

10. **Project# 1008447**
11DRB-70302 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- GPS LLC agent(s) for BALTAZAR BUZMAN CO WAYNE G CHEW request(s) the above action(s) for all or a portion of Tract(s) D-1, **CANYON ACRES SUBDIVISION** zoned C-2 (SC), located on CENTRAL AVE NE BETWEEN TRAMWAY BLVD NE AND FIGUEROA ST NE containing approximately 3.5512 acre(s). (L-22) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**
11. **Project# 1008952**
11DRB-70305 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- THE SURVEY OFFICE LLC agent(s) for ESMAIL HAIDARI & GHAMOUR A FIROZ VAGH & JABEEN VAGH request(s) the above action(s) for all or a portion of Lot(s) 6-8 & 25-27, Block(s) A, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned SU-2 O-1, located on PASEO DEL NORTE BETWEEN WYOMING AND BARSTOW containing approximately 3.2309 acre(s). (D-19) **INDEFINITELY DEFERRED.**
12. **Project# 1009035**
11DRB-70306 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for ROBERT LOCKMAN request(s) the above action(s) for all or a portion of Tract(s) B, **NORTHFIELDS ADDITION TO THE CITY OF ALBUQUERQUE**, zoned C-3, located on 4TH ST BETWEEN MILDRED AND MATTHEW containing approximately 2.1653 acre(s). (G-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project# 1001523**
11DRB-70304 SKETCH PLAT REVIEW
AND COMMENT
- BENJAMIN D GAMMIE agent(s) for ANNIE DURAN request(s) the above action(s) for all or a portion of Tract(s) 1, **LADERA BUSINESS PARK Unit(s) 2**, zoned SU-1, located on VISTA ORENTE ST NW BETWEEN UNSER BLVD NW AND LA MORADA PL NW containing approximately 5.2172 acre(s). (H-9) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED TO APPLICANT.**
14. **Project# 1009030**
11DRB-70299 SKETCH PLAT REVIEW
AND COMMENT
- VILLA FIRENZE HOME OWNERS ASSOC request(s) the above action(s) for all or a portion of **VILLA FIENZE LANE NE**, zoned R-D, located on CORONA AVE NE WEST OF VENTURA AVE NE containing approximately .6031 acre(s). (C-20) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED TO APPLICANT.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
November 2, 2011
DRB Comments**

ITEM # 13

PROJECT # 1001523

APPLICATION # 11-70304

RE: Tract 1, Ladera Business Park Unit 2

1. Current requirements are still for DRB approval of site development plans for building permit.
2. All site development plans require an advertised public hearing unless specifically noted in the site plan for subdivision.
3. Refer to site development plan checklist available on the City Planning Department webpage.
4. Construction documents would be submitted with the building permit.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

HEARING DATE: 11-2-11 (SK)



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

Comp VLS 4/7/06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01797 (SBP)
Project Name: THE SHOPS @ LA MORADA
Agent: Dekker Perich Sabatini

Project # 1001523
Phone No.: 761-9700

Your request for (SDP for SUB) (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/1/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: PARKING CALCULATIONS
RECORDED X-ACCESS / DRAINAGE ESTABLISHMENT

~~UTILITIES:~~ Utility Plan

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies
ARCW [Signature]

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1001523

#10



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01797 (SBP)

Project # 1001523

Project Name: THE SHOPS @ LA MORADA

Agent: Dekker Perich Sabatini

Phone No.: 761-9700

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/1/05 by the DRB with delegation of signature(s) to the following departments. **OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: PARKING CALCULATIONS
RECORDED X-ACCESS / DRAINAGE IMPROVEMENT

UTILITIES: Water Plan

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies
ARC on [unclear] approval letter

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
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- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1001523

SCANNED FROM HERE
BACK C.S.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 21, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 11:45 a.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1004530

- 05DRB-01769 Major-Vacation of Public Easements
- 05DRB-01774 Major-Preliminary Plat Approval
- 05DRB-01773 Major-SiteDev Plan BldPermit
- 05DRB-01772 Minor-Vacation of Private Easements
- 05DRB-01770 Minor-Sidewalk Waiver
- 05DRB-01771 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for AMERI- CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA TO INCLUDE C-3, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-94-65, DRB-94-624, DRB-94-616, Z-94-134] (C-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE**

INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/17/05 THE PRELIMINARY PLAT WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

2. **Project # 1004556**
05DRB-01781 Major-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING BUMPERS (OPTIONS), TIS CONFIRMATION AND PLANNING FOR MAINTENANCE AGREEMENT ON LANDSCAPE PLAN, WATER CONSERVATION ORDINANCE STATEMENT, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

3. **Project # 1004557**
05DRB-01783 Major-Drainage Plan to
Determine the Cost Allocation for
Storm Drainage Improvements

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-6 and 27-32, Block(s) 2, 27 & 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP & R-D, located on

LOUISIANA BLVD NE, between ALAMEDA NE and MODESTO AVE NE. [REF: 04DRB00067] (C-18) **THE DRAINAGE PLAN TO DETERMINE THE COST ALLOCATION FOR STORM DRAIN IMPROVEMENTS PER THE DPM WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD.**

4. **Project # 1004360**
05DRB-01736 Major-SiteDev Plan
Subd
05DRB-01737 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 3 acre(s). [REF: 05DRB01245] [Deferred from 12/14/05] (J-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/24/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: A SIDEWALK DEFERRAL APPLICATION IS REQUIRED. PLACE ADA RAMPS WITHIN THE PUBLIC RIGHT-OF-WAY AND ACCESS MAINTENANCE NOTE IS REQUIRED.**

5. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05] (J-15) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: THE OWNER SHALL SIGN THE FINAL PLAT. SPRUCE PARK LLC MUST CLOSE ON THE PURCHASE OF PROPERTY WITHIN THE 15-DAY APPEAL PERIOD OR APPLICANT WILL WITHDRAW THE VACATION. A CONDITIONAL USE PERMIT MUST BE APPROVED BY THE ZHE FOR RESIDENTIAL LOTS IN THE O-1 ZONE. PLAT MUST SHOW RESIDENTIAL LOTS.**

6. **Project # 1004462**
05DRB-01525 Major-Vacation of
Public Easements
05DRB-01524 Major-Preliminary Plat
Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer
SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05 & 12/7/05 & 12/14/05] (F-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/21/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/30/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS AP[ROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 7. Project # 1002635**
05DRB-01887 Minor-Amnd SiteDev
Plan BldPermt/EPC

CONSENSUS PLANNING agent(s) for GOZ G SEGARS request(s) the above action(s) for Tract(s) A, **LANDS OF CANDELARIA & TRAMWAY SW**, zoned SU-1 FOR C-1, located on TRAMWAY BLVD NE, between CANDELARIA RD NE and COMANCHE RD NE containing approximately 3 acre(s). [REF: 03EPC00702] [**Catalina Lehner, EPC Case Planner**] (H-22) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES FOR CANDELARIA MEDIAN AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

- 8. Project # 1004473**
05DRB-01888 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AEGIS REALTY GROUP request(s) the above action(s) for all or a portion of Tract(s) 4 & 6, **NORTH ANDALUCIA @ LA LUZ**, zoned SU-1 O-1, C-2 & PRD (20 DU/AC), located on COORS BLVD NW, between MONTANO RD NW and LEARNING RD NW containing approximately 24 acre(s). [REF: 04EPC-01845] [**Carmen Marrone, EPC Case Planner**] (E-12/F-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

- 9. Project # 1004471**
05DRB-01881 Minor-SiteDev Plan
Subd/EPC
05DRB-01882 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01889 Minor-Prelim&Final Plat
Approval

ARCH & PLAN LAND USE CONSULTANTS LLC agent(s) for HACIENDA MARTINEZ LLC request(s) the above action(s) for all or a portion of Tract(s) C3 A-1-A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR IP, located on NM 528 NW, between COTTONWOOD DR NW and CIELO VISTA DEL SUR NW containing approximately 1 acre(s). [REF: Z-79-146-4-5]

[Stephanie Shumsky, EPC Case Planner] [Deferred from 12/21/05] (A-14) DEFERRED AT THE AGENT'S REQUEST TO 1-4-06.

10. **Project # 1001523**
05DRB-01797 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for ALLAN FRENKEL request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, LADERA INDUSTRIAL CENTER (to be known as **THE SHOPS @ LA MORADA**) zoned SU-1 LIGHT INDUSTRIAL, located on UNSER NW, between LA MORADA NW and VISTA ORIENTE NW containing approximately 3 acre(s). [REF: DRB-98-118, 01-EPC-01405, 04-DRB-01490] [Deferred from 12/7/05] (H-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDED CROSS ACCESS AND CROSS DRAINAGE EASEMENT DOCUMENT, PARKING CALCS AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

11. **Project # 1004603**
05DRB-01885 Minor-SiteDev Plan
BldPermit

JIM MILLER agent(s) for PETER PINEDA request(s) the above action(s) for all or a portion of Tract(s) 18, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR IP, located southeast of UNSER BLVD NW and 98TH ST NW and containing approximately 2 acre(s). (H-9) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DIMENSIONING RADII, TRIP GENERATION COMPARISON AND IMPACT FEE VERIFICATION AND PLANNING FOR SITE LIGHTING, NUMBER OF PLANTS ON LANDSCAPE LEGEND, REPLACE JUNIPERS AND 3 COPIES OF THE SITE PLAN.**

12. **Project # 1000871**
05DRB-01839 Minor-SiteDev Plan
Subd/EPC
05DRB-01840 Minor-SiteDev Plan
BldPermit/EPC

DESIGN GROUP agent(s) for JIM JEPPSON request(s) the above action(s) for all or a portion of Lot(s) B-5-B-1, B-5-C-1, **ACADEMY ACRES SUBDIVISION**, zoned SU-1, located on HARPER AVE NE, between I-25 FRONTAGE RD NE and BARNHART ST NE containing approximately 8 acre(s). [REF: 05-EPC-01257, 05-EPC-01261, 05-DRB-01458,05DRB-01715,05DRB-01706] [David Stallworth, EPC Case Planner] [Deferred from 12/14/05] (E-17, E-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN, TO MATCH THE PLAT TO THE SITE PLAN AND CASE PLANNERS INITIALS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN, TO MATCH THE PLAT TO THE SITE PLAN AND CASE PLANNERS INITIALS.**

05DRB-01837 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for Tract(s) B-5-B-1 and B-5-C-1, **ACADEMY ACRES SUBDIVISION, UNIT 5**, zoned SU-1, located on HARPER DR NE, between INTERSTATE 25 NE and SAN PEDRO DR NE containing approximately 8 acre(s). [Deferred from 12/14/05] (E-17/E-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA RAMP DEDICATION AND PLANNING TO CHECK THAT PLAT MATCHES SITE PLAN, AGIS DXF FILE AND TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1001028**
05DRB-01886 Minor-Prelim&Final Plat
Approval

PERCISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned

R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

- 14. Project # 1003004**
05DRB-01883 Minor-Extension of Preliminary Plat

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) 414, 415-B, 415-C, 415-D and 416, ATRISCO GRANT, UNIT 3 (to be known as **STINSON PARK**) zoned R-D, located on TOWER RD SW SW, between UNSER BLVD SW and STINSON ST SW containing approximately 15 acre(s). [REF: 03EPC-01644, 04EPC-00132, 04DRB-01974, 04DRB-01975, 05DRB-01776] (L-10) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

- 15. Project # 1004073**
05DRB-01854 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5, **JUAN TABO HILLS**, zoned RD, located on JUAN TABO HILLS SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). [REF: S-98-30, DRB-98-20, AX-80-10] (M-21, M-22) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE AND TO RECORD.**

16. **Project # 1004601**
05DRB-01884 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for
LESLIE & PIERRE AMESTOY request(s) the above
action(s) for all or a portion of Lot(s) C-1 & B-1-A,
IRVINGLAND PARTNERS, zoned M-1 light
manufacturing zone, located on ASPEN GLADE RD
NW, between SIERRA HILL DR NW and SILVER
ARROW RD NW containing approximately 3 acre(s).
[REF: Project 1001021,CZ-79-12] (B-13)
**PRELIMINARY AND FINAL PLAT WAS APPROVED
WITH FINAL SIGN OFF DELEGATED TO CITY
ENGINEER FOR AMAFCA SIGNATURE AND
PLANNING FOR AGIS DXF FILE AND NMU INC.
SIGNATURE.**

17. **Project # 1004570**
05DRB-01828 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for BRUCE &
KATHERINE BESSER request(s) the above action(s)
for all or a portion of Lot(s) 6A1 & 6A2, Block(s) 14,
Tract(s) A, **UNIT B, NORTH ALBUQUERQUE
ACRES**, zoned SU-2 M-1, located between
WILSHIRE AVE NE and INTERSTATE 25, containing
approximately 3 acre(s). [*Deferred from 12/14/05*]
(C-18) **INDEFINITELY DEFERRED AT THE
AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

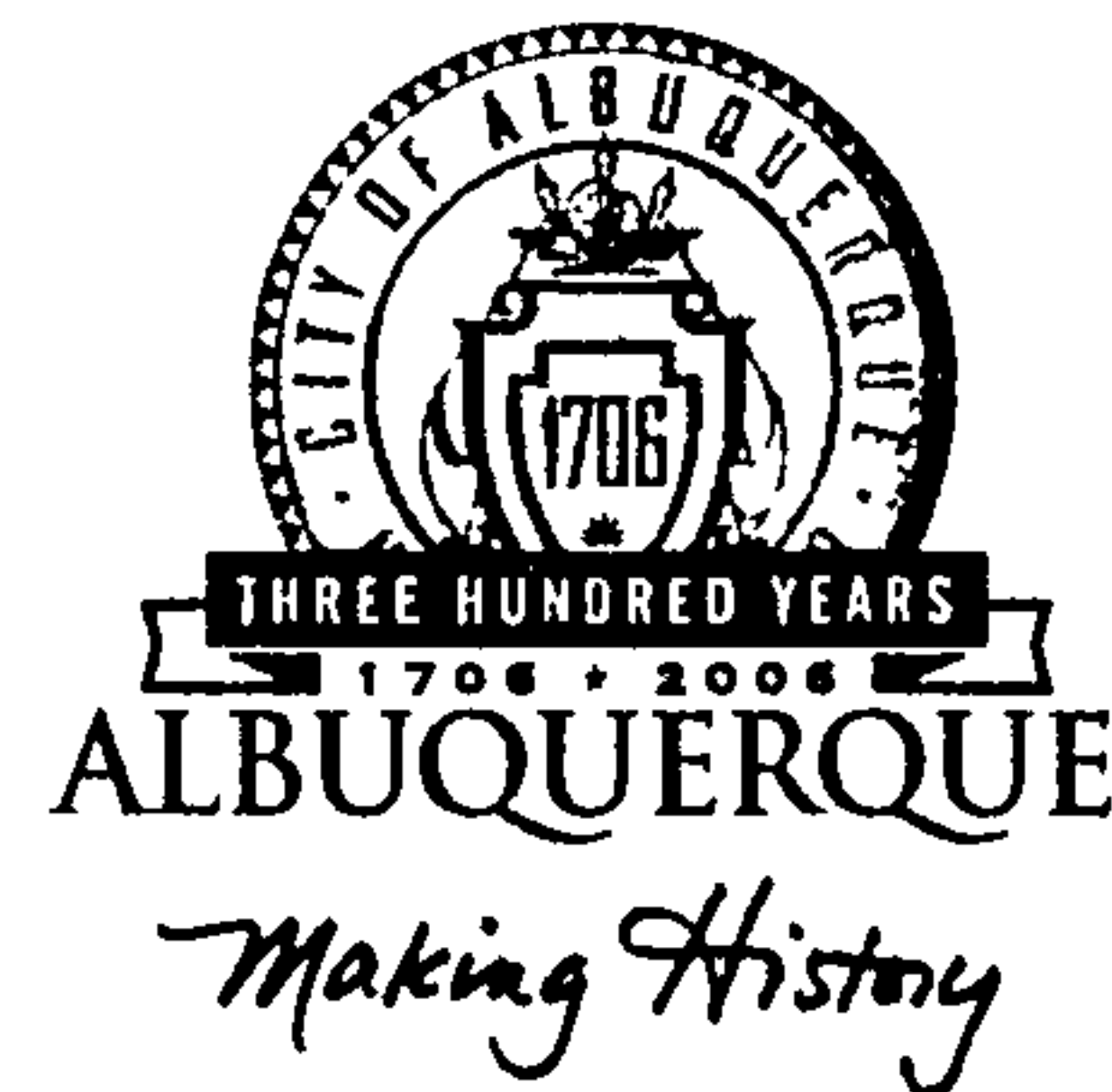
18. **Project # 1004575**
05DRB-01847 Minor-Sketch Plat or
Plan

SURVEYS SOUTHWEST agent(s) for VITALIA
CANDELARIA request(s) the above action(s) for all or
a portion of Tract(s) D, **PEREA ACRES**, zoned RA-2,
located on DURANES RD NW, between the
DURANES DITCH and JULIET NW containing
approximately 2 acre(s). [REF: DRB-95-338] (H-12)
**THE ABOVE REQUEST WAS REVIEWED AND
COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for December 7, 2005. **THE DRB MINUTES FOR DECEMBER 7, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:45 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 21, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 7, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:50 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002819**
05DRB-01729 Major-Bulk Land Variance
05DRB-01730 Minor-Prelim&Final Plat
Approval
ALDRICH LAND SURVEYING INC. agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH, UNIT 3**, zoned SU-1, R-2 & RT, located on 98TH ST SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB01183, 03DRB01180] (N-9) **BULK LAND VARIANCE APPROVED. PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, 15-DAY APPEAL PERIOD AND RECORDING OF PLAT.**

2. **Project # 1004161**
05DRB-01724 Major-Preliminary Plat Approval
05DRB-01728 Minor-SiteDev Plan Subd/EPC
05DRB-01725 Minor-Subd Design (DPM) Variance
05DRB-01726 Minor-Sidewalk Waiver
05DRB-01727 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES INC agent(s) for WILLIAM & BENITA BRENNAN request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, RIVERSIDE PLAZA (to be known as **PLAZA ESCONDIDO**) zoned SU-1 for PRD special use zone, located on WINTER HAVEN RD NW, between LA ORILLA RD NW and MONTANO PLAZA DR NW containing approximately 4 acre(s). (E-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/7/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/30/05 THE PRELIMINARY PLAT WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1001370**
05DRB-01731 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5, **JUAN TABO HILLS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on JUAN TABO BLVD SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). [REF: S-98-30, DRB-98-20, AX-80-10] (M-21/M-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B(2) IN THE PLANNING FILE.**

4. **Project # 1004543**
05DRB-01722 Major-Vacation of Pub Right-of-Way

JUDITH KATONA GARCIA request(s) the above action(s) for all or a portion of Tract(s) C, **LAND OF ROY YATES** zoned SU-2 IP, located on CENTRAL AVE NW, between 94TH ST NW and 98TH ST NW containing approximately 0 acre(s). (K-9) **VACATION WAS DENIED.**

5. **Project # 1004404**
05DRB-01364 Major-Bulk Land Variance
05DRB-01365 Major-Vacation of Public Easements
05DRB-01367 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) H-2, THE TRAILS, UNIT 1, and unplatted lands (to be known as **THE TRAILS, UNIT 3**) zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW west of RAINBOW ST NW and containing approximately 165 acre(s). [Deferred from 9/21/05 & 10/5/05 & 10/26/05 & 12/7/05] (C-8/C-9) **DEFERRED AT THE AGENT'S REQUEST TO 1/18/06.**
6. **Project # 1004341**
05DRB-01634 Major-Preliminary Plat Approval
05DRB-01635 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **MESA DEL RIO SUBDIVISION**) zoned R-2 residential zone, located on 76TH STREET NW, between FORTUNA RD NW and GLEN RIO RD NW containing approximately 6 acre(s). [Deferred from 11/16/05 & 11/30/05] (J-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/7/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/28/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT. THE PERIMETER WALLS WERE APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
7. **Project # 1004462**
05DRB-01525 Major-Vacation of Public Easements
05DRB-01524 Major-Preliminary Plat Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer SDWK
- BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05 & 12/7/05] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/14/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1001523**
05DRB-01797 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for ALLAN FRENKEL request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, LADERA INDUSTRIAL CENTER (to be known as **THE SHOPS @ LA MORADA**) zoned SU-1 LIGHT INDUSTRIAL, located on UNSER NW, between LA MORADA NW and VISTA ORIENTE NW containing approximately 3 acre(s). [REF: DRB-98-118, 01-EPC-01405, 04-DRB-01490] [*Deferred from 12/7/05*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

9. **Project # 1003364**
05DRB-01788 Minor-SiteDev Plan
Subd/EPC
05DRB-01789 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 1-A-1, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 3 acre(s). [REF: 04DRB-01409, 05EPC-00939] [**David Stallworth, EPC Case Planner**] (C-19) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND EPC CASE PLANNER'S INITIALS. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR NORTH-SOUTH 20-FOOT EASEMENT IS INSUFFICIENT.**

10. **Project # 1004097**
05DRB-01790 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON LLC request(s) the above action(s) for all or a portion of Tract(s) 4-1, **MESA DEL SOL EMPLOYMENT CENTER, PHASE 1**, zoned SU-1 FOR IP USES, located at the intersection of BOBBY FOSTER SE and UNIVERSITY BLVD SE Extension, containing approximately 7 acre(s). **[Catalina Lehner, EPC Case Planner] [Deferred from 12/7/05] (Q-16/R-16) DEFERRED AT THE BOARD'S REQUEST TO 12/14/05.**

11. **Project # 1002346**
05DRB-01794 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01792 Minor-Prelim&Final Plat
Approval

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for GRADY RENTALS LLC request(s) the above action(s) for all or a portion of Tract(s) G, VENTANA RANCH, (to be known as **VENTANA SQUARE @ VENTANA RANCH**) zoned C-2 community commercial zone, located on UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA RD NW containing approximately 10 acre(s). [REF: 05EPC-01264, 05EPC-01263, 02DRB-01735, 03DRB-00070, 03DRB-00171] **[Carmen Marrone, EPC Case Planner] [Deferred from 12/7/05] (B-10) DEFERRED AT THE AGENT'S REQUEST TO 12/14/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1001778**
05DRB-01793 Major-Final Plat Approval

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) A-2-B, **BRENTWOOD HILLS**, zoned R-T, located on WOODLAND AVE NE, between TRAMWAY BLVD NE and MARIE PARK DR NE containing approximately 2 acre(s). [REF: 05DRB-00392, 05DRB-00950, 05DRB-00951, 05DRB-00952, 05DRB-00961] **(H-22) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD A 20-FOOT WATER LINE EASEMENT AT THE CUL-DE-SAC AND PLANNING TO RECORD.**

13. **Project # 1004267**
05DRB-01092 Minor- Final Plat Approval

GARY MIRABAL request(s) the above action(s) for all or a portion of Lot(s) 1, **LANDS OF MANUEL & CATHY GONZALES**, zoned RA-2, located West of MONTROYA RD NW and North of MOUNTAIN RD NW containing approximately 2 acre(s). [REF: DRB-97-247; DRB-97-290, 05DRB-01019] *[Final Plat was indef deferred 7/13/05]* (J-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE AND BENEFICIARIES OF CORTO MIRABAL AND UTILITIES DEVELOPMENT TO CHANGE NOTE TO READ: PUBLIC WATER AND SANITARY SEWER LINE EASEMENT GRANTED BY THIS PLAT TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA).**

14. **Project # 1004228**
05DRB-01765 Minor-Prelim&Final Plat Approval

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 11-17, SUNRISE HEIGHTS SUBDIVISION and Tract(s) 89-A-2, 89-B-2, 89-B-3, 89-C-3, 89-C-4, M.R.G.C.D. Map 32 (to be known as **GUTHRIE COMMERCE PARK, TRACT A**) zoned M-1 light manufacturing zone, located on MONTANO RD NE, between EDITH BLVD NE and MONTBEL NE containing approximately 5 acre(s). [REF: 05DRB00888, 05DRB01394] *[Deferred from 11/30/05]* (F-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 5.5 PUBLIC ROADWAY EASEMENT SHALL BE GRANTED WITH THIS PLAT. THE 32-FOOT ACCESS EASEMENT NEEDS MAINTENANCE AND BENEFICIARIES. PNM MUST SIGN THE PLAT. THE FINAL PLAT WAAS INDEFINITELY DEFERRED TO ADDRESS COMMENTS.**

15. **Project # 1004468**
05DRB-01553 Minor- Final Plat Approval

SURVEYS SOUTHWEST agent(s) for SEAN GILLIGAN request(s) the above action(s) for all or a portion of Lot(s) 77 & 78, Block(s) 7, TOGETHER WITH EAST 0.5 OF Lot(s) 76, **PERFECTO ARMIJO & BROTHERS ADDITION**, zoned SU-2, located on ROMA AVE NW, between 8TH ST NW and MARQUETTE AVE NW containing approximately 1 acre(s). [REF: ZA-92-175, Z-1601] *[Deferred from 10/12/05, 10/19/05 the Final plat indef deferred for the SIA]* (J-14) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1004555**
05DRB-01780 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for BENTE SPANN request(s) the above action(s) for all or a portion of Lot(s) 3, Block(s) 31, **HUNINGS HIGHLAND ADDITION**, zoned SU-2, LCR, located on WALTER ST SE, between COAL AVE SE and IRON AVE SE containing approximately 1 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004480**
05DRB-01791 Minor-Sketch Plat or Plan

PHIL MIRABAL request(s) the above action(s) for all or a portion of Tract(s) 126A, **M.R.G.C.D. MAP 39**, zoned R-1 residential zone, located on 47TH ST NW, between RINCON RD NW and GLENDALE PL NW containing approximately 1 acre(s). [REF: Z-85-31,Z-79-4, Z566] *[Shown under Project #1004560 now void]* (J-12, K-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

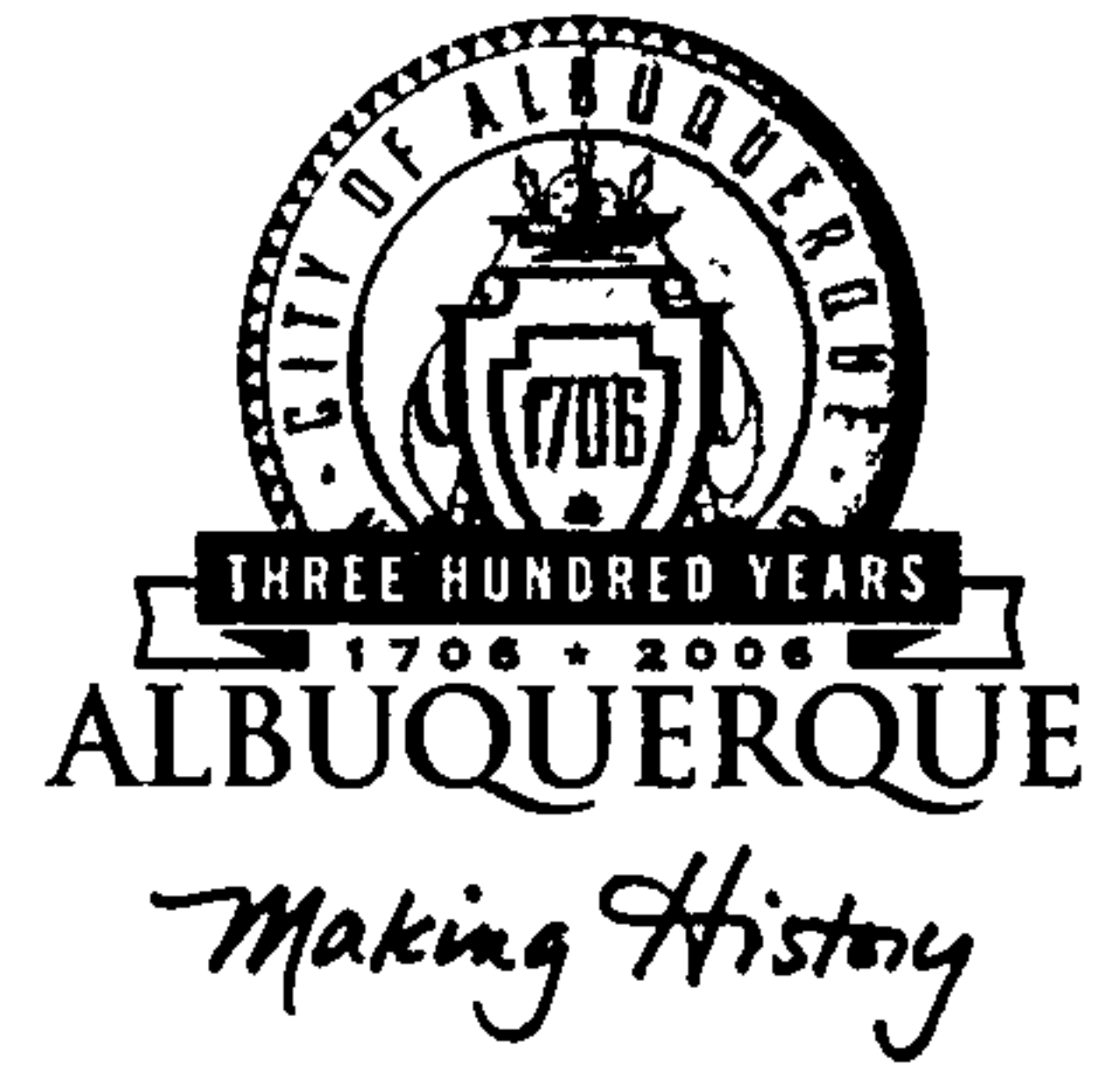
18. **Project # 1004561**
05DRB-01795 Minor-Sketch Plat or Plan

ADVANCED ENGINEERING & CONSULTING agent(s) for RICH BOB DEN LLC request(s) the above action(s) for all or a portion of Lot(s) 1,2,3,4,5 & 6A, Block(s) 13, **TIMOTEO CHAVEZ ADDITION**, zoned C-2, located on SIERRA DR NE, between PROSPECT AVE NE and MENAUL BLVD NE containing approximately 1 acre(s). (H-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes November 23, 2005. **THE DRB MINUTES FOR NOVEMBER 23, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

12-21-05

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 7, 2005

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



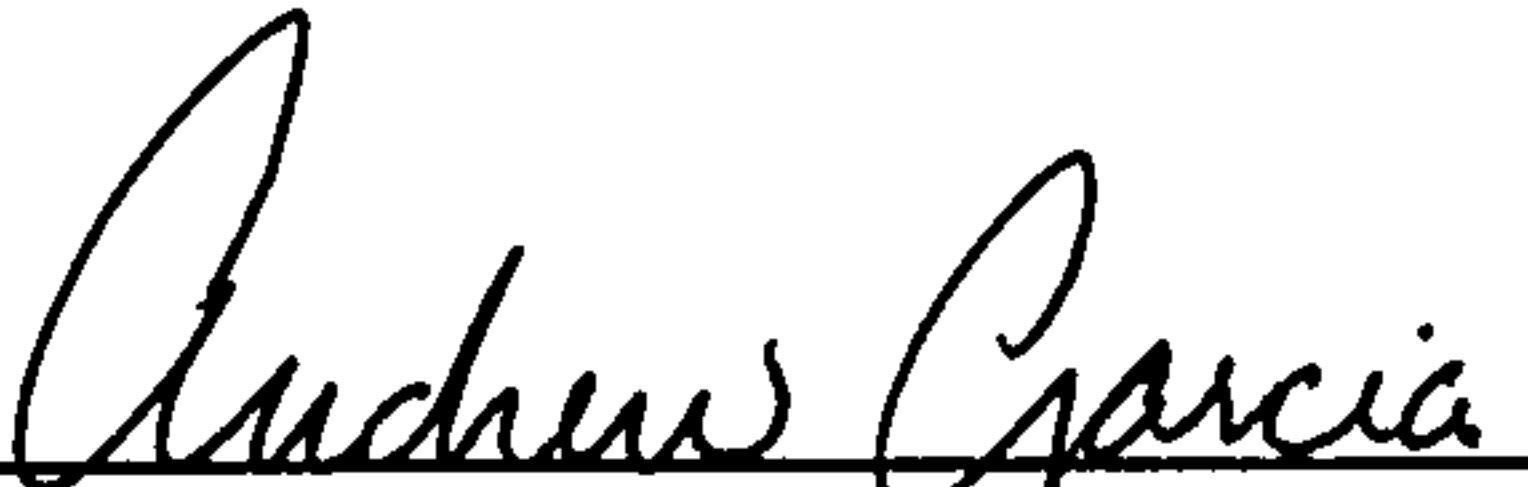
CITY OF ALBUQUERQUE
Planning Department
December 7, 2005
DRB Comments

ITEM # 8

PROJECT # 1001523 APPLICATION # 05-01797

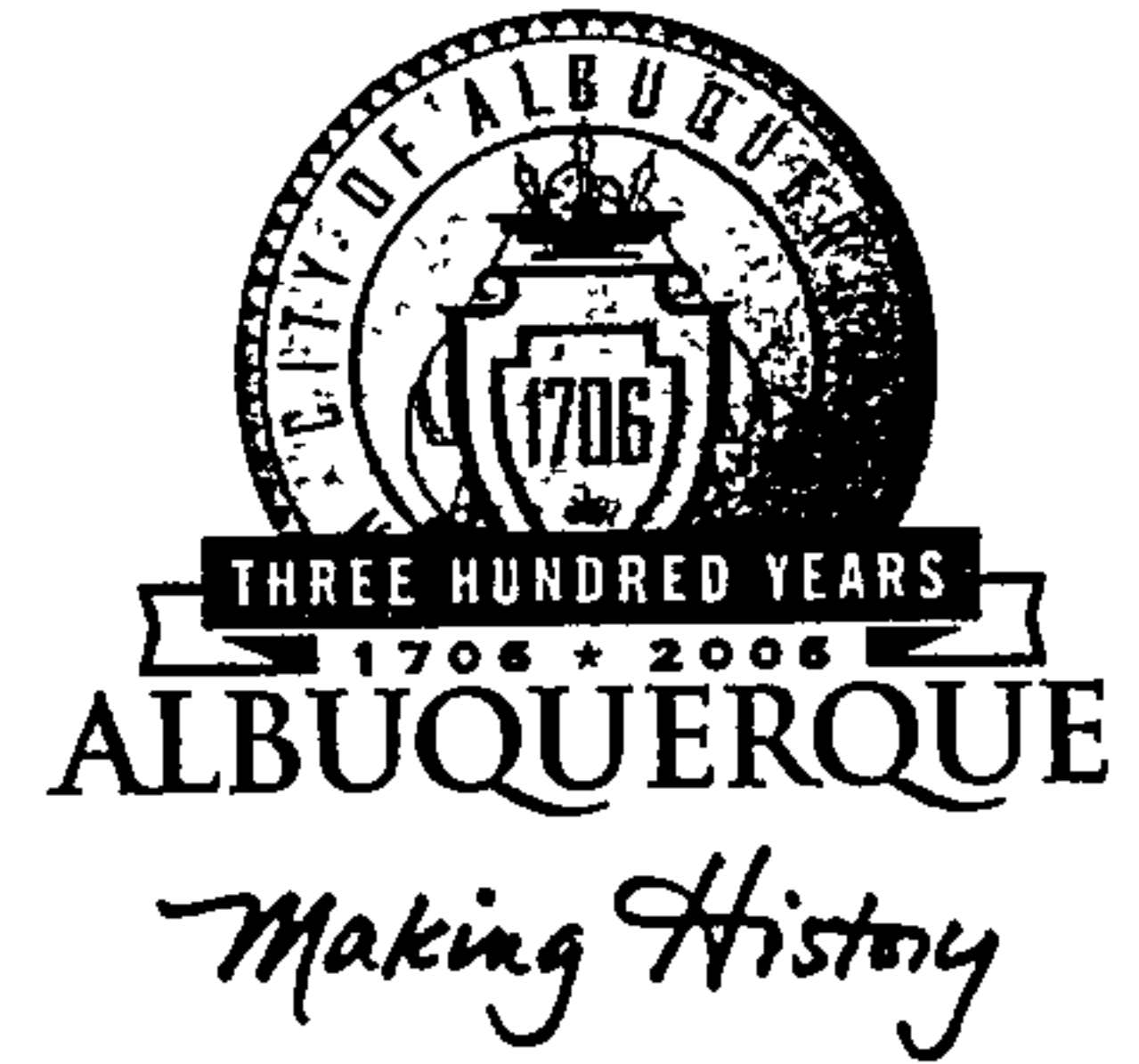
RE: The Shops @ La Morada/sdbp

There is no objection to this request once the Ladera Industrial Park Architectural Review Committee signs an approval letter. Planning will take delegation until that time and also for 3 copies of the SPBP.



Andrew Garcia, Planning Alternate
924-3858 fax 924-3864 agarcia@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off. AMAFCA must sign plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 6, 2004

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

#17



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01491

Project #: 1001523

Project Name: LADERA BUSINESS PARK
UNIT 2

Agent: Mark Goodwin & Associates

Phone No.: 828-2200

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 10/6/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: AMARRA'S SIG

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

AGIS DXF File approval required. *okay*
 Copy of recorded plat for Planning.

Project Number 1001523

7

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1001523

Subdivision Name: Ladera Business Park Unit 2

Surveyor: Timothy Aldrich

Company/Agent: Mark Goodwin & Associates

Contact Person: Stephen Stasiewicz E-mail: _____

Phone: 828-2200 Fax: 797-9539

DXF Received Date: 9/30/2004

Hard-Copy Date: 9/30/2004

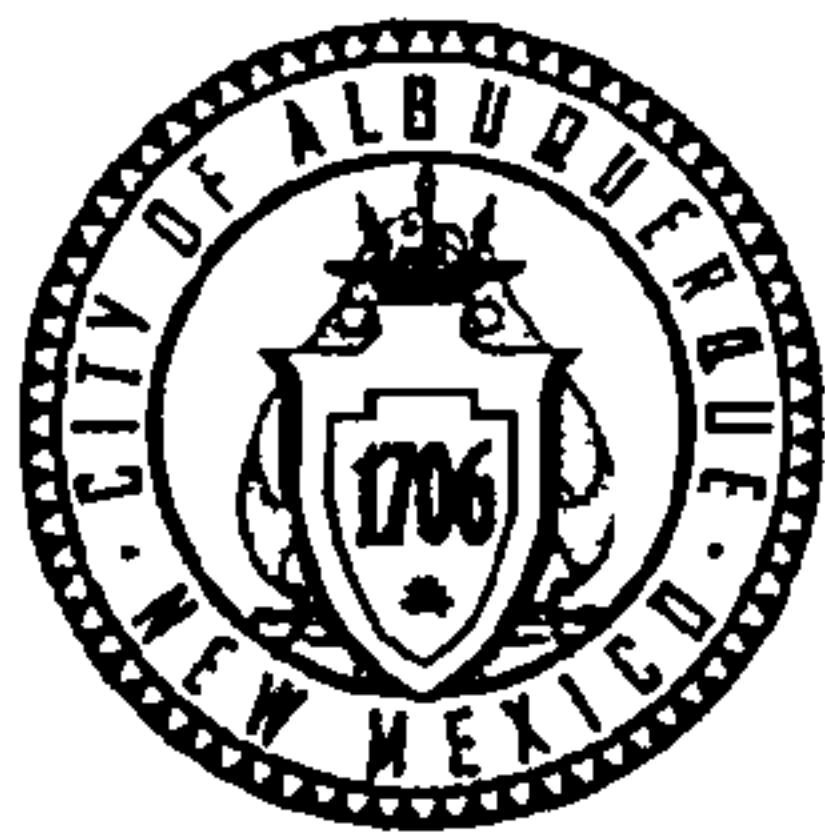
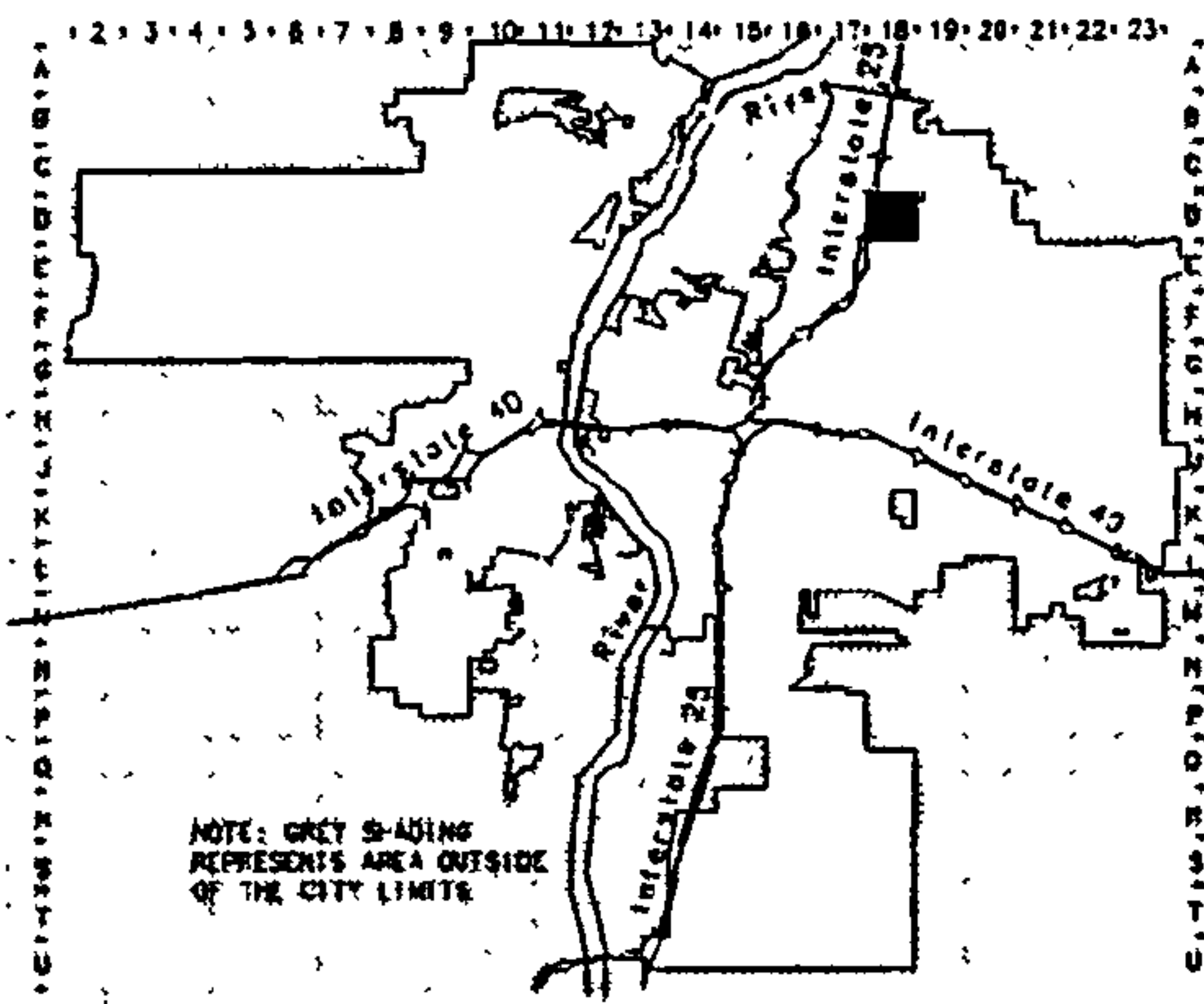
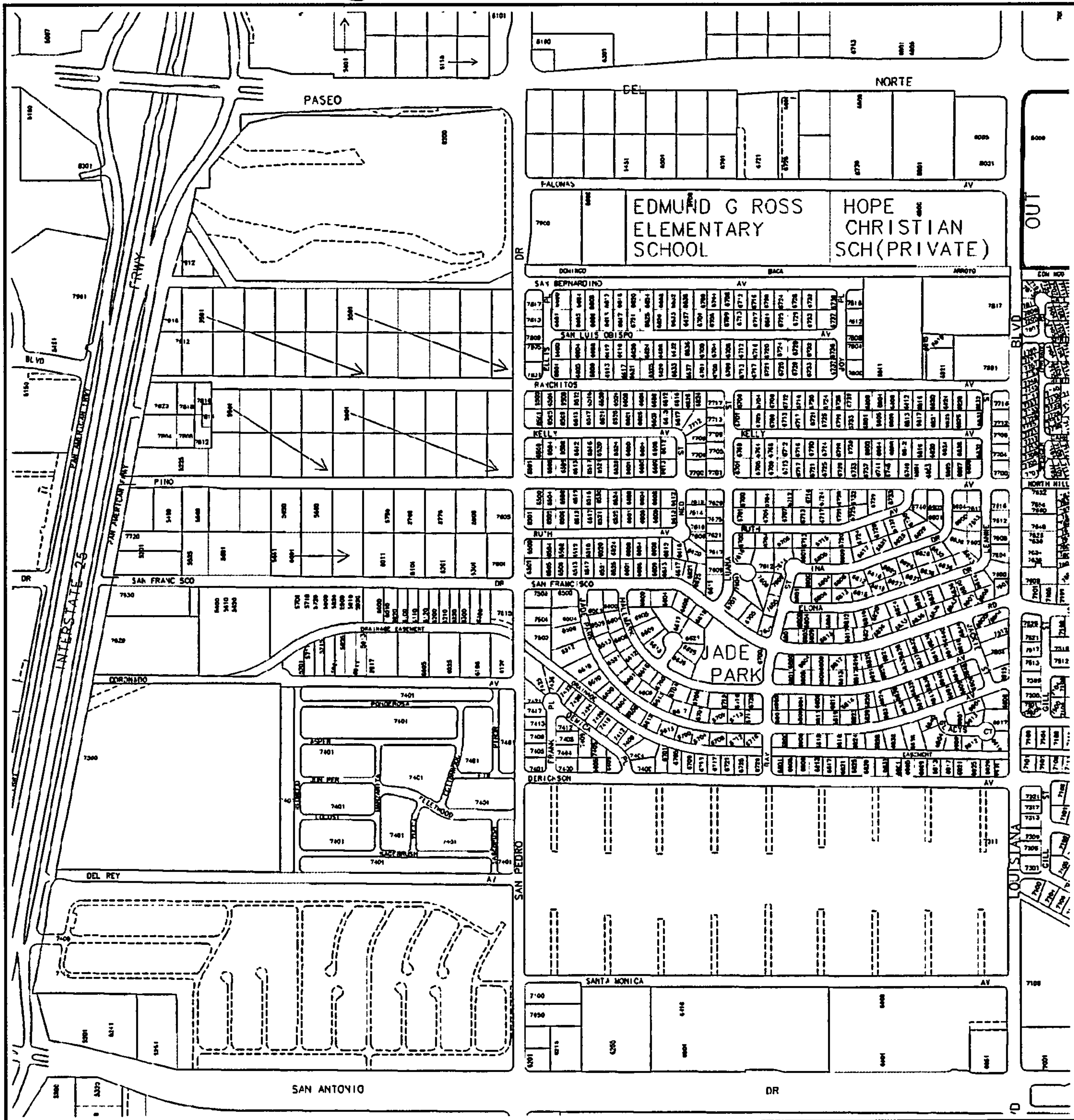
Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Mark Goodwin 9/30/04
Approved Date

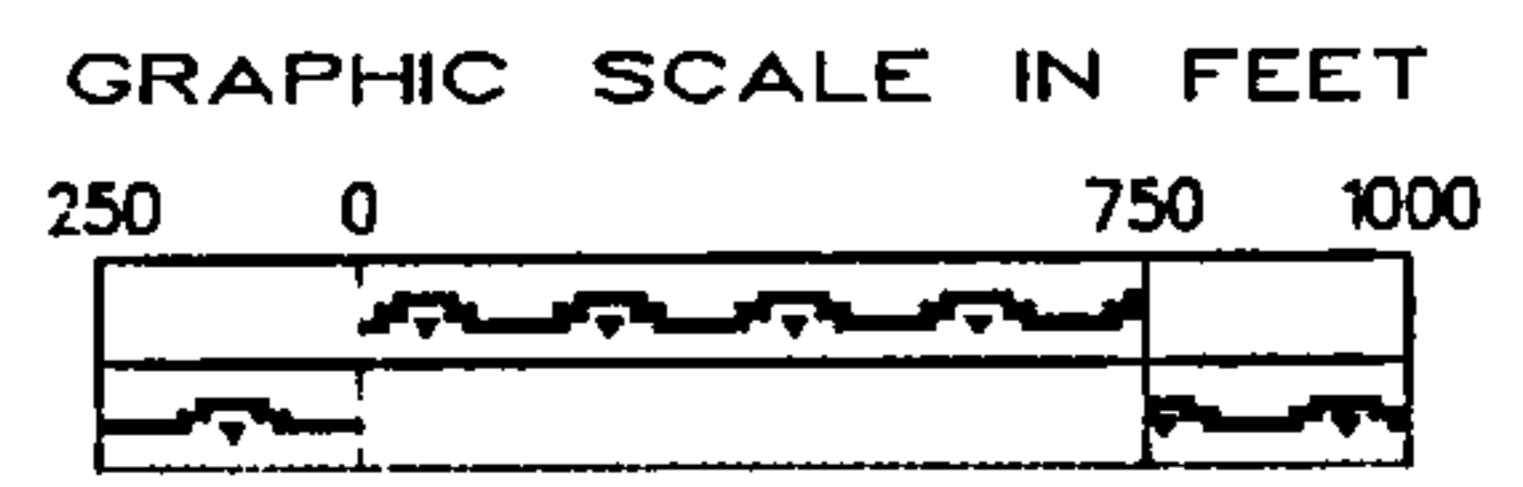
*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov1523 to agiscov on 9/30/2004. Contact person notified on 9/30/2004



Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004



Address Map
D-18-A
 Map Amended through April 27, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 6, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

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- A. Call to Order: 9:00 a.m. Adjourned: 10:50 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001926**
04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval
TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10) **DEFERRED AT AGENT'S REQUEST TO 10/13/04.**

2. **Project # 1003591**
04DRB-01384 Major-Preliminary Plat
Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] *[Deferred from 10/6/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/13/04.**

3. **Project # 1003369**
04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for Storm
Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04, 8/25/04, 9/8/04 & 10/6/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

4. **Project # 1003596**
04DRB-01490 Minor-SiteDev Plan
BldPermit/EPC

GOLDEN & ASSOCIATES agent(s) for BREWER OIL CO INC request(s) the above action(s) for all or a portion of Tract(s) 100-C1, **MONTGOMERY HEIGHTS**, zoned SU-1 FOR C-2 WITH WAREHOUSE, located on SAN MATEO BLVD NE and MONTGOMERY BLVD NE containing approximately 1 acre(s). [REF: 04EPC01216] **[Stephanie Shumsky, EPC Case Planner]** (F-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR INFRASTRUCTURE LANGUAGE ON THE SIGNATURE BLOCK.**

5. **Project # 1003364**
04DRB-01407 Minor-SiteDev Plan
Subd/EPC
04DRB-01408 Minor-SiteDev Plan
BldPermit/EPC
04DRB-01409 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for DOUBLE CHEESE CORPORATION request(s) the above action(s) for all or a portion of Block(s) 10, Tract(s) 1A, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between HOLLY AVE NE and PASEO DEL NORTE NE containing approximately 5 acre(s). [REF: DRB-95-478, 04EPC-00495, 04EPC-00494] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 9/22/04*] (C-19) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/6/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1003403**
04DRB-01493 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and the TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 04DRB00632, 04DRB00633, 04DRB00634, 04DRB00635, 03DRB01528] (C-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1001523**
04DRB-01491 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER/98TH STREET PARTNERSHIP LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW, between LADERA DR NW and MARKET ST NW containing approximately 19 acre(s). [REF: 01EPC01405, 02DRB00518, 02DRB00519, 02DRB00519] (H-9/H-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA'S SIGNATURE.**

8. **Project # 1002856**
04DRB-01492 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for D R HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **MEADOWS @ ANDERSON HILLS**, (to be known as **BLOSSOM RIDGE ESTATES**) zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between 98th STREET SW and UNSER BLVD SW containing approximately 10 acre(s). [REF: 04DRB01156, 04DRB01157, 04DRB00230, 04DRB00231] (P-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1002593**
04DRB-01502 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 29-35, **VISTA DE ARENAL, UNIT 3**, zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW BLVD NW and PAESE PL NW containing approximately 2 acre(s). [REF: 04DRB00911] (B-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002022**
04DRB-01308 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for T. S. MC NANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **VISTA WEST SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD NW and EUCARIZ AVE. SE containing approximately 10 acre(s). [REF: 02DRB-01237, 03DRB-00424] *[Final Plat deferred from 9/1/04 & 9/8/04 & 9/15/04 & 10/6/04]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/20/04.**

11. **Project # 1002718**
04DRB-01498 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Lot(s) 13, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 1 acre(s). [REF: 04DRB00758, 04DRB00759] (H-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

Project # 1002718
04DRB-01410 Minor-Final Plat Approval
04DRB-01411 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1, 334B2B & 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 10 acre(s). [REF: 04DRB-00758, 04DRB-00759] *[Deferred from 9/22/04]* (H-12) **FINAL PLAT WAS APPROVED AND DELEGATED TO PARKS FOR CASH-IN-LIEU. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST.**

12. **Project # 1003051**
04DRB-01496 Minor-Prelim&Final Plat
Approval

RAY BACA agent(s) for COSME OLGUIN request(s) the above action(s) for all or a portion of Tract(s) A & B, **LANDS OF COSME & HENRIETTA OLGUIN**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW, between GRIEGOS RD NW and CANDELARIA RD NW containing approximately 1 acre(s). (F-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002520**
04DRB-00893 Minor- Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Tract(s) 2, Block(s) 4, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 04DRB00705] [*Final Plat Indef. Deferred for SIA*] (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR WALL DESIGN AND AGIS DXF FILE.**

14. **Project # 1003573**
04DRB-01417 Minor-Prelim&Final Plat
Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3, OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] [*Deferred from 9/22/04 & 10/6/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

15. **Project # 1003112**
04DRB-01005 Major-Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF COLLATZ INC, **RINCONADA TRAILS**, zoned SU-1 special use zone, located on UNSER BLVD NW, between UNSER BLVD NW and WESTERN TRAILS NW containing approximately 9 acre(s). [REF: 03DRB-01994, 04DRB-00166, 04DRB-00167, 04DRB-00168] [*Deferred from 7/14/04, 7/21/04, 8/4/04, 8/11/04 & 8/18/04 & 9/1/04 Indef. Deferred, 9/29/04 Indef. Deferred*] (F-11/F-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR DETACHED OPEN SPACE FEES.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003694**
04DRB-01485 Minor-Sketch Plat or Plan

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) BB, **ALVARADO GARDENS, UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between TRELIS DR NW and GLENWOOD NW containing approximately 1 acre(s). (G-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001440**
04DRB-01497 Minor-Sketch Plat or Plan

ANDREW MIODUCHOWSKI agent(s) for ILENE MERCHANT request(s) the above action(s) for all or a portion of Tract(s) D3A, **COORS CENTRAL NORTH ADDITION**, zoned SU-1 special use zone, located on COORS BLVD NW, between BLUEWATER RD NW and CENTRAL AVE NW containing approximately 1 acre(s). [REF: DRB-96-27] (K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003695**
04DRB-01494 Minor-Sketch Plat or Plan

A. BAIN COCHRAN III request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 12, **ALBUQUERQUE HIGHLANDS**, zoned R-1 residential zone, located on MOUNTAIN RD NE, between SAN MATEO NE and SAN PEDRO NE containing approximately 1 acre(s). (J-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003696**
04DRB-01495 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for SCACCIA LLC request(s) the above action(s) for all or a portion of Lot(s) 1-17, Tract(s) A, B, C, **VINCINTI MONTANO SUBDIVISION & JUANITA LOPEZ VIGIL SUBDIVISION** (to be known as **TORRENTINO SUBDIVISION**), zoned R-D residential and related uses zone, developing area, located on 97TH STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF: AX-87-5, DRB-96-529] (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003689**
04DRB-01464 Minor-Sketch Plat or Plan

HALL SURVEYING agent(s) for GREG BOULOY request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, Block(s) 13, **PEREA ADDITION**, zoned SU-2 TH special neighborhood zone, located on 16TH ST NW, between LOMAS BLVD NW and CENTRAL AVE NW. [Indef. Deferred 9/29/04] (J-13). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1002864**
04DRB-01499 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for D R HORTON HOMES request(s) the above action(s) for all or a portion of Lot(s) 56 & 57, **CANTACIELO SUBDIVISION**, zoned R-LT residential zone, located on VENTICICELLO DR NW, between PEGGIO AVE NW and BREZZA DULCE AVE NW containing approximately 30 acre(s). [REF: 04DRB00242] (A-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003027**
04DRB-01500 Minor-Sketch Plat or Plan

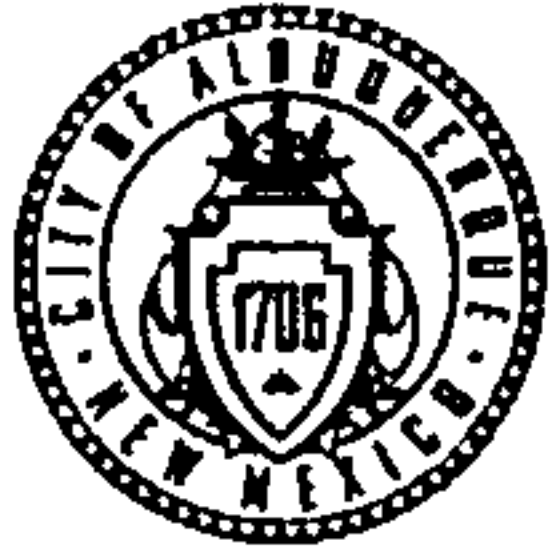
COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 1P & 2P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 04DRB-01501 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 14P & 15P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for September 22, 2004. **THE DRB MINUTES FOR 9/22/04 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

10-10-2003

14. Project # 1001523

03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [*Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03*] (H-10)

At the October 8, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
4. Final disposition shall be through the City Real Estate Office.
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 10/8/03 and approval of the grading plan engineer stamp dated 11/21/02 the preliminary plat was approved.

