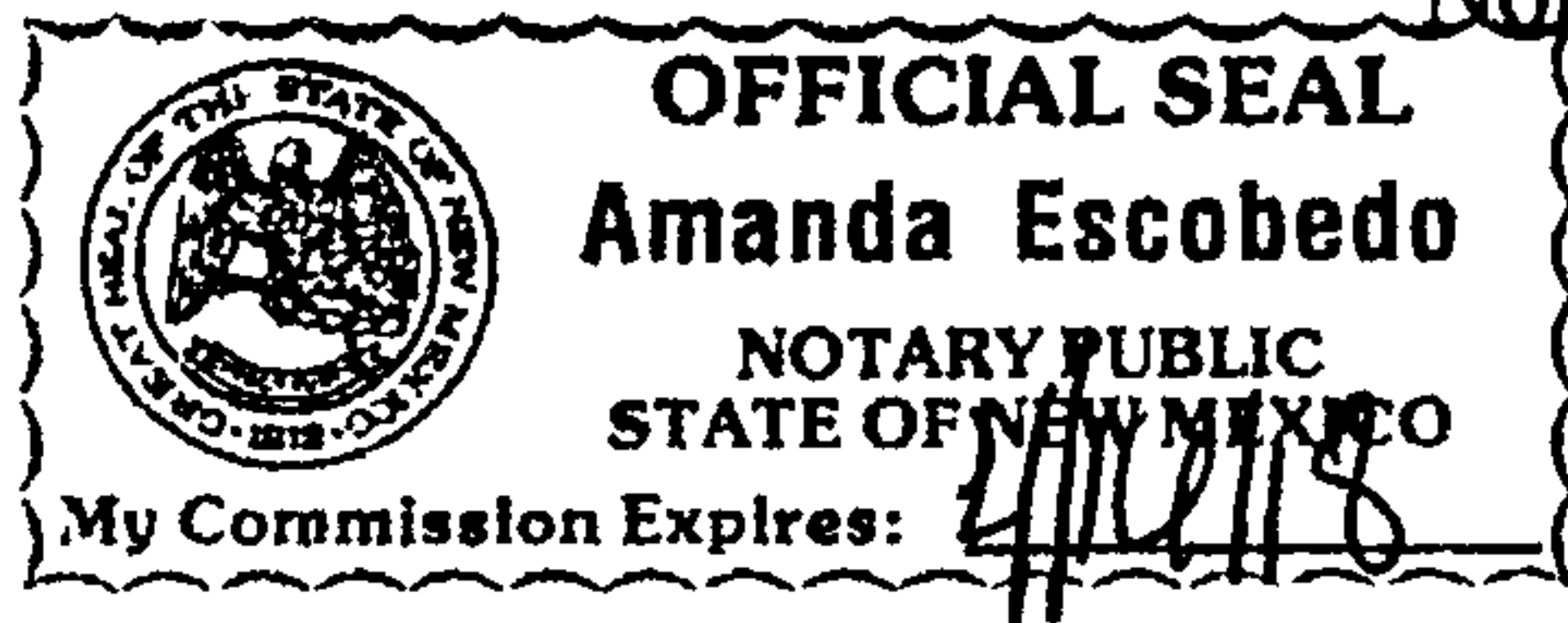
This instrument was acknowledged before me on April 25, 2014
by Dan M. Rich

My commission expires:

4/16/18

[Handwritten Signature]

Notary Public



GRANT OF EASEMENT
FOR PRIVATE DRAINAGE

DLK ENTERPRISES, ("Grantor"), being the owner of property described herein, for good and valuable consideration, the receipt of which is hereby acknowledged, hereby grant, bargain, sell and convey to the Lot 27,28,29 LADERA BUSINESS PARK UNITS 1 AND 2 in Bernalillo County ("Grantee"), the permanent right and easement for drainage, and the conveyance of storm water and maintenance of, and access to, area as may be necessary on and across the following described real estate:

The land in which the foregoing rights and easement are granted is located on the North easterly portion within LOT 25, LADERA BUSINESS PARK UNIT 2 in Bernalillo County, New Mexico as shown plat filed 10/11/04, as in Book 2004C, page 325, being more particularly described in **Exhibit "A"**, attached hereto and incorporated herein by reference.

Except with the mutual approval of Grantee and Grantors, the grading within said easement will conform to the approved grading plan located in file H10-D006B . Once grading complete, no fence, wall, building, or other obstruction may be placed or maintained in said easement, and there shall be no alteration of the grade or contours in said easement from what is shown on approved grading plan. Grantee shall only maintain area of easement and/or improvements that it specifically agrees, by written agreement filed for public record, to maintain. Landscaping or maintenance work by the Grantors, within the easement hereby conveyed, shall not alter the flow or capacity, of the easement area, except in an emergency. If emergency work is performed, Grantors shall notify Grantee as soon as practical thereafter.

Grantors covenant and warrant that they are the owners in fee simple of the property and that they have a good and lawful right to grant the easement described herein. The grant and other provisions of this easement constitute covenants running with the land for the benefit of Grantee and its successors and assigns until terminated.

TO HAVE AND TO HOLD the said right and easement for the uses and purposes aforesaid, unto Grantee, its successors and assigns, to run with the land forever. However, to the extent any portion of the above granted easement area is declared unnecessary for drainage by the City of Albuquerque, said portion of the easement shall revert to the Grantor. Any such reversion shall be accomplished by way of a quitclaim deed to Grantor, his successors or assigns.

THERE IS RESERVED to the Grantors, their successors and assigns, the right to use said lands as needed. Such uses shall not interfere with the rights and easements granted to Grantee. Other purposes, which will not interfere with the rights and easements hereby granted, may be permitted, provided that Grantors obtain Grantee's written licensed approval for such use, not to be unreasonably withheld.

WITNESS _____ hand and seal this 25th day of April, 2014.

GRANTORS:



Dan Rich
Managing Member
DLK Enterprises, LLC
12231 Academy Blvd NE, STE 301
Albuquerque, NM 87111

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO)
)SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on April 25,
2013 by Dan Rich.

My commission expires:

4/16/18