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



**OFFICIAL NOTICE OF DECISION
PAGE 2**

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by October 23, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

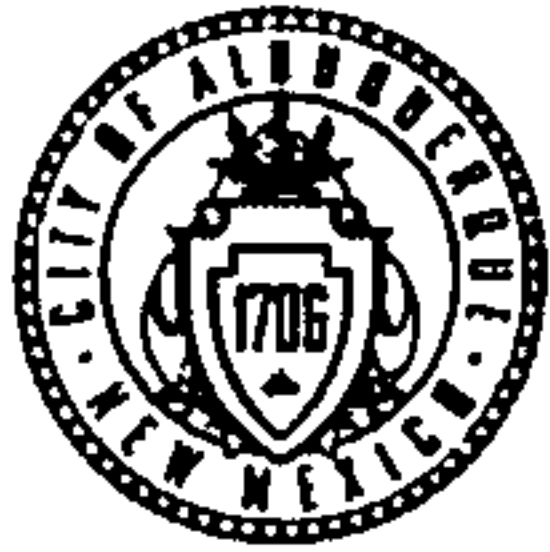
Project # 1001523
03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [*Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03*] [**RUSSELL BRITO, EPC CASE PLANNER**] (H-10)

At the October 8, 2003, Development Review Board meeting, the site plan for subdivision was approved with final sign off delegated to Planning for perimeter wall submittal.

If you wish to appeal this decision, you must do so by October 23, 2003, in the manner described below.


Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



**OFFICIAL NOTICE OF DECISION
PAGE 3**

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Unser-98th Street Partnership, P.O. Box 90548, 87199
Mark Goodwin & Associates PA, P.O. Box 90606, 87199
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

6



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01458 (SPS)
Project Name: LADERA INDUSTRIAL CENTER
Agent: Mark Goodwin & Associates PA

Project # 1001523
EPC Application No.: _____
Phone No.: 828-2200

Project Number

1001523

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/28/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Perimeter Walls Submittal

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 14 DATE: 10.8

1. Name: John Mackey Address: MAA Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 14

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 11-21-03 is required for Preliminary Plat approval.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: October 8, 2003

9/10/03

Electric
PNM must sign final plat

9/24/03

Deferred Lav. Open Space
Part C of issue



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 1, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:25 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002645**
03DRB-01440 Major-Preliminary Plat
Approval
03DRB-01441 Minor-Temp Defer
SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Tract(s) 1□1-A (to be known as **SEVILLE UNIT 8**, zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA PL NW containing approximately 27 acre(s). [REF: 03DRB-00741] [Deferred from 10/1/03](A-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

2. **Project # 1002864**
03DRB-01487 Major-Preliminary Plat
Approval
03DRB-01488 Major-Vacation of Public
Easements
03DRB-01490 Minor-Temp Defer SDWK
03DRB-01491 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LTD PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, Ventana Ranch, Lands of Massachusetts General Hospital (to be known as **CANTA CIELO SUBDIVISION**) zoned R-LT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF:03DRB-01302] *[Deferred from 10/1/03]* (A-9/A-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

3. **Project # 1002948**
03DRB-01485 Major-Preliminary Plat
Approval
03DRB-01486 Minor-Sidewalk Waiver
03DRB-01497 Minor-Temp Defer SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) A-1, Lot(s) 1 & 2, Tract(s) 171a1b2, **LANDS OF JACK CULLY**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TR NW containing approximately 6 acre(s). *[Deferred from 10/1/03]* (F-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

4. **Project # 1002949**
03DRB-01492 Minor-Preliminary Plat
Approval
03DRB-01493 Major-Vacation of Pub
Right-of-Way
03DRB-01494 Minor-Sidewalk Waiver
03DRB-01496 Minor-Temp Defer
SDWK

ISAACSON AND ARFMAN, P.A. agent(s) for JAMES CRABTREE request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 10A, Unit(s) 3, **VOLCANO CLIFFS SUBDIVISION**, (to be known as **PETROGLYPH PARK**) zoned O-1 office and institution zone, located on SANTO DOMINGO NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). *[Deferred from 10/1/03]* (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

5. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] [Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03, 10-1/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

Project #1002201
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] [Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03, 10/1/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

Project #1002201
03DRB-01382 Minor-SiteDev Plan
BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] [Deferred from 8/27/03, 9/10/03, 9/24/03, 10/1/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

6. **Project # 1001523**
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03] (H-10)
DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03] [RUSSELL BRITO, EPC CASE PLANNER] (H-10)
DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.

7. **Project # 1002935**
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-of-Way
03DRB-01450 Major-Preliminary Plat Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) [Deferred from 9/24/03]. (J-9/8 & H-9) **BULK LAND VARIANCE WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/1/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/17/03 THE PRELIMINARY PLAT WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002716**
03DRB-01549 Minor-SiteDev Plan
Subd/EPC
03DRB-01550 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for GEORGE BRUNACINI CONSTRUCTION CO request(s) the above action(s) for all or a portion of Block(s) 22, Tract(s) X-1-B, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A**, zoned SU-1 for O-1 incidental uses & Bank, located on WYOMING BLVD NE, between PASEO DEL NORTE NE and DOMINGO BACA DRAINAGE ROW NE containing approximately 3 acre(s). [REF: 03EPC-00936 (SPS), 03EPC-00922 (SBP) *[Deferred from 9/24/03]* **[CARMEN MARRONE, EPC CASE PLANNER]** (D-19) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/1/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/20/03 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SITE PLAN UTILITY LAYOUT (WATER - SEWER - FIRE LANE) MUST MATCH PLAT EASEMENTS AND TO CITY ENGINEER FOR SIA. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/1/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/20/03 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SITE PLAN UTILITY LAYOUT (WATER - SEWER - FIRE LANE) MUST MATCH PLAT EASEMENTS AND TO CITY ENGINEER FOR SIA.

- Project # 1002716**
03DRB-01588 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for ANGELO BRUNACINI request(s) the above action(s) for all or a portion of Block(s) 22, Tract(s) X-1-B, **NORTH ALBUQUERQUE ACRES, UNIT A, TRACT A**, zoned SU-1 special use zone, NURSING HOME, located on WYOMING BLVD NE, between PASEO DEL NORTE NE and DOMINGO BACA DRAINAGE ROW containing approximately 3 acre(s). [REF: 03DRB-01549 & 50, DRB-99-4, Z-98-121, DRB-97-367] (D-19) THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR M TO B OF PRIVATE EASEMENT, DEDICATION OF PUBLIC ACCESS AS RIGHT-OF-WAY AND DOCUMENT THE SITE PLAN ON THE PRIVATE ACCESS NOTE AND UTILITIES DEVELOPMENT, PLAT MUST MATCH SITE PLAN FOR UTILITY EASEMENTS AND PROPER DEDICATION MAINTENANCE STATEMENT.

9. **Project # 1002964**
03DRB-01548 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21, **RICHFIELD PARK**, zoned IP, located on ADAMS NE, containing approximately 2 acre(s). [REF: Z-82-66, DRB-94-339] *[Deferred from 9/24/03]* (C-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002200**
03DRB-01603 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for HIGH DESERT INVESTMENT request(s) the above action(s) for all or a portion of Tract(s) 15D-1B-C1 (to be known as **MOUNTAIN HIGHLANDS - UNIT 2 @ HIGH DESERT**, HIGH DESERT MOUNTAIN HIGHLANDS, zoned SU-2 - HD / R-1, located on SIMMS PARK RD NE, between IMPERATA ST NE and CIBOLA NATIONAL FOREST NE containing approximately 49 acre(s). [REF: 02DRB-01361, 1000512] (E-23/E-24) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE AND AMAFCA SIGNATURE.**

11. **Project # 1001082**
03DRB-01571 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, agent(s) for KB HOMES OF NM request(s) the above action(s) for all or a portion of Block(s) 9, Tract(s) F, **PARK HILL - UNIT 2**, zoned RT, located on MILKY WAY NW, between MCMAHON NW and BLACK ARROYO BLVD NW containing approximately 2 acre(s). [REF: 01DRB-00698, 01DRB-00699, 01DRB-00700] (A-11) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1001376**
03DRB-01602 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 8-24 & 9-23, Block(s) 3 & 4, Tract(s) 1 (to be known as **DESERT RIDGE TRAILS NORTH, NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on FLORENCE AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 33 acre(s). [REF: 02DRB-01965 PP, 02DRB-01966 VRW, 03DRB-00874 APP] (B-19) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1001465**
03DRB-01584 Minor-Ext of SIA for
Temp Defer SDWK

ISAACSON AND ARFMAN P.A. agent(s) for LOS POBLANOS DEVELOPMENT request(s) the above action(s) for **THE MEADOWS AT RIO GRANDE**, zoned SU-1 PRD, located on RIO GRANDE BLVD NW, between DON FERNANDO RD NW and DON QUIXOTE DR NW containing approximately 10 acre(s). [REF: 1001465, DRB-92-209, S-92-33] (G-12/H-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

14. **Project # 1001731**
03DRB-01609 Minor-Extension of
Preliminary Plat
03DRB-01611 Minor-Ext of SIA for
Temp Defer SDWK
03DRB-01612 Minor-Sidewalk Waiver

LARRY READ & ASSOCIATES, INC. agent(s) for SAHAR DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 23, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **SAHAR SUBDIVISION**) zoned R-D residential and related uses zone, developing area, 7 DU/AC, located on NORTH SIDE OF OAKLAND AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 1 acre(s). [REF: 02DRB-01423 PPA, 02DRB-01424 TDSC, 02DRB-01806 SW] (C-19) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THE EXTENSION OF SIA FOR TEMPORARY DEFERRAL OF SIDEWALKS AND THE SIDEWALK WAIVER WERE WITHDRAWN.**

15. **Project # 1002022**
03DRB-01604 Minor-Amnd Prelim Plat
Approval

BOHANNAN HUSTON, INC. agent(s) for TIM S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, TOWN OF ATRISCO GRANT, UNIT 2, (to be known as **VISTA WEST**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located WEST OF UNSER BLVD SW, between EUCARIZ SW and TOWER SW containing approximately 10 acre(s). [REF: 03DRB-01293, 03DRB-01294] (L-10) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

16. **Project # 1002092**
03DRB-01601 Minor-Extension of
Preliminary Plat

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH VENTURE LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, **OXBOW NORTH @ OXBOW**, zoned SU-3 special center zone, located on NAMASTE RD NW AND COORS BLVD NW containing approximately 40 acre(s). [REF: 02DRB-01371] (F-11) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1001331**
03DRB-01600 Minor-Sketch Plat or
Plan

DANIEL D SHOATS request(s) the above action(s) for all or a portion of Lot(s) 1A, **BACA & CHAVEZ**, zoned R-1, located on GRIEGOS RD NW, between RIO GRANDE BLVD NW and 12TH ST NW containing approximately 1 acre(s). [REF: 01EPC-00901, 01CC-01259] (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1002565**
03DRB-01606 Minor-Sketch Plat or
Plan

MARK GOODWIN & ASSOCIATES agent(s) for LOS GRIEGOS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 161A, 161B1, 161B2, 162A, 162B, 163A, 166A, 166B, 167A - MRGCD Map 31 (to be known as **VILLA DE LA CAPILLA**) zoned RA-2, located on GRIEGOS RD NW, between SAN ISIDRO NW and GRIEGOS DRAIN NW containing approximately 5 acre(s). [REF: 03EPC-00505, 03EPC-00506, 03EPC-00509] (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1002984**
03DRB-01608 Minor-Sketch Plat or
Plan

WILSON & COMPANY agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for Portions of **UNIT(S) 2 AND 5, VOLCANO CLIFFS SUBDIVISION**, zoned R-1 residential zone, located on 81ST ST NW, between VICTORIA DR NW and CLIFF RD NW containing approximately 2 acre(s). (E-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1002984**
03DRB-01610 Minor-Sketch Plat or
Plan

WILSON & COMPANY agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for **LOT 8 BLOCK 7, UNIT 2 AND LOTS 9, 10, 17 AND 18 OF BLOCK 7, UNIT 5, VOLCANO CLIFFS SUBDIVISION**, zoned R-1 residential zone, located on SHIPROCK CT NW, between KIBO DR NW and RIMROCK DR NW containing approximately 2 acre(s). (E-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for September 17, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 12:25 P.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 6 DATE: 10.1.03

1. Name: John Mc Kenzie Address: MAA & Cass Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

See DRB minutes/speed memo dated 9-24-03.

RESOLUTION:

10-8-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

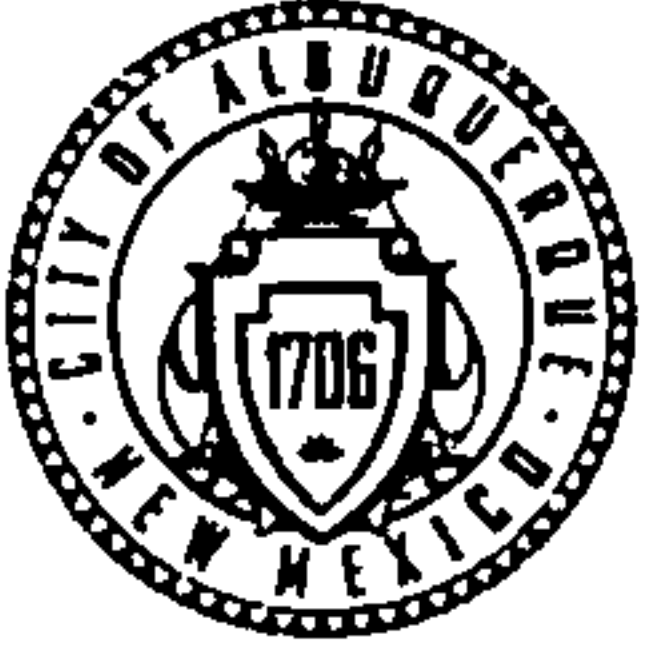
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: October 1, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 24, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:55 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002322**
03DRB-00420 Major - Preliminary Plat Plat
Approval and Major - Final Plat Approval

MULE BARN ENTERPRISE agent(s) for ACME REAL ESTATE FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIG. SITE OF WESTLAND**, zoned SU-2 special neighborhood zone- IP, located on the westside of 90th ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 9 acre(s). [REF: 02DRB-01666 SK, 03DRB-00420 PP, 03DRB-00349 PUFF] **[NO NEW SUBMITTAL] (L-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/22/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

2. **Project # 1002933**
03DRB-01443 Major-Vacation of Public
Easements
03DRB-01446 Minor- Preliminary & Final
Plat Approval
03DRB-01444 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORPORATION, request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 28, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **VINYARD ESTATES, UNIT IV-B**, zoned RD (5 DU/A), containing approximately 2 acre(s). (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/28/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAN WAS INDEFINITELY DEFERRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1002934**
03DRB-01445 Major-Vacation of Pub Right-
of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

4. **Project # 1002935**
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-
of-Way
03DRB-01450 Major-Preliminary Plat
Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) *[Deferred from 9/24/03]*. (J-9/8 & H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

5. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] [Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project #1002201**
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] [Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project #1002201**
03DRB-01382 Minor-SiteDev Plan BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] [Deferred from 8/27/03, 9/10/03, 9/24/03] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

6. **Project # 1001523**
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] (H-10) **THE TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] [**RUSSELL BRITO, EPC CASE PLANNER**] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002716**
03DRB-01549 Minor-SiteDev Plan Subd/EPC
03DRB-01550 Minor-SiteDev Plan BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for GEORGE BRUNACINI CONSTRUCTION CO request(s) the above action(s) for all or a portion of Block(s) 22, Tract(s) X-1-B, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A**, zoned SU-1 for O-1 incidental uses & Bank, located on WYOMING BLVD NE, between PASEO DEL NORTE NE and DOMINGO BACA DRAINAGE ROW NE containing approximately 3 acre(s). [REF: 03EPC-00936 (SPS), 03EPC-00922 (SBP)] [Deferred from 9/24/03] [**CARMEN MARRONE, EPC CASE PLANNER**] (D-19) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

8. **Project # 1002964**
03DRB-01548 Minor-SiteDev Plan BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21, **RICHFIELD PARK**, zoned IP, located on ADAMS NE, containing approximately 2 acre(s). [REF: Z-82-66, DRB-94-339] *[Deferred from 9/24/03]* (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

9. **Project # 1002593**
03DRB-01546 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP request(s) the above action(s) for **VISTA DE ARENAL, UNIT II, TRACT 29C, VENTANA RANCH**, zoned R-LT residential zone, located on LAS VENTANAS RD NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 7 acre(s). [REF: 03DRB-01376 (PP)] (B-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002738**
03DRB-01519 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for FRANCES MUNOZ request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) M, **EASTERN ADDITION**, zoned SU-2 special neighborhood zone, NCR, located on DAN AV SE, between JOHN ST. SE and BROADWAY BLVD. SE containing approximately 1 acre(s). [REF: 03DRB-00980 SK, Z-76-81] (L-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

11. **Project # 1002743**
03DRB-01544 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) ALL, LA LUZ DEL OESTE, zoned SU-1 special use zone, PRD, located on SOUTH SIDE OF DELLYNE AVE NW, between COORS BLVD NW and VISTA DE LUZ NW containing approximately 16 acre(s). [REF: Z-77-28-1, 03DRB-00989 SK] (F-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR: LABEL NEW EASEMENTS "GRANTED BY THIS PLAT", ADD PUBLIC WATERLINE EASEMENT ON TRACT N AND CHECK FOR AGIS DXF FILE, AND TRANSPORTATION DEVELOPMENT FOR: NOTE BENEFICIARIES ON THE PLAT, DOCUMENT THE HOMEOWNER'S ASSOCIATION RULES ETC.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1001087**
03DRB-01547 Minor-Sketch Plat or Plan

STEVE HALE. agent(s) for HALE & SUN CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 2 & 3 W.1/3, **MAJOR ACRES SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on 12TH ST & MAJOR ST NW, between MATTHEW AVE NW and CANDELARIA RD NW containing approximately 7 acre(s). [REF: (1002231) 02ZHE-01435, (1001087) 01DRB- 00268 SK, 01DRB-01891 SECTOR PLAN] (B-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for September 10, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 10:55 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 6 DATE: 9.24.03

1. Name: John McKenzie Address: MCA Assoc Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 11-21-02 is on file for Preliminary Plat approval.

RESOLUTION:

10-1-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: September 24, 2003

Sept. 24, 2003
Sheran Matson
City of Albuquerque
Box 1293
Albuquerque, NM

Re: Project 1001523/03DRB-01362 SDWK

Dear Ms. Matson:

This is a request to withdrawal the sidewalk
deferral application associated with the
reference project.

Please contact me if I can be of further
assistance.

John M. Mackey

Refer to 9/24/03

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 5 DATE: 9.17.03

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 11-21-02 is on file for Preliminary Plat approval.

RESOLUTION:

APPROVED X ; DENIED _____; DEFERRED X ; COMMENTS PROVIDED _____; WITHDRAWN _____

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: September 17, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 10, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:55 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000610**
03DRB-01359 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for DOS PIEDRAS, LLC, request(s) the above action(s) for all or a portion of Tract(s) 33-a-1-C-1, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-2 for C-2, located on 57th Street NW, between Ouray Rd NW and Miami Rd NW, containing approximately 3 acre(s). [REF: 02DRB-01101, DRB-98-3, DRB-94-87, DRB-94-185, Z-94-53 (H-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1001106**
03DRB-01358 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for WESTCOR PROPERTIES, LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-34, **ST. JOSEPH'S PLACE ADDITION**, zoned R-2, located on West Court Pl NW, between Avalon Rd NW and Central Ave NW, containing approximately 4 acre(s). **(K-11) A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000621**
03DRB-01353 Major-Vacation of
Public Easements

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST, request(s) the above action(s) for all or a portion of Tract(s) C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE-25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK] **(J-15) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1001523**
03DRB-01361 Major-Vacation of
Public Easements
03DRB-01360 Major-Preliminary Plat
Approval
03DRB-01362 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for
UNSER - 98TH ST PARTNERSHIP request(s) the
above action(s) for all or a portion of Lot(s) 2,
LADERA INDUSTRIAL CENTER, zoned SU-1 for
light industrial, located on UNSER BLVD NW,
between 98th ST NW and LADERA DR NW containing
approximately 120 acre(s). [REF: AX-81-810, Z-81-49,
01EPC-01405, 02DRB-00518] [*Deferred from 9/10/03*]
(H-10) ~~DEFERRED AT THE AGENT'S REQUEST~~
~~TO 9/17/03.~~

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan
Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for
UNSER - 98TH ST PARTNERSHIP request(s) the
above action(s) for all or a portion of Lot(s) 2,
LADERA INDUSTRIAL CENTER, zoned SU-1 for
light industrial, located on UNSER BLVD NW,
between 98th ST NW and LADERA DR NW containing
approximately 120 acre(s). [REF: AX-81-810, Z-81-49,
01EPC-01405, 02DRB-00518] [*Deferred from 9/10/03*]
~~[RUSSELL BRITO, EPC CASE PLANNER]~~ (H-10)
~~DEFERRED AT THE AGENT'S REQUEST TO~~
~~9/17/03.~~

5. **Project # 1002883**
03DRB-01350 Major-Vacation of
Public Easements

MOLZEN-CORBIN & ASSOCIATES, agent(s) for
CITY OF ALBUQUERQUE, AVIATION DEPT.
request(s) the above action(s) for all or a portion of
Lot(s) A-1, Block(s) 11, Unit(s) A, **KNOB HEIGHTS**,
zoned R-3 residential zone, located on the west side
of WELLESLEY DR SE, between ANDERSON AVE
SE and ROSS AVE SE [REF:ZA-79-261, ZA-88-15](L-
16) **THE VACATION WAS APPROVED AS SHOWN
ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002885**
03DRB-01355 Major-Vacation of Pub
Right-of-Way
03DRB-01354 Minor-Sketch Plat or
Plan
03DRB-01356 Major-Vacation of
Public Easements

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC, request(s) the above action(s) for all or a portion of Lot(s) 10-24, Block(s) 18 and Lot(s) 7-10 and 12-15, Block(s) 20, Unit(s) 3, (NORTH ALBUQUERQUE ACRES, TRACT 3) **OCOTILLO SUBDIVISION**, zoned RD, (4 DU/A), located on HOLBROOK ST NE, CARMEL AVE NE and HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE NE, containing approximately 24 acre(s). [REF: 02EPC-01353] *[Deferred from 9/10/03]* (C-21) **DEFERRED AT THE AGENT'S REQUEST TO 9/17/03.**

7. **Project # 1001306**
03DRB-01179 Major-Preliminary Plat
Approval
03DRB-01182 Minor-Temp Defer
SDWK

SURV-TEK agent(s) for CURB WEST INC request(s) the above action(s) for all or a portion of Tract(s) B-2-A and 1-B-1-F, **SEVILLE, UNIT 7**, zoned R-LT, located on KAYENTA BLVD NW, between RIO SEGURA NW and PARSONS BLVD NW containing approximately 17 acre(s). *[Deferred from 8/13/03, 8/20/03, 8/27/03 and 9/3/03]* (A-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/10/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: CROSS SECTIONS AND DESIGN ELEVATIONS SHOWING BUILDING MATERIALS AND COLORS OF PERIMETER WALLS ARE REQUIRED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT
COMMERCIAL CONSTRUCTION, request(s) the
above action(s) for all or a portion of Tract(s) A & B,
AMERICAN TOYOTA, zoned SU-2 special
neighborhood zone, SU-1 AUTO SALES, located on
ALAMEDA BLVD NE, between PAN AMERICAN
FWY. NE and SAN PEDRO DR NE containing
approximately 7 acre(s). [REF: Z-86-8, DRB-95-74,
02DRB-01367 (VRW) 02DRB-01270 (PP)] *[Deferred
from 8/20/03, 8/27/03, 9/10/03]* (C-18) **DEFERRED
AT THE AGENT'S REQUEST TO 9/24/03.**

Project #1002201
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA
AUTOMOTIVE REAL ESTATE LTD request(s) the
above action(s) for all or a portion of Lot(s) 12, 13, 14,
19, 20, 21, NORTH ALBUQUERQUE ACRES,
TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned
SU-2 IP, located on OAKLAND AVE NE, between
PAN AMERICAN FWY NE and SAN PEDRO DR NE
containing approximately 6 acre(s). [REF: 02DRB-
01367 (Vac), 03ZHE-00655] [Listed as Project
#1002613 in error] *[Deferred from 7/23/03, 8/13/03,
8/27/03 and 9/10/03]* (C-18) **DEFERRED AT THE
AGENT'S REQUEST TO 9/24/03.**

Project #1002201
03DRB-01382 Minor-SiteDev Plan
BldPermit

TIERRA WEST, LLC agent(s) for OMEGA
AUTOMOTIVE, REAL ESTATE LTD. request(s) the
above action(s) for all or a portion of Lot(s) 12, 13, 14,
19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE
ACRES, TRACT A, UNIT B, **PREMIER
MOTORCARS**, zoned SU-2 special neighborhood
zone, IP, located on OAKLAND AVE NE, between
PAN AMERICAN FWY NE and SAN PEDRO DR NE
containing approximately 6 acre(s). [REF: 02DRB-
01367 (VRW) 03ZHE-00655] *[Deferred from 8/27/03
and 9/10/03]* (C-18) **DEFERRED AT THE AGENT'S
REQUEST TO 9/24/03.**

9. **Project # 1001939**
03DRB-00753 Major-Vacation of
Public Easements
03DRB-00752 Major-Preliminary Plat
Approval
03DRB-00788 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A1B, **The Crossing** - Unit 2A, Tract A, **CIELO OESTE**, zoned R-D, located on GUNNISON PL NW, between UNSER BLVD NW and 98TH ST NW containing approximately 15 acre(s). [REF: 1000150, 1000207, 1000515, 1001939] [Deferred from 6/4/03, 6/18/03 AND 6/25/03 and 10/29/03] (H-9) **DEFERRED AT AGENT'S REQUEST TO 10/29/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1002786**
03DRB-01075 Minor-SiteDev Plan
BldPermit

JIM MILLER - MILLER & ASSOCIATES, agent(s) for FIDELITY TRUST CO. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP industrial park zone, located on SAN MATEO BLVD NE, between SAN DIEGO AVE NE and BEVERLY HILLS AVE NE containing approximately 3 acre(s). [REF: 01ZHE-01832] [Deferred from 7/9/03, 8/6/03 and 8/27/03] (B-18). **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR ENVIRONMENTAL HEALTH DEPARTMENT SIGNATURE. THE INFRASTRUCTURE LIST DATED 9/10/03 WAS APPROVED.**

- 03DRB-01457 Minor-Sketch Plat or
Plan

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FIDELITY TRUST CO request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned SU-2, IP, located on BEVERLY HILLS AVE NW, between SAN MATEO BLVD NE and I-25 FRONTAGE RD NE containing approximately 3 acre(s). [REF: 03DRB-01075] (B-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

THERE ARE NO MINOR PLATS THIS WEEK

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

11. Other Matters: **PROJECT #1002377/03DRB-00418 Temp Deferral of Construction of Sidewalks. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

ADJOURNED: 10:55 A.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 4

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 11-21-03 is on file for Preliminary Plat approval.
 No adverse comments on Site Plan.

RESOLUTION:

9-17-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: September 10, 2003



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 10, 2003

Project # 1001523

03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] (H-10)

AMAFCA No objection to requested actions. The release of easement/quitclaim deed for the triangular easements along the Mirehaven Diversion Channel was approved by the AMAFCA Board of Directors at their August 14 meeting.

COG No adverse comments.

Transit No comments received.

Zoning Enforcement Minimum lot width is 100 feet (Tract 22).

Neighborhood Coor.

Letters sent to Ladera West (R), Las Lomas (R), Laurelwood (R), Parkway (R) and S.R.Marmon Neighborhood Associations.

APS No comments received.

Police Department No adverse comments.

Fire Department No adverse comments.

PNM Gas Approves.

PNM Electric

Any vacation of transmission line easements or portion thereof must first be approved by Blake Forbes (241-2973). PNM will not agree to the vacation of transmission lines without Blake's approval.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report is on file for Preliminary Plat approval. No objection to vacation request.

Transportation Development

Refer to the agencies having interest in the easements for comments on the vacation actions. What is the status of the old Ouray right-of-way? What is the purpose of tract "a"? Comments on the infrastructure list. No objection to the sidewalk deferral

Parks & Recreation

Trail on Unser should be 10' wide not 8' wide. Parks is in discussion to accept the drainage easement on the north side of the property for detached open space. No agreement has been reached at this time.

Utilities Development

No objection to Vacation requests. Minor comments on Infrastructure List and Plat.

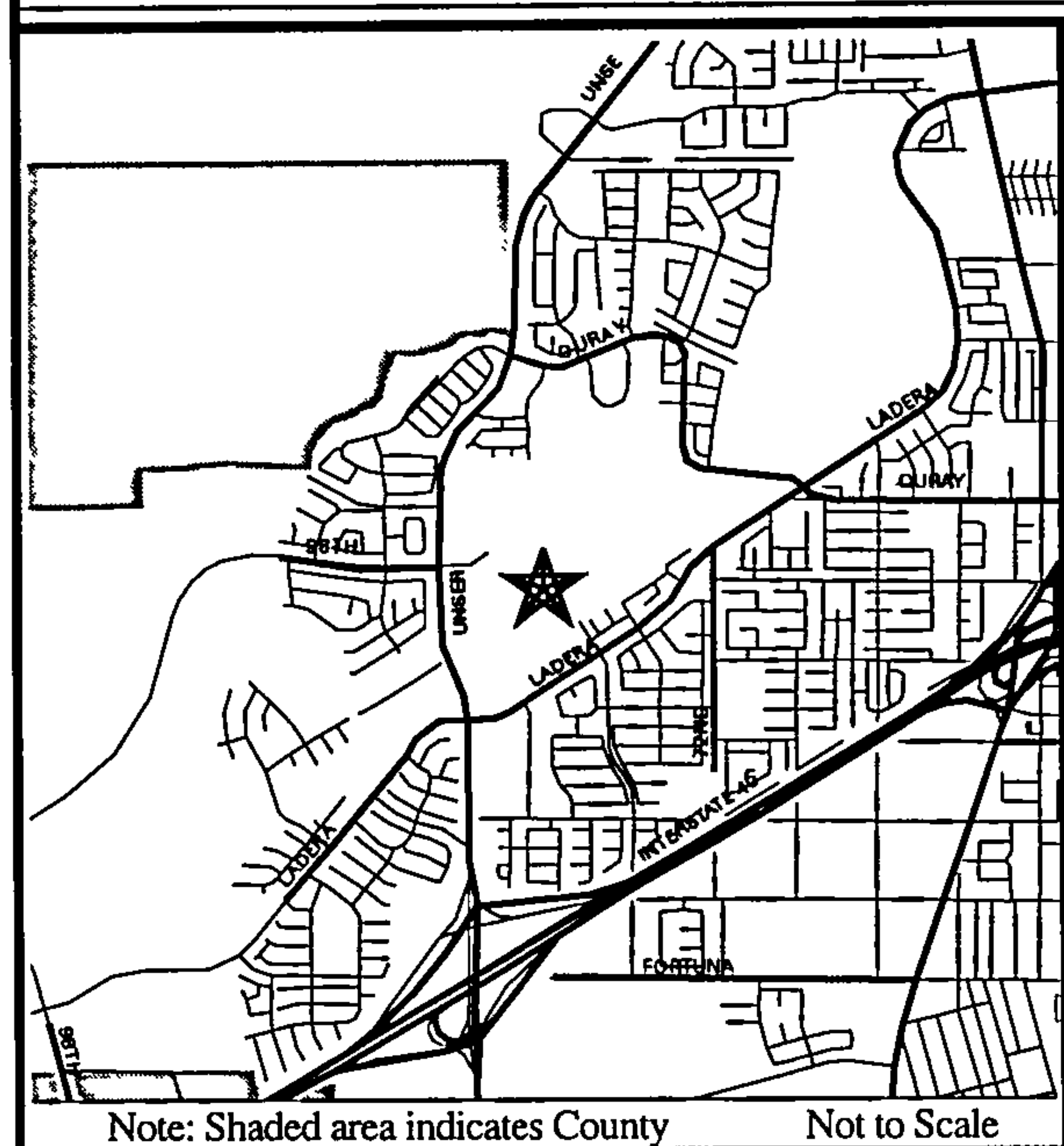
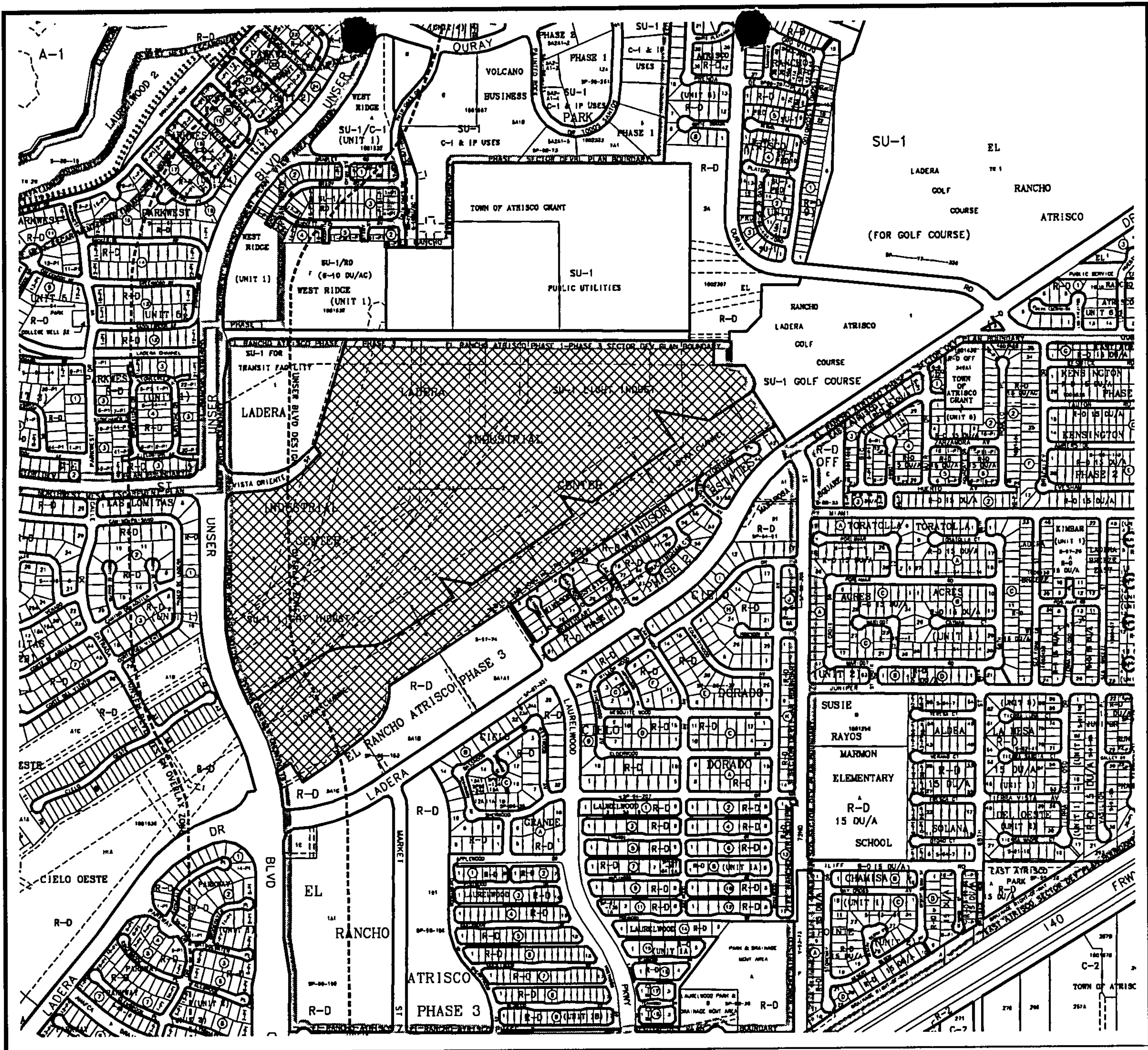
Planning Department

Applicant should submit one colored copy of the vacation exhibit, color coded by vacation, for Planning's file by the time of DRB hearing.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

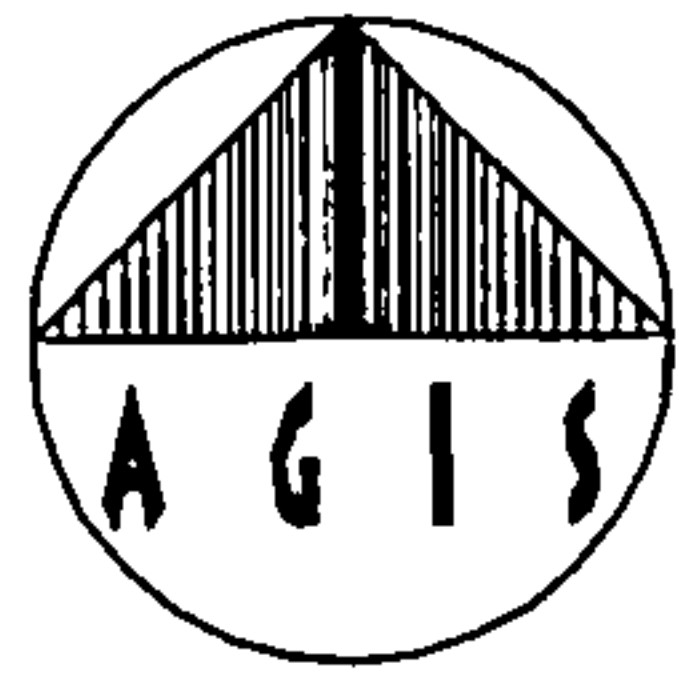
cc:Unser-98th Street Partnership, P.O. Box 90548, 87199

Mark Goodwin & Associates PA, P.O. Box 90606, 87199



Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1" = 900'

PROJECT NO.
1001523

HEARING DATE
9-10-03

MAP NO.
H-10

ADDITIONAL CASE NUMBER(S)
03DRB-01360
03DRB-01361
03DRB-01362

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 4 DATE: 9.10.03

1. Name: Jeff Jesionowski Address: 400 GOLD SW STE. 75 Zip: 87102

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 10, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000610

03DRB-01359 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for DOS PIEDRAS, LLC, request(s) the above action(s) for all or a portion of Tract(s) 33-a-1-C-1, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-2 for C-2, located on 57th Street NW, between Ouray Rd NW and Miami Rd NW, containing approximately 3 acre(s). [REF: 02DRB-01101, DRB-98-3, DRB-94-87, DRB-94-185, Z-94-53 (H-11)]

Project # 1001106

03DRB-01358 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for WESTCOR PROPERTIES, LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-34, **ST. JOSEPH'S PLACE ADDITION**, zoned R-2, located on West Court Pl NW, between Avalon Rd NW and Central Ave NW, containing approximately 4 acre(s). (K-11)

Project # 1000621

03DRB-01353 Major-Vacation of Public Easements

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST, request(s) the above action(s) for all or a portion of Tract(s) C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE-25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK] (J-15)

Project # 1001523

03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

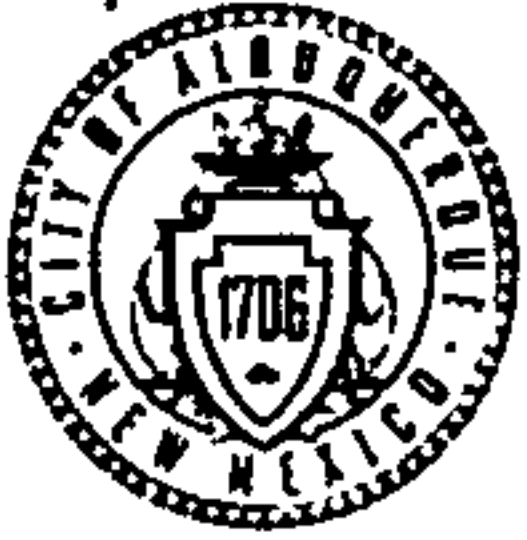
MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] (H-10)

Project # 1002883

03DRB-01350 Major-Vacation of Public Easements

MOLZEN-CORBIN & ASSOCIATES, agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPT. request(s) the above action(s) for all or a portion of Lot(s) A-1, Block(s) 11, Unit(s) A, **KNOB HEIGHTS**, zoned R-3 residential zone, located on the west side of WELLESLEY DR SE, between ANDERSON AVE SE and ROSS AVE SE [REF:ZA-79-261, ZA-88-15](L-16)

SEE PAGE 2



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1002885

03DRB-01355 Major-Vacation of Pub Right-of-Way

03DRB-01354 Minor-Sketch Plat or Plan

03DRB-01356 Major-Vacation of Public Easements

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC, request(s) the above action(s) for all or a portion of Lot(s) 10-24, Block(s) 18 and Lot(s) 7-10 and 12-15, Block(s) 20, Unit(s) 3, (NORTH ALBUQUERQUE ACRES, TRACT 3, OCOTILLO SUBDIVISION, zoned RD, 4 DU/A), located on HOLBROOK ST NE, CARMEL AVE NE and HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE NE, containing approximately 24 acre(s). [REF: 02EPC-01353] (C-21)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 25, 2003.

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CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

Meeting Date: 9-10-03

Zone Atlas Page: H-10-E

Notification Radius: 100 Ft.

App#	<u>A3D2B-01360</u>
Proj#	<u>1001523</u>
Other#	<u>A3D2B-01361</u>
	<u>A3D2B-01362</u>

Cross Reference and Location: _____

Applicant: Uaser - 98th Street Partnership ✓

Address: PO Box 90548, Albuq, Nm 87199

Agent: Mark Goodwin & Assoc. ✓

Address: PO Box 90006, Albuq Nm 87199

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: Aug 21, 2003

Signature: [Handwritten Signature]

101005920145820720CA *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905950043610109CA LEGAL: TRS 391 392 & 393 ATRISCO GRANT SEC 9 T10N R2E CON LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: PLAINS ELECTRIC GENRTN & TRANS ALBUQUERQUE NM 87197
 OWNER ADDR: 00000

101005910845920708CA LEGAL: TR D F LA ND WITHIN NW/4 NW/4 SEC 10 T10N R2E CONT 2 LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: PUBLIC SERVICE CO OF NM ALBUQUERQUE NM 87158
 OWNER ADDR: 00000

101005906643820709CA LEGAL: TR D F LA ND WITHIN SE/4 NW/4 NW/4 SEC 10 T10N R2E C LAND USE:
 PROPERTY ADDR: 00000
 OWNER NAME: PUBLIC SERVICE CO OF NM ALBUQUERQUE NM 87158
 OWNER ADDR: 00000

101005901443220703 LEGAL: TRAC T IN SW1/4 NW1/4 NW1/4 T10N R2E SEC 10 CONT 4. LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: US GOVT BUREAU OF RECLAMATION RD NE ALBUQUERQUE NM 87107
 OWNER ADDR: 02401 AZTEC

101005926539720750 LEGAL: SOUT HERL Y PORTION OF TRACT 1 EL RANCHO ATRISCO ADD LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE ALBUQUERQUE NM 87103
 OWNER ADDR: 00000

100905945634410201 LEGAL: LOT 1 PL AT OF LOTS 1 & 2 LADERA INDUSTRIAL CENTER LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE ALBUQUERQUE NM 87103
 OWNER ADDR: 00000

101005909033320105 LEGAL: LOT 2 PL AT OF LOTS 1 & 2 LADERA INDUSTRIAL CENTER LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: UNSER/ 98TH STREET PTNS LLC ALBUQUERQUE NM 87190
 OWNER ADDR: 00000

101005925331330361 LEGAL: LT 4 1 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2336 STONEHAM PL NW
 OWNER NAME: MCCLANAHAN ISABELLE E & GURULE PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02336 STONEHAM

101005924931030360 LEGAL: LT 4 2 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2332 STONEHAM PL NW
 OWNER NAME: JOHNSON CARMEN PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02332 STONEHAM

101005924530730350 LEGAL: LT 4 3 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2328 STONEHAM PL NW
 OWNER NAME: ROBINSON ARTHUR E & NINA L PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02328 STONEHAM

100905939830310332 LEGAL: LT 3 2-P1 BLK 3 VAC & REPLAT COMPRISED OF ALL OF TR LAND USE:
 PROPERTY ADDR: 00000 8004 FIELDSTONE AVE NW
 OWNER NAME: HADSELL RICHARD A & PAMELA J AV NW ALBUQUERQUE NM 87120
 OWNER ADDR: 08004 FIELDSTONE

101005923829730351 LEGAL: LT 4 4 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2324 STONEHAM PL NW
 OWNER NAME: PARRAS FRANK & MARIA T PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02324 STONEHAM

100905940330310331 LEGAL: LT 3 1-P1 BLK 3 VAC & REPLAT COMPRISED OF ALL OF TR LAND USE:
 PROPERTY ADDR: 00000 8000 FIELDSTONE AVE NW
 OWNER NAME: HERRERA NORMA M AV NW ALBUQUERQUE NM 87120
 OWNER ADDR: 08000 FIELDSTONE

101005923229430352 LEGAL: LT 4 5 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2320 STONEHAM PL NW
 OWNER NAME: ACOSTA RUBEN & ANA M PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02320 STONEHAM

101005922929030353 LEGAL: LT 4 6 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2316 STONEHAM PL NW
 OWNER NAME: PINO JERRY & ANGELINA M PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02316 STONEHAM

101005922528730354 LEGAL: LT 4 7 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2312 STONEHAM PL NW
 OWNER NAME: LOMAKO BRENT & DAWN M PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02312 STONEHAM

101005921928530355 LEGAL: LT 4 8 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2308 STONEHAM PL NW
 OWNER NAME: LEIJA JAMES A & ALMA A PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02308 STONEHAM

101005919928030349 LEGAL: LT 4 0 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2219 STONEHAM PL NW
 OWNER NAME: DYE JOLENE R PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02219 STONEHAM

101005921528430356 LEGAL: LT 4 9 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2304 STONEHAM PL NW
 OWNER NAME: OTERO ANTHONY S PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02304 STONEHAM

101005921028130357 LEGAL: LT 5 0 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2300 STONEHAM PL NW
 OWNER NAME: MARTINEZ JERRY D & LINDA S PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02300 STONEHAM

101005919527630348 LEGAL: LT 3 9 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2215 STONEHAM PL NW
 OWNER NAME: CHAVEZ JUAN A & HELEN R PL NW ALBUQUERQUE NM 87120
 OWNER ADDR: 02215 STONEHAM

100905939827740319 LEGAL: LT 8 BLK 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I A LAND USE:
 PROPERTY ADDR: 00000 8001 CAMINO PAISANO ST N
 OWNER NAME: GRIFFIN MICHAEL R & CHERYL L NW ALBUQUERQUE NM 87120
 OWNER ADDR: 08001 GAMINO PAISANO

101005919027330347 LEGAL: LT 3 8 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2209 STONEHAM PL NW
 OWNER NAME: VALENZUELA ISHMAEL JR & PAULA
 OWNER ADDR: 02209 STONEHAM PL NW ALBUQUERQUE NM 87120

100905940527140318 LEGAL: LT 9 BLK 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I A LAND USE:
 PROPERTY ADDR: 00000 2200 PASEO DE LADERA NW
 OWNER NAME: STRICKLIN GREGORY L & ROMAINE
 OWNER ADDR: 02200 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005918627130346 LEGAL: LT 3 7 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2205 STONEHAM PL NW
 OWNER NAME: HUTTON ROGER A & SUE E
 OWNER ADDR: 02205 STONEHAM PL NW ALBUQUERQUE NM 87120

101005918226830345 LEGAL: LT 3 6 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2201 STONEHAM PL NW
 OWNER NAME: CANDELARIA GERALD L & ARCELIA
 OWNER ADDR: 02201 STONEHAM PL NW ALBUQUERQUE NM 87120

101005917826530344 LEGAL: LT 3 5 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2133 STONEHAM PL NW
 OWNER NAME: HENDREN LUCIAN C & RITA M & VI
 OWNER ADDR: 02133 STONEHAM PL NW ALBUQUERQUE NM 87120

101005917426230343 LEGAL: LT 3 4 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2129 STONEHAM PL NW
 OWNER NAME: KESSLER CARL R & CHERYL A
 OWNER ADDR: 02129 STONEHAM PL NW ALBUQUERQUE NM 97120

100905940526340317 LEGAL: LT 1 0 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2132 PASEO DE LADERA NW
 OWNER NAME: RAPANOTTI WILLIAM A & DIANE P
 OWNER ADDR: 02132 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005917025930342 LEGAL: LT 3 3 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2125 STONEHAM PL NW
 OWNER NAME: SAYADA WILLIAM
 OWNER ADDR: 02125 STONEHAM PL NW ALBUQUERQUE NM 87120

101005916625730341 LEGAL: LT 3 2 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2119 STONEHAM PL NW
 OWNER NAME: VIGIL FRANK A & ARLENE M
 OWNER ADDR: 02119 STONEHAM PL NW ALBUQUERQUE NM 87120

101005916125430340 LEGAL: LT 3 1 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2115 STONEHAM PL NW
 OWNER NAME: KLEIN RICHARD N & JUDITH A
 OWNER ADDR: 02115 STONEHAM PL NE ALBUQUERQUE NM 87120

101005915725230339 LEGAL: LT 3 0 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2111 STONEHAM PL NW
 OWNER NAME: GROVES IAN & YVETTE DE LA TORR
 OWNER ADDR: 02111 STONEHAM PL NW ALBUQUERQUE NM 87120

100905940525740316 LEGAL: LT 1 1 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2128 PASEO DE LADERA NW
 OWNER NAME: NM EDUCATORS FED CREDIT UNION
 OWNER ADDR: 02128 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005915324930338 LEGAL: LT 2 9 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2109 STONEHAM PL NW
 OWNER NAME: HANSEN GARY
 OWNER ADDR: 02109 STONEHAM PL NW ALBUQUERQUE NM 87120

101005914924630337 LEGAL: LT 2 8 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2105 STONEHAM PL NW
 OWNER NAME: RODRIGUEZ JOSEPH M & ROSEANNE
 OWNER ADDR: 02105 STONEHAM PL NW ALBUQUERQUE NM 87120

100905940524940315 LEGAL: LT 1 2 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2124 PASEO DE LADERA NW
 OWNER NAME: IRIZARRY HARRY H
 OWNER ADDR: 02124 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005914424330336 LEGAL: LT 2 7 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 2101 STONEHAM PL NW
 OWNER NAME: CORTEZ ANDREW C
 OWNER ADDR: 02101 STONEHAM PL NW ALBUQUERQUE NM 87120

101005914024030335 LEGAL: LT 2 6 PL AT OF WINDSOR ESTATES PHASE TWO BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7620 LAKEWOOD AVE NW
 OWNER NAME: MONTIEL ARNOLDO C & MARIA G CO
 OWNER ADDR: 01154 W PIMA PL NOGALES AZ 85621

100905940524340314 LEGAL: LT 1 3 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2120 PASEO DE LADERA NW
 OWNER NAME: TACKMAN ALEX L & GRACIELA E
 OWNER ADDR: 02120 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005913523730334 LEGAL: LT 2 5 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7616 LAKEWOOD AVE NW
 OWNER NAME: BERNIER CLINTON DWAIN & SUSAN
 OWNER ADDR: 07616 LAKEWOOD AV NW ALBUQUERQUE NM 87120

101005912323230325 LEGAL: LT 1 6 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7615 CASTLEROCK CT NW
 OWNER NAME: CHAVEZ WILBUR H & PATRICIA M
 OWNER ADDR: 07615 CASTLE ROCK CT NW ALBUQUERQUE NM 87120

100905940523740313 LEGAL: LT 1 4 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2116 PASEO DE LADERA NW
 OWNER NAME: PRESLEY COMPANIES (THE)
 OWNER ADDR: 01909 CARLISLE BL NE ALBUQUERQUE NM 87110

101005913423230333 LEGAL: LT 2 4 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7612 LAKEWOOD AVE NW
 OWNER NAME: CORDOVA MATTHEW R & KATHY A
 OWNER ADDR: 07612 LAKEWOOD AV NW ALBUQUERQUE NM 87120

101005912822730326 LEGAL: LT 1 7 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7611 CASTLEROCK CT NW
 OWNER NAME: DUARTE STEVE & MELISSA
 OWNER ADDR: 07611 CASTLEROCK CT NW ALBUQUERQUE NM 87120

101005911222430324 LEGAL: LT 1 5 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7616 CASTLEROCK CT NW
 OWNER NAME: ELLWOOD CHRISTOPHER M & JENNIF
 OWNER ADDR: 07616 CASTLEROCK CT NW ALBUQUERQUE NM 87120

100905940522940312 LEGAL: LT 1 5 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2112 PASEO DE LADERA NW
 OWNER NAME: BOULIER STEPHEN M & HEATHER M
 OWNER ADDR: 02112 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005910421830315 LEGAL: LOT 6 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7615 KINGSWAY CT NW
 OWNER NAME: RUSS JAMES ANTHONY & VIRGIE L
 OWNER ADDR: 07615 KINGSWAY CT NW ALBUQUERQUE NM 87120

101005911521830323 LEGAL: LT 1 4 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7612 CASTLEROCK CT NW
 OWNER NAME: SILL HAROLD W III AND CHRISTIN
 OWNER ADDR: 07612 CASTLEROCK CT NW ALBUQUERQUE NM 87105

100905940522240311 LEGAL: LT 1 6 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2108 PASEO DE LADERA NW
 OWNER NAME: WOLF MICHAEL ALLEN
 OWNER ADDR: 02108 PASEO DE LADERA NW ALBUQUERQUE NM 87122

101005910821330316 LEGAL: LOT 7 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7611 KINGSWAY CT NW
 OWNER NAME: VALDEZ ARTHUR & DOLORES
 OWNER ADDR: 07611 KINGSWAY CT NW ALBUQUERQUE NM 87120

101005909121030314 LEGAL: LOT 5 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7616 KINGSWAY CT NW
 OWNER NAME: SANDOVAL BERNARD E
 OWNER ADDR: 07616 KINGSWAY CT NW ALBUQUERQUE NM 87120

100905940521640310 LEGAL: LT 1 7 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2104 PASEO DE LADERA NW
 OWNER NAME: LOZOYA NDRA
 OWNER ADDR: 02104 PASEO DE LADERA NW ALBUQUERQUE NM 87120

100905940520840309 LEGAL: LT 1 8 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 2100 PASEO DE LADERA NW
 OWNER NAME: BIRD DAVID & PAM
 OWNER ADDR: 02100 PASEO DE LADERA NW ALBUQUERQUE NM 87120

101005909420430313 LEGAL: LOT 4 PL AT OF WINDSOR ESTATES PHASE ONE BEING A RE LAND USE:
 PROPERTY ADDR: 00000 7612 KINGSWAY CT NW
 OWNER NAME: MARTINEZ ROCKY C
 OWNER ADDR: 07612 KINGSWAY CT NW ALBUQUERQUE NM 87120

101005905419730308 LEGAL: TRAC T 5- A-1A-1 PLAT OF EL RANCHO ATRISCO PHASE III LAND USE:
 PROPERTY ADDR: 00000 1919 LADERA NW
 OWNER NAME: LADERA II LIMITED PARTNERSHIP
 OWNER ADDR: 04600 MONTGOMERY BL NE ALBUQUERQUE NM 87109

100905940519840308 LEGAL: LT 1 9 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 8000 CORTE DEL VIENTO N
 OWNER NAME: SPEARS HAROLD F & ALICE W
 OWNER ADDR: 00000 WAGNER SD 57380

100905939819440307 LEGAL: LT 2 0 BL K 1 CORRECTED PLAT FOR LAS LOMITAS UNIT I LAND USE:
 PROPERTY ADDR: 00000 8004 CORTE DE VIENTO NW
 OWNER NAME: OLIVAS NICK & ROMERO M GRACE
 OWNER ADDR: 08004 CORTE DE VIENTO NW ALBUQUERQUE NM 87120

100905940316341201 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

101005901416430306 LEGAL: TR 5 -A-1 B PLAT OF TRS 5-A-1A, 5-A-1B & 5-A-1C OF E LAND USE:
 PROPERTY ADDR: 00000 1919 LADERA NW
 OWNER NAME: LADERA ASSOCIATES LIMITED PART
 OWNER ADDR: 04600 MONTGOMERY BL NE ALBUQUERQUE NM 87109

100905942415741211 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905942015541210 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905943214241212 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905942814041213 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905942413941214 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905935505041101 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE

100905949310541007 LEGAL: TR 5 -A-1 C PLAT OF TRS 5-A-1A, 5-A-1B & 5-A-1C OF E LAND USE:
 PROPERTY ADDR: 00000 N/A
 OWNER NAME: WESTLAND DEVELOPMENT CO INC
 OWNER ADDR: 00401 COORS BL NW ALBUQUERQUE NM 87121

“ATTACHMENT A”

Beth Gonzales
Mark Goodwin & Assoc.
Zone Map – H-9,10

IADERA WEST N.A. (R)

*Dan Serrano *e-mail: dserrano@aol.com*
 3305 Rhonda de la Chusas NW/87120 836-6399 (h) 344-5311 (w)
 Barry King *e-mail: bking@tvi.cc*
 3808 Todos Santos NW/87120 836-6044 (h)

Council District: 1
County District: 1
Police Beat: 136/WS/Z-C
Zone Map #: G-H-9-11
Community Id Dist.: Westside

LAS LOMITAS N.A. (R)

*Darlene Motley *e-mail: dssmotley@att.net*
 8139 Corte De Aguila NW/87120 839-9789 (h) 235-5802 (w)
 Sharon Pruitt *e-mail: SherPruitt@comcast.net*
 2139 Calle Azulejo NW/87120 831-0277 (h) 379-1258 (w)

Council District: 1
County District: 1
Police Beat: 139/WS/Z-C
Zone Map #: H-9
Community Id Dist.: Westside

LAURELWOOD N.A. (R)

→ *Steve Tardy *e-mail: stardy11@comcast.net*
 7424 Lynwood Dr. NW/87120 323-7771 (h)
 Nancy Treviso *e-mail: ntreviso@unm.edu*
 7812 Sherwood Dr. NW/87120 831-6132 (h)

Council District: 1
County District: 1
Police Beat: 138/WS/Z-C
Zone Map #: H-J-9-10
Community Id Dist.: Westside

PARKWAY N.A. (R)

Karen Wade
 8100 Westover Pl. NW/87120 352-3864 (h)
 Eric Voccio
 1004 Tessa Dr. NW/87120 839-7531 (h)

Council District: 1
County District: 1
Police Beat: 139/WS/Z-C
Zone Map #: H-J-9
Community Id Dist.: Westside

S.R. MARMON N.A. (R)

*Deaun Lewis *e-mail: dcaun@spinn.net*
 6400 Sunny Day Ct. NW/87120 352-7249 (h) 797-7970 (w)
 Russell Kappelman *e-mail: russally@highstream.net*
 6824 Puerto Ave. NW/87120 352-0251 (h)
 Website: <http://www.srmna.org> Hotline: 342-5715 E-mail: srmna@hotmail.com

Council District: 1
County District: 1
Police Beat: 137/WS/Z-C
Zone Map #: H-J-10-11
Community Id Dist.: Westside



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

August 14, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

The reference project has a long history. The preliminary plat was first approved on June 26, 2002, along with the site plan for the subdivision.

Afterward, infrastructure plans were completed and the owner elected to build improvements instead of trying to financially guarantee them, so the final plat was never applied for.

The owner then agreed to have a third party purchase a portion of the project and change the zoning on that part to residential. That effort failed because in the end City Council denied the change. The buyer appealed, but the appeal has been withdrawn.

During the processing of the change, the previous preliminary plat was withdrawn to accommodate the change. This new application attempts to resurrect the previously approved preliminary plat. All items are the same, except Tract 16 has been moved from Unit II to Unit I. Also, all the previously granted vacations are being reapplied for since they expired. Ouray Road along the north boundary of the site was vacated by the neighboring Westridge Subdivision to the north.

The site plan for the Subdivision was deferred to October to allow for the previously mentioned residential changes, but I will request that it be moved to coincide with the hearing date of this request.

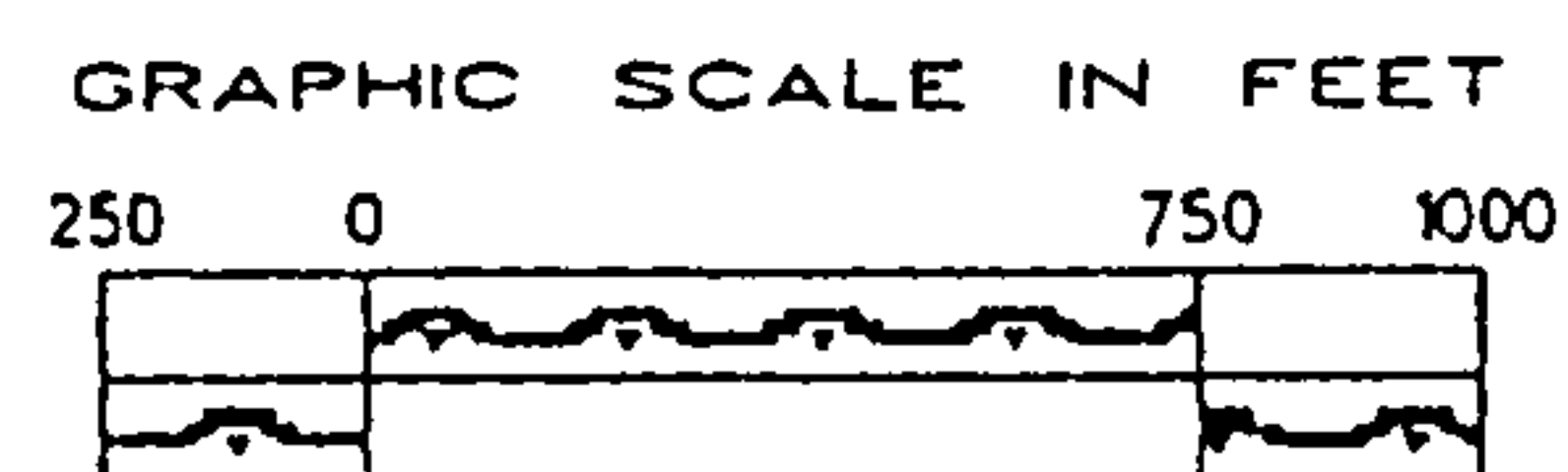
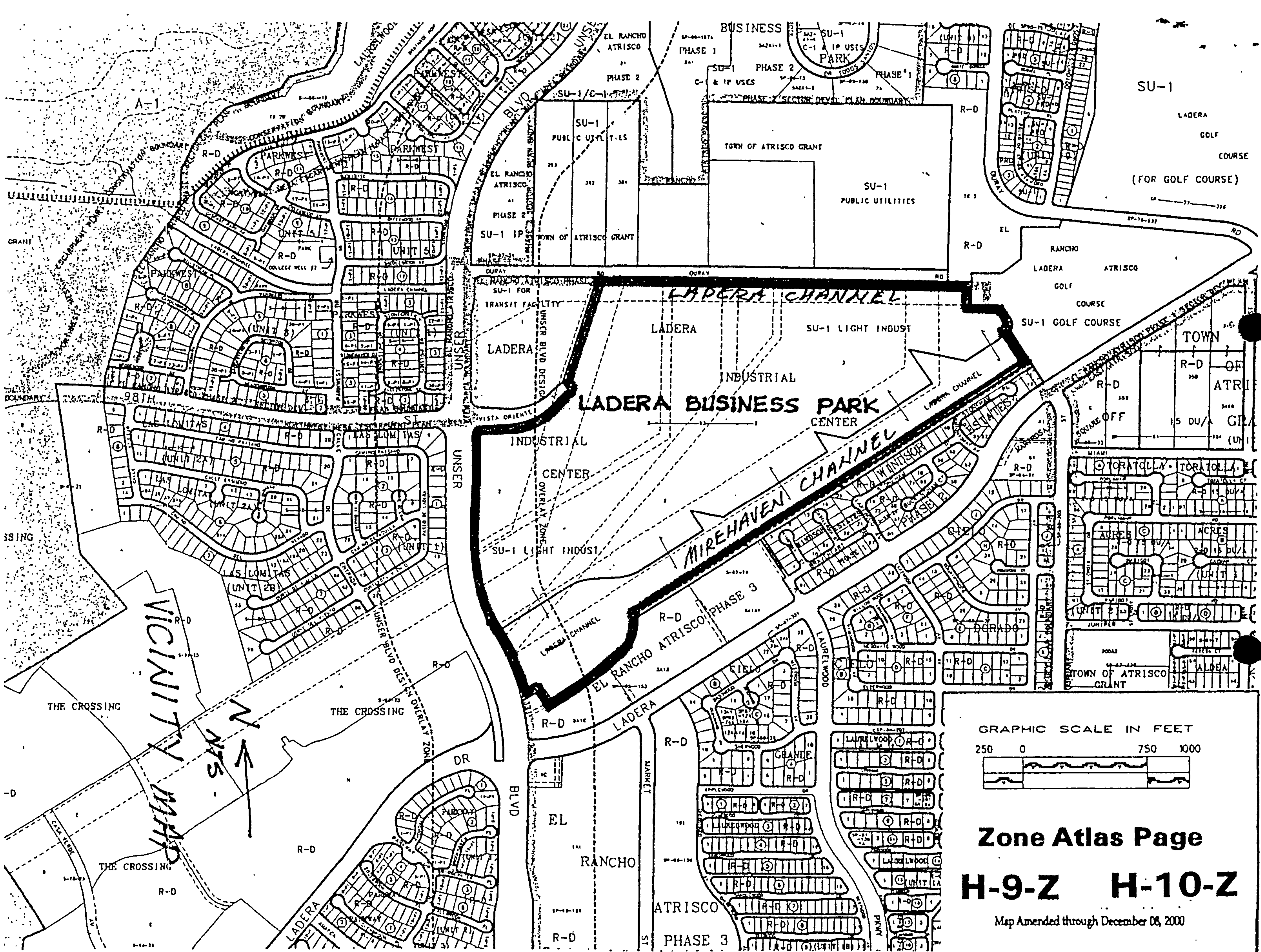
Please contact me if I can be of further assistance.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie, PE
Vice President

JMM/bg

enclosures



Zone Atlas Page
H-9-Z H-10-Z

Map Amended through December 08, 2000

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S-3.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form 465
565 + (15 x 31) + (380 / (95 x 4)) = \$1410.7
- Fee (see schedule) 565 + 15p + 951
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT
(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John MacKenzie Applicant name (print)
John MacKenzie 8.14.03 Applicant signature / date



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 01360
03DRB - 01361
03DRB - 01362

JAA 8/15/03 Planner signature / date
 Project # 1001523



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 10, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000610
03DRB-01359 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for DOS PIEDRAS, LLC, request(s) the above action(s) for all or a portion of Tract(s) 33-a-1-C-1, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-2 for C-2, located on 57th Street NW, between Ouray Rd NW and Miami Rd NW, containing approximately 3 acre(s). [REF: 02DRB-01101, DRB-98-3, DRB-94-87, DRB-94-185, Z-94-53 (H-11)]

Project # 1001106
03DRB-01358 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA, agent(s) for WESTCOR PROPERTIES, LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-34, **ST. JOSEPH'S PLACE ADDITION**, zoned R-2, located on West Court Pl NW, between Avalon Rd NW and Central Ave NW, containing approximately 4 acre(s). (K-11)

Project # 1000621
03DRB-01353 Major-Vacation of Public Easements

BOHANNAN HUSTON, INC. agent(s) for JOHN Q. HAMMONS REVOCABLE TRUST, request(s) the above action(s) for all or a portion of Tract(s) C, **GATEWAY SUBDIVISION**, zoned SU-2 special neighborhood zone, C-3, located on WOODWARD PL NE, between INTERSTATE-25 and LOMAS BLVD NE containing approximately 10 acre(s). [REF: DRB-97-466, 00DRB-00849 SK] (J-15)

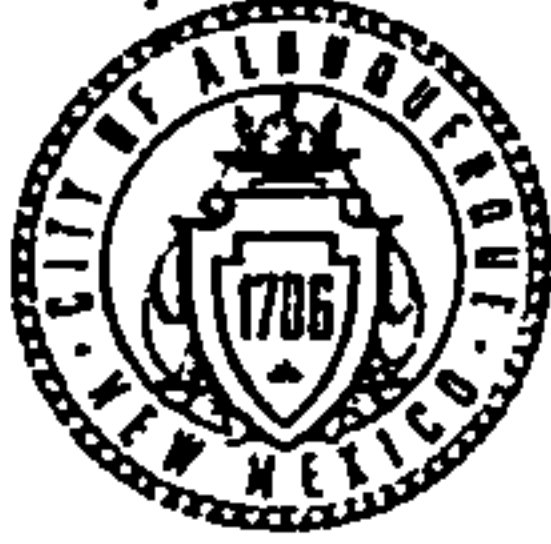
Project # 1001523
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] (H-10)

Project # 1002883
03DRB-01350 Major-Vacation of Public Easements

MOLZEN-CORBIN & ASSOCIATES, agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPT. request(s) the above action(s) for all or a portion of Lot(s) A-1, Block(s) 11, Unit(s) A, **KNOB HEIGHTS**, zoned R-3 residential zone, located on the west side of WELLESLEY DR SE; between ANDERSON AVE SE and ROSS AVE SE [REF:ZA-79-261, ZA-88-15](L-16)

SEE PAGE 2



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1002885

03DRB-01355 Major-Vacation of Pub Right-of-Way

03DRB-01354 Minor-Sketch Plat or Plan

03DRB-01356 Major-Vacation of Public Easements

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC, request(s) the above action(s) for all or a portion of Lot(s) 10-24, Block(s) 18 and Lot(s) 7-10 and 12-15, Block(s) 20, Unit(s) 3, (NORTH ALBUQUERQUE ACRES, TRACT 3, OCOTILLO SUBDIVISION, zoned RD, 4 DU/A), located on HOLBROOK ST NE, CARMEL AVE NE and HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE NE, containing approximately 24 acre(s). [REF: 02EPC-01353] (C-21)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 25, 2003.



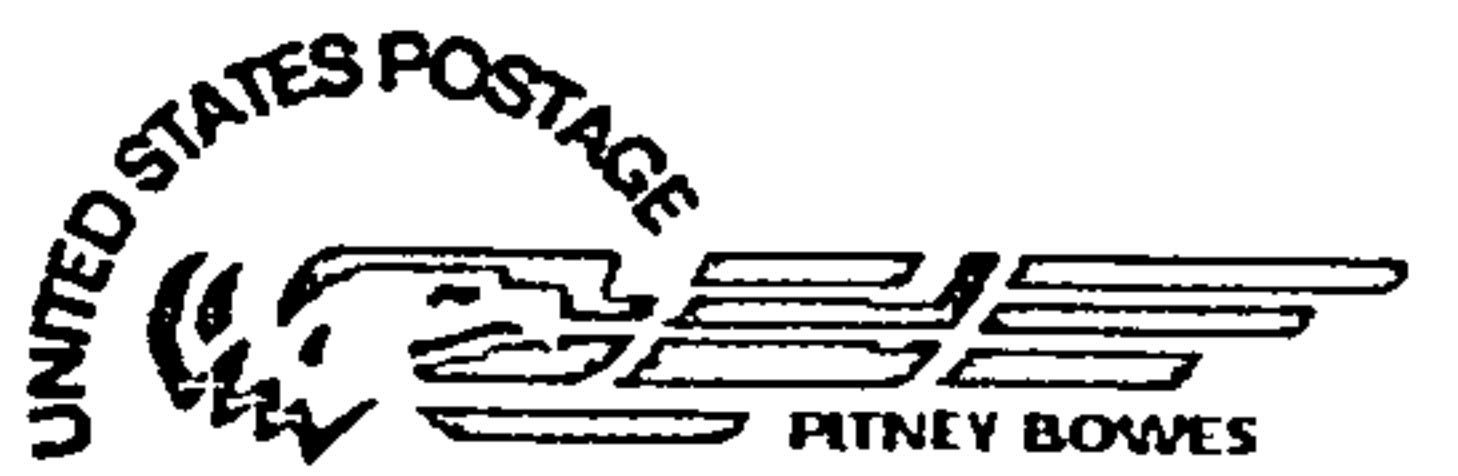
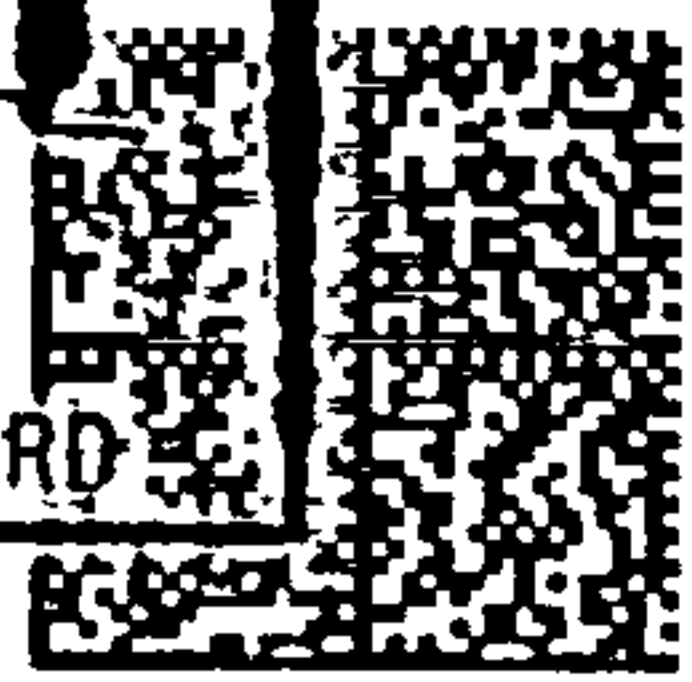
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN
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PRESLEY COMPANIES (THE)
1909 CARLISLE BL NE
ALBUQUERQUE NM 87110

DRB

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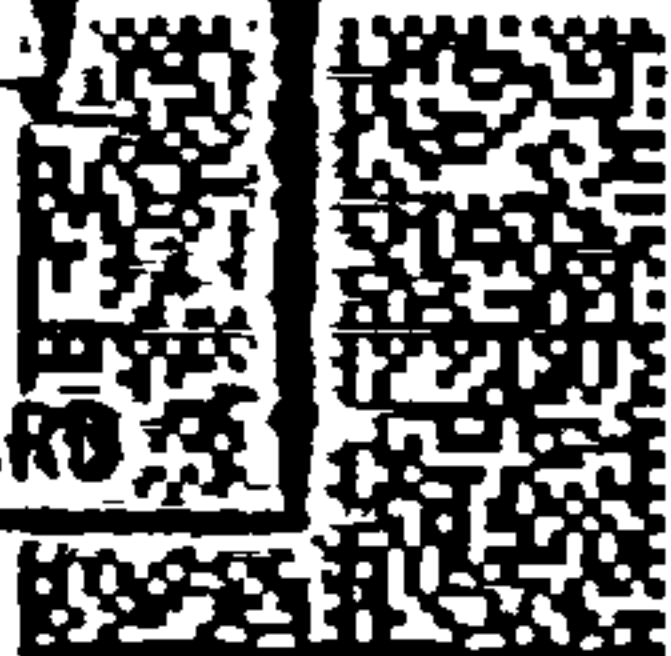
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



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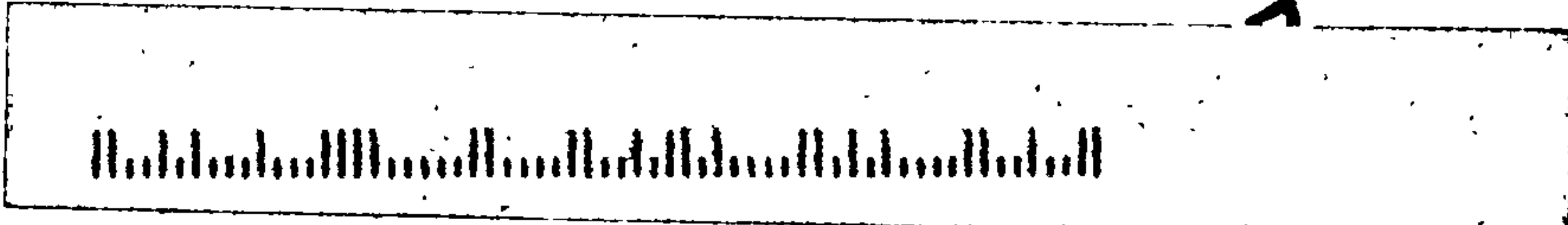


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BERNIER CLINTON DWAIN & SUSAN
7616 LAKEWOOD AV NW
ALBUQUERQUE NM 87120

8712919391293





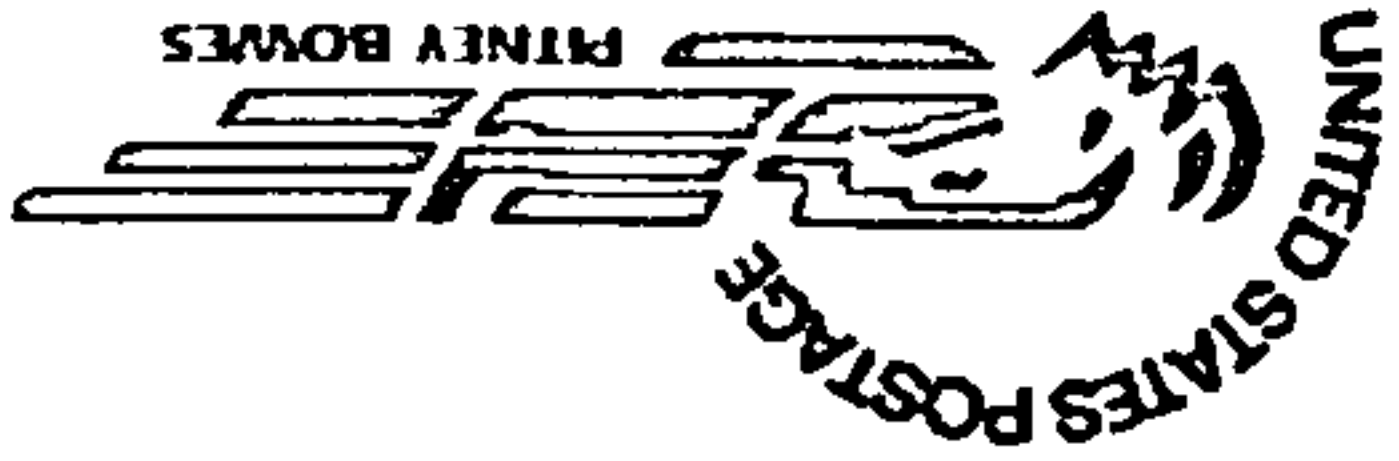
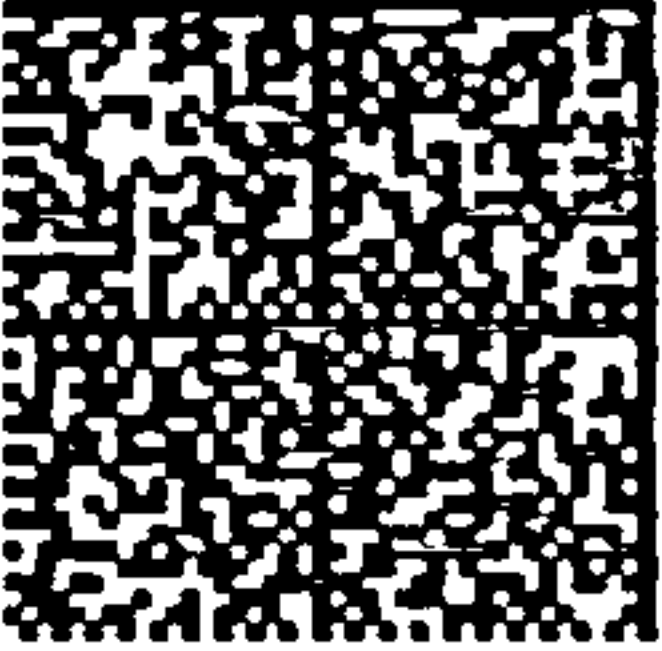
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DRB

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ALBUQUERQUE NM 87197~~

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VACANT~~

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PLANNING DEPARTMENT

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

City of Albuquerque





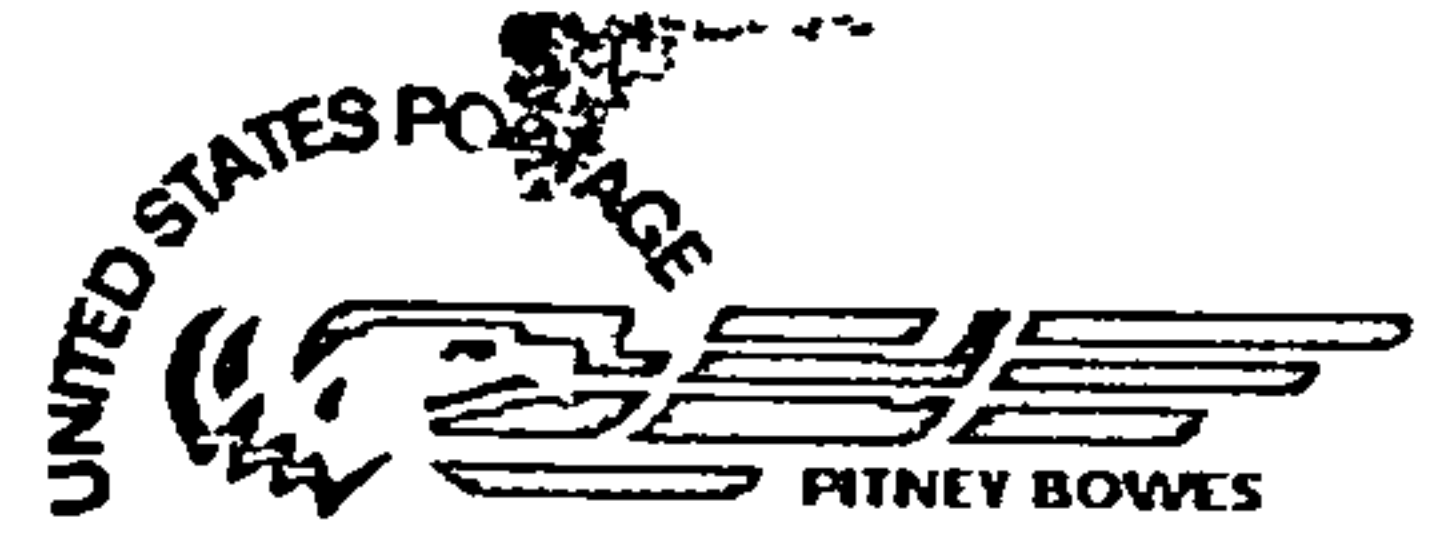
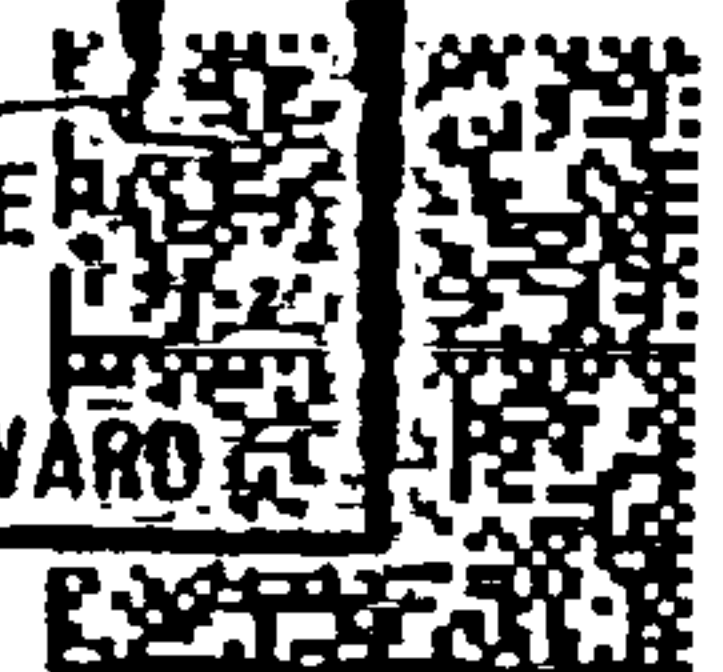
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

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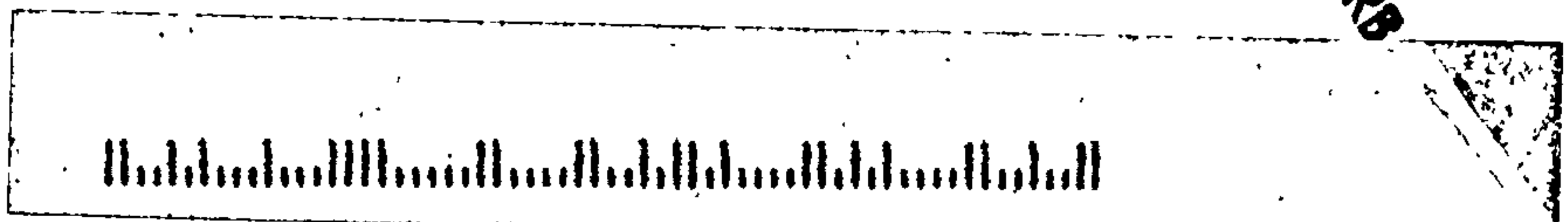


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KLEIN RICHARD N & JUDITH A
2115 STONEHAM PL NE
ALBUQUERQUE NM 87120

871201031233



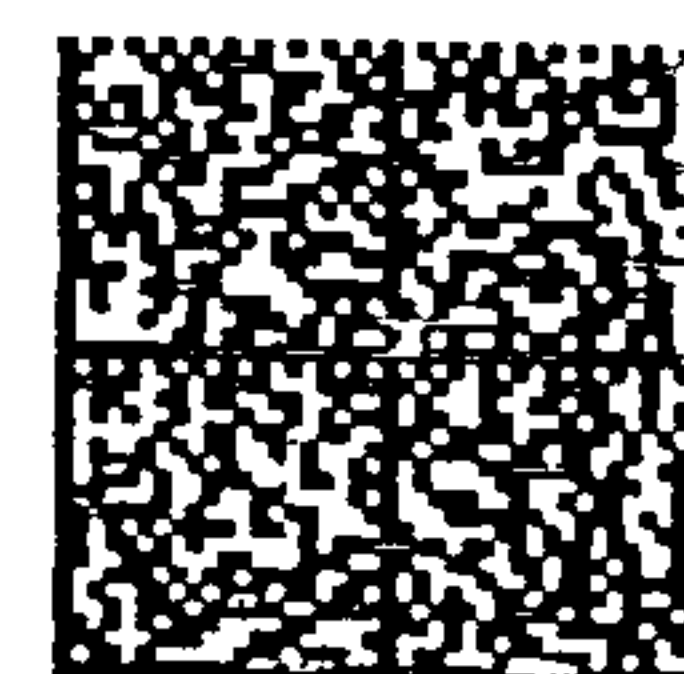


City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT

Handwritten signature



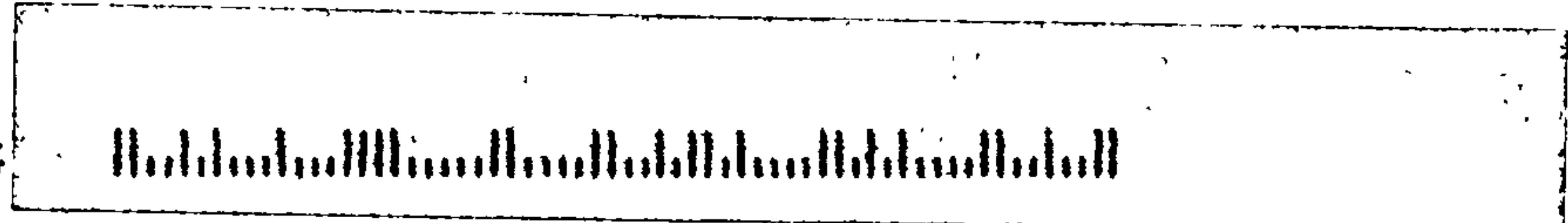
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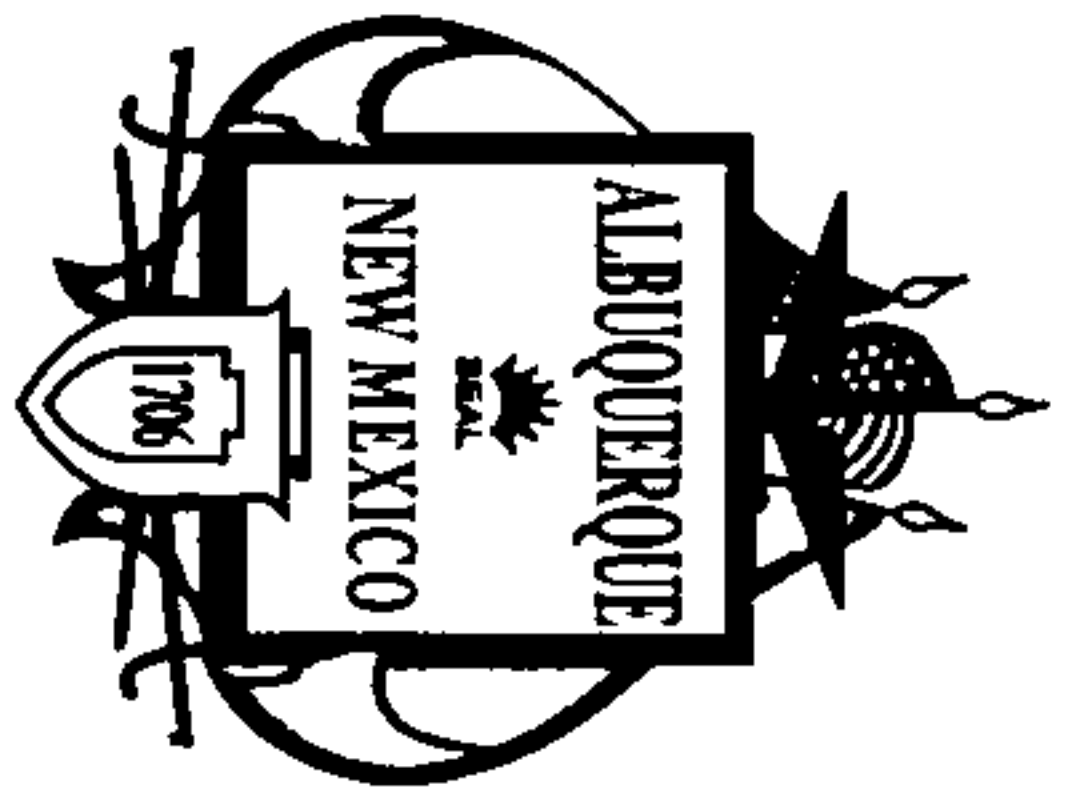
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BOULIER STEPHEN N & HEATHER M
2112 PASEO DE LADERA NW
ALBUQUERQUE NM 87120

DRB

87 1293 01293





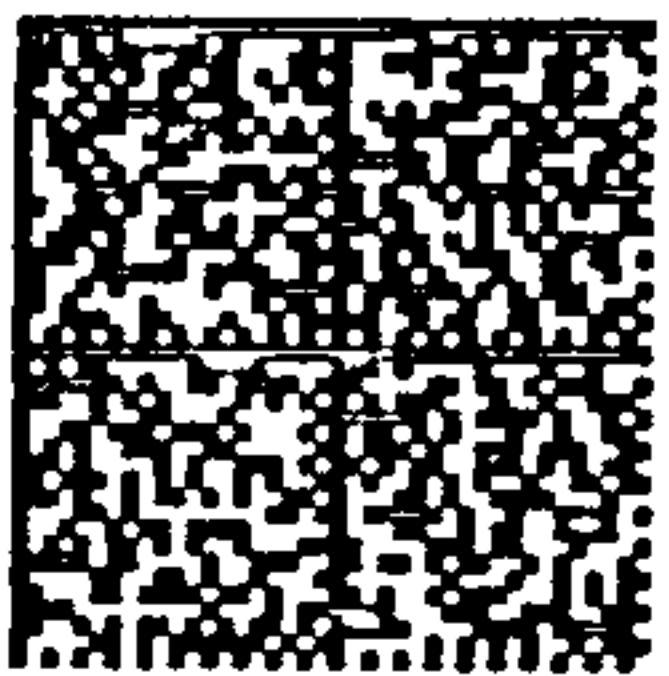
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT

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TACKMAN ALEX L & GRACIELA E
2120 PASEO DE LADERA NW
ALBUQUERQUE NM 87120

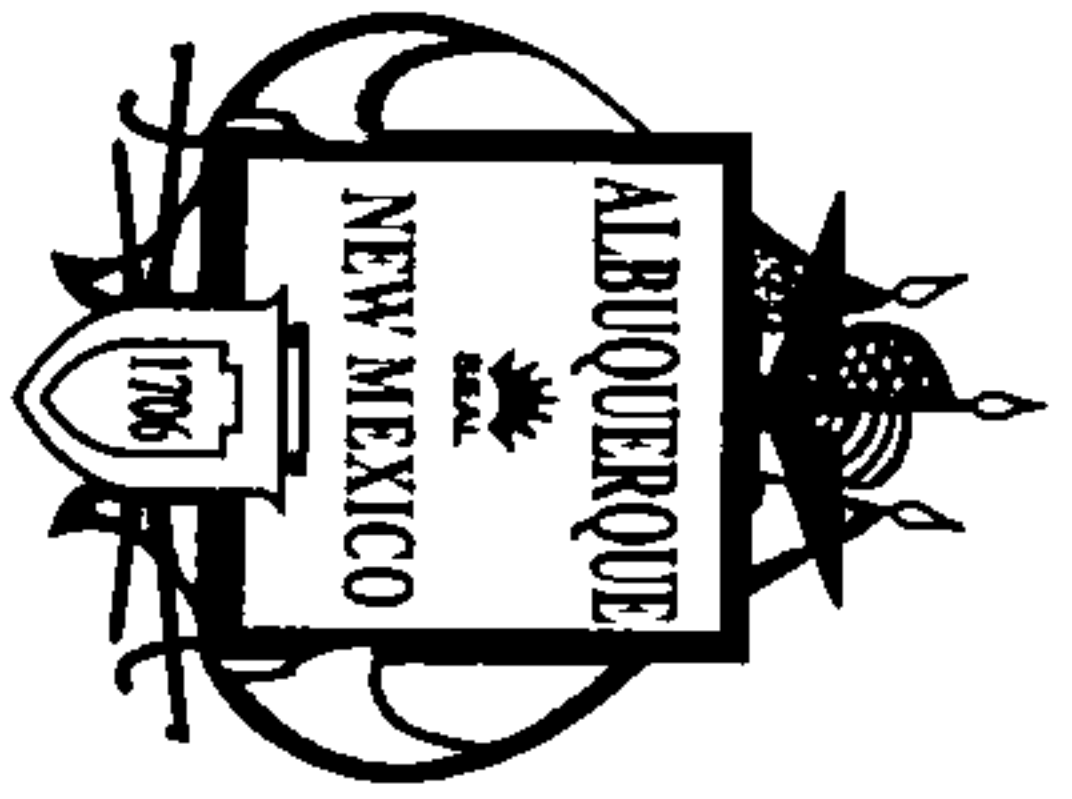


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PO BOX 93236
ALBUQUERQUE NM 87199-3236
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City of Albuquerque

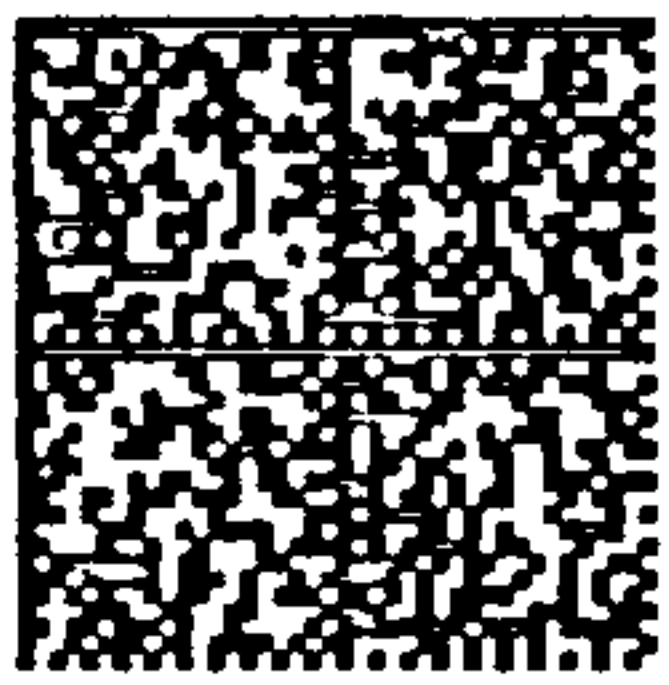
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT

101005923229430352

ACOSTA RUBEN & ANA M
2320 STONEHAM
ALBUQUERQUE

PL NW
NM 87120

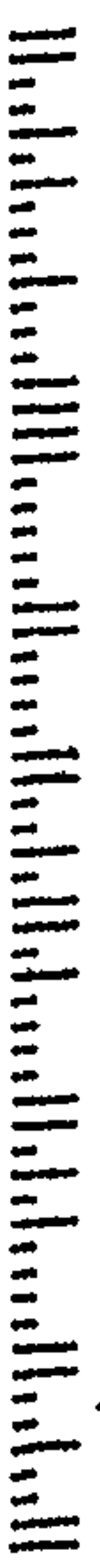


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MAILED FROM ZIP CODE 87102

ACOSTA RUBEN & ANA M
2320 STONEHAM
ALBUQUERQUE NM 87120
FORWARD TIME EXP RTN TO SEND 08/28/03
ACOSTA RICHARD
4370 W RIAL GRANDE DR
MARIICOPA AZ 85239-1779

DEFINITION TO RETURN

87120441





Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): BENJAMIN D. GAMMIE PHONE: (602) 272-2000
 ADDRESS: 22425 NORTH 16TH STREET FAX: (623) 298-2000
 CITY: PHOENIX STATE AZ ZIP 85024 E-MAIL: b.gammie@act-az.com

APPLICANT: ANNIE DURAN PHONE: (505) 998-0459
 ADDRESS: 1900 ATRISCA ROAD NW FAX: (505) 998-0463
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: aduran@hwest.net
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SKETCH PLAN/PLAN REVIEW FOR PROPOSED 140,000 SQUARE FOOT CHARTER SCHOOL WITH ASSOCIATED SITE INFRASTRUCTURE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 1 Block: N/A Unit: UNIT 2
 Subdiv/Addn/TBKA: LADERA BUSINESS PARK
 Existing Zoning: SU-1 Proposed zoning: SU-1 MRGCD Map No _____
 Zone Atlas page(s): H-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
SITE PLAN FOR SUBDIVISION DRB No. 1001523 ; SUBDIVISION CONSTRUCTION PLAN No. 693282

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 5.2172
 LOCATION OF PROPERTY BY STREETS: On or Near: VISTA ORIENTE STREET NW
 Between: UNSER BOULEVARD NW and LA MARADA PLACE NW
 Check if project was previously reviewed by: Sketch Plan/Plan or Pre-application Review Team(PRT) Review Date: 10/18/11

SIGNATURE [Signature] DATE 10/24/11
 (Print Name) BENJAMIN D. GAMMIE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>11DRB - 70304</u>	<u>SK</u>		<u>\$</u>
<input checked="" type="checkbox"/> All checklists are complete				<u>\$</u>
<input checked="" type="checkbox"/> All fees have been collected				<u>\$</u>
<input checked="" type="checkbox"/> All case #s are assigned				<u>\$</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus				<u>\$</u>
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$</u>
				Total
				<u>\$</u>

Hearing date NOV. 2 2011

[Signature] 10-25-11
 Staff signature & Date

Project # 1001523

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

~~KENT TRAUERNICHT~~
 Applicant name (print)
~~[Signature]~~ 10/25/11
 Applicant signature / date

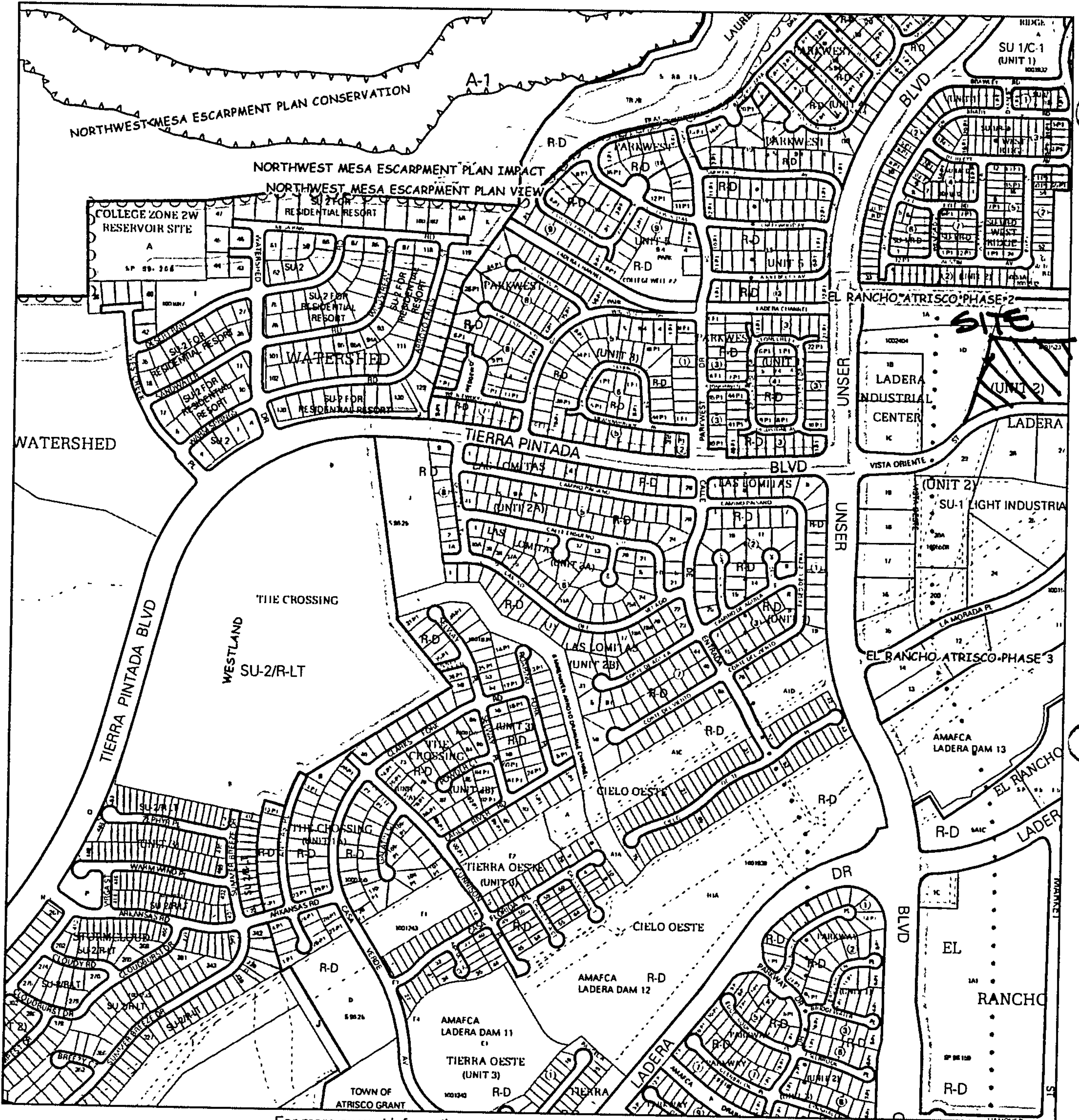


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 11DRB - _____ - 20304

Project # 1001523
 [Signature] 10-25-11
 Planner signature / date



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/5/2009

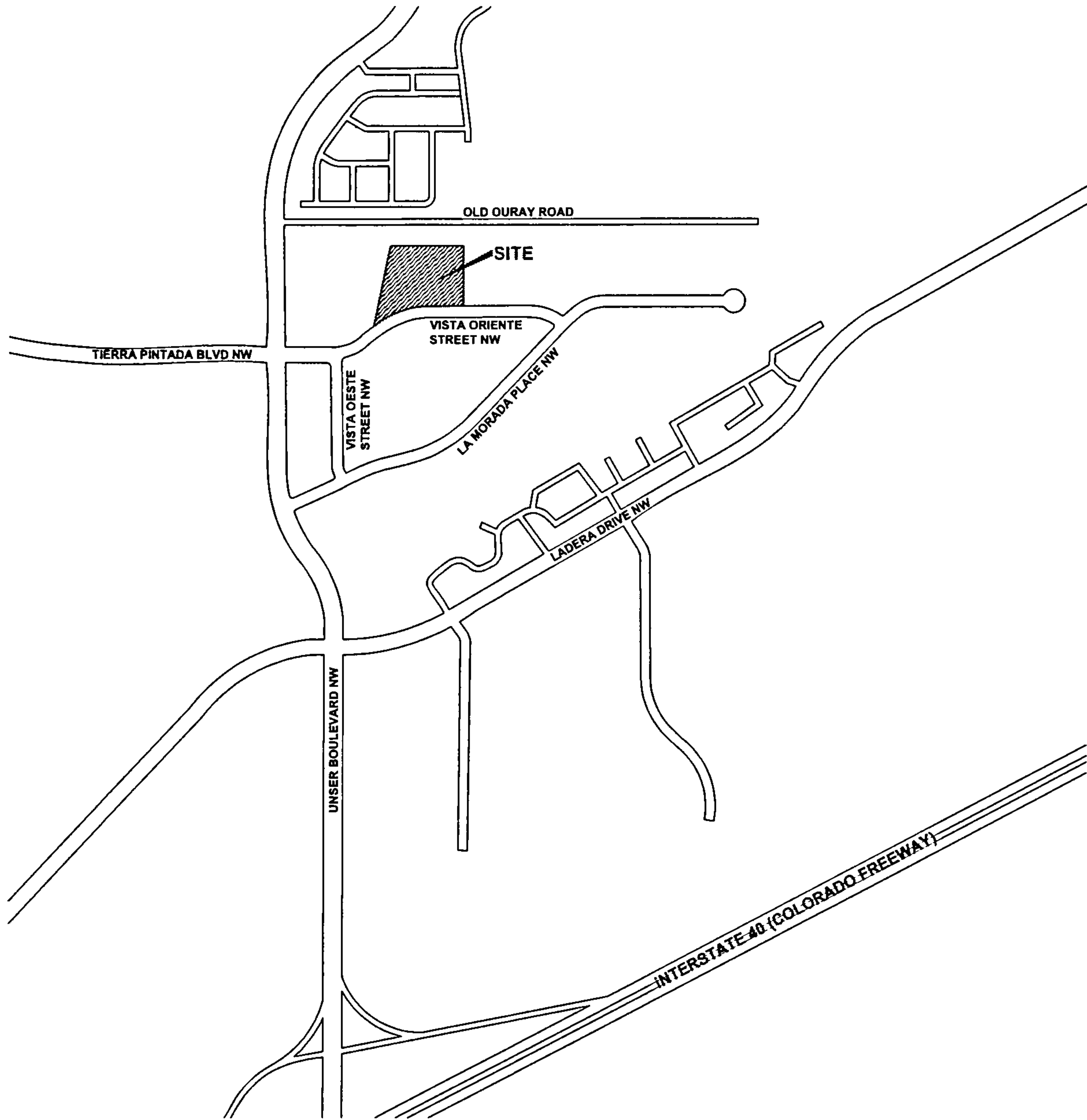
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



1 **VACINITY MAP**
SCALE: N.T.S.



**VACINITY
MAP**

**HORIZON
CHARTER SCHOOL**



22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-2000
FAX: 623-298-2000
www.act-az.com

This document, the ideas and designs incorporated herein as an instrument of service is the property of Accelerated Construction Technologies, Inc. and is not to be used in whole or in part without written authorization of Accelerated Construction Technologies, Inc. Accelerated Construction Technologies, Inc. retains all common law, statutory and other reserved rights, including the copyright thereto

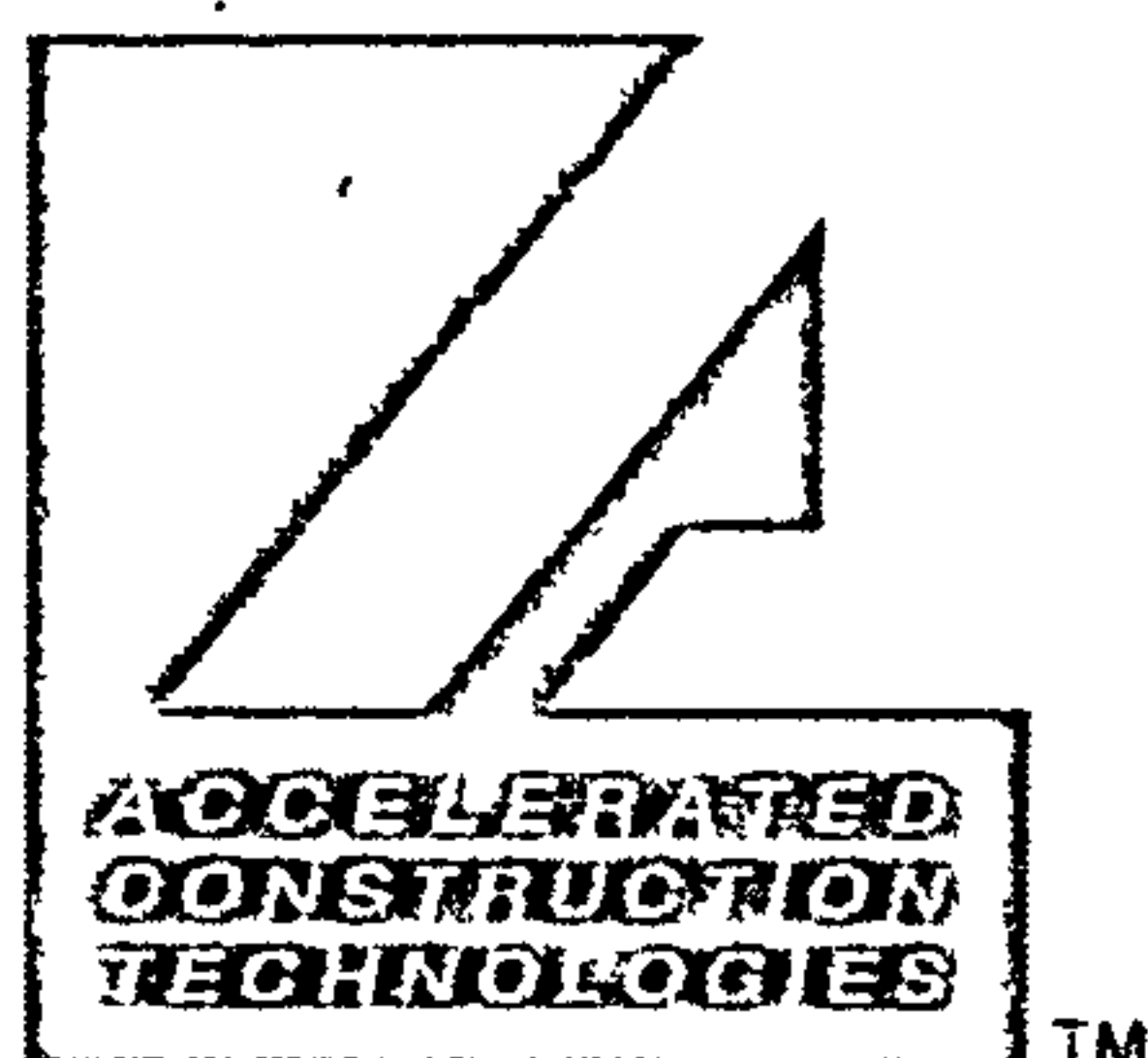
NOT FOR CONSTRUCTION

DATE: 10/14/11

SCALE: AS NOTED

DRAWN BY: BDG

CONTACT: BDG



P: 602 | 272 | 2000
F: 623 | 298 | 2000
www.act-az.com

October 24, 2011

Development Review Board
City of Albuquerque, Planning Department
Plaza del Sol Building, 600 2nd Street NW
Albuquerque, New Mexico 87102

Re: Horizon Academy West
Sketch Plat/Plan Review Submittal

Development Review Board:

Please accept this letter and the attached information as our formal Sketch Plat/Plan submittal for review and comment. Accelerated Construction Technologies, Inc. is working with Horizon Academy West in a design-build capacity for a proposed ±40,000-square foot charter school facility and associated private site infrastructure improvements to be situated on Tract 1 (5.22 acres) in Unit 2 of the Ladera Business Park. . It is our understanding at this time that no off-site, public improvements will be necessary to serve this development. The school will host upwards of 500 students from pre-kindergarten through 6th grade. This facility will replace the school's current location at 1900 Atrisco Road NW, behind the Wal*Mart Supercenter.

We have met with City staff during a Pre-Application Review Team Meeting on October 18th and were advised to come before you via the Sketch Plat/Plan process. Below is a list of questions pertaining to the proposed development:

PLANNING

1. During our pre-application meeting, we were told that the approved Site Plan for Subdivision allowed our project to proceed directly to DRB, as per General Note No. 2. Please confirm.
2. Will this Site Plan application need to be a public hearing or can it be administrative since a public hearing already took place for the Site Plan for Subdivision application?
3. Please explain what required sheets need to be submitted as part of the DRB package (Landscape Plan, Building Elevations, etc.).
4. Please briefly explain the review process for private site plan construction documents.

TRANSPORTATION

1. Please identify if fees defined on Sheet 1 of 3 on the Site Plan for Subdivision (attached) must be paid in addition to the standard impact fees assessed by administrator, Tony Loyd. We are currently working with Tony to understand exactly what those standard fees are.
2. Please identify any traffic or pedestrian related concerns that may arise due to the proposed development.
3. Will a traffic impact analysis be required for this project?



P: 602 | 272 | 2000
F: 623 | 298 | 2000
www.act-az.com

DRAINAGE

1. Per our conversations with the design engineer (John MacKenzie at Mark Goodman & Associates) for the subdivision, on-site retention would not be required. All site drainage may be conveyed via the street to the regional drainage facility to the east. We are currently reviewing the drainage report to verify. Please comment.
2. Site grading conditions may limit the ability to convey all stormwater to the street. We would like to discuss options that still meet City drainage policy.

UTILITIES

1. Attached is a preliminary site utility layout for our discussion. The proposed school building will be sprinklered and two private hydrants are proposed to meet Fire Department requirements. Separate metering for irrigation is shown along with the domestic meter. One new wet tap into the 10-inch water line in Vista Oriente is proposed. Waste water service will utilize the existing stub. Please comment.
2. What is the process for securing an easement to contain water meters?

PARKS & RECREATION

1. Note the 1.0-acre open space to the west of the school building that will serve as play space for the students.
2. Please identify any other concerns regarding parks and recreation.

Thank you for your favorable consideration on the above project. We look forward to an informal discussion with you regarding development potential as well as any concerns not questioned above. Should you have any questions prior to our meeting on Wednesday, November 2nd, please do not hesitate to contact me at (602) 272-2000 or via e-mail at b.gammie@act-az.com.

Sincerely,

ACCELERATED CONSTRUCTION TECHNOLOGIES, INC.

A handwritten signature in black ink, appearing to read 'Benjamin D. Gammie', written over a horizontal line.

Benjamin D. Gammie, P.E.
Engineering Manager

Enclosures:

1. Development / Plan Review Application (1)
2. Site Vicinity Map (1)
3. Preliminary Site Plan, 24"x36" (6)
4. Preliminary Utility Site Plan, color 24"x36" (6)
5. Plat for Ladera Business Park, Unit 2 Project No. 693282, 11"x17" (6)
6. ALTA Land Title Survey for Tract 1 of Ladera Business park, Unit 2, 11"x17" (6)
7. Site Plan for Subdivision Project No. 1001523, 11"x17" (6)
8. Pre-application Review Team Meeting Notes (6)

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA # 11- 115

Date: 10/18/11

Time: 1:30

1. AGENCY REPRESENTATIVES PRESENT:

Planning

Carmen Marrone

Others _____

Transportation

Nilo Salgado-Fernandez

Others _____

Code Enforcement

Jonathan Turner

Others _____

Others _____

2. TYPE OF APPLICATION ANTICIPATED/APPROVAL AUTHORITY:

Zone Map Amendment

EPC Approval

City Council Approval

Sector Dev. Plan Amendment

EPC Approval

City Council Approval

Site Dev. Plan for Subdivision

EPC Approval

DRB Approval

Administrative Approval

Site Dev. Plan for Bldg. Permit

EPC Approval

DRB Approval

Administrative Approval

Other _____

3. SUMMARY OF PRT DISCUSSION:

- current zoning: SU-1 - Light Industrial per El Rancho Atrisco Plan - corresponds to IP zone - "school" is a permissive use in the IP zone
- site is within the Ladera Business Park which contains design guidelines that must be complied with - Project # 1001523 - approved Jan. 2004
- site plan for bldg. permit is delegated to DRB
- student drop-off must occur on-site
- TIS is not required - need to consult w/ Tony Loyd re: traffic impact fees
- school will serve K-6; parking for staff + visitors only
- outstanding technical questions can be answered at Sketch Plat Review at DRB

4. SIGN AND DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY

(PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NON-BINDING)

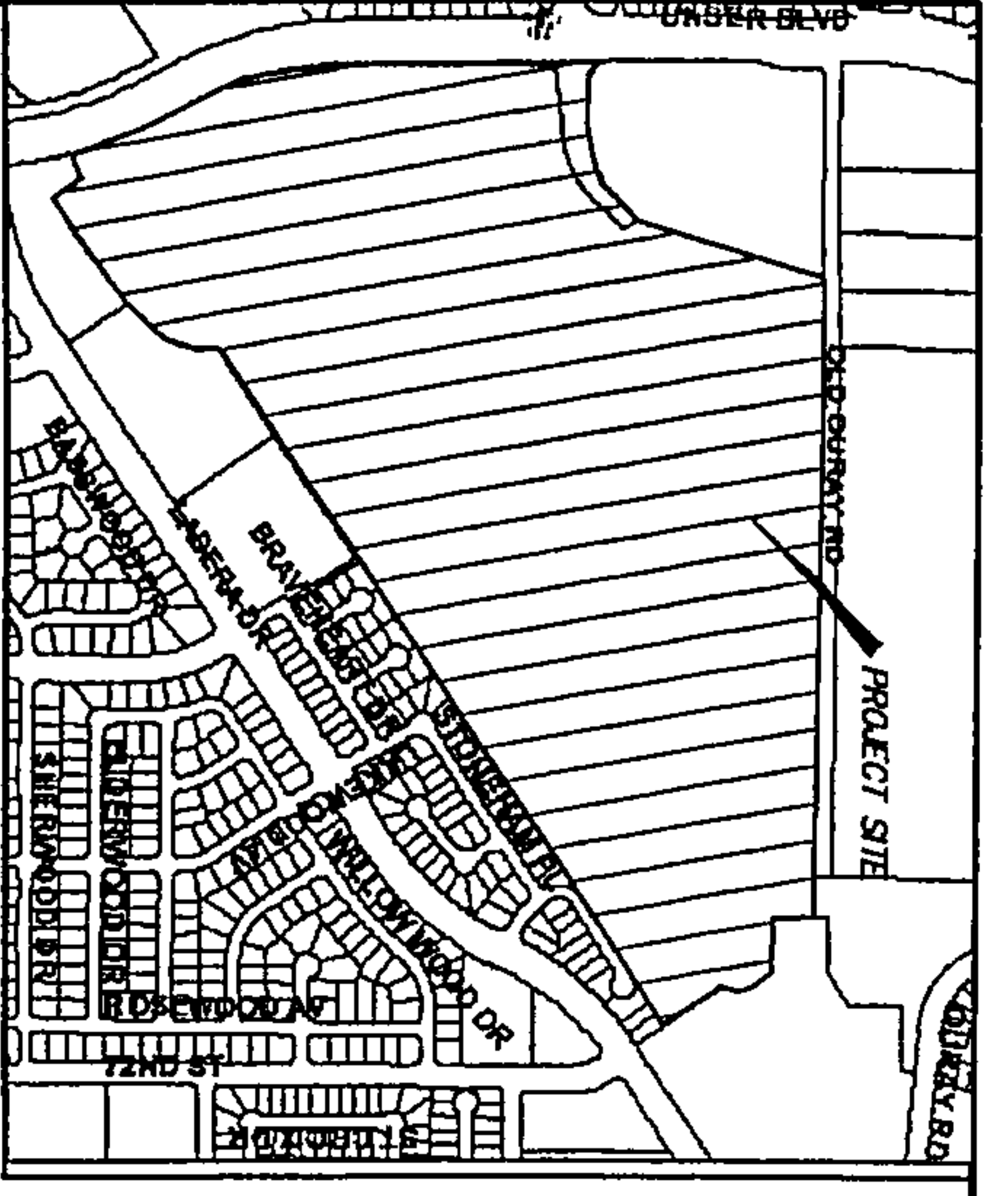
CM Marrone

10/18/11

PRT CHAIR / DATE

[Signature]

APPLICANT OR AGENT / DATE

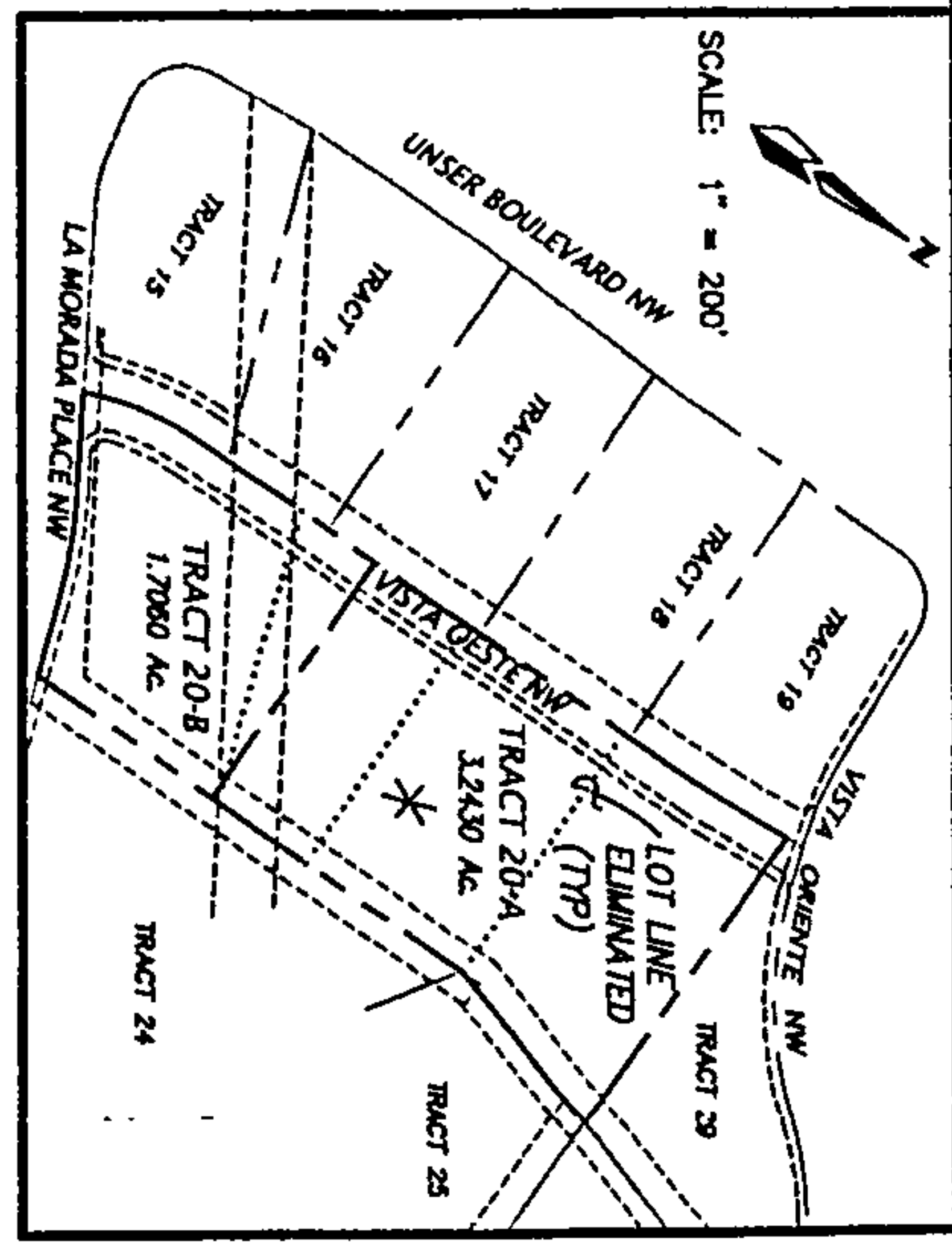
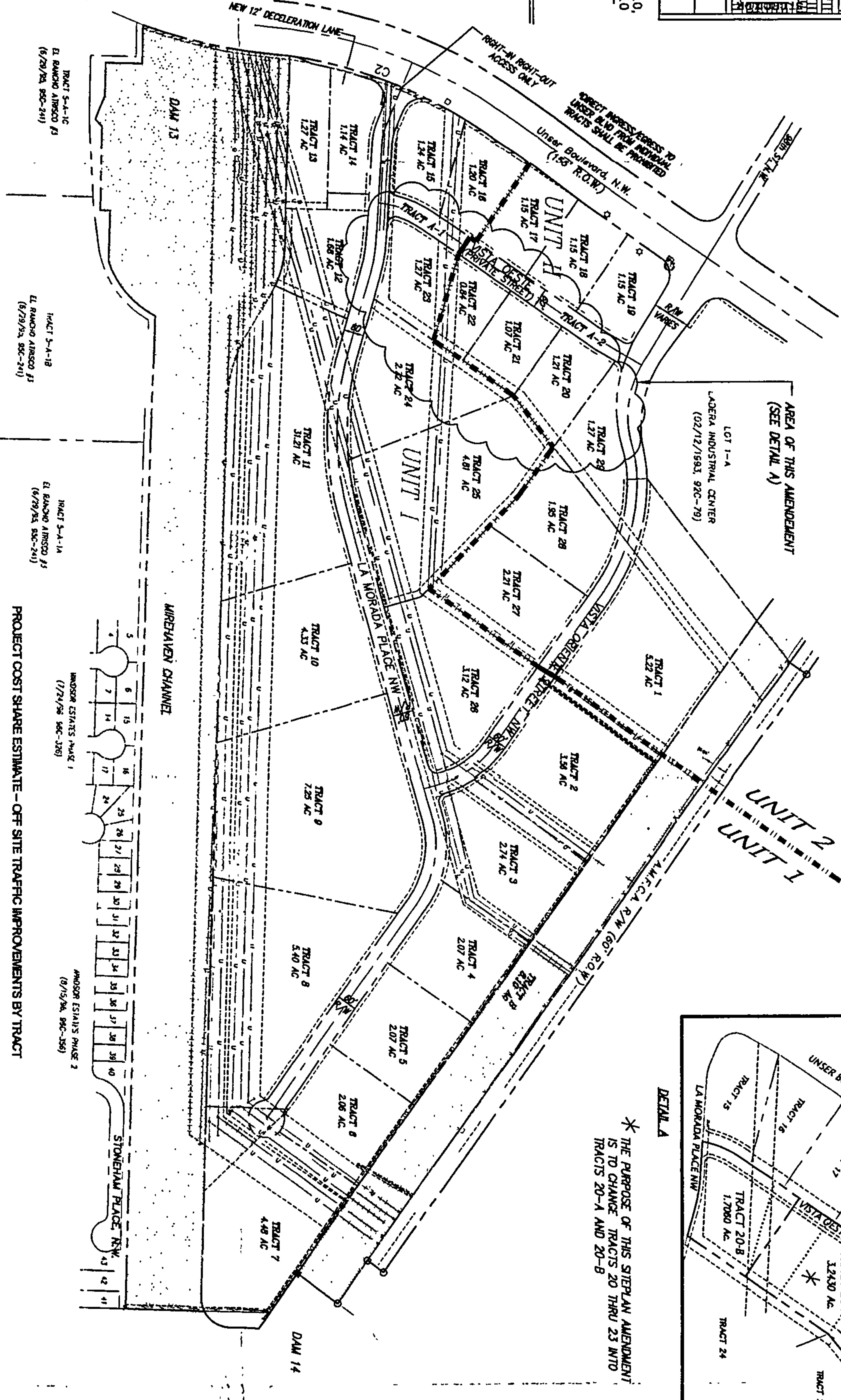


VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER
 UNDER-9th ST PARTNERSHIP, LLC
 P.O. BOX 90604
 ALBUQUERQUE, NEW MEXICO 87189
 (505) 927-1034

PLANNERS
 CONSERVIS PLANNING
 974 PARK AVE. STE. 200
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 784-8801

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90008
 ALBUQUERQUE, NEW MEXICO 87189
 (505) 828-2200

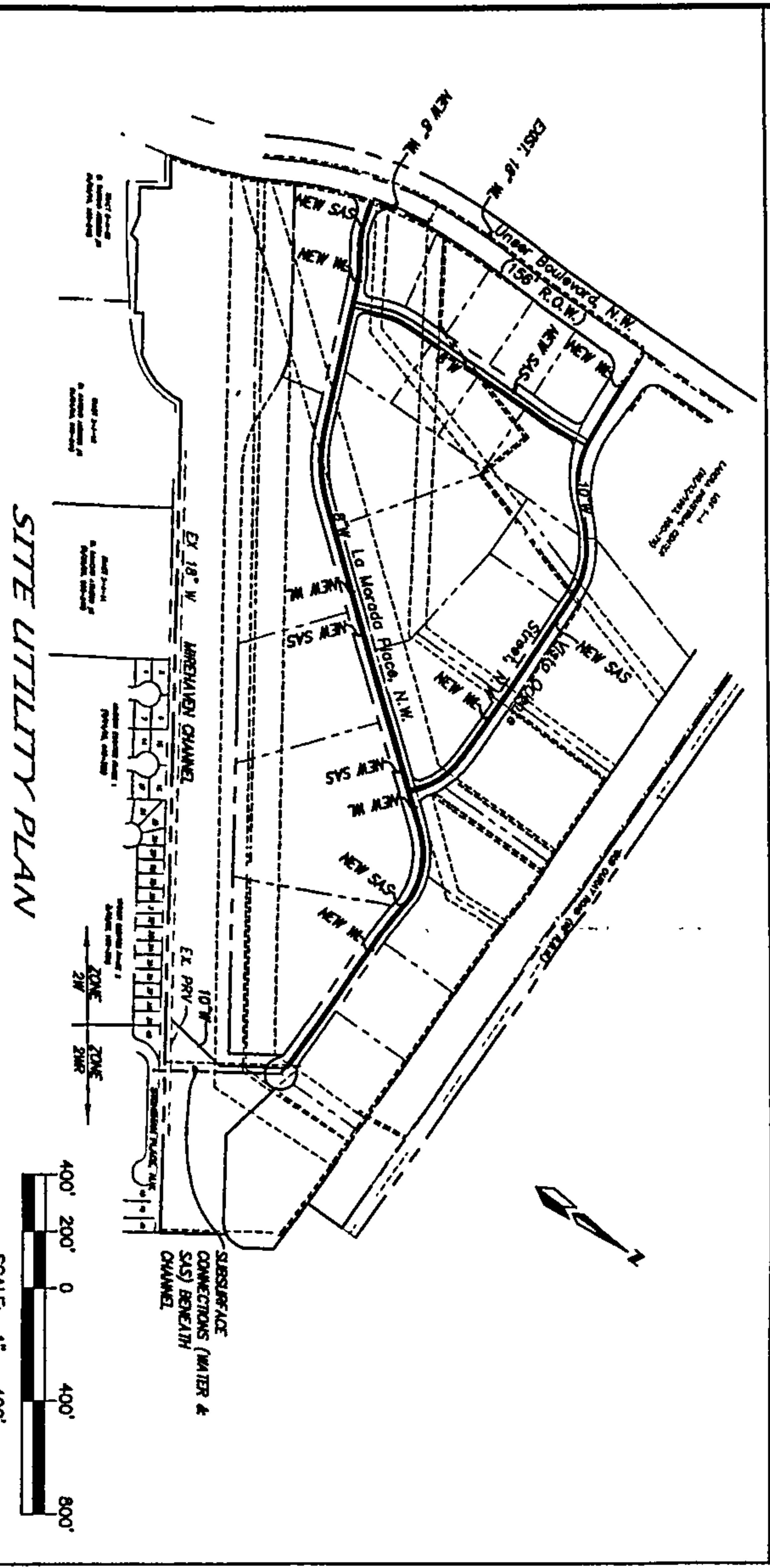


* THE PURPOSE OF THIS SITE PLAN AMENDMENT IS TO CHANGE TRACTS 20 THRU 23 INTO TRACTS 20-A AND 20-B

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	863.75
2	3.58	4.89	2,592.04	17	1.15	1.52	827.10
3	2.74	3.61	1,994.37	18	1.15	1.52	827.10
4	2.07	2.73	1,465.52	19	1.15	1.52	827.10
5	2.07	2.73	1,465.52	20	1.21	1.60	870.83
6	2.08	2.72	1,480.08	21	1.07	1.41	787.25
7	4.48	5.91	3,215.80	22	0.84	1.11	604.00
8	3.40	4.50	2,420.03	23	1.27	1.67	903.72
9	7.25	9.59	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	2.10	2.77	1,503.45
12	1.88	2.50	1,300.58	27	2.21	2.91	1,593.45
13	1.28	1.70	924.05	28	1.85	2.45	1,380.45
14	1.15	1.52	827.10	29	1.27	1.67	903.72
15	1.24	1.63	886.88				
TOTAL	75.85		\$54,414.88				

ADMINISTRATIVE AMENDMENT
 No. 074-028 (Revised 8/20/15)
 Change Tracts 20 thru 23 into
 Tracts 20-A and 20-B (Detail A)
 Attach Cost Share Table at DRS
 Approved by [Signature] 19 MAR 07



ANNUAL FACTORS OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DETERMINED AFTER THE YEAR 2020
 NET OF DRAINAGE EASEMENT
 OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE FINO BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT
 ASSUMED

F:\025823\140695 Ladera Business Park\Drawn\Stations\140695 SITE PLAN ADMIN.DWG

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2 LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEMONSTRATIONS.

PROPOSED USE

THE SITE IS ZONED S-I-1 FOR LIGHT INDUSTRIAL USES.
 PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS
 PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNDER BLVD TRAIL VIA AN INTEGRAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL NETWORK STREETS.
 VEHICULAR ACCESS
 VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DMV GUIDELINES FOR PRIVATE DRIVEWAY ADDRESS ADDRESS.

EXISTING ACCESS
 BROCKE ACCESS
 ONE TRAIL CURRENTLY EXISTS ALONG UNDER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT
 AS THIS SITE DEVELOPS ALONG THE PORTION OF UNDER BLVD, COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING EQUIPMENT OR TRAVEL STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN
 THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS
 MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.
 THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES
 1. IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DECKLE E.V.M.

2. AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001553

Application No.

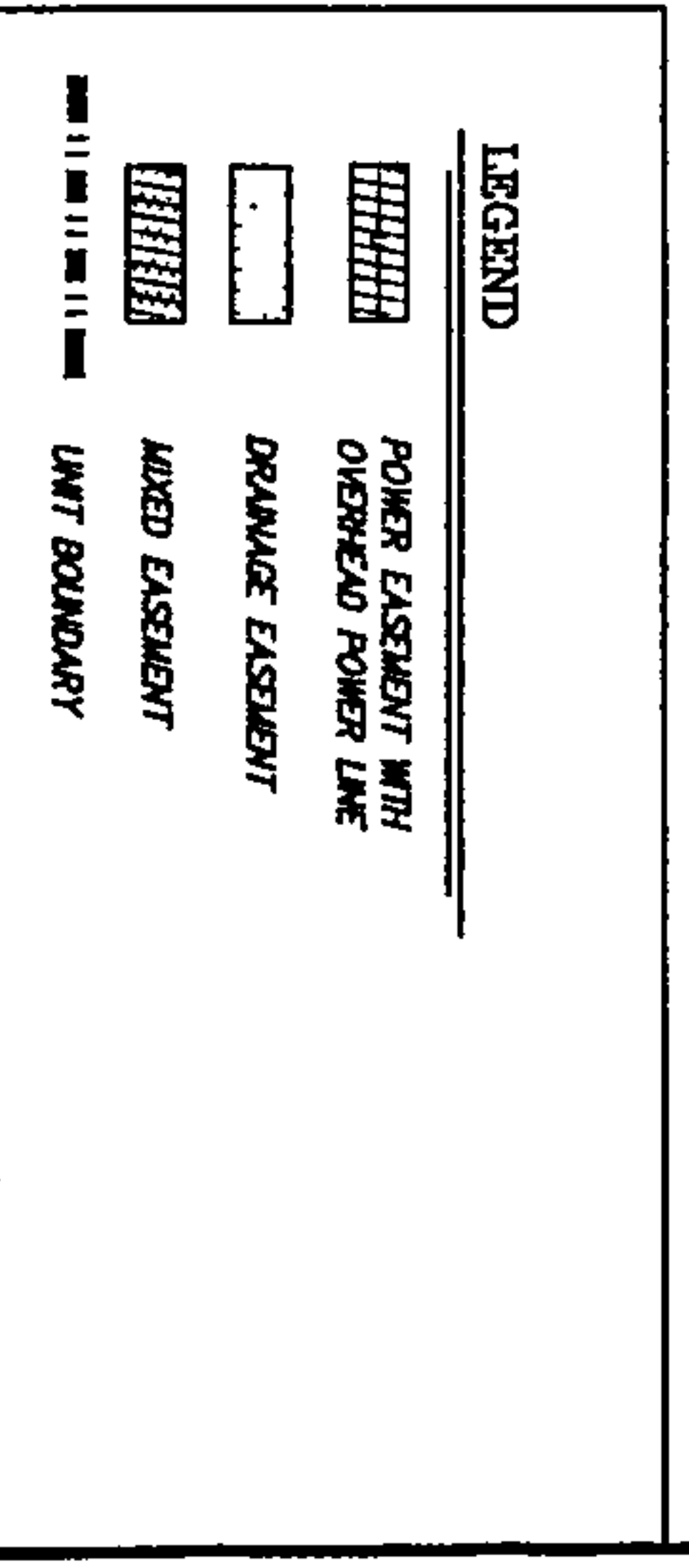
Planning Department/ DRB Chair

City Engineer

Transportation Development

Utility Development

Perks and Recreation



LADERA BUSINESS PARK
AMENDED SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

Design: DMG Drawn: SFS Checked: DMG Sheet 7 of 7
 Scale: 1" = 200' Date: 2/13/07 Job: A06095

ZONING

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS:
PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS:
VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREIN AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS:
A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT:
AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN:
THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

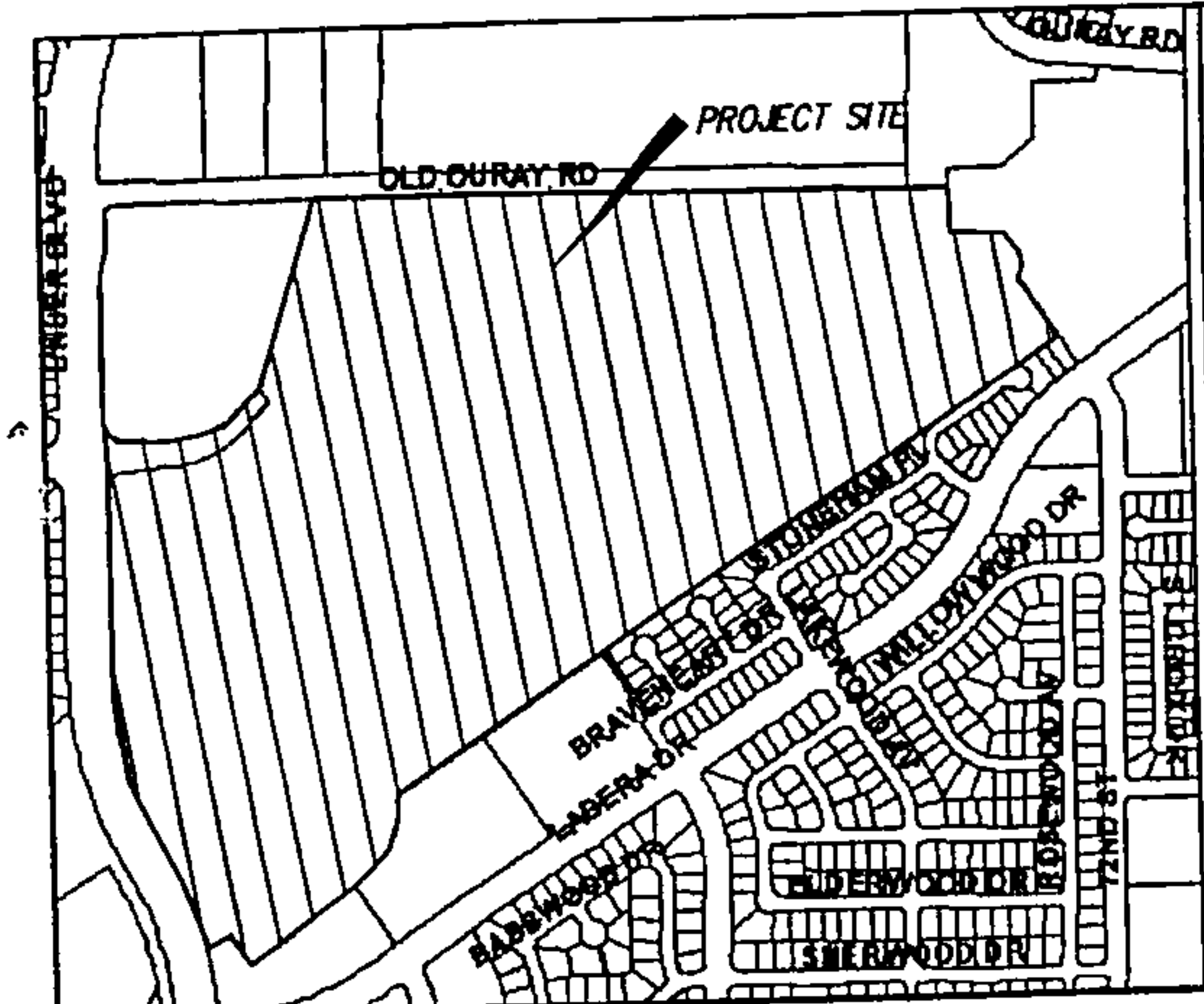
GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001523
 Application No. 03-01458
 Planning Department / DRB Chair
 City Engineer
 Transportation Development
 Utility Development
 Parks and Recreation

[Signatures and Dates]



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

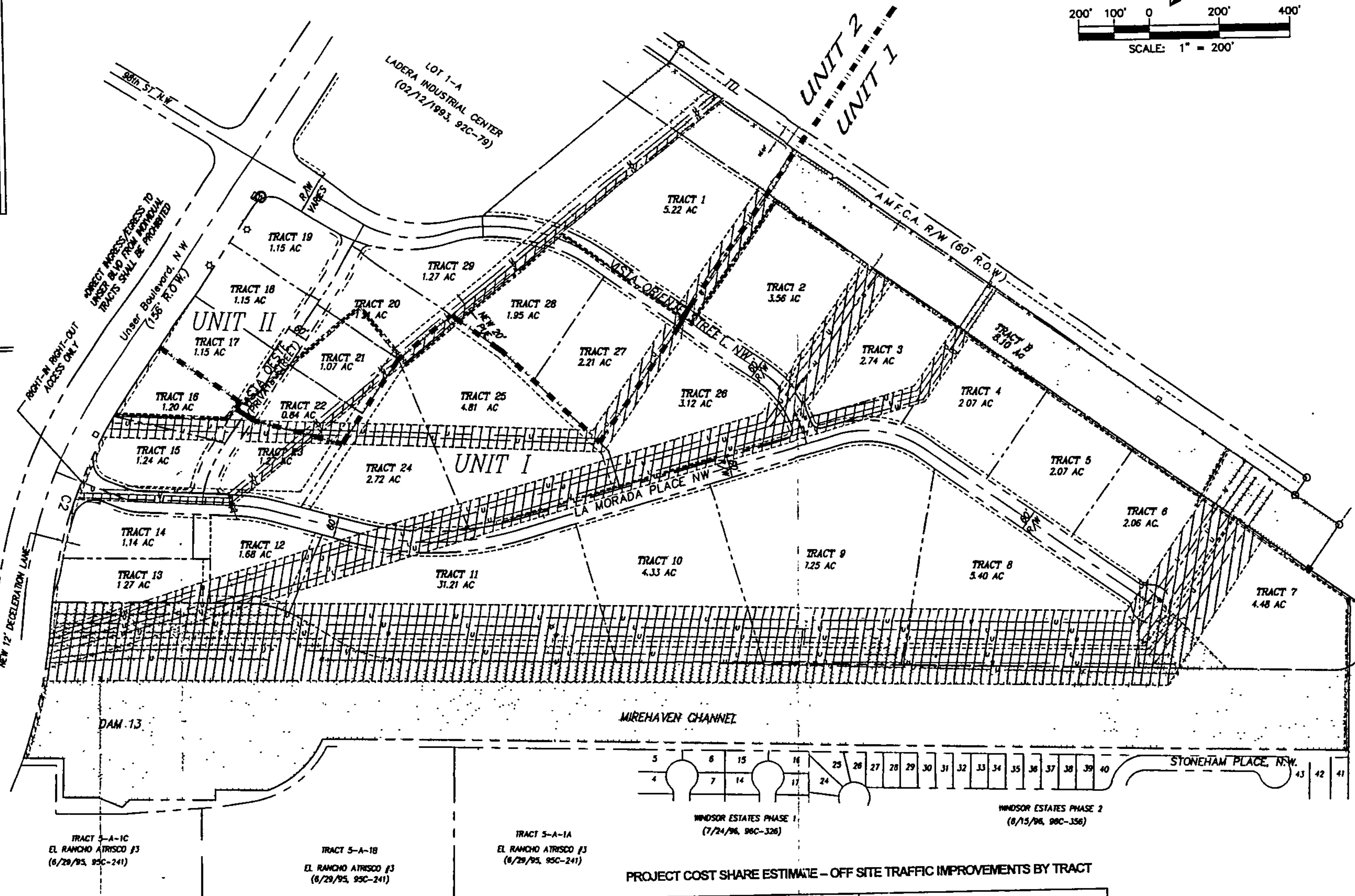
UNSER-98TH ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-9801

ENGINEERS

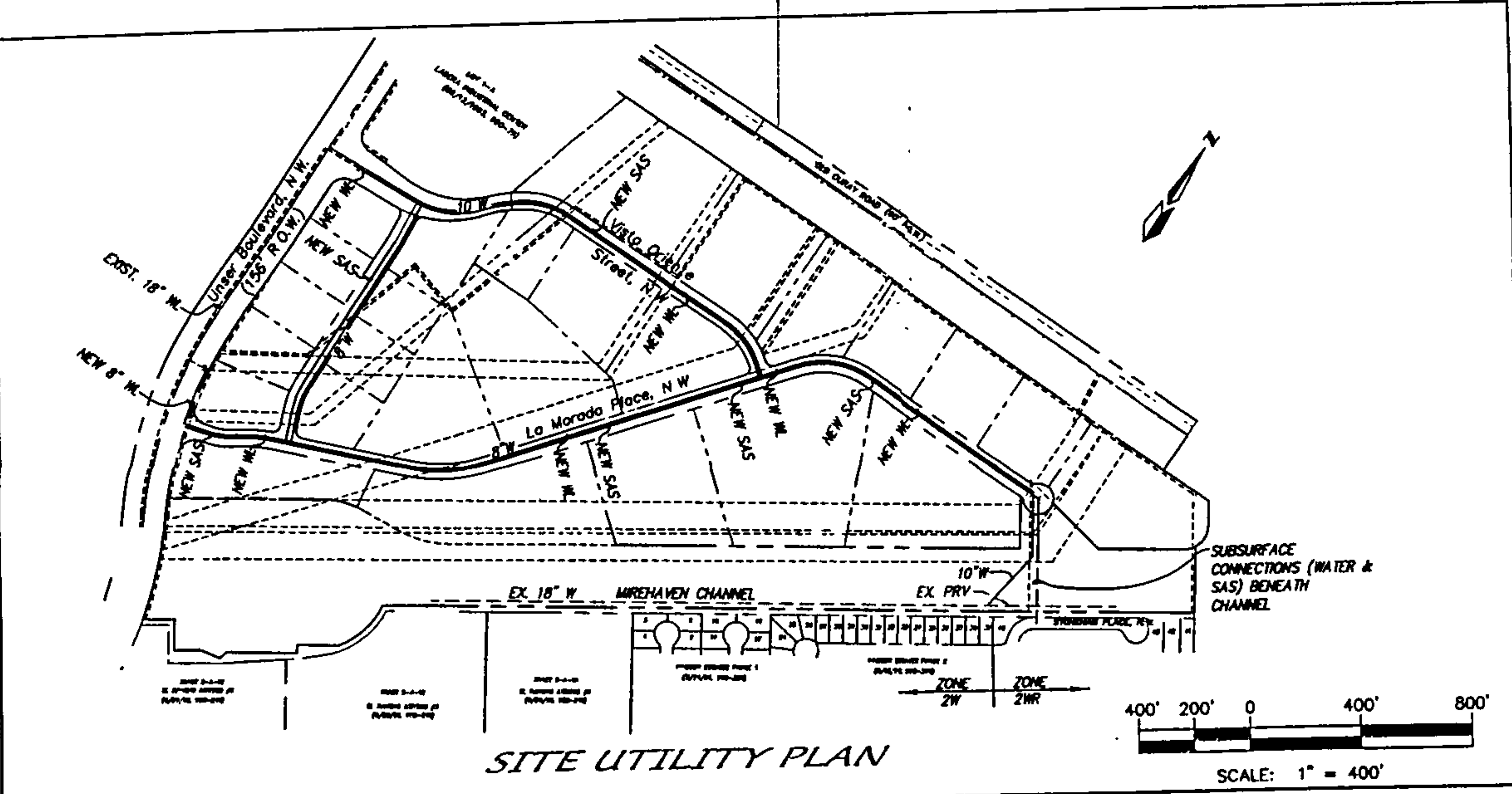
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	18	1.20	1.58	899.75
2	3.58	4.89	2,552.04	17	1.15	1.52	827.10
3	2.74	3.81	1,984.37	18	1.15	1.52	827.10
4	2.07	2.73	1,486.52	19	1.15	1.52	827.10
5	2.07	2.73	1,486.52	20	1.21	1.80	870.63
6	2.08	2.72	1,480.08	21	1.07	1.41	787.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,448.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.88	2.21	1,202.55	27	2.21	2.91	1,583.48
13	1.29	1.70	825.05	28	1.96	2.57	1,388.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	888.98				
				TOTAL	75.85		\$54,414.58

AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002.
 *NET OF DRAINAGE EASEMENT
 OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE.



SITE UTILITY PLAN

SCALE: 1" = 400'

LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: KJS	Checked: DMG	Sheet 1 of 3
Scale: 1" = 200'	Date: 01-03-01	Job: A01130	

A01JOB5A1130BPSITEPLAN11302657B2.dwg, 10/7/03 01:25:29 PM, MARK GOODWIN & ASSOCIATES, P.A.

LADERA BUSINESS PARK DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality commercial and industrial development. These standards address the issues of landscape, site access, pedestrian amenities, screening, lighting, signage, and architectural design that will create the desired character for the Ladera Business Park.

A. Landscape Concept:

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Ladera Business Park. To achieve a orderly unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building practices.

The following are minimum standards for the development of specific site landscape plans:

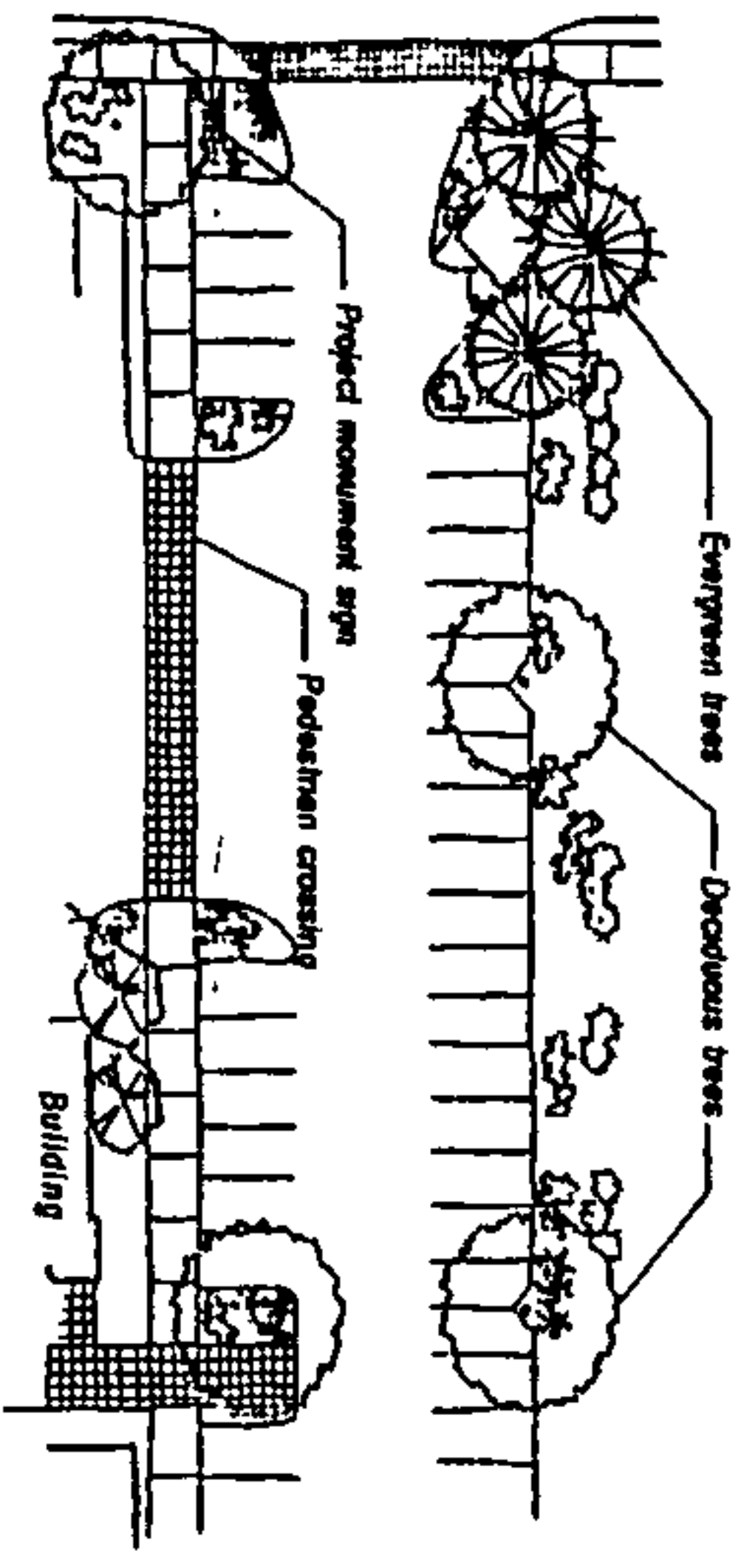
- A mix of evergreen (conifers and deciduous trees) shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees. Parking and outdoor storage areas beneath the existing power lines shall not be permitted to have trees.
A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way
Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.

As a minimum, a 15 foot landscaped buffer is required between industrial/commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height twenty feet tall. The trees shall be spaced at an average of 25 feet on center.

- Appropriate landscape headers shall be used to separate the lot and groundcover areas. Headers shall be either 6" x 6" concrete block (side by side), or 10" x 4" steel construction.

- Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped area.

One tree is required for each twenty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.



Of-street parking areas shall have one tree per every 10 parking spaces.

On-Street parking areas shall have one tree for every ten (10) parking spaces except in those areas beneath the existing power lines (within the easements). In the parking areas within the existing power line easements shall include parking stands planned with shrubs and ground cover for every ten (10) parking spaces.

Mainstem plant sizes at time of installation shall be as follows: Trees shall have a 7" caliper, or be 10 to 12 inch heights, shrubs and groundcovers shall be 2 one gallon containers, and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.

An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which erodes completely under the plant material.

All plant material, including trees, shrubs, groundcovers, turf, mulch, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous like methods.

The landscape treatment at prominent entries and intersections should change in terms of formality, pattern, texture, scale, or form to highlight these areas.

Xenoscapes principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.

B. Streetscape

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of The Ladera Site.

Building Setbacks Buildings shall be located on each site according to the following setback dimensions:

- 35 feet from the User Boulevard R.O.W. and 20' for internal roadways R.O.W
50 feet from the property line of a residential zone
10 feet from internal lot lines

Parade/Circulation

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 20 feet from the User Boulevard R.O.W. line, and 10 feet for internal roadways, and 10 feet from internal lot lines
The maximum allowed parking stall be equal to the required parking plus 10% unless approval by the Planning Director
ADA compliant parking shall be located adjacent to the building entry

For office buildings, pedestrian crossings shall be a minimum width of 6 feet. They should be clearly demarcated with painted paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.

Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent trees spaced approximately 25

feet on center with planters that have a minimum interior dimension of 5 feet square (or equivalent). Truck parking is not permitted on the interior streets within Ladera Business Park.

For office buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade can be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 feet square (or equivalent).

For other buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.

Comment connections shall be provided from each building to the manual circulation system and to adjacent roadways. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas. Sidewalks/Bikeways

To encourage and enhance the pedestrian nature of the Ladera Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on both sides of the street. Two pedestrian connections shall be provided to physically connect the Business Park to User Boulevard, Yaks, and the neighborhoods.

Sidewalks shall be provided along public rights-of-way at a minimum of 6 foot width and shaded by trees planted 25 feet on center.

D. Screening Walls and Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit the adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area, whenever practical. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Ladera Business Park landscape.

The following are standards to ensure effective screening of negative elements:

- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earth berms. Such screening shall have a minimum height of 4 feet. Employees and customer/parking areas shall be screened from adjacent properties. Appropriate signage and highlighted landscaping should be used to direct visitors.
Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade and have a maximum height of 10 feet.

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.

The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include glass if they are located adjacent to public rights-of-way.

Refuse collection areas should not be allowed between the street and building front whenever practical. When security fencing is required, it should be a combination of masonry pilars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. The use of chain-link fencing is not permitted between the building and any street right-of-way. Security fencing shall be compatible with the architectural theme of the building.

Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with masonry solid fencing, and/or shrubs. Outdoor storage shall not be permitted on any lot adjacent to User Boulevard (lots 12-22, 23, the first two rows of lots along User Boulevard).

Barbed wire or concertina wire are not allowed in the Ladera Business Park. Chain link fencing shall not be permitted in the first two rows of lots along User Boulevard (lots 12-23, 29).

Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color.

E. Lighting Standards

In order to enhance the safety, security and visual aesthetics of the Ladera Business Park, careful consideration must be given to lighting design and solutions. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting elements is another site feature which contributes to the overall character of the development. The maximum height for lighting fixtures shall be:

- 16 feet for all walkways and entry plazas
20 feet for street lights and parking area lights (restricted to 15 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.

Exterior elements of any building fronting a street are encouraged to be feature light to enhance the beauty of the building and the appealing ambience of the total community.

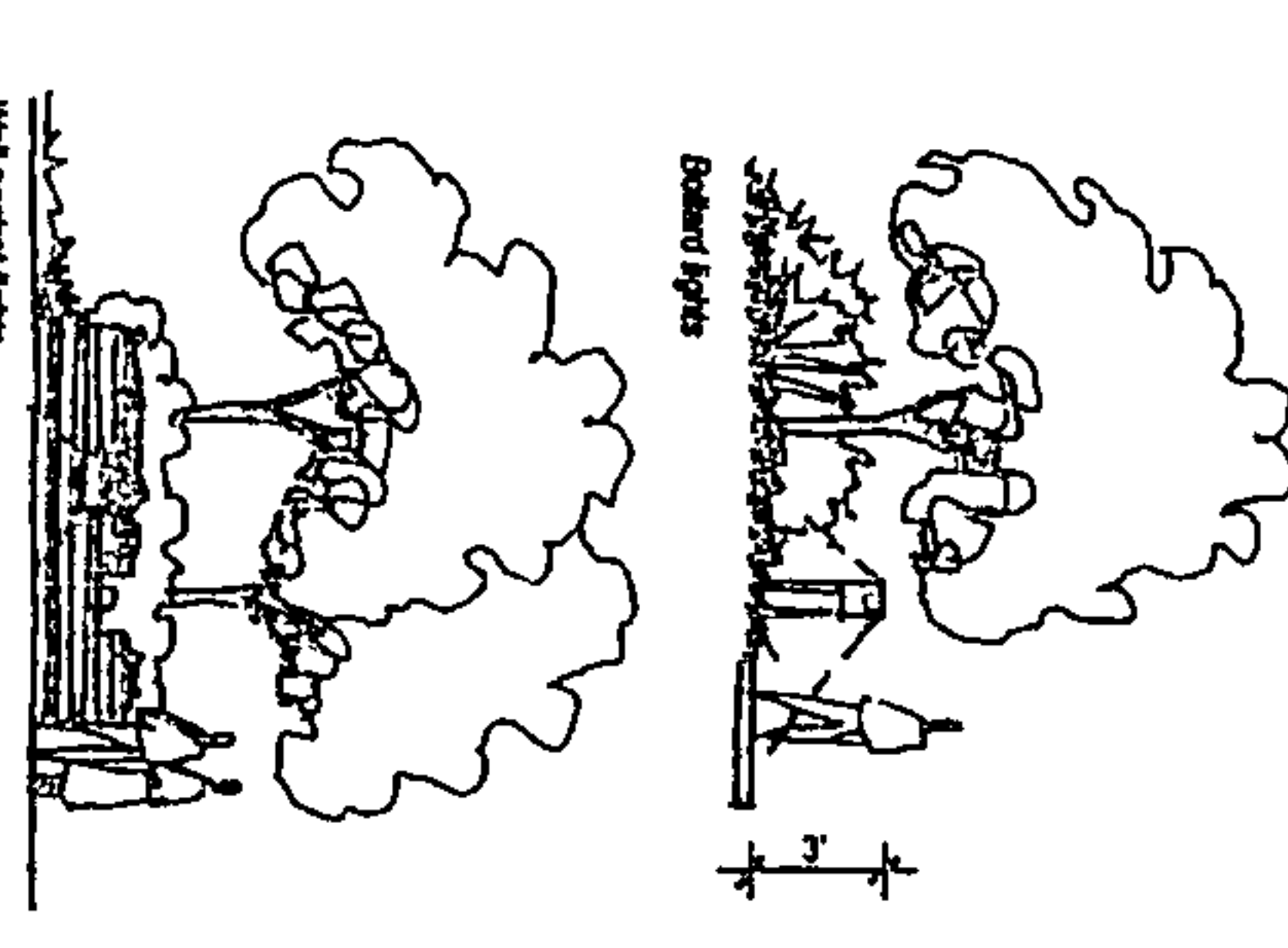
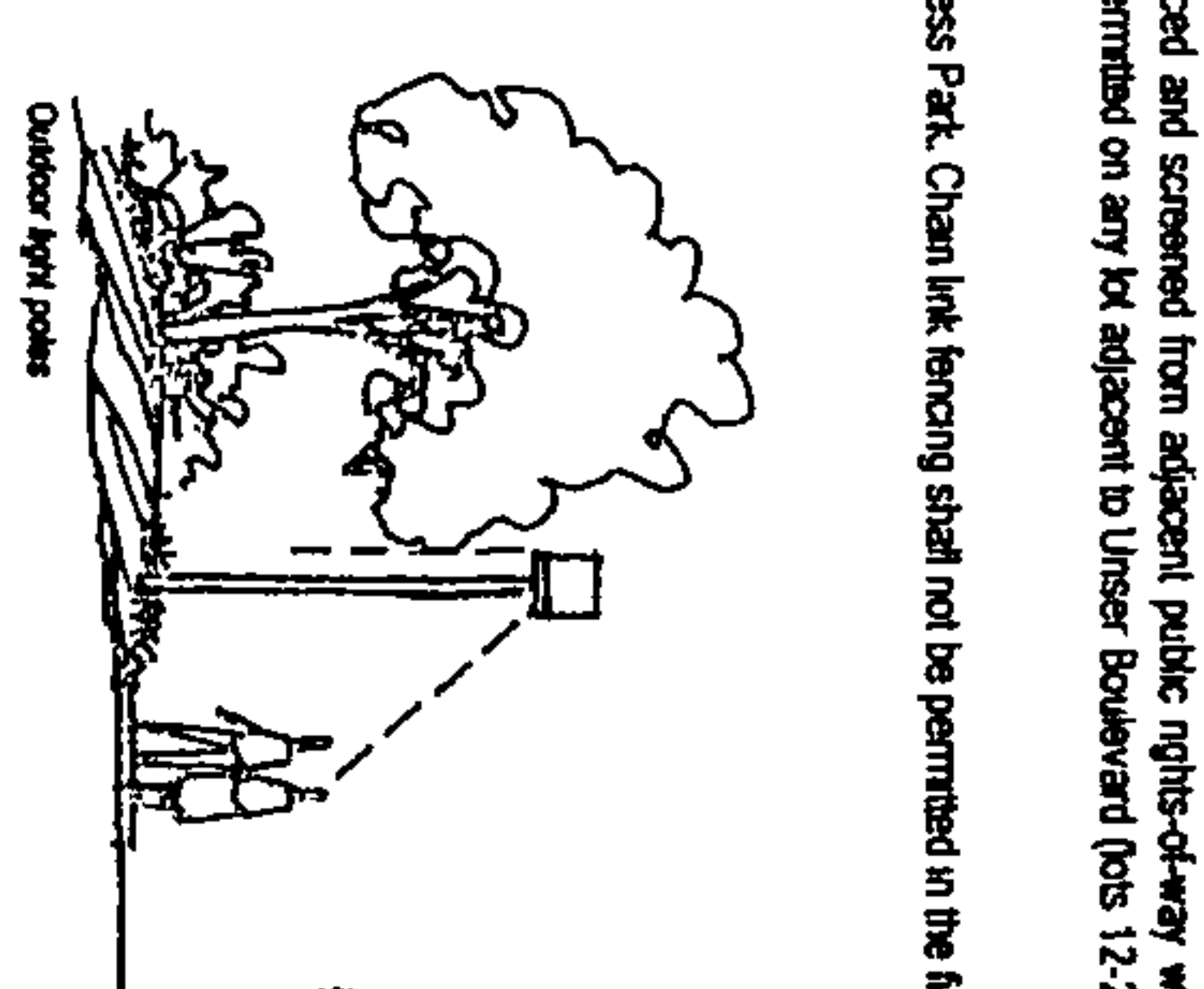
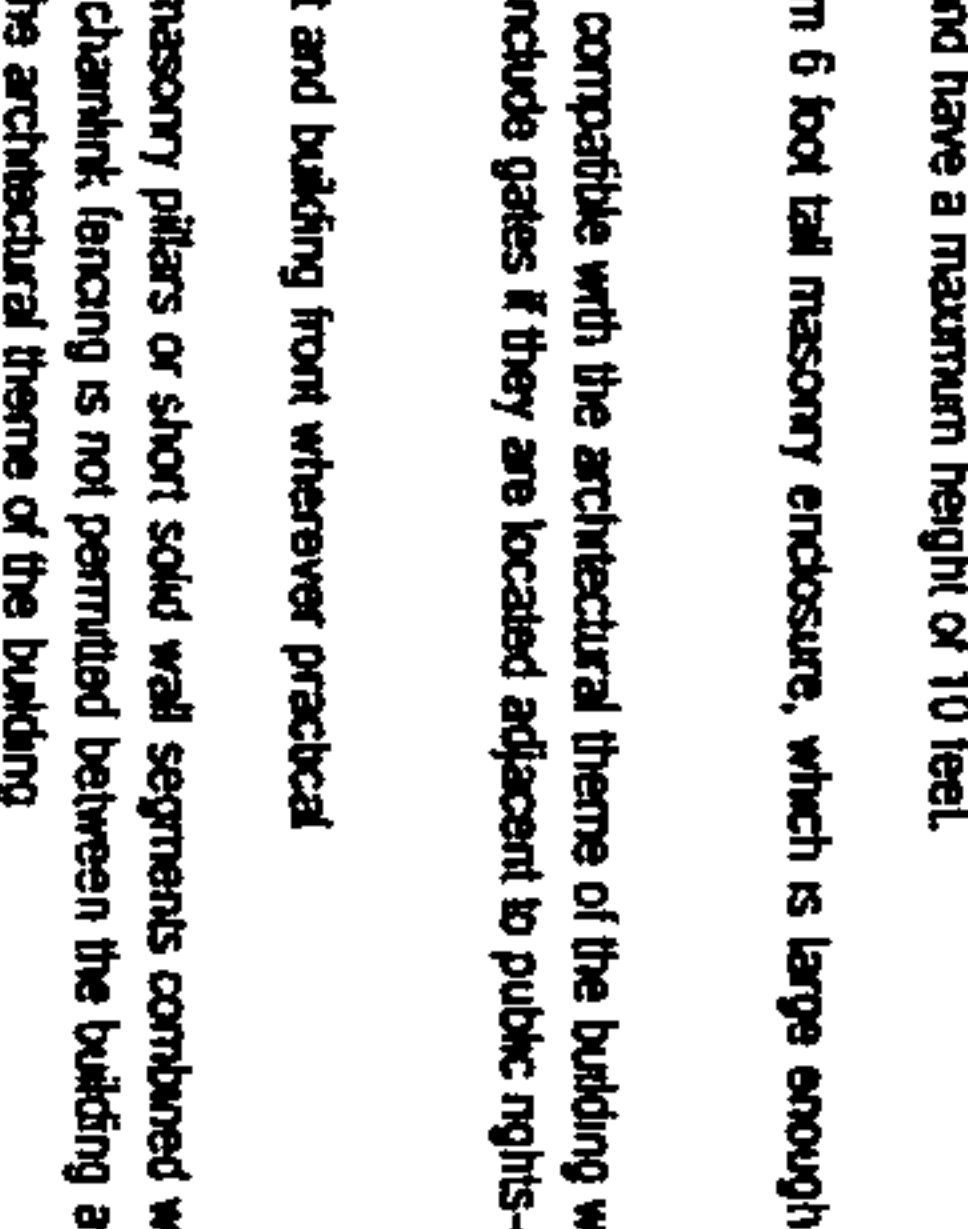
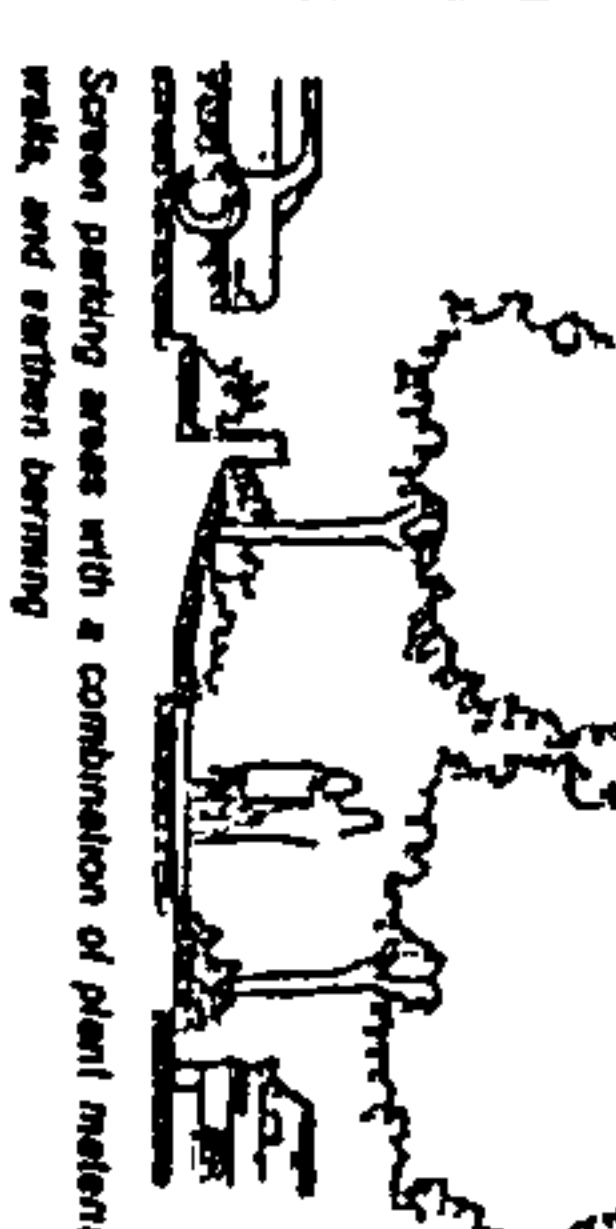
The use of spaced lighting fixtures are required to accent landscapes and walkways. Uplighting fixtures are not permitted. The illustrations provide for allowable pedestrian lighting within the Ladera Business Park.

Required Street Light specifications G.E. 100 watt, bronze, Lumen shielded type with Lemington bronze pole per FNNL specification S13.

All site lighting fixtures, shall be fully shielded of a full cut type. The color of fixtures must complement the architecture.

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements



Area lighting shall be used to highlight public spaces and walkways.

All light fixtures shall be shown as fully shielded horizontal lamps with no light, heat, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.

All light fixtures for pole and building mounted lights shall be fully shielded in order to prevent light spillage, with no light lens or bulb protruding below the fixture.

A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

F. Signage Standards

The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Ladera Site and are pursuant to the User Boulevard Design Overlay Zone. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors, to provide circulation requirements and reactions, to provide for public safety, and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

- No off-premise signs are allowed.
Signs shall be limited to wall signs and free-standing monument signs.
All elements of a sign shall be maintained in a visually appealing manner.
One wall sign shall be permitted per facility per business.

One free-standing business monument sign shall be permitted per street frontage per premises. A second free-standing sign is permitted on any open street frontage greater than 1,500 linear feet.

The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet.

Individual buildings are allowed facade mounted signs whose area shall not exceed 5% of the area of the facade to which it is applied.

Free-standing signs shall be designed that do not require any external bracing, sign supports, guy wires or similar devices. The height of a wall sign shall not exceed the height of the wall to which it is attached.

The project shall allow two Project Entry signs at the access points on User Boulevard. The height of the free-standing Project Entry signs shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet. No signage is allowed that uses moving parts, meters, audible sounds, or has blinking or flashing signs (including searchlights used for promotional events).

Signs that are portable, tied on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.

Signs located on rocks, trees, or other natural features are not permitted. Very banner signs, vehicles used as sign mediums, roof mounted signs, and temperature signs are not permitted.

All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location. No sign shall overhang into the public right-of-way or extend above the building roof line.

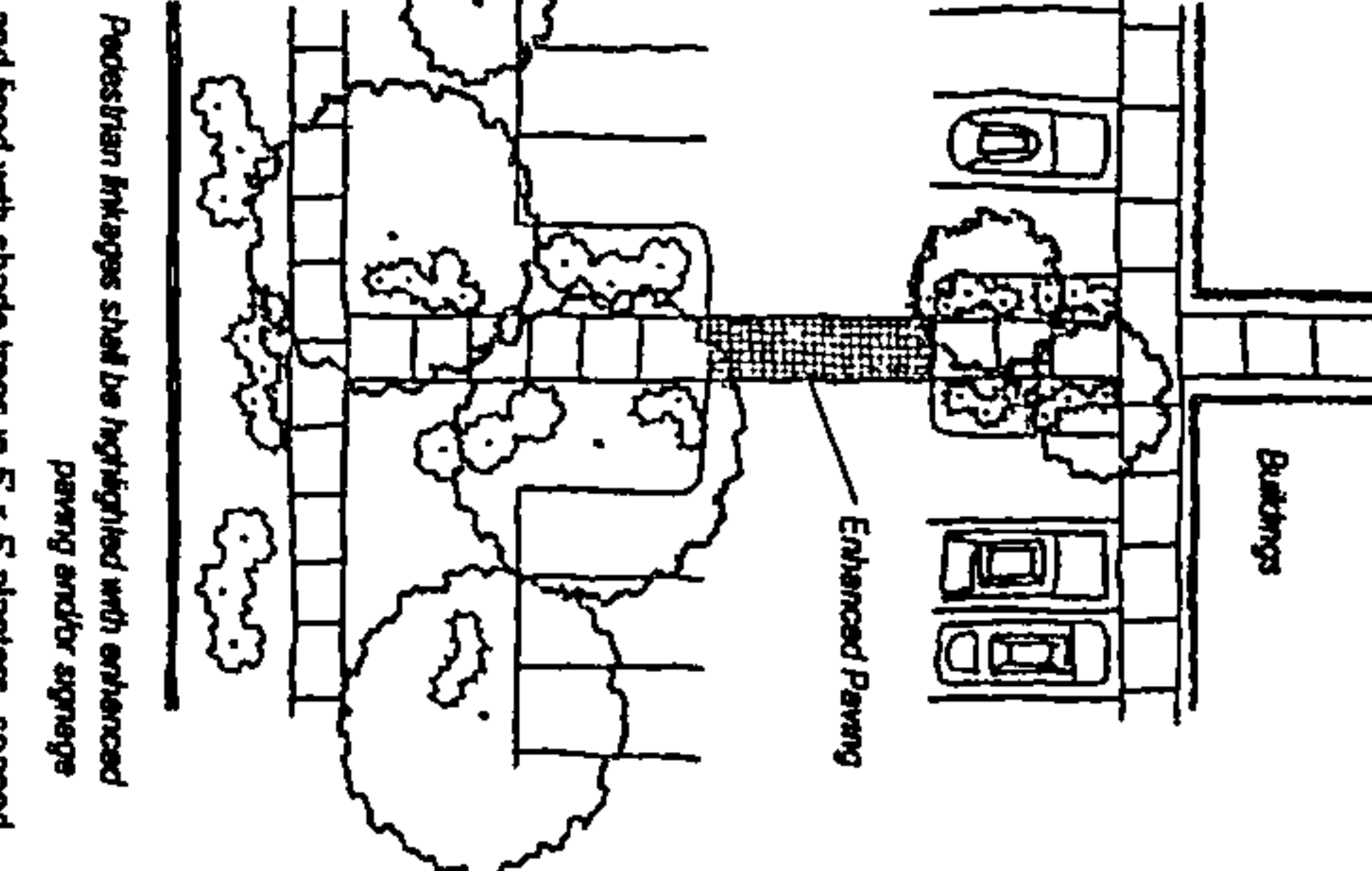
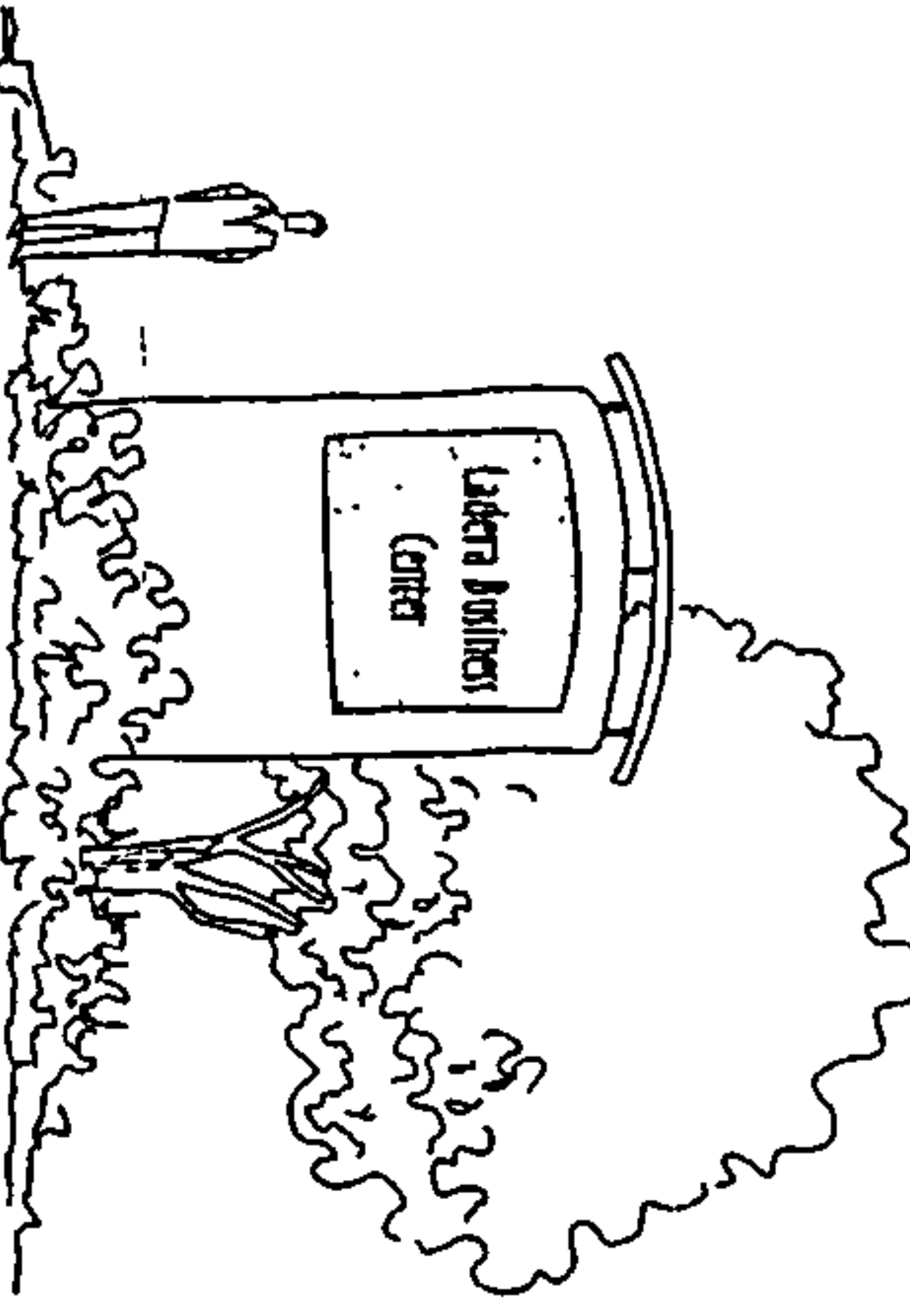
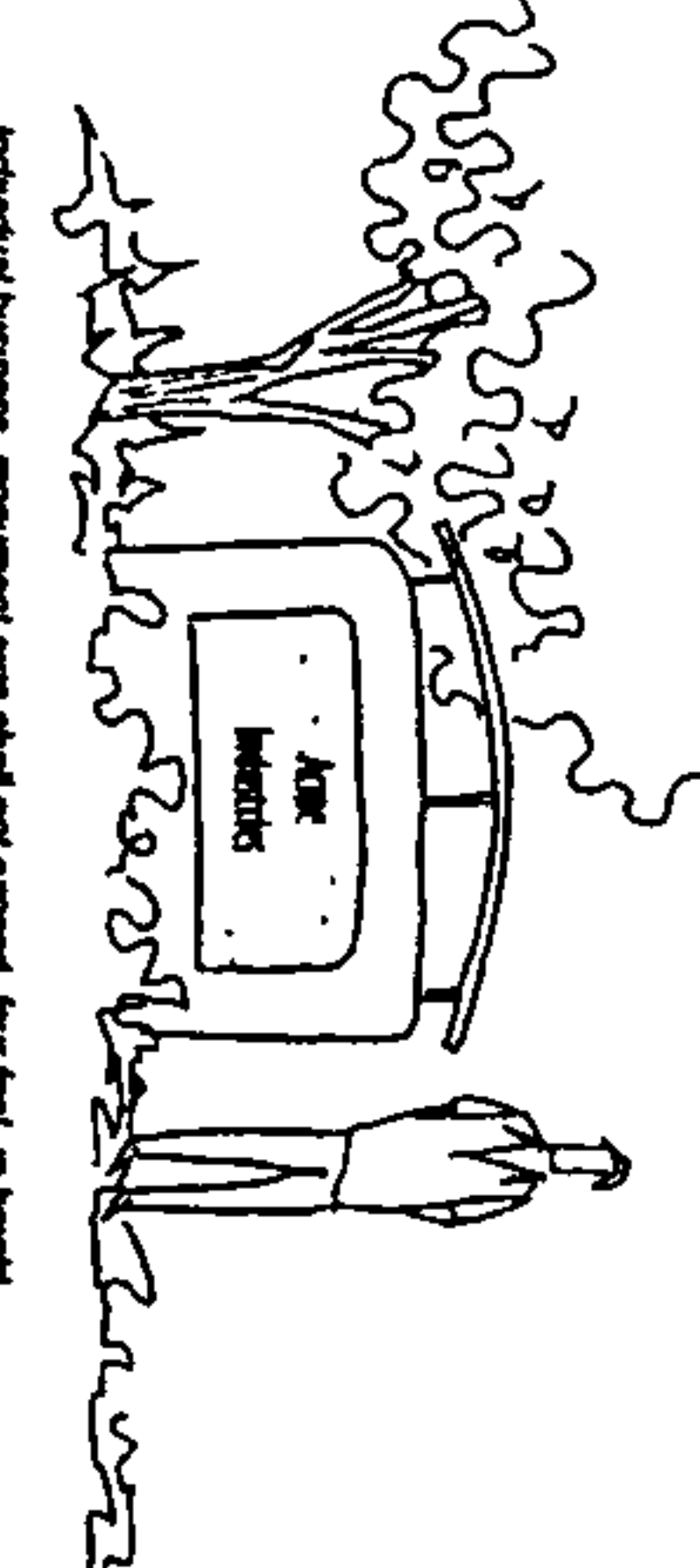
No illuminated signage shall face any residential area, except along User Boulevard. No sign shall overhang into the public right-of-way or extend above the building roof line.

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be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature. Additionally, all buildings shall conform to the following requirements.

The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along User Blvd (lots 1 through 19) shall be restricted to a height of 26 feet (including parapets) and have flat roofs without parapets.

Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.

Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing emphasis on the front elevation of the structure and respecting or mimicking the aesthetic profile of the site and the character. Finish building materials must be applied to at least three sides of buildings and structures. Any enclosure buildings and enclosures, whether attached or detached from the main building, shall be of similar, compatible design and materials.

Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.

Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which this applies. The use of recessed openings help to provide depth and contrast on elevation planes.

The primary building colors shall be limited to Yellow Ochre Browns, Dark Reds Browns, Greys, and Grey-Greens however sensitive attention of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors.

The staging of planes and/or distinct articulation of building facades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.

Highly reflective surfaces (other than windows), exposed, untreated masonry block walls, and materials with high maintenance requirements are undesirable and shall be avoided.

Burning in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades. The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.

All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials. The top of all rooftop equipment shall be below the top of parapet or screened from view from the public right-of-way.

Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall. All out buildings and canopies shall be architecturally integrated and compatible in material and design.

No freestanding call towers or antennas shall be permitted. Antenna shall be integrated into the building architecture. No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only). Awnings and canopies shall be integrated with building architecture.

Parapets and/or architectural lens shall be used to screen mechanical equipment and penetrations from the development on the adjacent properties. No generic franchise architecture shall be allowed.

Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery. ATMs shall be architecturally integrated with building design.

Outdoor storage is permitted within Ladera Business Park and shall be screened from view from public rights-of-way with a solid fence or wall that is a minimum of 6 feet and a maximum of 10 feet in height. No outdoor storage is permitted on lots 12 through 23 and 29, the first two rows of lots adjacent to User Boulevard.

Transformers, utility poles, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

All new electric distribution lines within the Park shall be placed underground. When an above-ground backbone penetration device is required, the heated enclosures should be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

Transformers, utility poles, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

LADERA BUSINESS PARK Site Plan for Subdivision DESIGN GUIDELINES

Prepared by Consensus Planning Inc 924 Park Avenue SW Albuquerque, NM 87199

LADERA BUSINESS PARK DESIGN GUIDELINES FOR LOTS 12, 23 & 29

The purpose of these Design Standards is to guide development of the Ladera Business Park in order to create a high quality, pedestrian friendly Commercial Center. The potential site plan, landscaping plan, and other documents shall be submitted to the ARC by individual project developers for review and comment. Approval must be obtained prior to proceeding with construction documents and submitted for building permit. Approval will be granted when the individual project meets the requirements of these standards to the satisfaction of the ARC.

Design Standards were written to require the use of common design elements to unify the project functionally and architecturally. The following design elements are intended to unify the project.

Building groupings to reinforce a "main street" theme

A strong internal pedestrian path network

Aesthetics consistency through the use of common building forms and materials

A common building signage system

A common landscaping theme

An Architectural Review Committee (ARC), formed by the property owners and master developer, will analyze all potential projects within the development to ensure the realization of the Development Concept. A conceptual site plan, landscaping plan, and building elevations shall be submitted to the ARC by individual project developers for review and comment. Approval must be obtained prior to proceeding with construction documents and submitted for building permit. Approval will be granted when the individual project meets the requirements of these standards to the satisfaction of the ARC.

The Main Street

Intent:

The development's primary organizing element is an internal 'main street' to which the majority of buildings relate. Buildings along the main street shall be grouped together and oriented to face the street to encourage a pedestrian environment where patrons can park, once and walk between the various uses. Spaces between buildings shall be utilized as plaza areas and outdoor gathering places for dining and other outdoor activities. Commercial parking shall be provided along the main street with drive aisles between buildings to provide access to parking areas behind them. Two traffic circles will act as focal points, traffic calming devices, and opportunities to create patron gathering spaces. Primary entrances to buildings shall be provided on the main street, at the traffic circles, or on side streets. Secondary entrances may be provided at the parking areas behind the buildings.

Design Standards:

Orient buildings to face the main street with parking fields behind them.

Group buildings together to maintain the continuity of the main street facade. Provide pedestrian plaza spaces between buildings.

Access drives to rear parking areas shall be shared so that they occur on only one side of each building.

Locate primary building entrances on the main street, at the traffic circles where they occur, or along access drives to rear parking areas. Secondary entrances may be provided at the rear parking areas to create walk through buildings.

Shaded porches or canopies shall be provided along the main street and at building entrances.

Trash enclosures and service areas shall be located at the rear of these buildings with appropriate screening as described in the Site section below.

Other Sites along User Boulevard

Intent:

Additional building plots are provided along User Boulevard to take advantage of their high visibility. The plots are spaced along User to break up the parking areas into smaller lots and provide gaps between buildings to allow visual access into the site for traffic traveling along User Boulevard. These buildings are highly visible from all directions and shall be aesthetically pleasing on all sides.

Design Standards:

Buildings shall be sited adjacent to the User Boulevard right-of-way with parking fields between and behind them. No parking is allowed between the plot area buildings and User Boulevard.

Buildings shall be located to maximize the size of the parking fields between them.

The buildings at these plot sites shall be treated as 'park shed' buildings with equal architectural emphasis on all sides. Utilities shall be appropriately screened to conceal them from view.

Screenings shall be provided on sides of the plot site buildings to provide a pedestrian friendly environment and to connect to the greater pedestrian path network. These screenings may be designed to create plazas, outdoor dining or patron gathering spaces.

Shaded porches or canopies shall be provided along pedestrian paths and at building entrances.

Trash enclosures and service areas shall be located in the parking areas between buildings and away from building entrances. These areas shall be screened as described below in the Site section.

Pedestrian Path Network

Intent:

A strong pedestrian path network is critical in creating a walkable and walk commercial environment. Shaded sidewalks around the perimeter of buildings connecting to frequent pedestrian friendly walkways through parking areas reinforces this concept. Plazas create patron gathering spaces at building entries and outdoor dining spaces. Connection to off-site pedestrian paths contributes the network by providing continuity with the surrounding area.

Design Standards:

A minimum 5' wide meandering pedestrian path along User shall connect with the existing paths to the north and south. Screenings shall be provided that connect this element to the internal pedestrian path network at each plot site and along the new public streets.

Filtered crosswalks (speed tables) with special paving shall be provided where pedestrian paths intersect with vehicular paths. These crosswalks shall be provided to create a continuous pedestrian path between buildings and to calm vehicular traffic.

A continuous sidewalk shall be provided along the main street with raised crosswalks (speed tables) with special paving at intersections with all vehicular drives.

Plazas shall be provided at traffic circles, building entries, and outdoor dining areas. These elements shall be directly connected to the pedestrian path network.

Architectural Forms and Materials

Intent:

A common architectural theme reinforces the sense of quality and performance desired for the development. The predominant quality architectural theme in the vicinity is defined by stucco wall surfaces and pitched Spanish tile roofs. In order to expand on the sense of quality for the area, the architectural theme for this development is based on these materials as well as other complementary materials used in Spanish Colonial and California Mission architecture.

Design Standards:

Smaller buildings shall utilize pitched Spanish tile roofs with slopes varying from 3:12 to 6:12 pitch.

Larger buildings may utilize low-slope roofs with parapets as rounded over longer span areas, but pitched Spanish tile roofs shall be used as accents at the perimeter and at smaller building elements and porches.

Vertical wall surfaces shall be predominantly white or light colored earth-tone stucco or EIFS.

Old stone, pre-cast concrete or visually similar elements of stucco or EIFS shall be used as accents around prominent entries or other openings, as well as at parapet caps and verandas when they are used.

Structural elements for porches, balconies, porte cocheres or similar elements shall be either dark stained heavy timber (or visually similar materials) or massive stucco arches.

Railings shall be of black wrought iron, tubular steel, dark stained wood or other visually similar materials.

Window frames shall be black, dark stained wood, dark wood tones or appropriately colored aluminum or steel at the discretion of the Architectural Review Committee.

Window openings, particularly on the South and West facades, may be shaded with cloth awnings (or visually similar mass-ada), jalousies, porches, or awnings styled with Spanish tile and exposed structural elements similar to those described under the fifth bullet point above.

Roof top mechanical units shall be screened with architecturally integrated parapets, screen walls, or pitched Spanish tile elements at least as tall as the highest part of the equipment.

Site and Landscape Materials

Intent:

Site and landscape materials shall be complementary to the architectural theme of the development. Appropriate materials include concrete with accent materials, colored concrete, brick and concrete pavers.

Design Guidelines:

The predominant hard surface for sidewalks, pedestrian crosswalks and plazas may be standard concrete but must have accents of either brick or concrete pavers, or visually similar patterned and colored concrete. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

Site furniture such as benches, trash receptacles, light fixtures, bollards, etc shall be of black, dark green or dark red metals. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

Pedestrian paths along walkways adjacent to buildings and along the main street shall utilize pedestrian scale light fixtures, hedges (leaf fall or leafless), materials as described in paragraph 2 above.

Ground level screen walls for utilities and trash enclosures shall be built with stucco or EIFS finish to match the adjacent or nearby buildings. Gates shall be opaque using dark stained wood or visually similar materials.

Landscaping

Intent:

The general theme and materials of the landscape should be appropriate to our desert climate using heat and drought tolerant, water-conserving plants. Fountains, courtyards and other patron gathering areas will be treated as oases utilizing shade trees, ornamental trees on patios, or other shading devices to create a shade outdoor environment. Small fountains or other water features can add further to the sense of oases in these spaces. Care must be taken in selecting plant materials so that excessive shade is absent during the colder months of the year. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

Plant materials shall be primarily low water use and drought tolerant.

Density of plant material shall be increased around patron gathering spaces to add 'coolness' to these areas. Shade trees, colorful flowering plants and overhanging vines may also be used to reinforce a sense of coolness in these areas.

Shade trees shall be consistent based on their location. For instance, street trees may be one species and shade trees in patron gathering areas may be another, while parking area shade trees may be another. All shade trees shall be selected to be insect and disease resistant.

All landscaping shall be served by an automated irrigation system.

Signage

Intent:

Signage shall be complementary to the architectural theme and consistent throughout the development. Treat standard colors, fonts and logos may be used, but must conform to the detail and construction standards below.

Monument sign locations are shown on the illustrative site plan at the corners of User Boulevard and the new streets, and at the intersections of the 'main street'. These may be utilized by multiple tenants at the discretion of the ARC. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

Building signage shall be limited to hierarchically illuminated, individual letter signs, backlit individual letters signs, or neon signs as approved by the ARC, and in accordance with City of Albuquerque requirements.

No building mounted box signs are allowed, except logo signs as approved by the Architectural Review Committee.

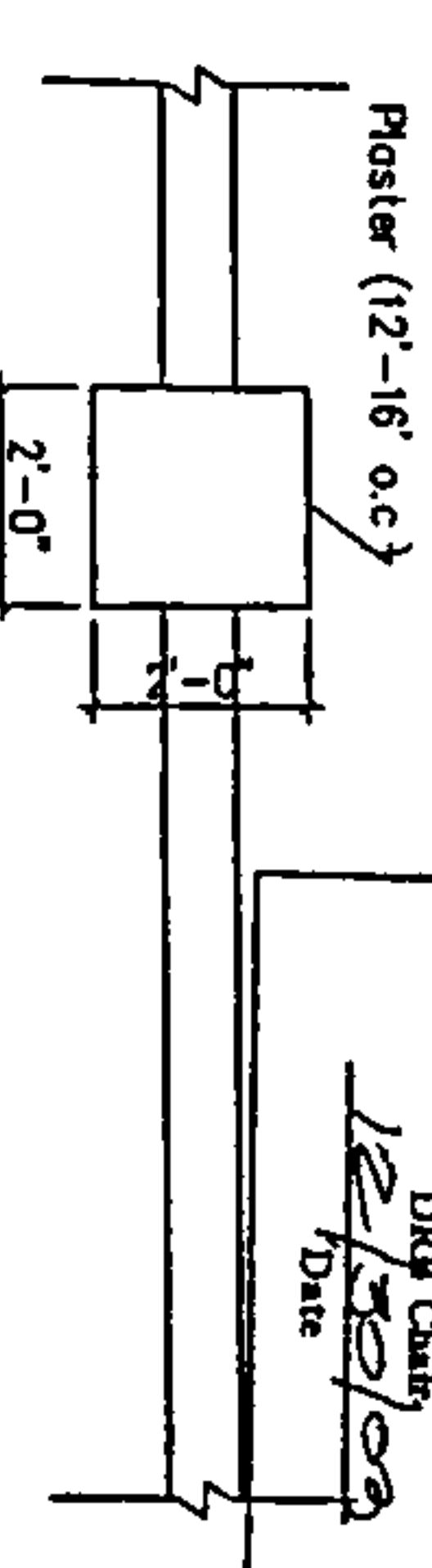
No pole-mounted signs are allowed.

NOTES:

1. ZONE ATLAS - 09, G10, H9, H10

2. NEAREST INTERSECTION IS USER & VISTA ORIENTE N.W.

Professional Engineer
 Approved
 Date: 12/20/09



3/8" = 1'-0"

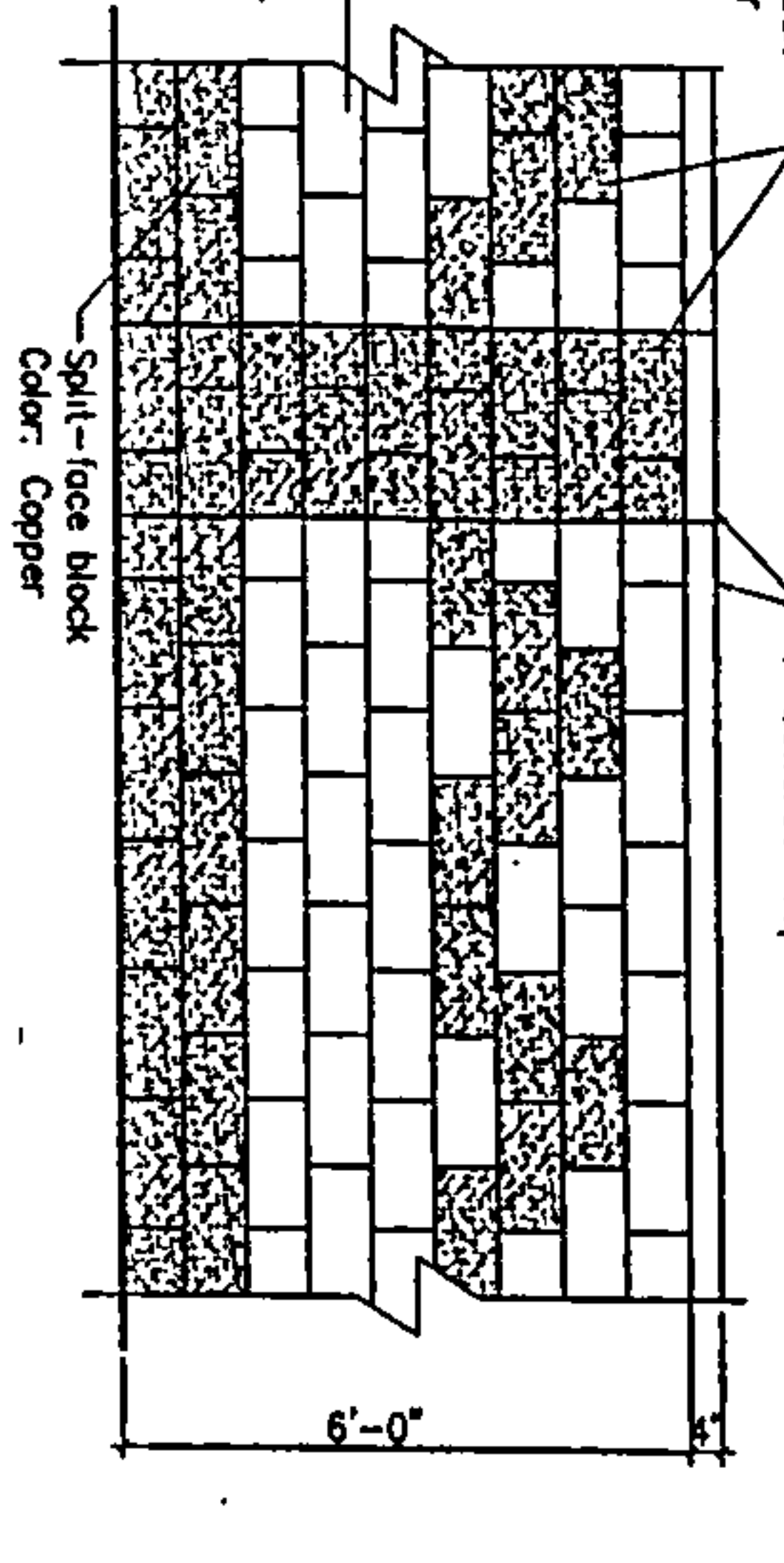
Split-face block
 Color: Copper

4" Concrete cap

Smooth CMU
 Color: Copper

Split-face block
 Color: Copper

3/8" = 1'-0"



PROJECT # 1001523; 09DDB-01360
 WALL DETAIL @ LADERA BUSINESS PARK



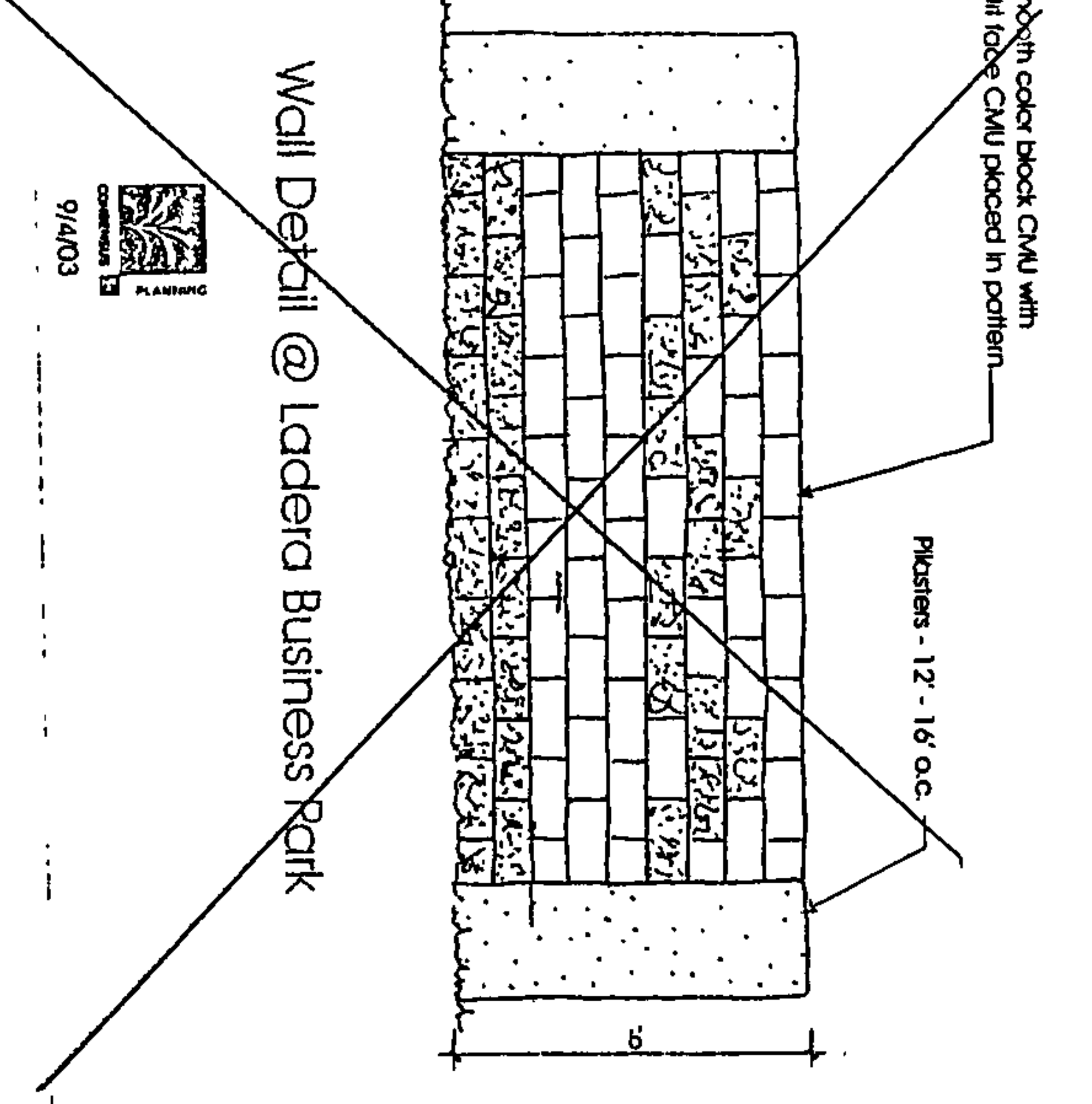
Prepared by
 August 4, 2009

LADERA BUSINESS PARK Site Plan for SUBDIVISION

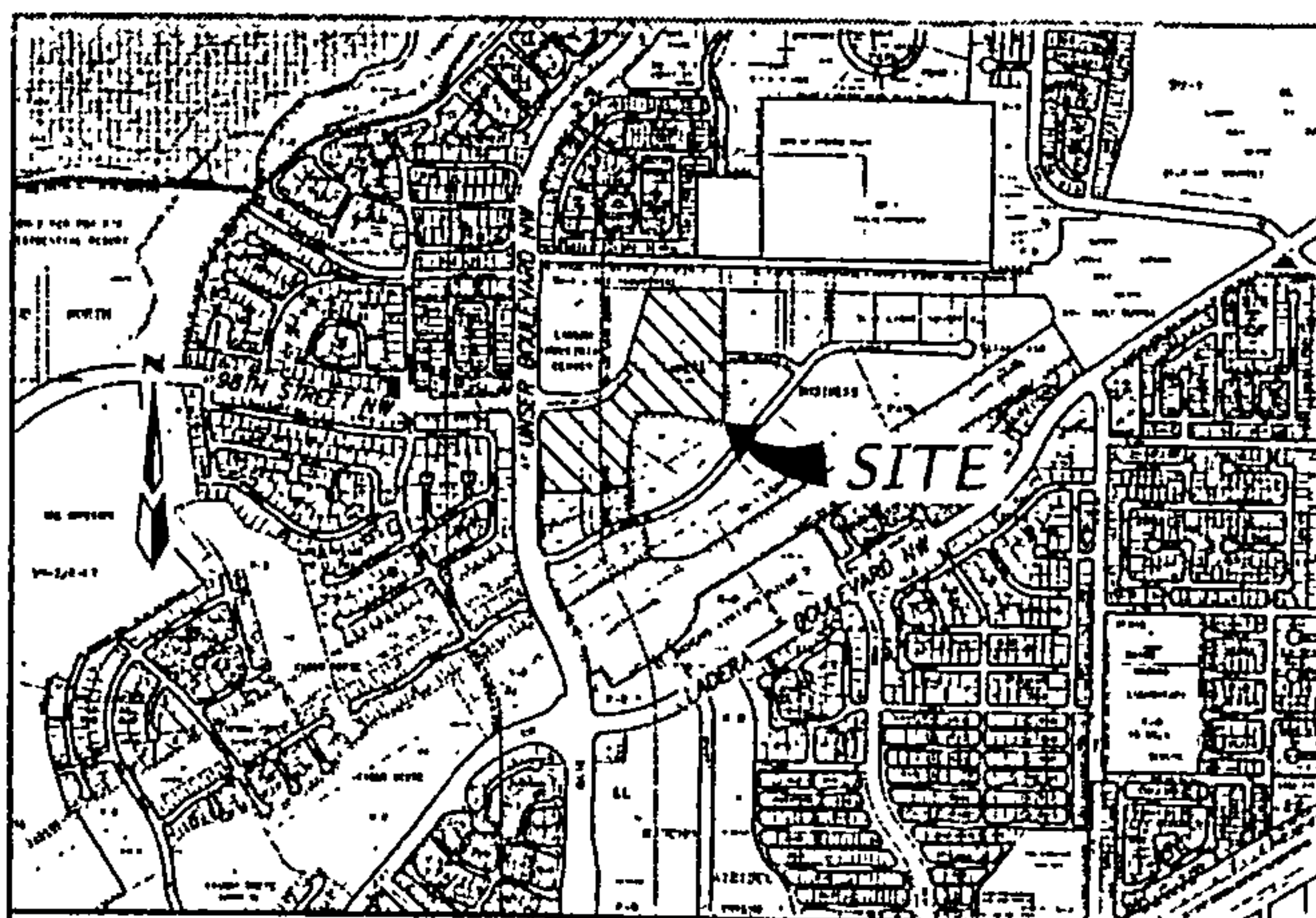
DESIGN GUIDELINES

Prepared for
 User-98th Street Partnership, LLC
 PO Box 99648
 Albuquerque, NM 87199

Prepared by
 Consensus Planning, Inc.
 924 Park Avenue, SW
 Albuquerque, NM 87102



26 6929-82 02 05



LOCATION MAP ZONE ATLAS H-9-Z & H-10-Z SCALE NONE

SUBDIVISION DATA

Table with 2 columns: Description and Value. Includes Gross acreage (18.8928 AC), Zone Atlas No (H-9-Z & H-10-Z), No of existing Tracts/Lots (1 LOT), etc.

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible in fee simple title to the land subdivided.

OWNER: UNSER98TH STREET PARTNERSHIP LLC BY: ROBERT SPARLING, MANAGING MEMBER. Date: 7/14/04

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO. This instrument was acknowledged before me on July 14 2004 by Robert Sparling, Managing Member of UNSER98TH STREET PARTNERSHIP LLC A New Mexico Corporation on behalf of said corporation. Notary Public: Beth Gonzales, My Commission Expires 10/08/07.

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

- 1. Subdivide a single Lot into 10 Tracts
2. Grant Easements shown hereon
3. Dedicate Right-of-Way as shown hereon.



EXAMINED BY PLANNING

PLAT FOR LADERA BUSINESS PARK UNIT 2 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994

Project Number: 1001523

Application Number: 04-D1491

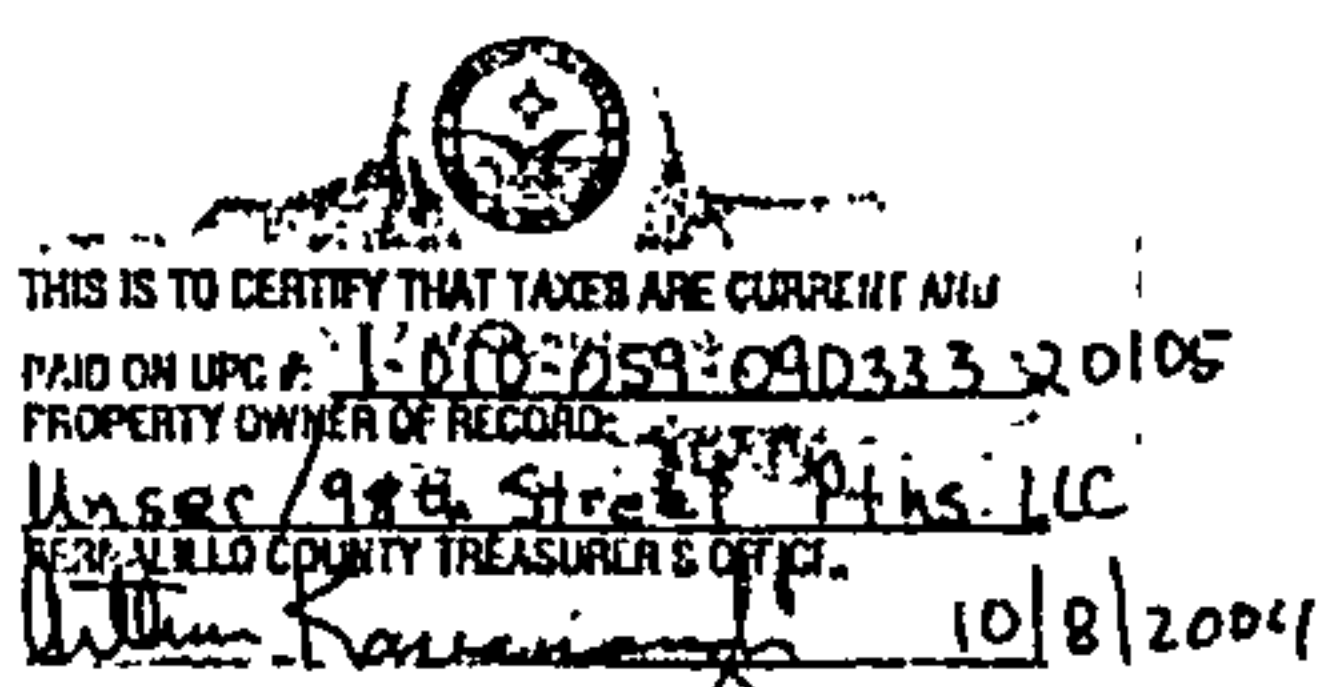
PLAT APPROVAL

Utility Approvals:

Table of utility approvals including PNM Electric Services, PNM Gas Services, Qwest, and Comcast with dates and signatures.

City Approvals:

Table of city approvals including City Surveyor, Traffic Engineering, Utilities Development, Parks and Recreation Department, AMAFCA, City Engineer, and DRB Chairperson, Planning Department with dates and signatures.



SURVEYOR'S CERTIFICATION

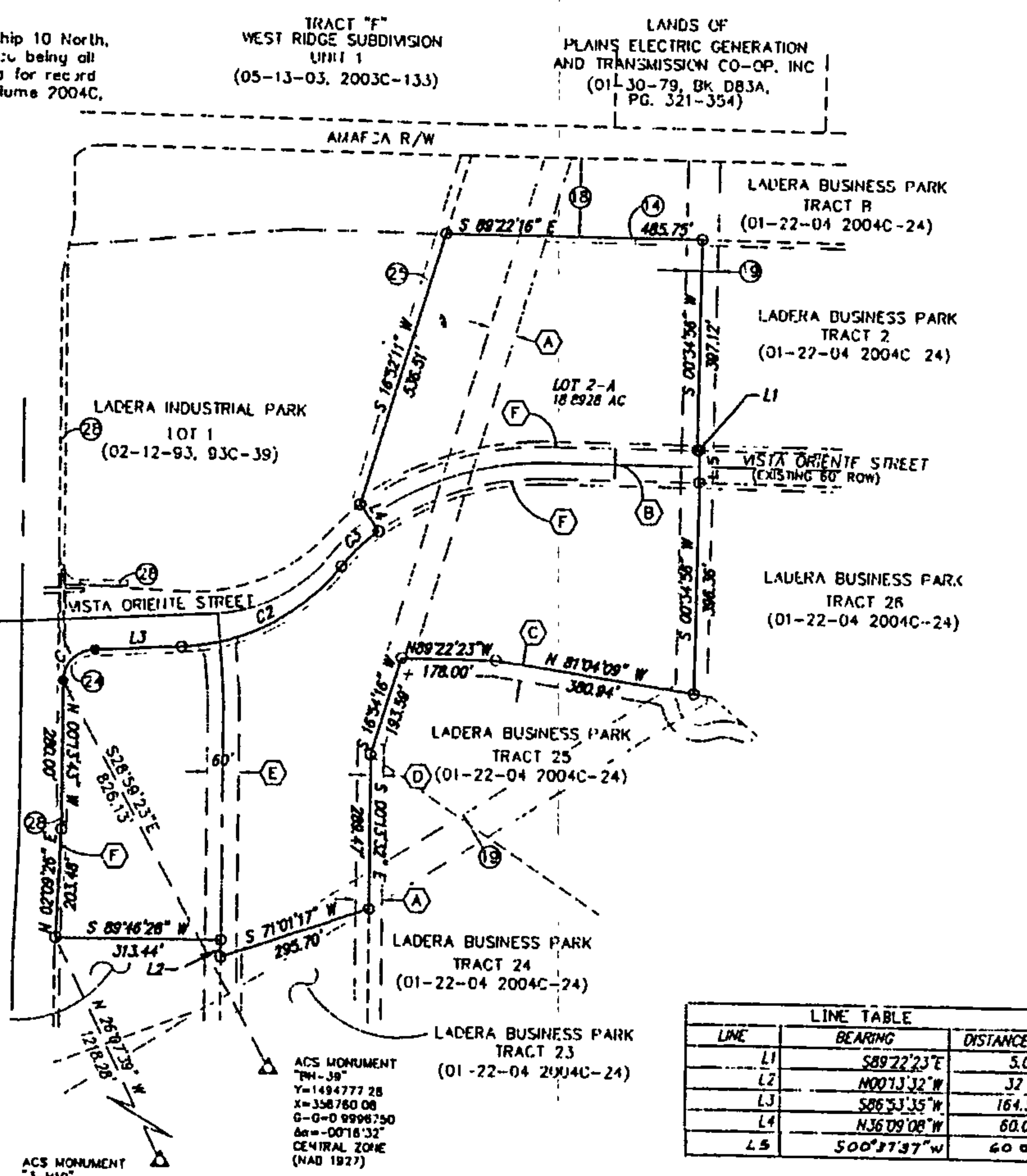
I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Timothy Aldrich P.S. No. 7719 Date: 07-30-04

Table with columns: Dwg, cover dwg, Drawn, Checked, Date, Job, Sheet. Values: SHEET2.dwg, STEPHEN, ALS, 07/14/04, A04038, 1 of 4.

DESCRIPTION: A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOT 2-A, LADERA BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 22, 2004 in Volume 7004C, Folio 24 and containing 18.8928 acres more or less.

- NOTES: 1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone)
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
PLAT FOR "LADERA BUSINESS PARK, UNIT 1", (01-22-04, 2004C-24)
5. Field Survey performed January, 2002.
6. Title Report First American Title Company, Commitment No: 01014032 (Effective date: 08-15-01)
7. 30' private drainage easement previously granted by unit 1 plat action to the owners of tracts 20, 26, 27, 28 & 29 and to be jointly maintained by said owners.
8. 25' private drainage easement previously granted by unit 1 plat action to the owners of tracts 21, 22 & 23 and to be jointly maintained by said owners.
9. 60' wide private access easement granted by this plat to the owners of Tracts 12-23 and to be jointly maintained by said owners. Overlapping this private access easement is a 60' wide public drainage, waterline and sanitary sewer easement granted to the City of Albuquerque by this plat. (SEE SHEET 3 OF 4)

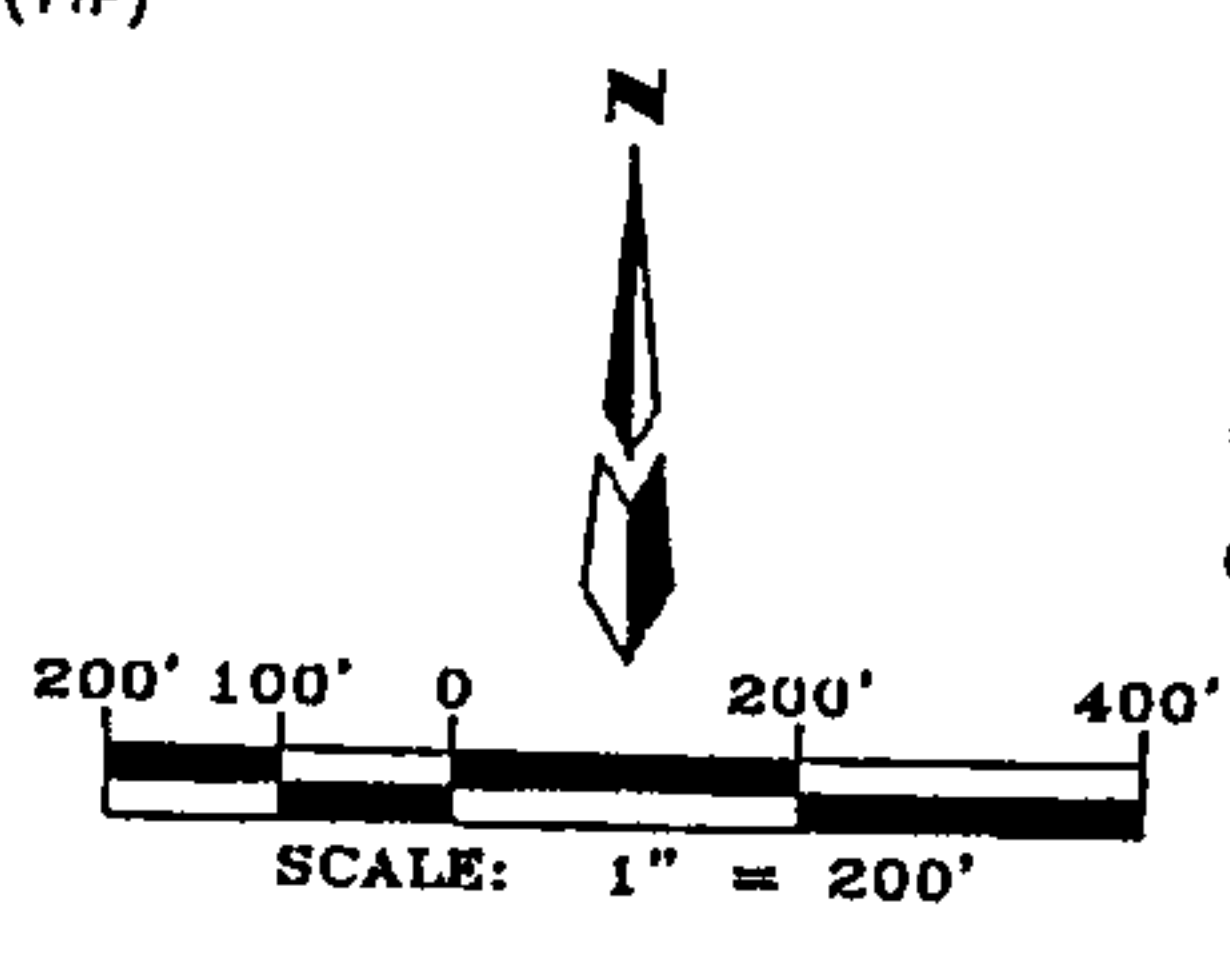


PLAT FOR LADERA BUSINESS PARK UNIT 2 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2004

- EASEMENTS: 1. EXISTING TEMPORARY BLANKET PUBLIC DRAINAGE EASEMENT (LOT 2 NOW LOT 2-A) (02-12-93, 93C-39)
2. EXISTING 80' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (03-16-53, BK MISC. D 235, PGS 619-622)
3. EXISTING PNM AND US WEST COMMUNICATIONS EASEMENT (10-20-94, BK. 94-29, PGS 6190-6193)
4. REMAINDER EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO 1845 (02-05-52, BK MISC. D 197, PGS. 571-572)
5. EXISTING 10' UNDERGROUND PNM & MOUNTAIN BELL EASEMENT (02-12-87, C32-184)
6. EXISTING 10' PNM AND M.S.T.&T. EASEMENT (12-09-80, BK MISC. B17, PGS 339-340)
7. EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO 7-78-03098 (09-28-76, BK MISC. 498, PGS. 648-683)
8. EXISTING 50' PNM EASEMENT (01-22-04 2004C-24)
9. EXISTING 60' PUBLIC ROADWAY EASEMENT (01-22-04 2004C-24)
10. EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 7 SHEET 2)
11. EXISTING 25' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 8 SHEET 2)
12. EXISTING TEMPORARY PRIVATE ACCESS EASEMENT (01-22-04 2004C-24) GRANTED TO ALL TRACTS WITH UNIT 1
13. EXISTING 10' PUE (01-22-04 2004C-24)

LINE TABLE with columns: LINE, BEARING, DISTANCE. Values: L1 S89°22'23"E 5.03, L2 N00°13'32"W 37.71, L3 S86°33'35"W 164.51, L4 N36°09'08"W 60.00, L5 S00°27'37"W 60.00

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, DELTA, TANGENT CH-BEARING, CH-DIST. Values: C1 94.24 60.00 89°59'46" 60.00 S44°46'12"W 84.85, C2 349.48 410.00 48°50'21" 186.5 N62°29'21"E 339.00, C3 96.38 350.00 15°46'37" 48.49 S45°52'34"W 96.07



ALDRICH LAND SURVEYING P.O. BOX 30701, ALBU., N.M. 87190 505-884-1990

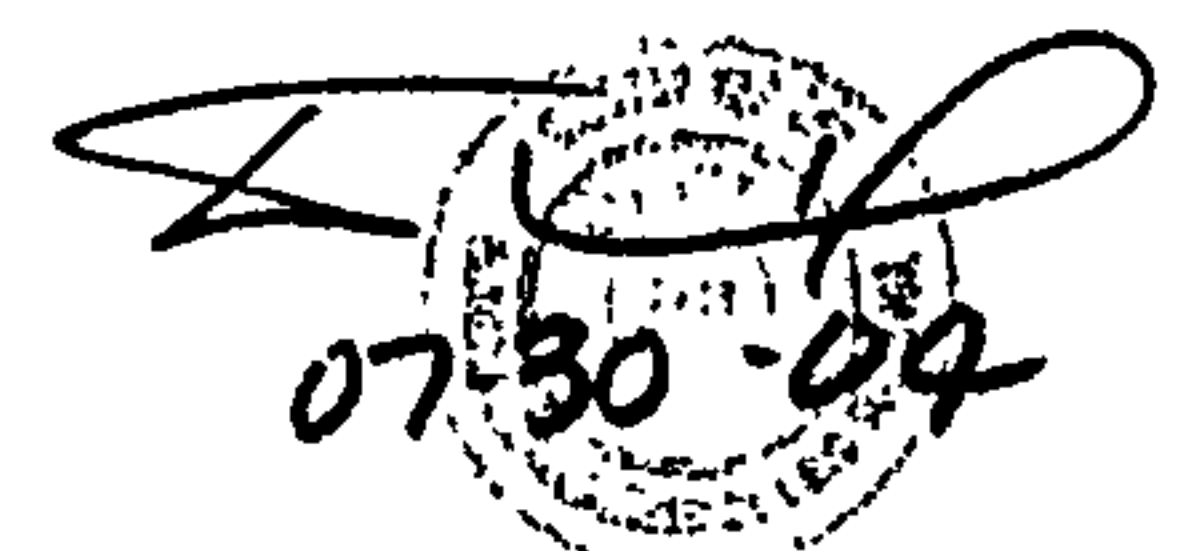


Table with columns: Dwg, SHEET2.dwg, Drawn: STEPHEN, Checked: ALS, Date: 07/29/04, Job: A04038, Sheet: 2 of 4

26 6929-02 03 05

SCANNED BY PLANNING

PLAT FOR LADERA BUSINESS PARK UNIT 2

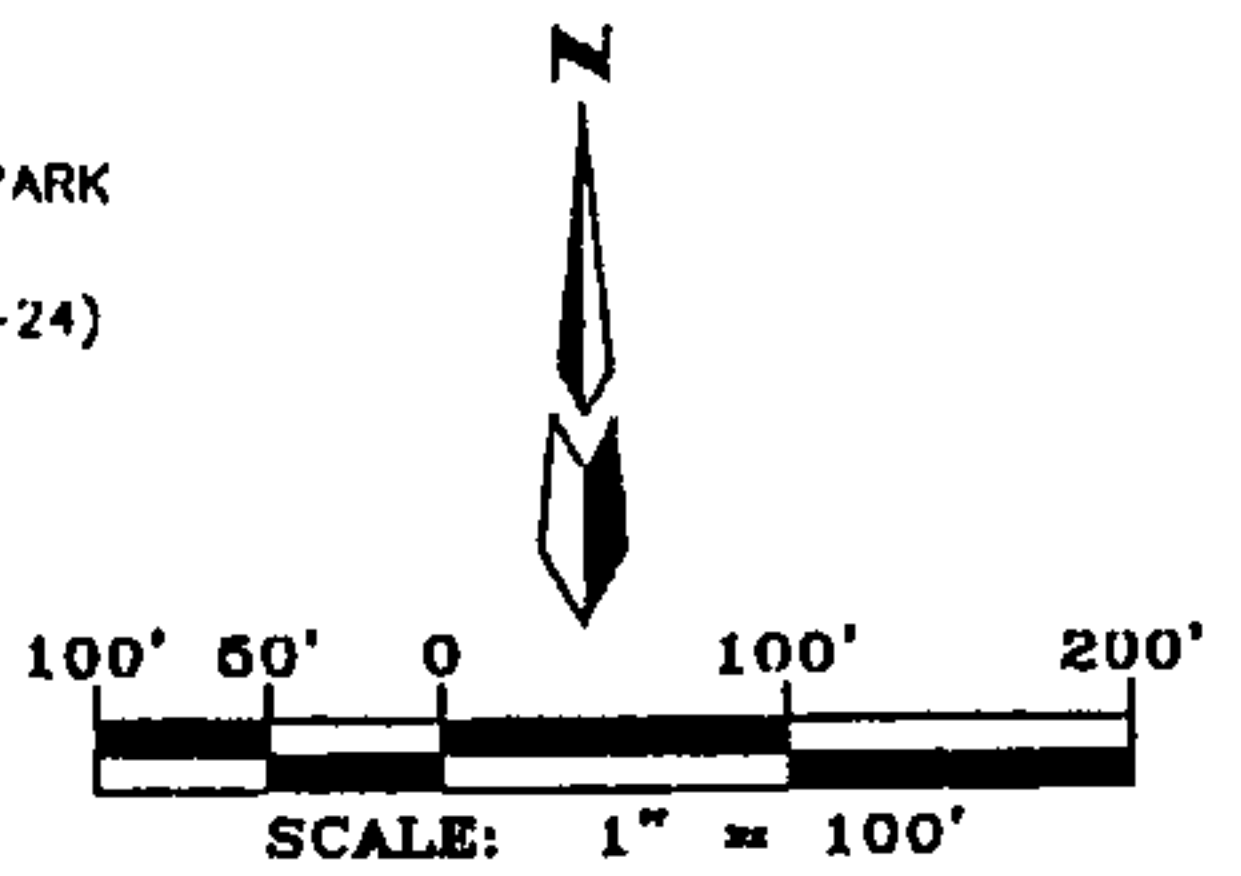
WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2004

LADERA BUSINESS PARK TRACT B (01-22-04 2004C-24)

LADERA BUSINESS PARK TRACT 2 (01-22-04 2004C-24)



SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP) FOUND 5/8" REBAR WITH CAP "LS 7430" (TYP)



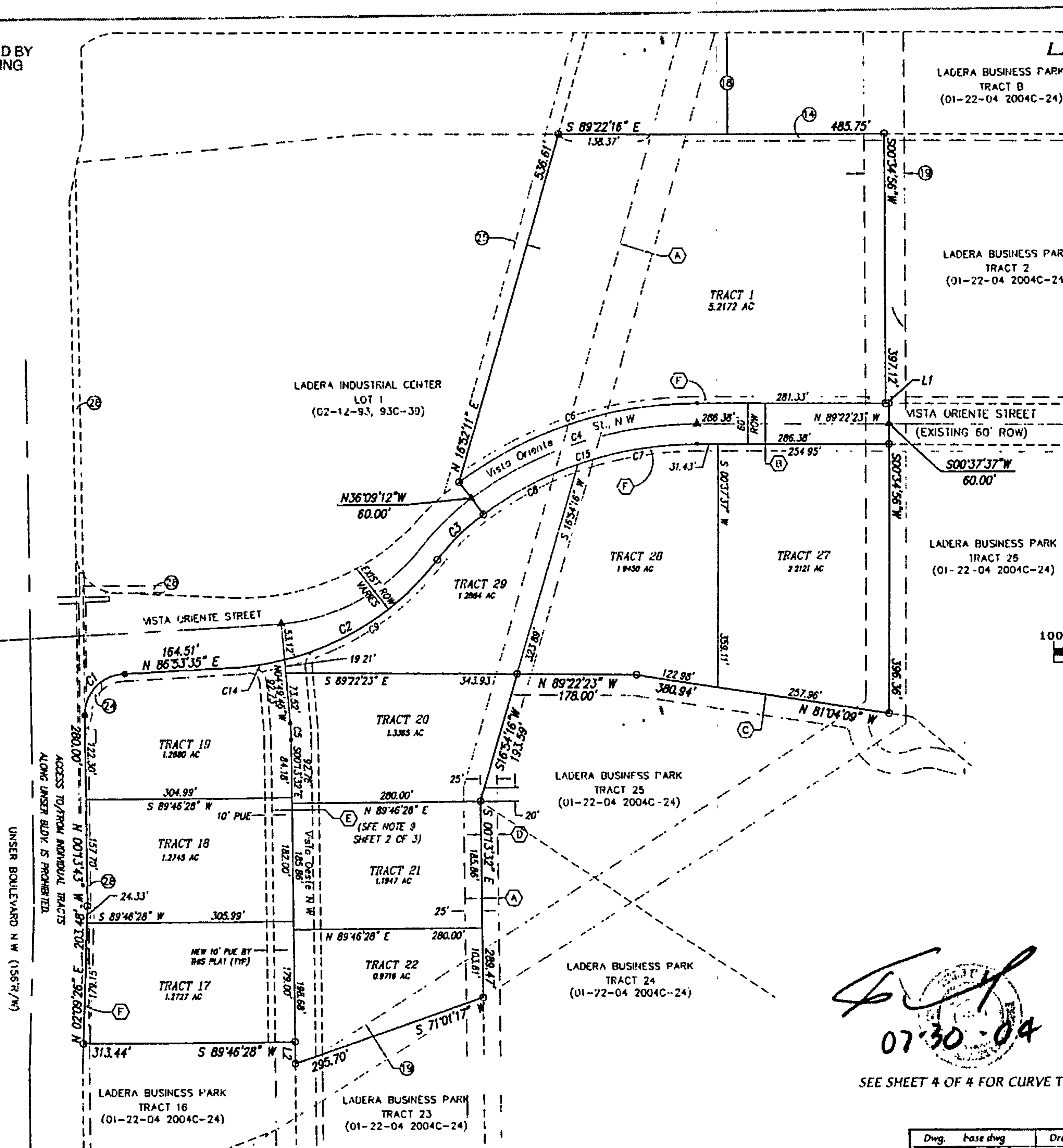
NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

ALDRICH LAND SURVEYING P.O. BOX 30701, ALBU., N.M. 87190 505-884-1990

07-30-04

SEE SHEET 4 OF 4 FOR CURVE TABLE

Table with columns: Dwg. base.dwg, Scale: AS SHOWN, Drawn: STEPHEN, Date: 07/29/04, Checked: ALS, Job: A04038, Sheet 3 of 4



PLAT FOR LADERA BUSINESS PARK UNIT 2

WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2004



LINE TABLE with columns: LINE, BEARING, DISTANCE

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, DELTA, TANGENT CH-BEARING, CH-DIST

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

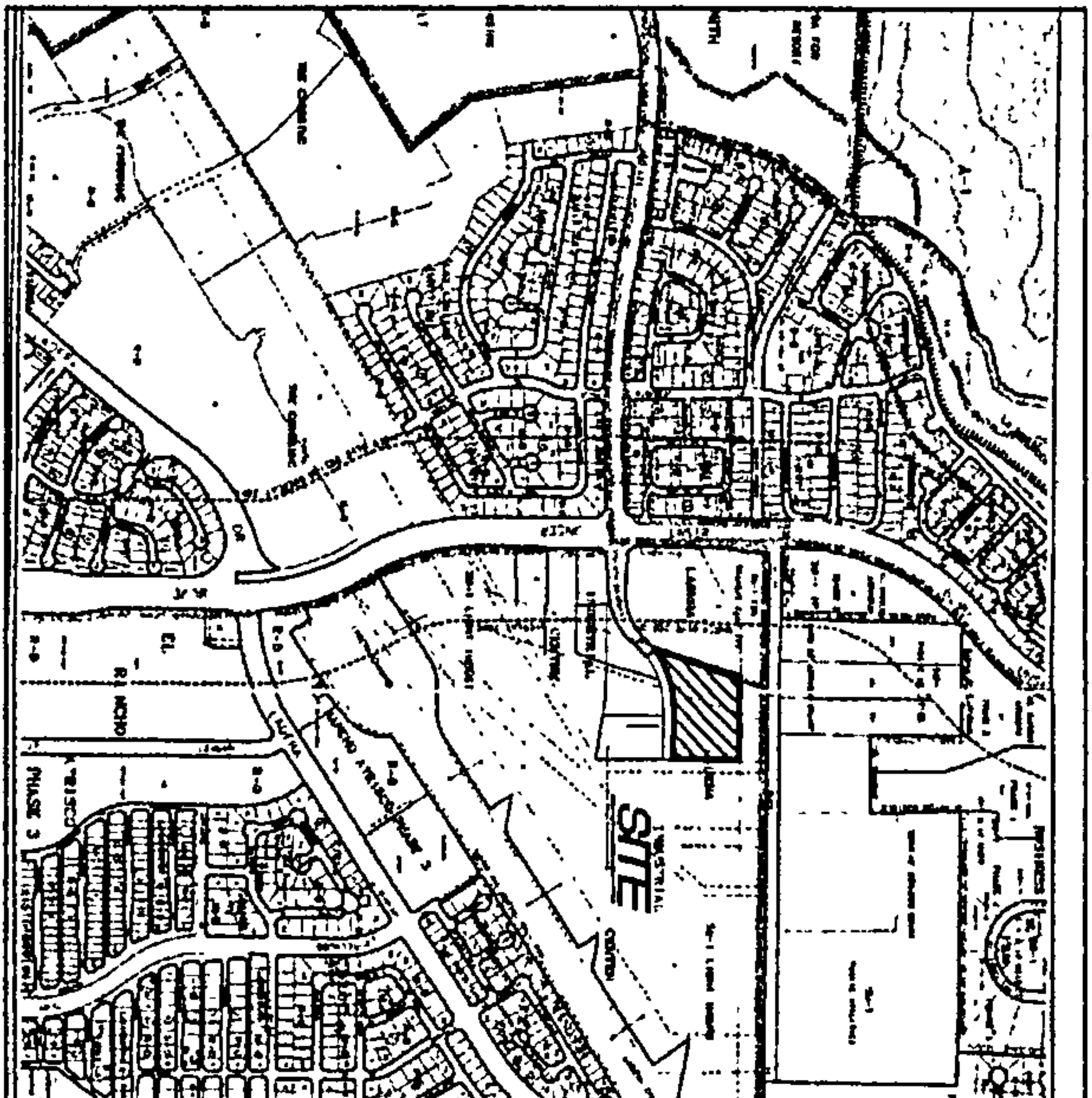
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

693282

ALDRICH LAND SURVEYING P.O. BOX 30701, ALBU., N.M. 87190 505-884-1990

07-30-04

Table with columns: Dwg. base.dwg, Scale: NA, Drawn: STEPHEN, Date: 07/29/04, Checked: ALS, Job: A04038, Sheet 4 of 4



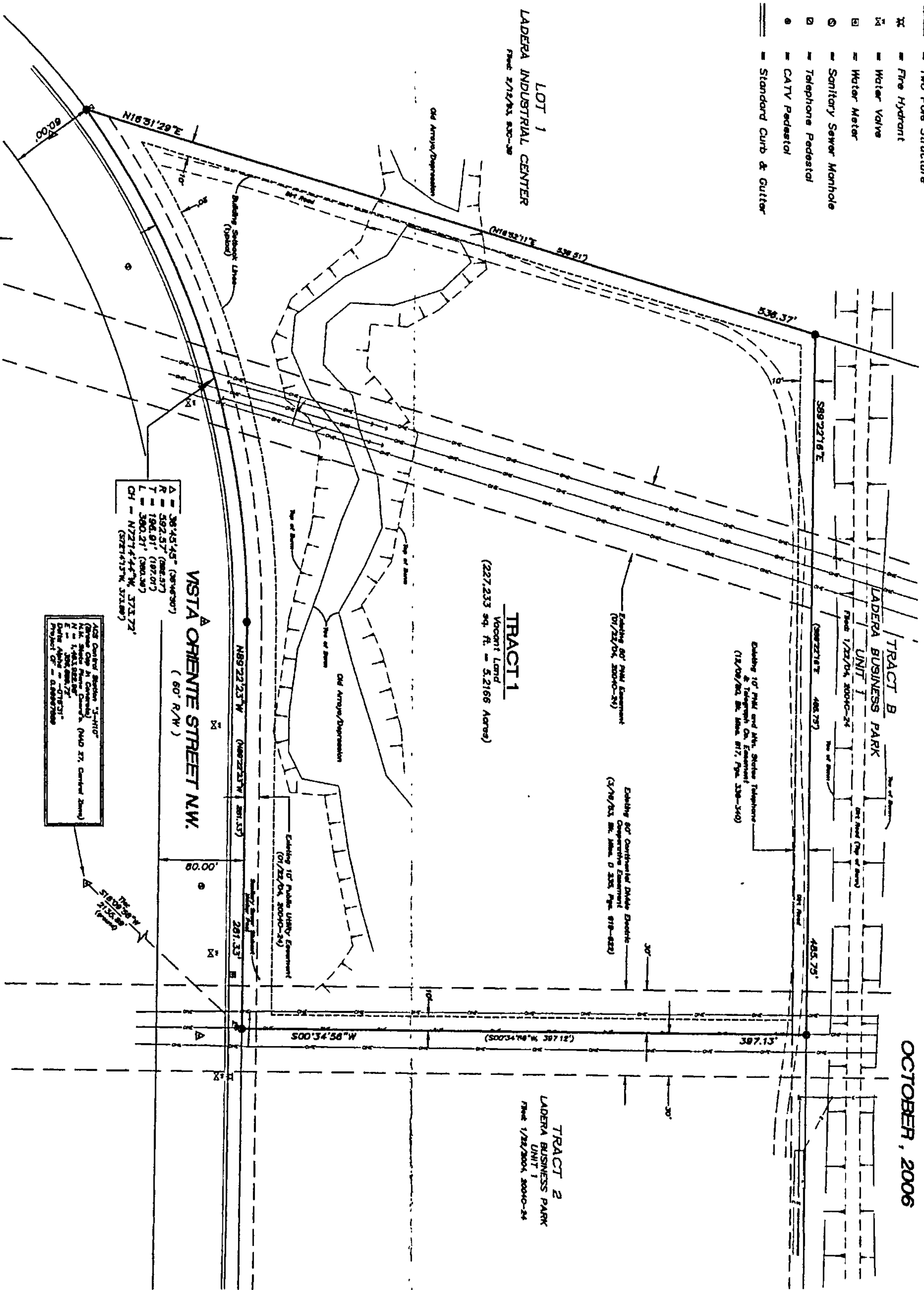
VICINITY MAP
ZONE ATLAS H-9-Z

GENERAL NOTES

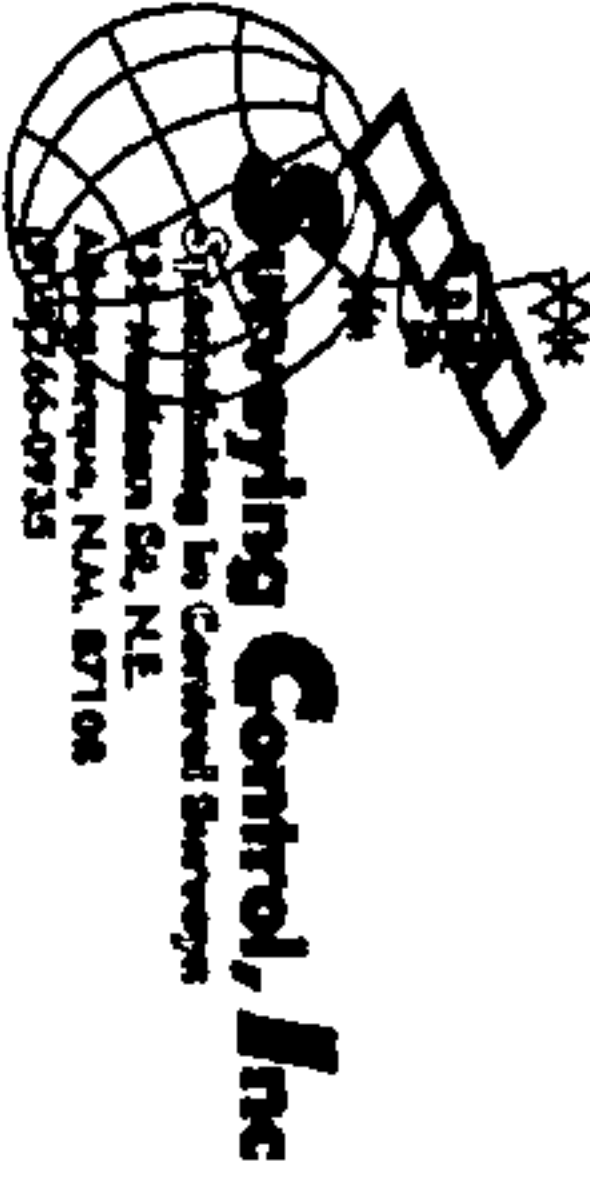
1. Bearings are referred to Grid North, New Mexico State Plane Coordinate System - Central Zone, NAD 83, and were derived using GPS relative positioning techniques.
2. All distances shown are horizontal ground distances. Project combined factor = 0.999678470.
3. Bearings and distances shown are as measured in the field. Record information shown in parenthesis () refers to plat of "LADERA BUSINESS PARK, UNIT 2", filed 10/11/2004, 2004C-325.
4. Field work performed in September of 2006.
5. The following plats were used as references for this survey:
 - a.) "PLAT OF LOTS 1 & 2, LADERA INDUSTRIAL CENTER" filed 2/12/93, 93C-39.
 - b.) "LADERA BUSINESS PARK, UNIT 1" filed 1/22/2004, 2004C-24.
 - c.) "LADERA BUSINESS PARK, UNIT 2" filed 10/11/2004, 2004C-325.
6. The Parcel as shown hereon is subject to all of the "Exceptions" as listed under Schedule B, Part II of Fidelity National Title Company's Title Commitment No. 06-1068570-B-RAD dated September 6, 2006.
7. The Parcel as shown hereon lies within a ZONE X (Areas determined to be outside the 0.2% annual chance floodplain) Flood Hazard Area as shown and designated on the Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Map Number 35001C0326 E, effective date November 19, 2003.
8. The Parcel shown hereon is zoned SU-1 Light Industrial. Development within the SU-1 zone may only occur in conformance with an approved Site Development Plan, (City of Albuquerque Zoning Code, Rev. 6/2004, 14-16-2-22).
9. Underground utilities as shown hereon are located from visible markers and spotting observed in the field at the time of survey. Surveyor makes no guarantee as to the accuracy, completeness or thoroughness of underground utility information gathered as part of this survey.
10. This survey is for title purposes only and shall not be used for the design and/or construction of any future improvements.
11. Building setback lines shown hereon are detailed in the "Covenants, Conditions, and Restrictions for the Ladera Industrial Center," filed in the office of the County Clerk of Bernalillo County on 12/13/04 in Book 488, page 3737. Maximum building height shall be 32 feet (including parapet).

LEGEND

- Sat 5/8" Rubber & Plastic Cap marked "R, HEWITT N.M.S. 14730"
- Found 5/8" Rubber & Plastic Cap marked "ALS LS 7719"
- ▲ Found COA Centerline Monument LS 7719
- Overhead High Voltage Electric Transmission Line
- Two Pole Structure
- Fire Hydrant
- Water Valve
- Water Meter
- Sanitary Sewer Manhole
- Telephone Pedestal
- CATV Pedestal
- Standard Curb & Gutter

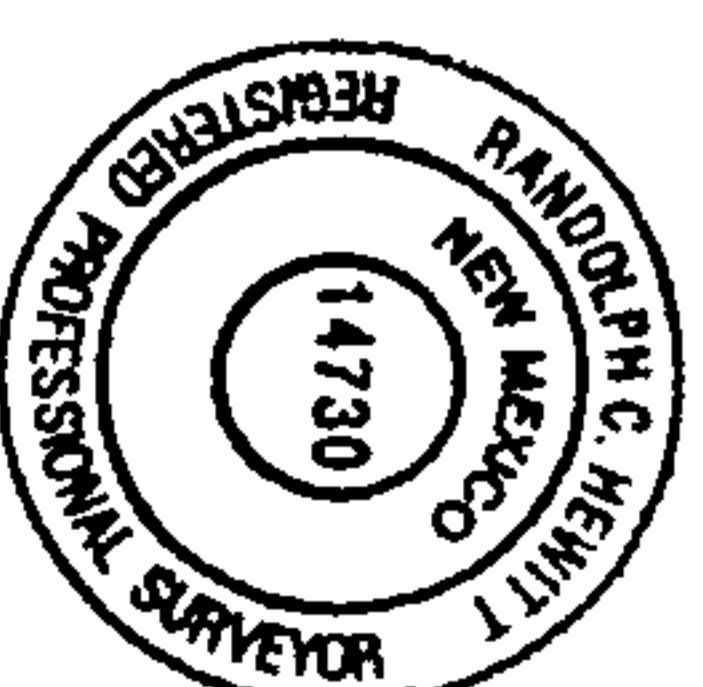


SCI JOB No. 2006-110C



LEGAL DESCRIPTION

Tract numbered One (1) of Plat for LADERA BUSINESS PARK, UNIT 2, within the Town of Atusco Grant, Projected Sections 9 and 10, Township 10 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 2004 in Plat Book 2004C, folio 325.



SURVEYOR'S CERTIFICATION

To User, 98th Street Partnership, L.L.C., a New Mexico Limited Liability Company, and to its successors and assigns, to Soledad Development Group, L.L.C., and to Fidelity National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 6, 8, 10, 11a, 11b, 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of New Mexico, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Ramón C. Hewitt
Ramon C. Hewitt
N.M.S. 14730
Date 10-03-06

Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Ladera Business Park

PROPOSED NAME OF PLAT AND/OR ~~SITE DEVELOPMENT PLAN~~

Lot 2, Ladera Industrial Center

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

AND SITE PLAN FOR SUBDIVISION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Unit Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		40' FF	TRANSPORTATION Pavement/ C & G	La Morada Pl.	Unser	Tract 7 cul-de-sac	/	/	/
		12' 6' 8'	Decel Lane (east side) Conc SW Paved bike path	Unser	La Morada Pl.	220' South of La Morada Pl.	/	/	/
		40' FF	Pavement, C & G (Private Street)	Vista Oeste	La Morada Pl.	SE End Tract 16	/	/	/
		40' FF	Pavement C & G	Vista Oriente	La Morada Pl.	SE End Tract 2	/	/	/
		8"	PUBLIC UTILITES WL	La Morada Pl.	Unser	Vista Oriente	/	/	/
		10"	WL	La Morada Pl.	Vista Oriente	S. Side Mirehaven Ch.	/	/	/
		10"	WL	Vista Oriente	SE SW corner Tract 2	La Morada Pl.	/	/	/
		8"	SAS	La Morada Pl.	Vista Oeste	Stoneham Place	/	/	/
		8"	SAS	Vista Oriente	SW Corner Tract 2	La Morada Pl.	/	/	/
		8"	WL	Vista Oeste	La Morada Pl.	SE End Tract 16	/	/	/
		8"	SAS	Vista Oeste	La Morada Pl.	SE End Tract 16	/	/	/

Claire

Date Submitted: 10/8/03
Date Site Plan Approved: 10/8/03
Date Preliminary Plat Approved: 10/8/03
Date Preliminary Plat Expires: 10/8/04
DRB Project No.: 1001523
DRB Application No.: 03-01360

SCANNED

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		42"	DRAINAGE RCP	Mirehaven Channel	SE Corner Tract 12	Mirehaven Thalweg	/	/	/
		36"	RCP	Tract 11/12 Boundary	La Morada Pl.	Mirehaven Channel	/	/	/
		36"	RCP	Vista Oriente	Tract 2	La Morada	/	/	/
		36"	RCP	La Morada	Vista Oriente	Midpoint of Tract 3	/	/	/
		36"	RCP	Tract 8 AC Swale	E. end of Tract 8 Swale	La Morada cul-de-sac	/	/	/
		42"	RCP	La Morada	Mid point of Tract 3	La Morada cul-de-sac	/	/	/
		60"	RCP	La Morada extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
		25"	Paved Channel/ Access	La Morada PL Extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
Private Improvements (to be financially guaranteed)									
		20'	AC Channel Swale	Vista Oriente	SE Corner Tract 1	SE Corner Tract 2	/	/	/
		20'	AC Drainage Swale	E. Side Tract 13	Tract 14	Mirehaven Channel	/	/	/
		20'	AC Drainage Swale	S. Side Tract 12	Tract 13	Tract 11	/	/	/
		20'	AC Drainage Swale	W. Side Tract 24	Tract 21	La Morada	/	/	/
		20'	AC Drainage Swale	N. Side Tract 25	Tract 29	La Morada	/	/	/
		20'	AC Drainage Swale	S. Side Tracts 7-10	Tract 11	La Morada Extension	/	/	/

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

UNIT II

SIA	COA DRC	Size	Type of Improvement	Location	From	To	Private	City	City Cnst
		40' FF	TRANSPORTATION Pavement / C & G	Vista Oriente	SW Corner Tract 1	SE Corner Tract 1 ²	/	/	/
		40' FF	Pavement, C & G, median (S. 1/2 only - Temporary Paving N. Side as Nec.)	Vista Oriente	Exist. Unser Impvts.	SW Corner Tract 1	/	/	/
		40'	PRIVATE IMPROVEMENTS Pavement/ C & G	Vista Oeste	Vista Oriente	S.N. End Tract 16	/	/	/
		8"	PUBLIC UTILITIES Waterline	Vista Oeste	Vista Oriente	S.N. End Tract 16	/	/	/
		8"	SAS	Vista Oeste	Vista Oriente	S.N. End Tract 16	/	/	/
		10"	Waterline	Vista Oriente	Unser	SE SW Corner Tract 2	/	/	/
		8"	SAS	Vista Oriente	NE Tract 29 SE Corner Lot 1(LIC)	SE SW Corner Tract 2	/	/	/

NOTES

- Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA)
- Grading & Drainage Plan Certification Required before release of financial guarantee
- Water/ SAS infrastructure to include valves, fittings, manholes etc.

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

John M. Mackenzie
NAME (print)

Sharon Watson 10/8/03 DRB CHAIR - date
Kristina Sandoral 10/8/03 PARKS & GENERAL SERVICES - date

MARK GODWIN & ASSOC.
FIRM

Jeff Saff 10/8/03
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

John M. Mackenzie 10-1-03
SIGNATURE - date

Roger Rea 10/8/03
UTILITY DEVELOPMENT - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

Brad J. Byles 10/8/03
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
△	9/10/04	<u>[Signature]</u>	<u>[Signature]</u>	<u>John Mackenzie</u>

7/23/03 Jeff Jaconowicki said to me:

1. Spaulding is building infrastructure despite the fact that the preliminary plat has expired.
2. Spaulding & the COA had an agreement that COA would participate in costs of infrastructure across Spaulding's property to serve Transit Center. Jeff doesn't believe he should have to live up to this agreement. He's willing to pay for cost of utilities from La Morada Place up Nista Oriente but not to pay for any of the costs ~~of~~ to ~~bring~~ infrastructure into Spaulding's property.
3. He wondered if the final plat could be approved if preliminary has expired. I said no.

Scanned from here back
OS

① 3/20/03 EPC - recommend approval to CC to amend El Rancho Atresce Phase II SDR for portion of Lot 2, Federal Ind. Park. (21.5 acres) SU-1 for Transit + some of SU-1 for ~~Light~~ Industrial

3/20/03 EPC - recommend approval from SU-1 for Light Industrial to R-T [+ Transit?] to CC.

② CC scheduled 6/9/03

③ Sketch Plat 5/28/03 DRB

Bulk → ④ Bulk Land Varying Vacations +
Land Plat differ from amended Prelim Plat. 12/4/02 6/4/03 DRB
Final Plat

⑤ 6/26/02 Prelim Plat + vacations approved
No need for site plan or newly platted lots
Random crossings w/ RT change to RT
EPC Site Plan for sub. approved by DRB - missing C.E. & plng signatures

⑥ 12/4/02 Amended prelim. Plat approved by DRB
Did not include Transit property

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ❖ Albuquerque, NM 87199
(505) 828-2200 ❖ (505) 797-9539 fax
e-mail: dm@swcp.com

LETTER OF TRANSMITTAL

TO: Sheran Matson, DRB Chair
Transportation Development
One Stop

Date: September 16, 2003

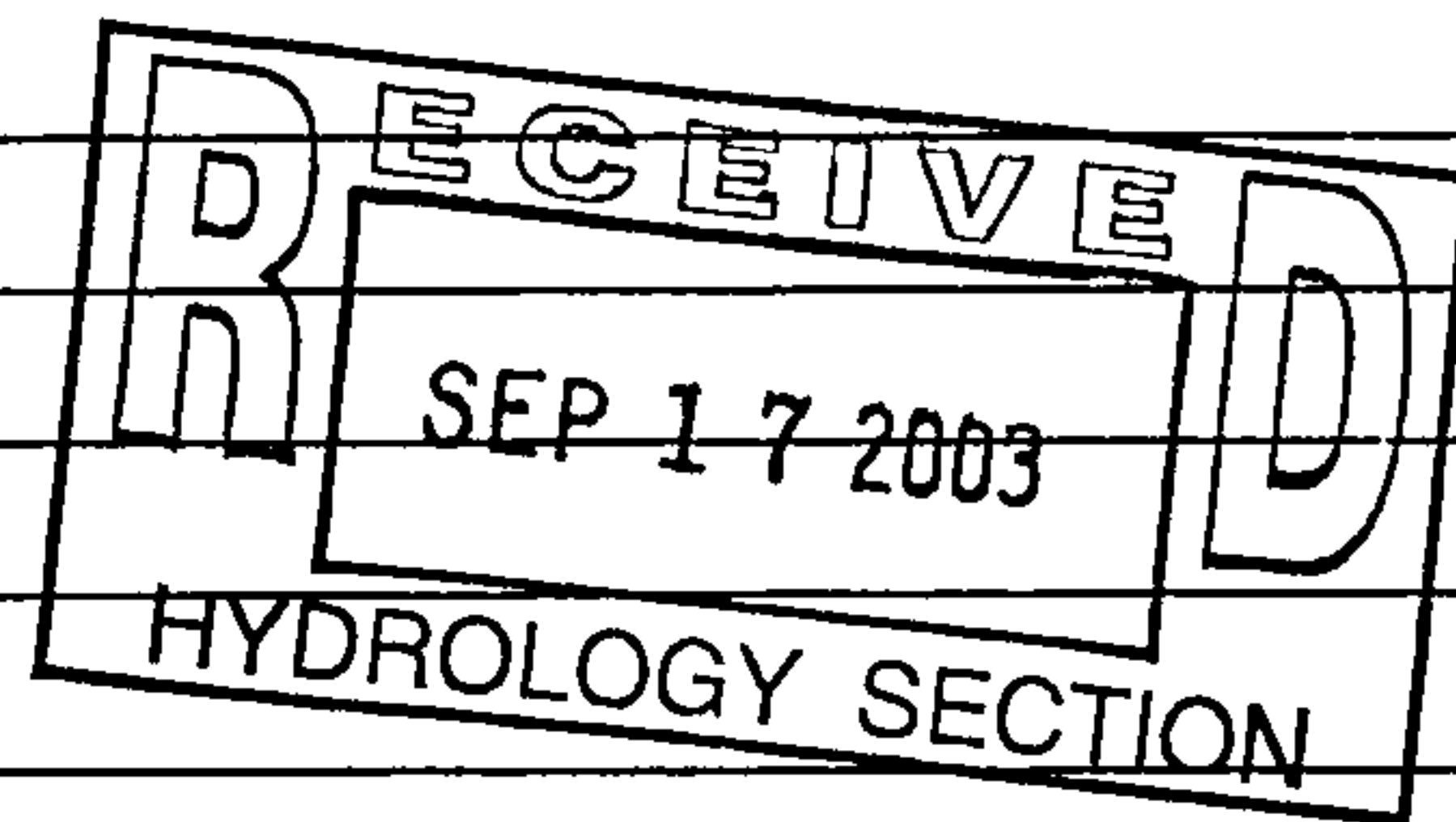
RE: Ladera BP (1001523)

We are sending:

Site Plan
IL (original)
Preliminary Plat
Letter (original)

- | | |
|--|--|
| <input type="checkbox"/> For your approval | <input checked="" type="checkbox"/> For your information |
| <input type="checkbox"/> As you requested | <input type="checkbox"/> For your comments |
| <input type="checkbox"/> Request for Bid | <input type="checkbox"/> Pre-Design Meeting |

NOTES: _____



Project Engineer John MacKenzie, PE

SIGNED: JMM

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ❖ Albuquerque, NM 87199
(505) 828-2200 ❖ (505) 797-9539 fax
e-mail: dmg@swcp.com

LETTER OF TRANSMITTAL

TO: Claire Senova
DRB, Secretary

Date: September 22, 2003

RE: Ladera Business Park #1001523
(Item 6 on Wed.)

We are sending:

Check for Deferral	
App'l. #s	03DRB-01361
	03DRB-01360
	03DRB-01362
	03DRB-01458

- | | |
|--|--|
| <input type="checkbox"/> For your use | <input checked="" type="checkbox"/> For the File |
| <input type="checkbox"/> As requested | <input type="checkbox"/> For your comments |
| <input type="checkbox"/> Request for Bid | <input type="checkbox"/> Pre-Design Meeting |

NOTES: _____

Project Engineer John MacKenzie, PE

SIGNED: *JMM*

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME UNSER 98TH ST. PARTNERSHIP.
AGENT MARK GOODWIN & ASSOC.
ADDRESS P.O. Box 90606 ALBQ 87199
PROJECT NO. 1001523
APPLICATION NO. 03DRB-01360-61 & 62 &
03DRD-01458


\$ 110⁰⁰ 441006 / 4983000 (DRB Cases)
\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)
\$ _____ 441018 / 4971000 (Notification)

\$ 110⁰⁰ Total amount due

UNSER 98 STREET PARTNERSHIP LLC
PO BOX 90548
ALBUQUERQUE, NM 87199-0548

Date 9-10-03 1055
95-78/1070
966

Pay to the Order of City of Albuq \$ 110⁰⁰
One hundred ten Dollars

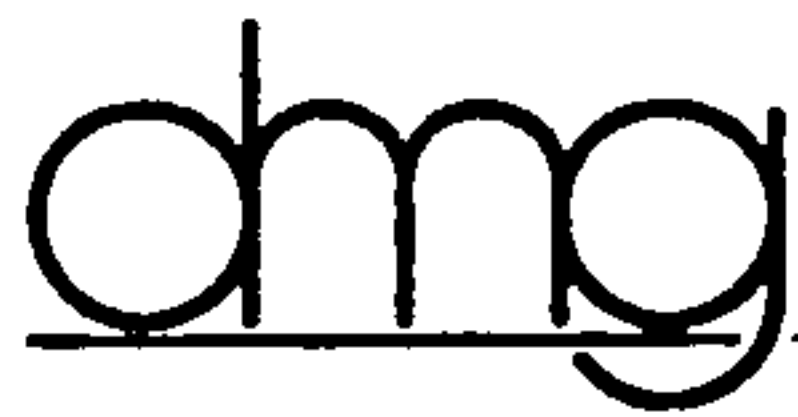
 **Compass Bank**
Abuquerque, New Mexico

For _____

DUPLICATE
City Of Albuquerque
Treasury Division

1070007831 0087809870 1055

09/23/2003 10:08AM LOC: ANN
X
RECEIPT# 00014818 WSH# 008 TRANS# 0013
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$110.00
J24 Misc 10/28/02 \$110.00
CK \$110.00
CHANGE \$0.00



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

September 16, 2003

Sheran Matson, AICP, DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523 and Item No. 5 on the 9/17/03 Agenda)

Dear Ms. Matson:

At the DRB hearing on September 10, 2003, the reference case was deferred for one week to address open space designation issues, clean up comments on the infrastructure list, and make minor modifications to the plat and the site plan for subdivision. The following is an itemized list of the changes:

Open Space

As of the date of this letter, Parks and Recreation has not yet responded to our request for Tract B (The Ladera Channel) to be designated detached open space. Since the hearing last week we have determined that a portion of the Mirehaven Channel, not already covered by an existing open space easement, should also be eligible for designation for an open space easement. On sheet 2 of the plat, the limits of the existing open space easement on the Mirehaven are identified. On the site plan for subdivision and on sheet 4 of the plat, the new "Tract C" is sought to be included with the previously designated "Tract B" as detached open space, subject to concurrence by Parks and Recreation.

Unit I - Unit II Boundary

On the site plan for subdivision and the plat, the Unit I - Unit II boundary has been adjusted to allow for full coverage of the Tract 2 and Tract 16 street frontage, as requested. The infrastructure list was adjusted accordingly.

Unser Boulevard Deceleration Lane Bike Path

Along the Unser Blvd. Decel lane the infrastructure list has been revised to include a paved 8' path, which is consistent with what exists along the east side of Unser Blvd. now.

Vista Oeste Drive (Private Street)

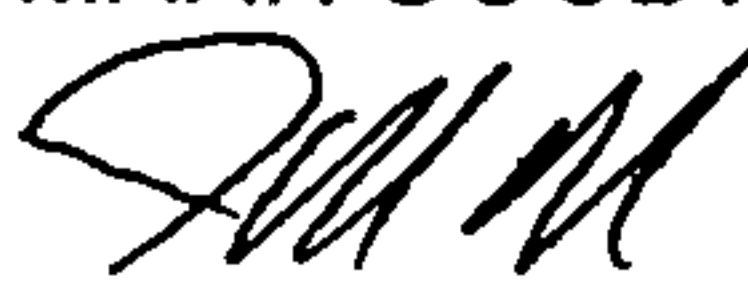
On the site plan for subdivision and the plat, Vista Oeste has been split into Tract A-1 (Unit 1) and Tract A-2 (Unit 2) to account for a division of the street by the unit boundary. "RW" has been removed and Note 11 on sheet one has been revised to reflect the change.

Tract 7 SAS

A note has been added to sheet one (Note 12) and sheet 7 of the plat to provide notice for the need of Tract 7 to install an on-site private lift station for its sanitary sewer service.

There is not sufficient time for DRB to review these changes so I am requesting a one week deferral of this case.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

JMM/bg



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

#5

September 16, 2003

Sheran Matson, AICP, DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: **Ladera Business Park (Project No. 1001523 and Item No. 5 on the 9/17/03 Agenda)**

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Vista Oeste Drive (Private Street)

On the site plan for subdivision and the plat, Vista Oeste has been split into Tract A-1 (Unit 1) and Tract A-2 (Unit 2) to account for a division of the street by the unit boundary. "RW" has been removed and Note 11 on sheet one has been revised to reflect the change.

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A note has been added to sheet one (Note 12) and sheet 7 of the plat to provide notice for the need of Tract 7 to install an on-site private lift station for its sanitary sewer service.

There is not sufficient time for DRB to review these changes so I am requesting a one week deferral of this case.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

JMM/bg

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION S

Major Subdivision action

Minor Subdivision action

Vacation V

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN P

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) L

Supplemental form

ZONING & PLANNING Z

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... A

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Unser - 98th Street Partneship PHONE: 821-1034

ADDRESS: P.O. Box 90548 FAX: 821-1537

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: _____

Proprietary interest in site: Owner

AGENT (if any): Mark Goodwin & Associates PHONE: 828-2200

ADDRESS: P.O. Box 90606 FAX: 797-9539

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: mg@swcd.co

DESCRIPTION OF REQUEST: Preliminary Plat Approval and Vacation of Public Easem
Easement, Deferal of sidewalks (internal)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2 Block: _____ Unit: _____

Subdiv. / Addn. Ladera Industrial Center

Current Zoning: SU-1 for light industrial Proposed zoning: n/a

Zone Atlas page(s): H-10 No. of existing lots: 1 No. of proposed lots: 31

Total area of site (acres): 120 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 101005909033320105 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. NW

Between: 98th Street NW and Ladera Drive NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): AX-81810

Z-81-49, 01128-01405 Project #1001523, DRB App No. 02DRB-00518

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE John Mackenzie DATE 8-14-03

(Print) JOHN MACKENZIE _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB - 01360</u>	<u>PP</u>		\$ <u>1410.-</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>03 DRB - 01361</u>	<u>VPE</u>		\$ <u>180.-</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>03 DRB - 01362</u>	<u>TDSW</u>		\$ <u>1540</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>No</u>		<u>Notice</u>		\$ <u>75.-</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>SEPT 10, 2003</u>			Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>1665.-</u>

JM 8/15/03

Project # 1001523

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS

- Application for subdivision (Plat) on FORM S, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- * The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - X Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - X Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - X Letter briefly describing, explaining, and justifying the request
 - X Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - X Sign Posting Agreement
 - X Fee (see schedule)
 - X Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

* *Previously Submitted*

VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- X Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - X Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - X Letter briefly describing, explaining, and justifying the deferral or extension
 - X Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John MACKENZIE
Applicant name (print)
John Mackenzie 8-14-03
Applicant signature / date



Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03DRB - 01360
03DRB - 01361
03DRB - 01362

JM 8/15/03
Planner signature / date
Project # 1001523

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on **FORM-V** in addition to application for subdivision on **FORM-S-3**.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule) $565 + 15p + 95i$ $565 + (15 \times 31) = 465$ $+ (380 \times 4) = 1410$
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John Mackenzie Applicant name (print)
John Mackenzie Applicant signature / date
8.14.03

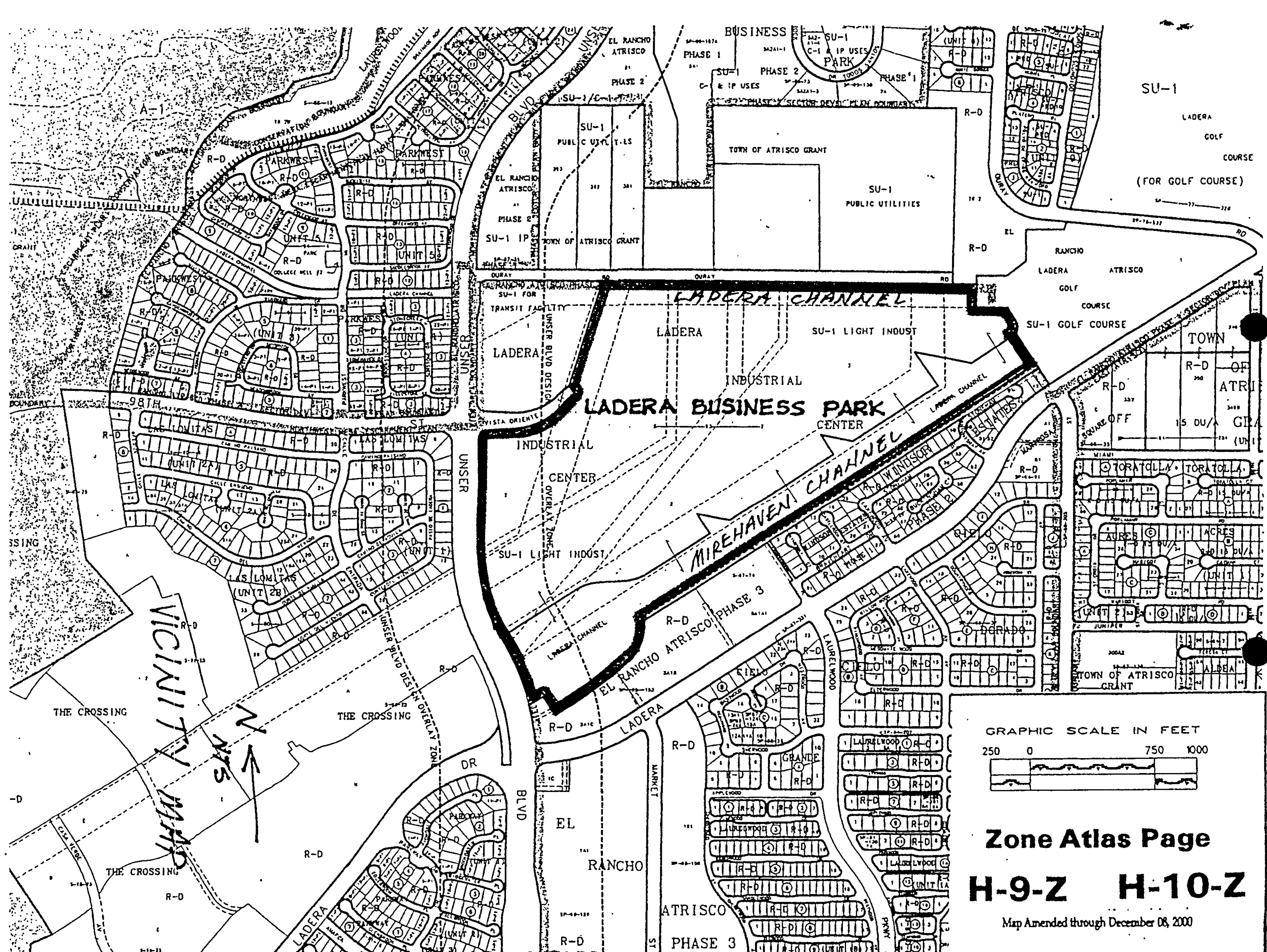


Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 01360
03DRB - 01361
03DRB - 01362

JAA 8/15/03 Planner signature / date
Project # 1001523



Zone Atlas Page
H-9-Z H-10-Z
 Map Amended through December 08, 2000



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

August 14, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

The reference project has a long history. The preliminary plat was first approved on June 26, 2002, along with the site plan for the subdivision.

Afterward, infrastructure plans were completed and the owner elected to build improvements instead of trying to financially guarantee them, so the final plat was never applied for.

The owner then agreed to have a third party purchase a portion of the project and change the zoning on that part to residential. That effort failed because in the end City Council denied the change. The buyer appealed, but the appeal has been withdrawn.

During the processing of the change, the previous preliminary plat was withdrawn to accommodate the change. This new application attempts to resurrect the previously approved preliminary plat. All items are the same, except Tract 16 has been moved from Unit II to Unit I. Also, all the previously granted vacations are being reapplied for since they expired. Ouray Road along the north boundary of the site was vacated by the neighboring Westridge Subdivision to the north.

The site plan for the Subdivision was deferred to October to allow for the previously mentioned residential changes, but I will request that it be moved to coincide with the hearing date of this request.

Please contact me if I can be of further assistance.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie, PE
Vice President

JMM/bg

enclosures

“ATTACHMENT A”

Beth Gonzales

Mark Goodwin & Assoc.

Zone Map – H-9,10

LADERA WEST N.A. (R)

*Dan Serrano *e-mail: dserrano@aol.com*
 3305 Rhonda de la Chusas NW/87120 836-6399 (h) 344-5311 (w)
 Barry King *e-mail: bking@tvi.cc*
 3808 Todos Santos NW/87120 836-6044 (h)

Council District: 1
County District: 1
Police Beat: 136/WS/Z-C
Zone Map #: G-H-9-11
Community Id Dist.: Westside

LAS LOMITAS N.A. (R)

*Darlene Motley *e-mail: dssmotley@att.net*
 8139 Corte De Aguila NW/87120 839-9789 (h) 235-5802 (w)
 Sharon Pruitt *e-mail: SherPruitt@comcast.net*
 2139 Calle Azulejo NW/87120 831-0277 (h) 379-1258 (w)

Council District: 1
County District: 1
Police Beat: 139/WS/Z-C
Zone Map #: H-9
Community Id Dist.: Westside

→ **LAURELWOOD N.A. (R)**

*Steve Tardy *e-mail: stardy11@comcast.net*
 7424 Lynwood Dr. NW/87120 323-7771 (h)
 Nancy Treviso *e-mail: ntreviso@unm.edu*
 7812 Sherwood Dr. NW/87120 831-6132 (h)

Council District: 1
County District: 1
Police Beat: 138/WS/Z-C
Zone Map #: H-J-9-10
Community Id Dist.: Westside

PARKWAY N.A. (R)

Karen Wade
 8100 Westover Pl. NW/87120 352-3864 (h)
 Eric Voccio
 1004 Tessa Dr. NW/87120 839-7531 (h)

Council District: 1
County District: 1
Police Beat: 139/WS/Z-C
Zone Map #: H-J-9
Community Id Dist.: Westside

S.R. MARMON N.A. (R)

*Deaun Lewis *e-mail: dcaun@spinn.net*
 6400 Sunny Day Ct. NW/87120 352-7249 (h) 797-7970 (w)
 Russell Kappelman *e-mail: russally@highstream.net*
 6824 Puerto Ave. NW/87120 352-0251 (h)
 Website: <http://www.srmna.org> **Hotline: 342-5715** **E-mail: srmna@hotmail.com**

Council District: 1
County District: 1
Police Beat: 137/WS/Z-C
Zone Map #: H-J-10-11
Community Id Dist.: Westside



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

August 14, 2003

Beth Gonzales
Mark Goodwin & Assoc.
PO Box 90606/87199
Phone #: 828-2200 Fax #: 797-9539

Dear Beth:

Thank you for your inquiry of **August 14, 2003** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed **LOT 2, LADERA INDUSTRIAL CENTER** – zone map page(s) **H-9,10**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Carmona

OFFICE OF NEIGHBORHOOD COORDINATION

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Unser-98th Partnership Date of Request: 9/27/01 Zone Atlas Page(s): H10

CURRENT: Legal Description:
Zoning SU-1 for Light Industrial Lot or Tract # Lot 2 Block # _____
Parcel Size (acres/sq.ft.) 105 Acres Subdivision Name Ladera Industrial Center

REQUESTED CITY ACTION(S):

- Annexation []
- Sector Plan Amendment []
- Zone Map Amendment []
- Other []

Site Development Plan:

- a.) Subdivision [X]
- b.) Building Purposes []
- c.) Amendment []
- d.) Building Permit []
- e.) Other []

PROPOSED DEVELOPMENT:

- No construction/development [X]
- New construction []
- Expansion of existing development []

GENERAL DESCRIPTION OF ACTION:

IP Master Plan create 26 lots
Number of units _____
Building size * _____ (sq. ft.)

* F.A.R. of .3 x 74 developable acres

Note: 1. Changes made to development proposals from the information provided, may change the TIS/AQIA analysis requirements.
= 950,000 square feet.

Applicant or Agent for the Applicant _____ Date _____

TRAFFIC IMPACT STUDY REQUIRED: YES [X] NO [] BORDERLINE []

PUBLIC WORKS DEPT. Transportation Development Division 1st Floor/Plaza del Sol 924-3900

THRESHOLDS MET? YES [] NO [] Previously studied [X] Mitigating reasons for not requiring TIS:

Notes:

TIS updates will be required at the prior to the time of development of any site.

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an updated or new TIS.

TRAFFIC ENGINEER Joseph D. Montano DATE Sept 29, 2001
for

AIR QUALITY IMPACT ASSESSMENT MAY BE REQUIRED

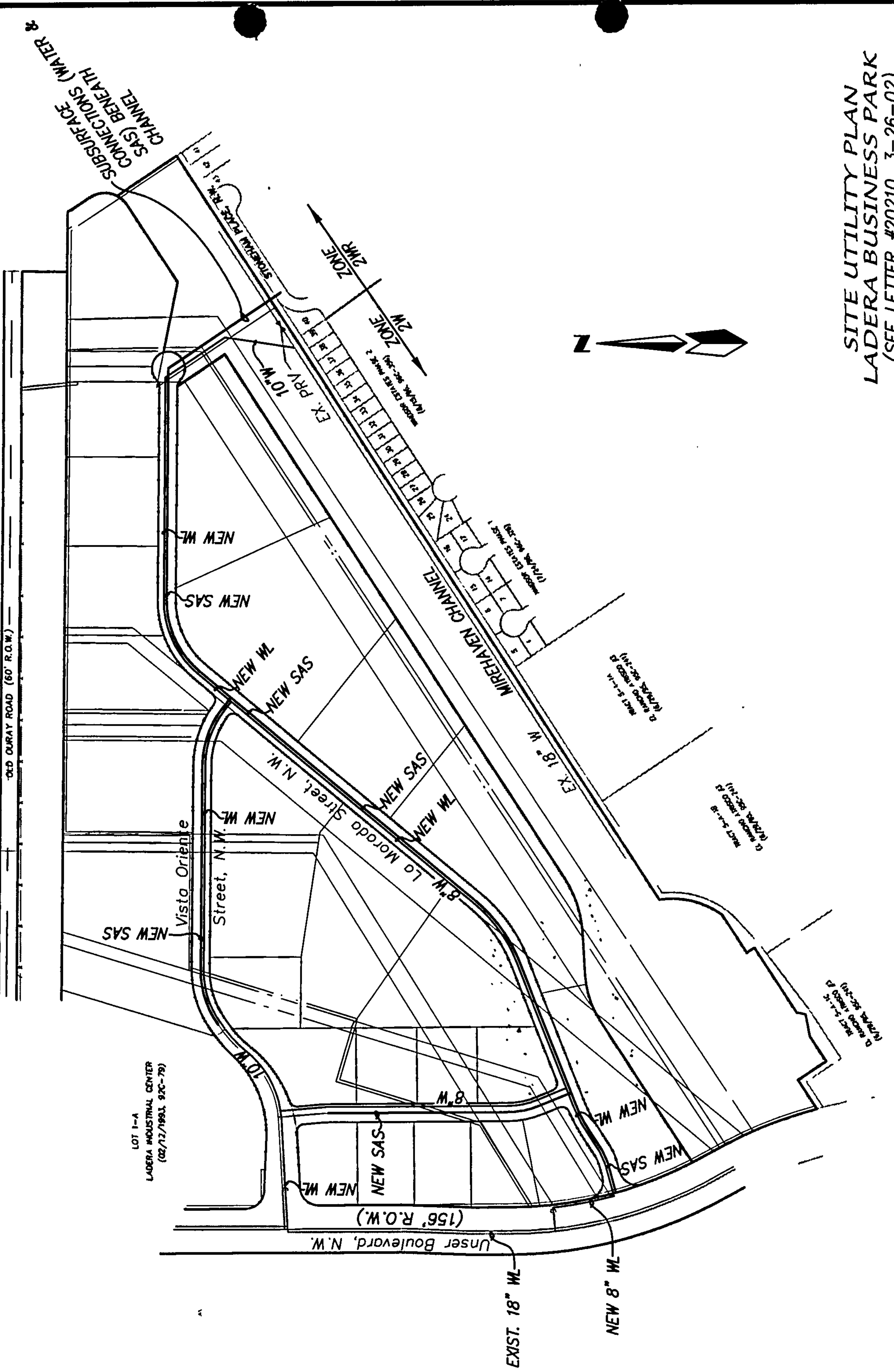
Section 14-16-3-14 of COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the zoning code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. No AQIA is required if associated TIS shows intersections functioning at level of service A, B or C.

IF AN AQIA IS REQUIRED: A scoping meeting must be held to define the level of analysis needed and the parameters of the study. The applicant should call 768-2638 or 768-2600 to insure that input is received from the AQD during the scoping of the companion TIS. Note that any subsequent changes to the development proposal identified above may require an updated or new AQIA.

Required TIS and/or AQIA must be completed prior to applying to EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED 3/1/99 Joseph D. Montano 9/29/01
- FINALIZED 1/1 for TRAFFIC ENGINEER DATE

*"Westside Suntran Facility + Ladera Industrial Park
May, 2001 Final TIS. - Mar. 31, 1999"*



SITE UTILITY PLAN
 LADERA BUSINESS PARK
 (SEE LETTER #20210, 3-26-02)

ONE STOP SHOP . . . FRONT COUNTER

City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Unser - 98th St Partnership

AGENT

MGA JM

ADDRESS

PROJECT NO.

APPLICATION NO.

1001523

\$ 1590 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 75 441018 / 4971000 (Notification)

\$ 1665.- Total amount due

D. MARK GOODWIN AND ASSOCIATES, P.A.
P.O. BOX 90606
ALBUQUERQUE, NM 87199-0606
(505) 828-2200

4010

DATE Aug 15, 2003

PAY TO THE ORDER OF City of Albuquerque \$ 95.00

Mindy - five and no/100

01/15/2003

BANKWEST

FOR Ledra Business Park

1070068130 283007003

SPARLING CONSTRUCTION CO. INC.
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199-0548
PHONE (505) 821-1034

42374

Pay: \$1,590.00 One thousand five hundred seventy dollars and no cents

August 14, 2003

CHECK NO 42374

AMOUNT \$1,570.00

City of Albuquerque
PO Box 13132
Albuquerque, NM 87103

DUPLICATE
City Of Albuquerque
Treasury Division

08/15/2003	1:16PM	LOC: ANNX
REC IPT# 00010747	WS# 007	TRAN# 0025
ACC unt 441018	Fund 0110	
Act. vity 4971000	TRSLJS	
Trans Amt	\$1,665.00	
J24 Misc	\$75.00	
CK	\$95.00	
LN	10/28/02	\$1,570.00
CHANGE		\$0.00

042374 1070068130 284000221*

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

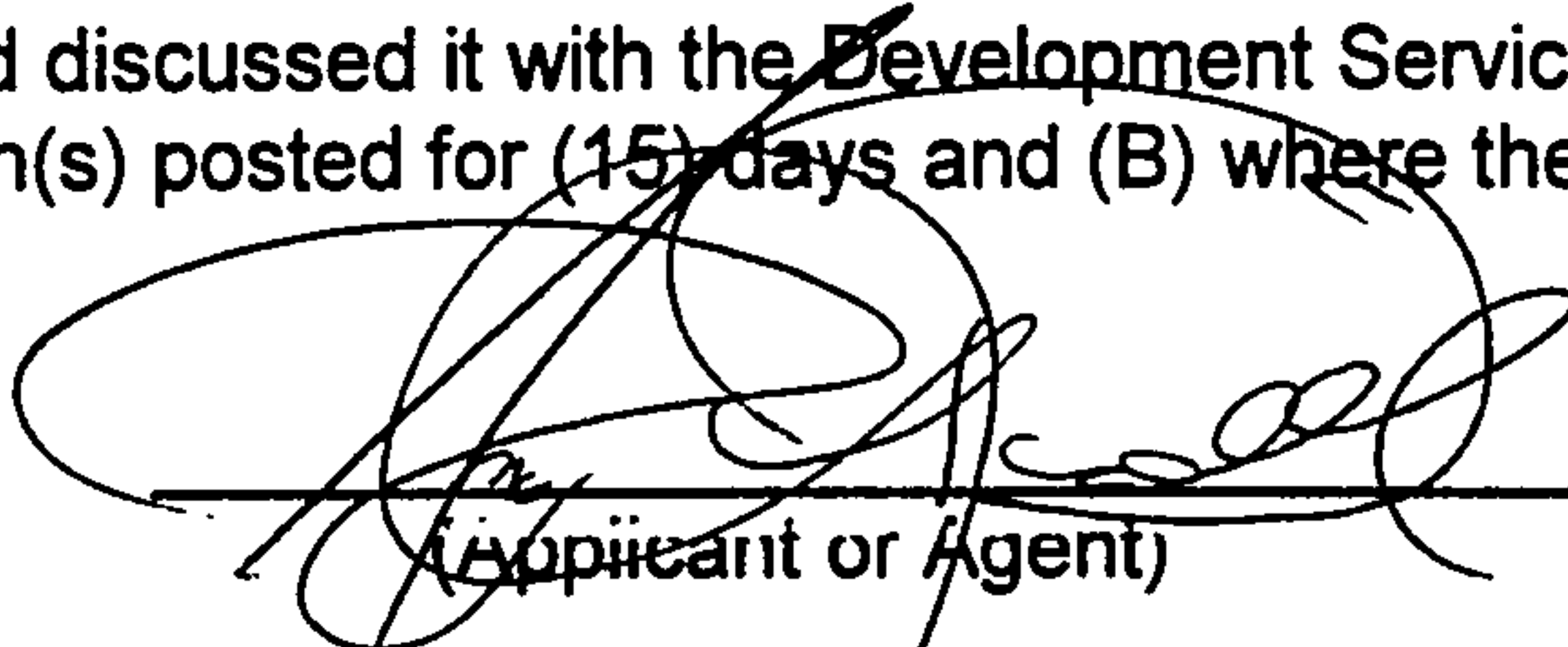
4. TIME

Signs must be posted from Aug 26 2003 To SEPT 10 2003


5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent) 8/15/03
(Date)

I issued 3 signs for this application, 8/15/03, _____
(Date) 
(Staff Member)

03 DRB < 01360
01361

DRB PROJECT NUMBER: 1001523

Known as Ludena Biz Park



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

September 16, 2003

Sheran Matson, AICP, DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523 and Item No. 5 on the 9/17/03 Agenda)

Dear Ms. Matson:

At the DRB hearing on September 10, 2003, the reference case was deferred for one week to address open space designation issues, clean up comments on the infrastructure list, and make minor modifications to the plat and the site plan for subdivision. The following is an itemized list of the changes:

Open Space

As of the date of this letter, Parks and Recreation has not yet responded to our request for Tract B (The Ladera Channel) to be designated detached open space. Since the hearing last week we have determined that a portion of the Mirehaven Channel, not already covered by an existing open space easement, should also be eligible for designation for an open space easement. On sheet 2 of the plat, the limits of the existing open space easement on the Mirehaven are identified. On the site plan for subdivision and on sheet 4 of the plat, the new "Tract C" is sought to be included with the previously designated "Tract B" as detached open space, subject to concurrence by Parks and Recreation.

Unit I - Unit II Boundary

On the site plan for subdivision and the plat, the Unit I - Unit II boundary has been adjusted to allow for full coverage of the Tract 2 and Tract 16 street frontage, as requested. The infrastructure list was adjusted accordingly.

Unser Boulevard Deceleration Lane Bike Path

Along the Unser Blvd. Decel lane the infrastructure list has been revised to include a paved 8' path, which is consistent with what exists along the east side of Unser Blvd. now.

Vista Oeste Drive (Private Street)

On the site plan for subdivision and the plat, Vista Oeste has been split into Tract A-1 (Unit 1) and Tract A-2 (Unit 2) to account for a division of the street by the unit boundary. "RW" has been removed and Note 11 on sheet one has been revised to reflect the change.

Tract 7 SAS

A note has been added to sheet one (Note 12) and sheet 7 of the plat to provide notice for the need of Tract 7 to install an on-site private lift station for its sanitary sewer service.

There is not sufficient time for DRB to review these changes so I am requesting a one week deferral of this case.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie, PE
Vice President

JMM/bg

facsimile
TRANSMITTAL

to: Claire Senova
fax #: 924-3864
re: Ladera BP (1001523 - Item No. 5 tomorrow)
date: September 16, 2003
pages: 2, including this cover sheet.

Request for a one-week deferral (see bottom of attached letter for underlined text)

From the desk of...

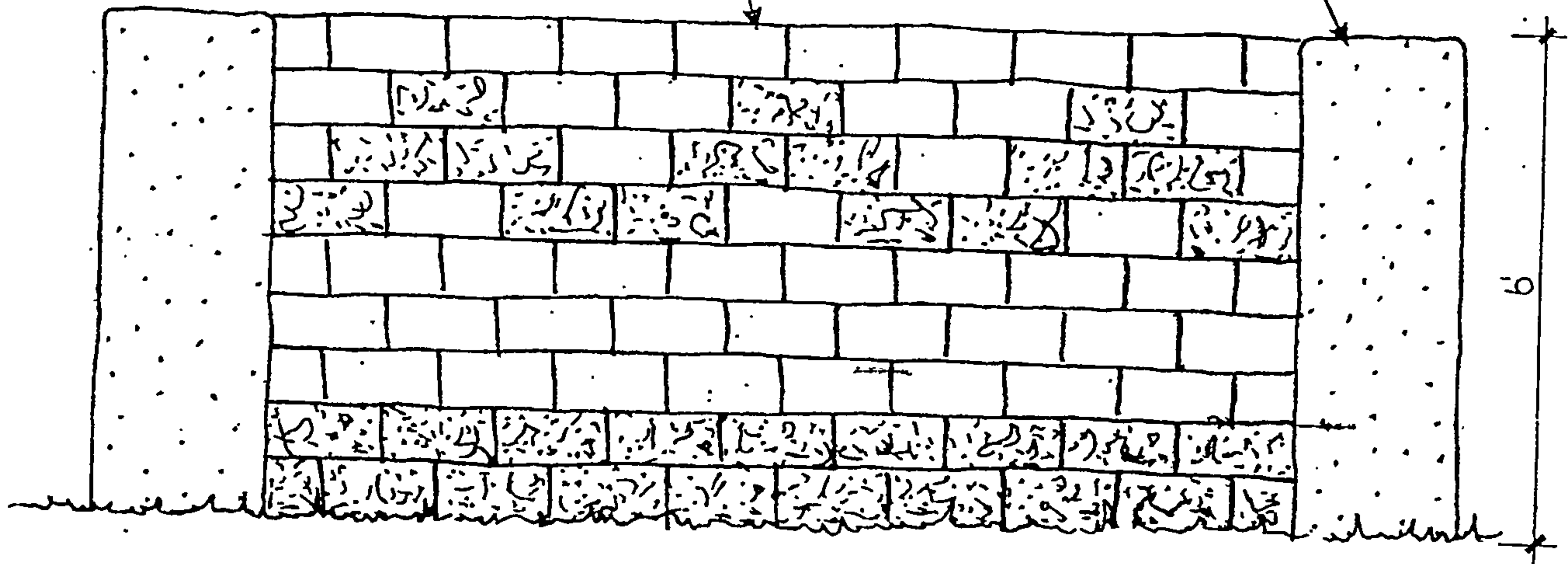
John M. MacKenzie
Senior Engineer
Mark Goodwin & Associates
Box 90606
Albuquerque, NM 87199

505-828-2200
Fax:

All scanned
4/06

Smooth color block CMU with
split face CMU placed in pattern

Pilasters - 12' - 16' o.c.



Wall Detail @ Ladera Business Park



9/4/03

1001523

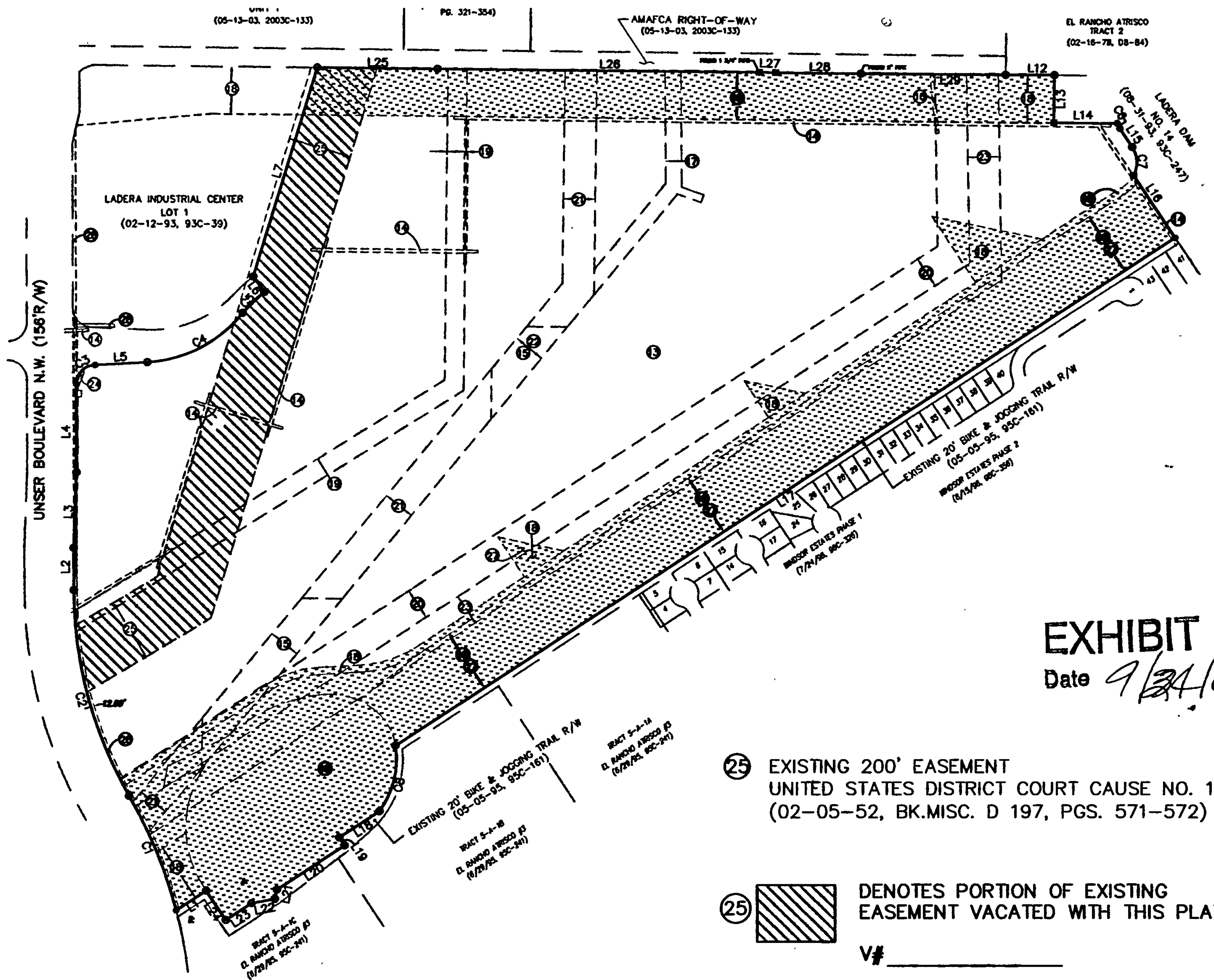
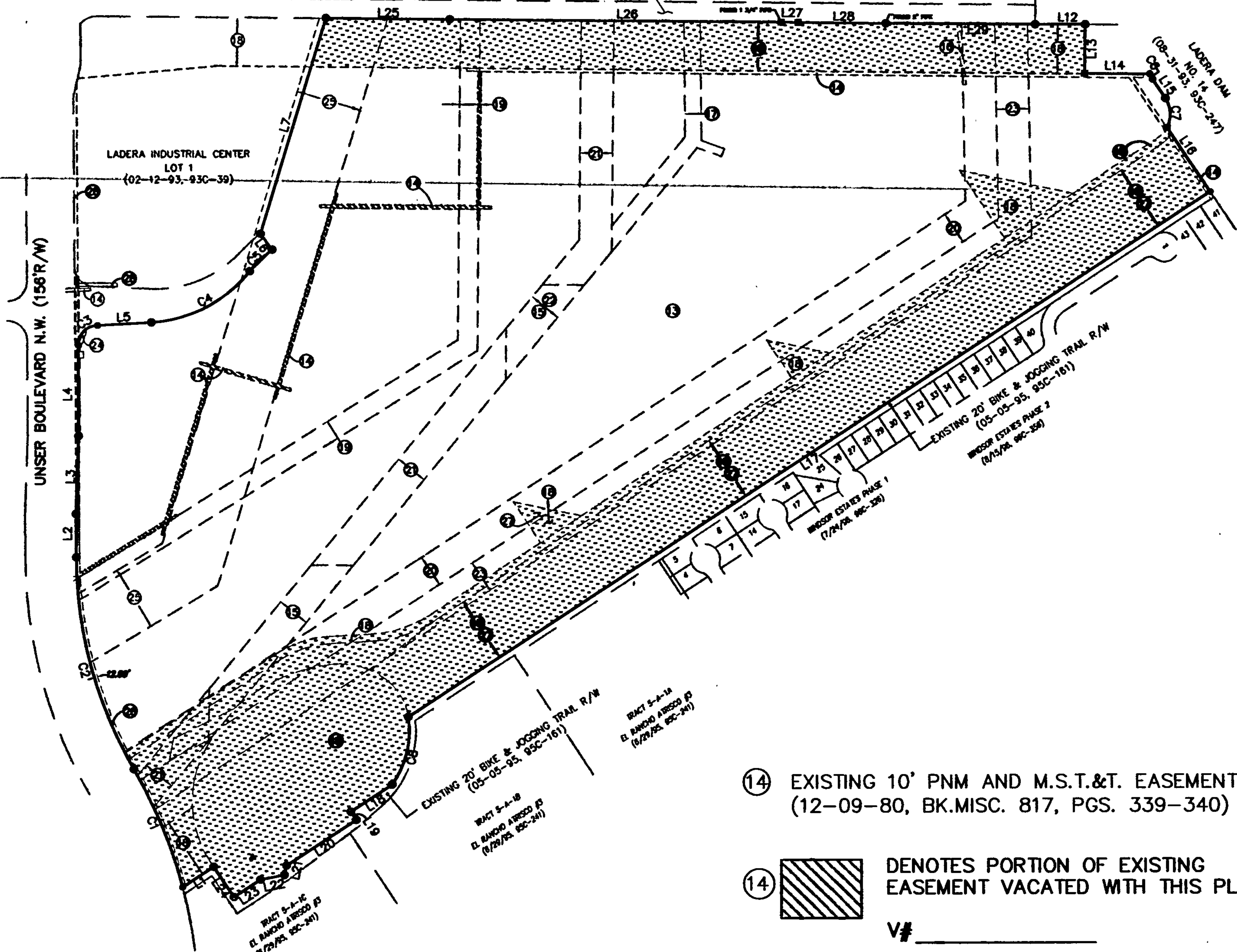


EXHIBIT B
Date 9/24/03

25 EXISTING 200' EASEMENT
UNITED STATES DISTRICT COURT CAUSE NO. 1845
(02-05-52, BK.MISC. D 197, PGS. 571-572)

25  DENOTES PORTION OF EXISTING
EASEMENT VACATED WITH THIS PLAT
V# _____

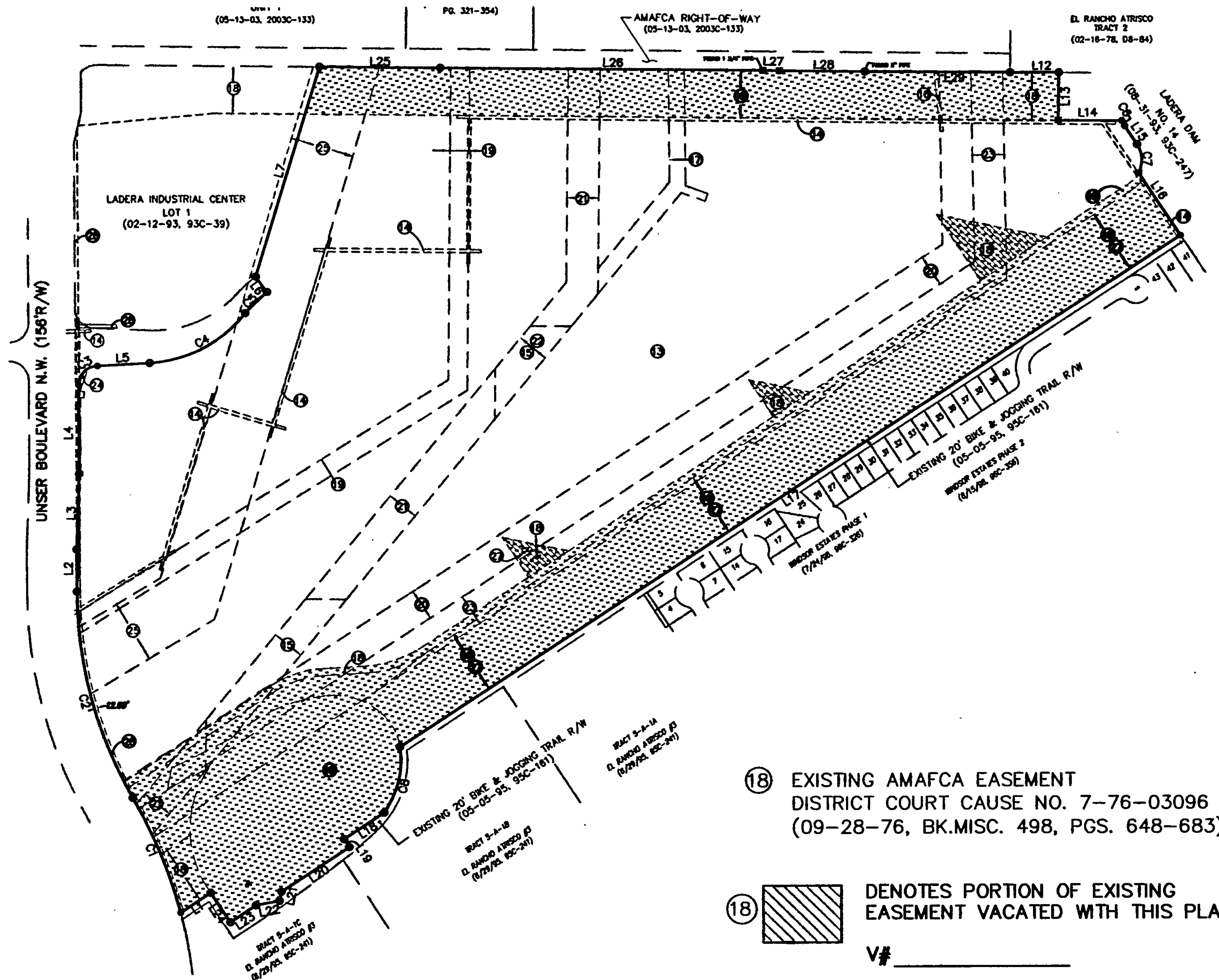


⑭ EXISTING 10' PNM AND M.S.T.&T. EASEMENT
(12-09-80, BK.MISC. 817, PGS. 339-340)

⑭  DENOTES PORTION OF EXISTING
EASEMENT VACATED WITH THIS PLAT

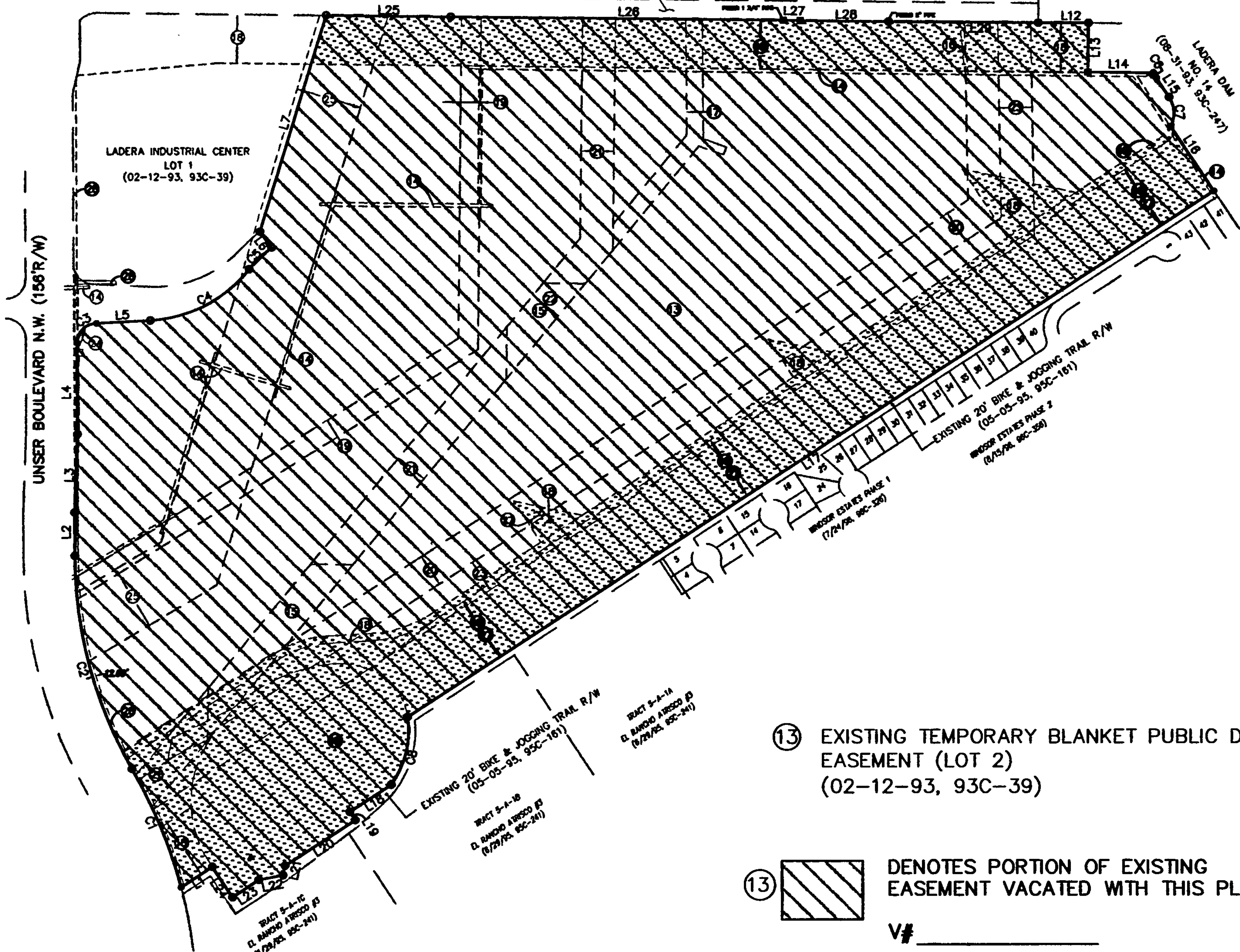
V# _____

LADERA BUSINESS PARK (1001523) - VACATION EXHIBIT 2



⑱ EXISTING AMAFCA EASEMENT
DISTRICT COURT CAUSE NO. 7-76-03096
(09-28-76, BK.MISC. 498, PGS. 648-683)

⑱  DENOTES PORTION OF EXISTING
EASEMENT VACATED WITH THIS PLAT
V# _____



⑬ EXISTING TEMPORARY BLANKET PUBLIC DRAINAGE EASEMENT (LOT 2)
(02-12-93, 93C-39)

⑬  DENOTES PORTION OF EXISTING EASEMENT VACATED WITH THIS PLAT

V# _____

LADERA BUSINESS PARK (1001523) - VACATION EXHIBIT 4

LADERA BUSINESS PARK

Sidewalk Deferral

Exhibit

Existing SW and Trail

Not a Part A
LADERA INDUSTRIAL CENTER
(02/12/1993 92C-79)
LOT 1-A

All internal Sidewalks to be deferred

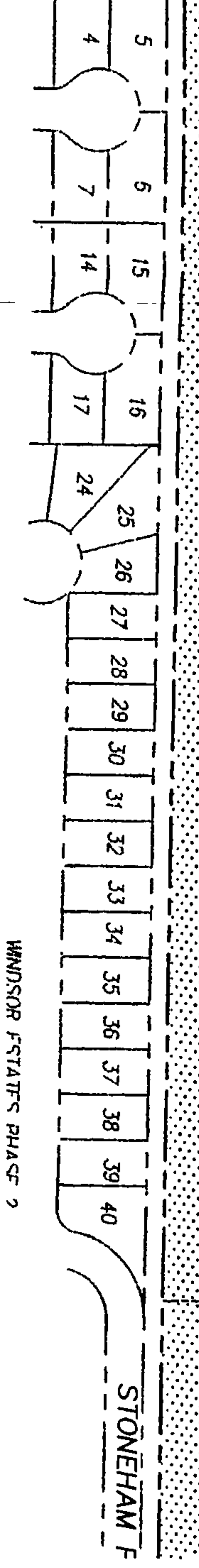
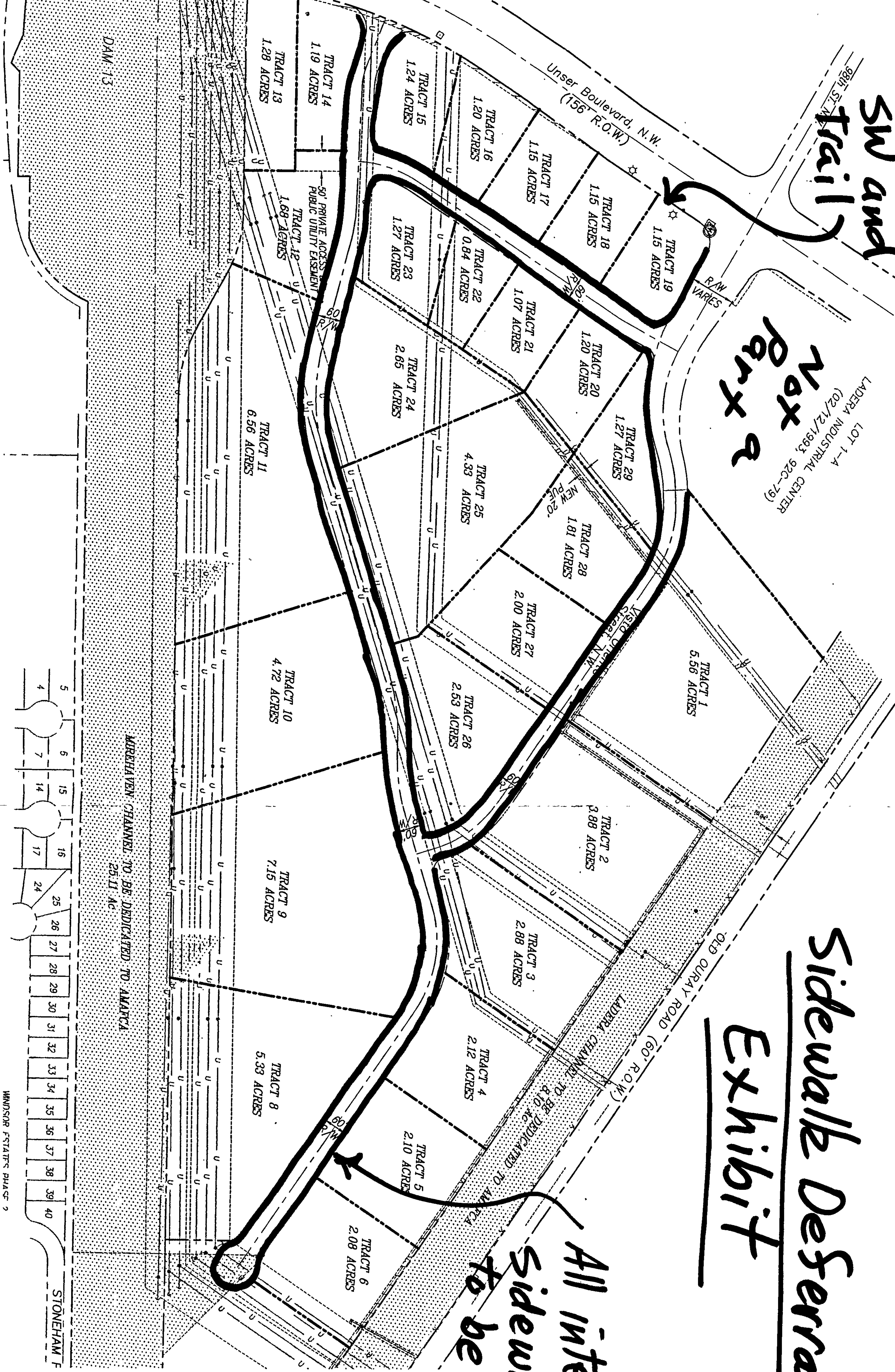
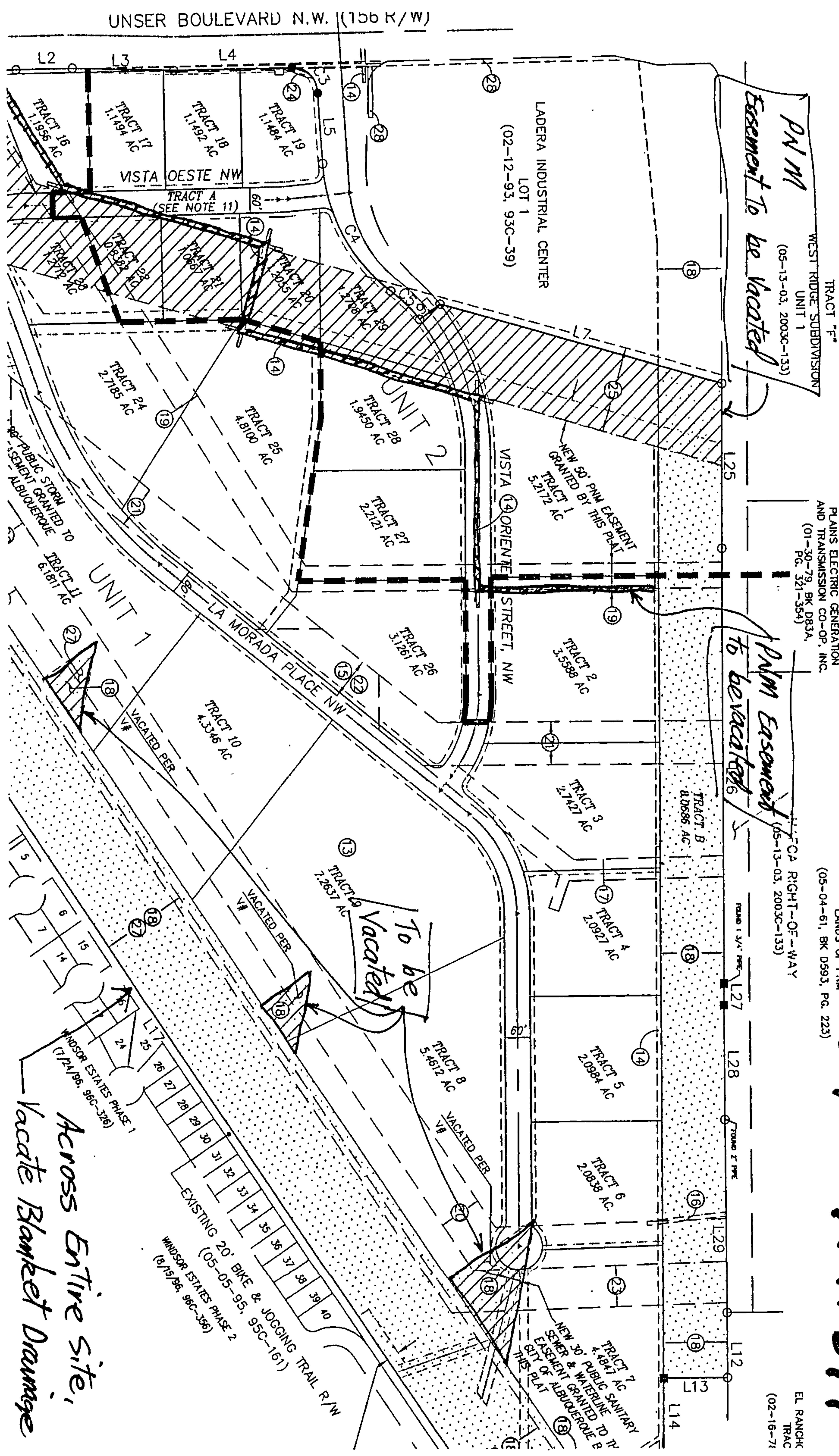


EXHIBIT C
Date 8/27/03

Ladera Business Park - Vacation Exhibit

Need colored Copy



TRACT "F"
WEST RIDGE SUBDIVISION
UNIT 1
PNM
(05-13-03, 2003C-133)
Easement To be vacated

LANDS OF
PLANS ELECTRIC GENERATION
AND TRANSMISSION CO-OP, INC.
(01-30-79, BK D83A,
PG. 321-354)

LANDS OF PNM
PLANS OF RIGHT-OF-WAY
(05-04-61, BK D593, PG. 223)

EL RANCHO
TRAC
(02-16-71)

*Vacate Blanket Drainage
Across Entire Site,*

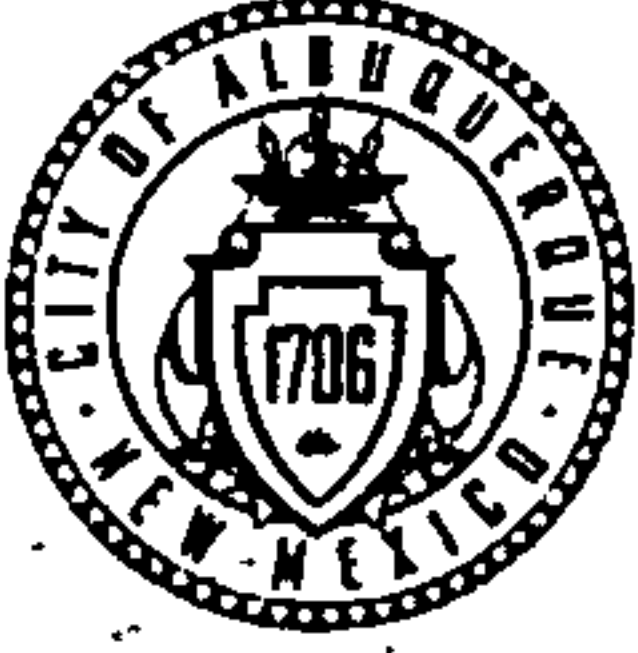
To be vacated

Palm Easement To be vacated

WINDSOR ESTATES PHASE 1
(7/24/96, 96C-326)

EXISTING 20' BIKE & JOGGING TRAIL R/W
(05-05-95, 95C-161)

WINDSOR ESTATES PHASE 2
(6/15/96, 96C-356)



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 24, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:55 A.M.

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from here
back CS*

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002322**
03DRB-00420 Major - Preliminary Plat Plat
Approval and Major - Final Plat Approval

MULE BARN ENTERPRISE agent(s) for ACME REAL ESTATE FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIG. SITE OF WESTLAND**, zoned SU-2 special neighborhood zone- IP, located on the westside of 90th ST SW, between CENTRAL AVE SW and SUNSET GARDENS RD SW containing approximately 9 acre(s). [REF: 02DRB-01666 SK, 03DRB-00420 PP, 03DRB-00349 PUFF] **[NO NEW SUBMITTAL] (L-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/22/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

2. **Project # 1002933**
03DRB-01443 Major-Vacation of Public
Easements
03DRB-01446 Minor- Preliminary & Final
Plat Approval
03DRB-01444 Minor-Sidewalk Waiver

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for HOECH REAL ESTATE CORPORATION, request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 28, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **VINYARD ESTATES, UNIT IV-B**, zoned RD (5 DU/A), containing approximately 2 acre(s). (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/28/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAN WAS INDEFINITELY DEFERRED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1002934**
03DRB-01445 Major-Vacation of Pub Right-of-Way

DE LA TORRE ARCHITECTS, agent(s) for FOURTH STREET & MENAUL INC., request(s) the above action(s) for all or a portion of Block(s) O, Tract(s) 1A, **WALGREEN ADDITION**, zoned C-2 (SC), containing approximately 11 acre(s). *[Deferred from 9/24/03]* (H-14) **DEFERRED AT THE AGENT'S REQUEST TO 10/8/03.**

4. **Project # 1002935**
03DRB-01447 Major-Bulk Land Variance
03DRB-01449 Major-Vacation of Pub Right-of-Way
03DRB-01450 Major-Preliminary Plat Approval
03DRB-01451 Minor-SiteDev Plan Subd
03DRB-01452 Minor-Temp Defer SDWK
03DRB-01453 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC., agent(s) for WESTLAND DEVELOPMENT CO., INC, request(s) the above action(s) for all or a portion of Tract(s) A, PARKWAY SUBDIVISION AND PARCEL 1 OF WESTLAND NORTH, (to be known as **SUNDORO UNITS 1, 2, 3 & 4**) zoned SU-2/R-LT AND R-D, containing approximately 55 acre(s). [REF: 03DRB-00736 (SK) *[Deferred from 9/24/03]*. (J-9/8 & H-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

5. **Project #1002201**
03DRB-01270 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] [*Deferred from 8/20/03, 8/27/03, 9/10/03, 9/24/03*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

Project #1002201
03DRB-01150 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for OMEGA AUTOMOTIVE REAL ESTATE LTD request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (Vac), 03ZHE-00655] [Listed as Project #1002613 in error] [*Deferred from 7/23/03, 8/13/03, 8/27/03, 9/10/03, 9/24/03*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

Project #1002201
03DRB-01382 Minor-SiteDev Plan BldPermit

TIERRA WEST, LLC agent(s) for OMEGA AUTOMOTIVE, REAL ESTATE LTD. request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 14, 19, 20, 21, Block(s) 10, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, **PREMIER MOTORCARS**, zoned SU-2 special neighborhood zone, IP, located on OAKLAND AVE NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 6 acre(s). [REF: 02DRB-01367 (VRW) 03ZHE-00655] [*Deferred from 8/27/03, 9/10/03, 9/24/03*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

6. **Project # 1001523**
03DRB-01361 Major-Vacation of Public Easements
03DRB-01360 Major-Preliminary Plat Approval
03DRB-01362 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] (H-10) **THE TEMPORARY DEFERRAL OF SIDEWALKS WAS WITHDRAWN. DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

- Project # 1001523**
03DRB-01458 Minor-SiteDev Plan Subd/EPC

See
File
Front of
Office
9/24/03

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98th ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03] [RUSSELL BRITO, EPC CASE PLANNER] (H-10) DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1002716**
03DRB-01549 Minor-SiteDev Plan Subd/EPC
03DRB-01550 Minor-SiteDev Plan BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for GEORGE BRUNACINI CONSTRUCTION CO request(s) the above action(s) for all or a portion of Block(s) 22, Tract(s) X-1-B, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A**, zoned SU-1 for O-1 incidental uses & Bank, located on WYOMING BLVD NE, between PASEO DEL NORTE NE and DOMINGO BACA DRAINAGE ROW NE containing approximately 3 acre(s). [REF: 03EPC-00936 (SPS), 03EPC-00922 (SBP)] [Deferred from 9/24/03] [CARMEN MARRONE, EPC CASE PLANNER] (D-19) DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.

8. **Project # 1002964**
03DRB-01548 Minor-SiteDev Plan BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 21, **RICHFIELD PARK**, zoned IP, located on ADAMS NE, containing approximately 2 acre(s). [REF: Z-82-66, DRB-94-339] [Deferred from 9/24/03] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/1/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS

9. **Project # 1002593**
03DRB-01546 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP request(s) the above action(s) for **VISTA DE ARENAL, UNIT II, TRACT 29C, VENTANA RANCH**, zoned R-L Residential zone, located on LAS VENTANAS RD NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 7 acre(s). [REF: 03DRB-01376 (PP) (B-9)] **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002738**
03DRB-01519 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for FRANCES MUNOZ request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) M, **EASTERN ADDITION**, zoned SU-2 special neighborhood zone, NCR, located on DAN AV SE, between JOHN ST. SE and BROADWAY BLVD. SE containing approximately 1 acre(s). [REF: 03DRB-00980 SK, Z-76-81] (L-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

11. **Project # 1002743**
03DRB-01544 Minor-Prelim&Final Plat
Approval

BORDENAVE DESIGNS agent(s) for OVENWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) ALL, LA LUZ DEL OESTE, zoned SU-1 special use zone, PRD, located on SOUTH SIDE OF DELLYNE AVE NW, between COORS BLVD NW and VISTA DE LUZ NW containing approximately 16 acre(s). [REF: Z-77-28-1, 03DRB-00989 SK] (F-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR: LABEL NEW EASEMENTS "GRANTED BY THIS PLAT", ADD PUBLIC WATERLINE EASEMENT ON TRACT N AND CHECK FOR AGIS DXF FILE, AND TRANSPORTATION DEVELOPMENT FOR: NOTE BENEFICIARIES ON THE PLAT, DOCUMENT THE HOMEOWNER'S ASSOCIATION RULES ETC.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1001087**
03DRB-01547 Minor-Sketch Plat or Plan

STEVE HALE. agent(s) for HALE & SUN CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 2 & 3 W.1/3, **MAJOR ACRES SUBDIVISION**, zoned SU-2 special neighborhood zone, R-T, located on 12TH ST & MAJOR ST NW, between MATTHEW AVE NW and CANDELARIA RD NW containing approximately 7 acre(s). [REF: (1002231) 02ZHE-01435, (1001087) 01DRB- 00268 SK, 01DRB-01891 SECTOR PLAN] (B-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for September 10, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 10:55 A.M.

MEMO

Date: 3 September 2003
To: Sheran Matson, DRB Chair
From: Russell Brito, Senior Planner
RE: Project # 1001523: 03DRB-014585 (01128-01405)

~~10~~ #4

The submitted site development plan for subdivision meets the EPC Conditions of Approval.

Please ensure that Condition #3 is satisfactorily met by the submittal.

Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 10/8/03
Date Site Plan Approved: 10/8/03
Date Preliminary Plat Approved: 10/8/03
Date Preliminary Plat Expires: 10/8/04
DRB Project No.: 1001523
DRB Application No.: 03-21360

Ladera Business Park

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 2, Ladera Industrial Center

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

AND SITE PLAN FOR SUBDIVISION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Unit I Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		40' FF	TRANSPORTATION Pavement/ C & G	La Morada Pl.	Unser	Tract 7 cul-de-sac	/	/	/
		12'	Decel Lane (east side)	Unser	La Morada Pl.	220' South of La Morada Pl.	/	/	/
		6'	Conc. SW				/	/	/
		8'	Paved bike path				/	/	/
		40' FF	Pavement, C & G (Private Street)	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/
		40' FF	Pavement C & G	Vista Oriente	La Morada Pl.	W. End Tract 2	/	/	/
			PUBLIC UTILITES				/	/	/
		8"	WL	La Morada Pl.	Unser	Vista Oriente	/	/	/
		10"	WL	La Morada Pl.	Vista Oriente	S. Side Mirehaven Ch.	/	/	/
		10"	WL	Vista Oriente	SW corner Tract 2	La Morada Pl.	/	/	/
		8"	SAS	La Morada Pl.	Vista Oeste	Stoneham Place	/	/	/
		8"	SAS	Vista Oriente	SW Corner Tract 2	La Morada Pl.	/	/	/
		8"	WL	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/
		8"	SAS	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/

Handwritten signature

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		42"	DRAINAGE RCP	Mirehaven Channel	SE Corner Tract 12	Mirehaven Thalweg	/	/	/
		36"	RCP	Tract 11/12 Boundary	La Morada Pl.	Mirehaven Channel	/	/	/
		36"	RCP	Vista Oriente	Tract 2	La Morada	/	/	/
		36"	RCP	La Morada	Vista Oriente	Midpoint of Tract 3	/	/	/
		36"	RCP	Tract 8 AC Swale	E. end of Tract 8 Swale	La Morada cul-de-sac	/	/	/
		42"	RCP	La Morada	Mid point of Tract 3	La Morada cul-de-sac	/	/	/
		60"	RCP	La Morada extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
		25"	Paved Channel/ Access	La Morada PL Extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
Private Improvements (to be financially guaranteed)									
		20'	AC Channel Swale	Vista Oriente	SE Corner Tract 1	SE Corner Tract 2	/	/	/
		20'	AC Drainage Swale	E. Side Tract 13	Tract 14	Mirehaven Channel	/	/	/
		20'	AC Drainage Swale	S. Side Tract 12	Tract 13	Tract 11	/	/	/
		20'	AC Drainage Swale	W. Side Tract 24	Tract 21	La Morada	/	/	/
		20'	AC Drainage Swale	N. Side Tract 25	Tract 29	La Morada	/	/	/
		20'	AC Drainage Swale	S. Side Tracts 7-10	Tract 11	La Morada Extension	/	/	/

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA		COA DRC		Size	Type of Improvement	Location	From	To	Private	City	City Cnst
				40' FF	TRANSPORTATION Pavement / C & G	Vista Oriente	SW Corner Tract 1	SE Corner Tract 1	/	/	/
				40' FF	Pavement, C & G, median (S. 1/2 only - Temporary Paving N. Side as Nec.)	Vista Oriente	Exist. Unser Impvts.	SW Corner Tract 1	/	/	/
				40'	PRIVATE IMPROVEMENTS Pavement/ C & G	Vista Oeste	Vista Oriente	N. End Tract 16	/	/	/
				8"	PUBLIC UTILITIES Waterline	Vista Oeste	Vista Oriente	N. End Tract 16	/	/	/
				8"	SAS	Vista Oeste	Vista Oriente	N. End Tract 16	/	/	/
				10"	Waterline	Vista Oriente	Unser	SW Corner Tract 2	/	/	/
				8"	SAS	Vista Oriente	SE Corner Lot 1(LIC)	SW Corner Tract 2	/	/	/

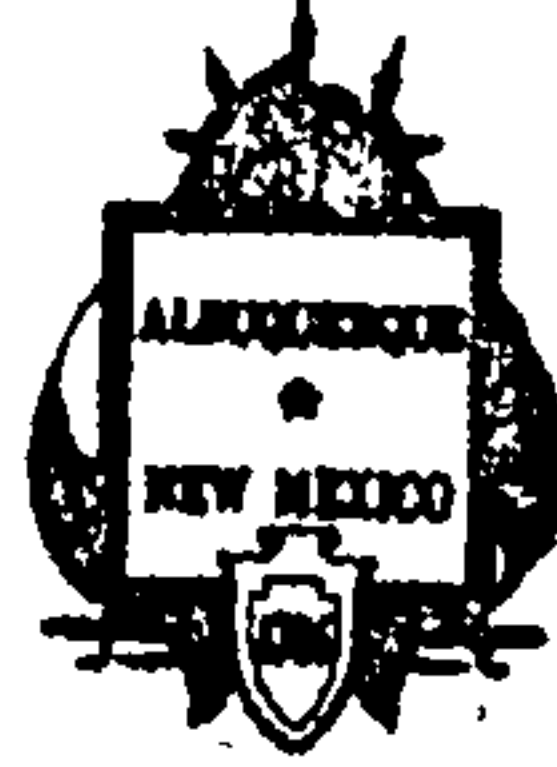
NOTES

- Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA)
- Grading & Drainage Plan Certification Required before release of financial guarantee
- Water/ SAS infrastructure to include valves, fittings, manholes etc.

AGENT / OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
<u>JOHN M. MACKENZIE</u> NAME (print)		<u>Sheran Watson</u> 10/8/03 DRB CHAIR - date	<u>Christina Sandoral</u> 10/8/03 PARKS & GENERAL SERVICES - date
<u>MARK GOODWIN & ASSOC.</u> FIRM		<u>John Self</u> 10/8/03 TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<u>John Mackenzie</u> 10-1-03 SIGNATURE date		<u>Roger Dean</u> 10/8/03 UTILITY DEVELOPMENT - date	- date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____		<u>Brad J. Bijun</u> 10/8/03 CITY ENGINEER - date	- date
DESIGN REVIEW COMMITTEE REVISIONS			

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

A City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form S	ZONING & PLANNING		Supplemental form Z
<input type="checkbox"/>	Major Subdivision action		<input type="checkbox"/>	Annexation	
<input type="checkbox"/>	Minor Subdivision action		<input type="checkbox"/>	County Submittal	
<input type="checkbox"/>	Vacation	V	<input type="checkbox"/>	EPC Submittal	
<input type="checkbox"/>	Variance (Non-Zoning)		<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN		P	<input type="checkbox"/>	Sector Plan (Phase I, II, III)	
<input checked="" type="checkbox"/>	...for Subdivision Purposes		<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/>	...for Building Permit		<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/>	IP Master Development Plan				
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	L			
			APPEAL / PROTEST of...		A
			<input type="checkbox"/>		Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Unser 98th St. Partnership PHONE: 821-1034
 ADDRESS: PO Box 90548 FAX: _____
 CITY: Albug. STATE NM ZIP 87199 E-MAIL: _____
 Proprietary interest in site: Owner
 AGENT (if any): Mantz Goodwin & its soc. PHONE: 828-2200
 ADDRESS: Box 90606 FAX: 797-9539
 CITY: Albug. STATE NM ZIP 87199 E-MAIL: _____

DESCRIPTION OF REQUEST: Final Sign-off for EPC-Approved site Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2 Block: _____ Unit: _____
 Subdiv. / Addn. Ladera Industrial Center
 Current Zoning: SU-1 for Light Ind. Proposed zoning: N/C
 Zone Atlas page(s): H-10/11 No. of existing lots: 1 No. of proposed lots: 29/2
 Total area of site (acres): 120 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 100FT of a landfill? _____
 UPC No. 101005909033320105 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. NW
 Between: Ladera Dr. NW and 98th St NW

CASE HISTORY: Russell Butts for John Mackenzie PPA
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): SP for SD
Project 1001523 02 DRB-00518/02 DRB-00621
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE John M Mackenzie DATE 8-29-03
 (Print) JOHN M. MACKENZIE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03 DRB - 01458</u>	<u>SP4SD</u>	<u>P(3)</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>Sept, 10, 03</u>			Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 0</u>

Scanned CS
9/02/03
 Planner signature / date

PROJECT # 1001523

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - N/A Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - N/A Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - N/A Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JOHN M. MACKENZIE
Applicant name (print)
John M MacKenzie 9-29-03
Applicant signature / date



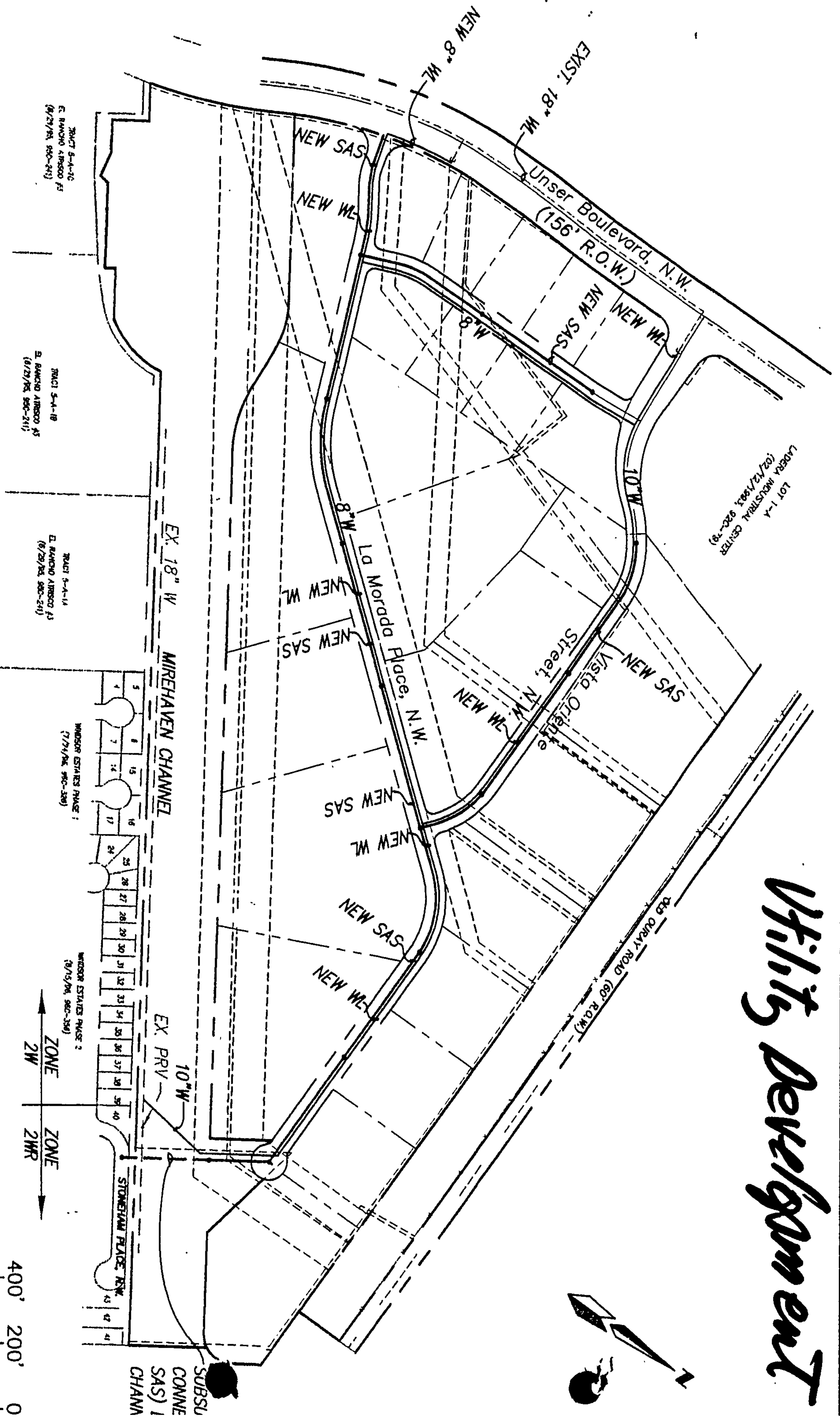
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

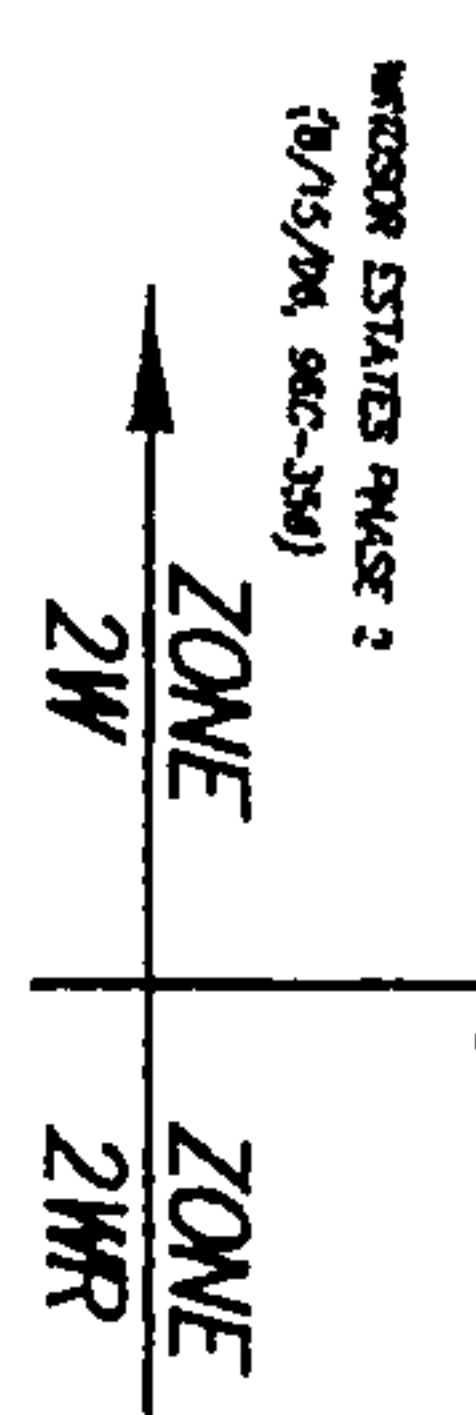
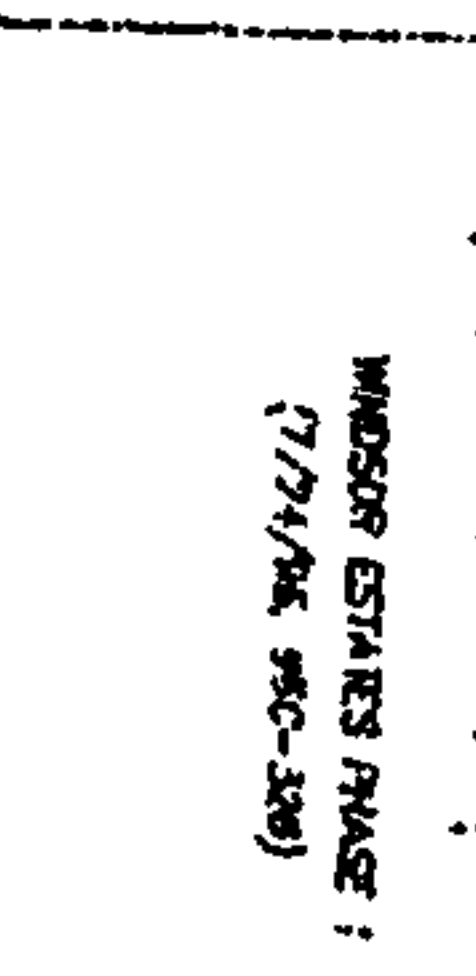
Application case numbers
03DRB - _____ - 01458
_____-_____-_____
_____-_____-_____

B. Berber 9/22/03
Planner signature / date
Project # 1001523

Utilities Development

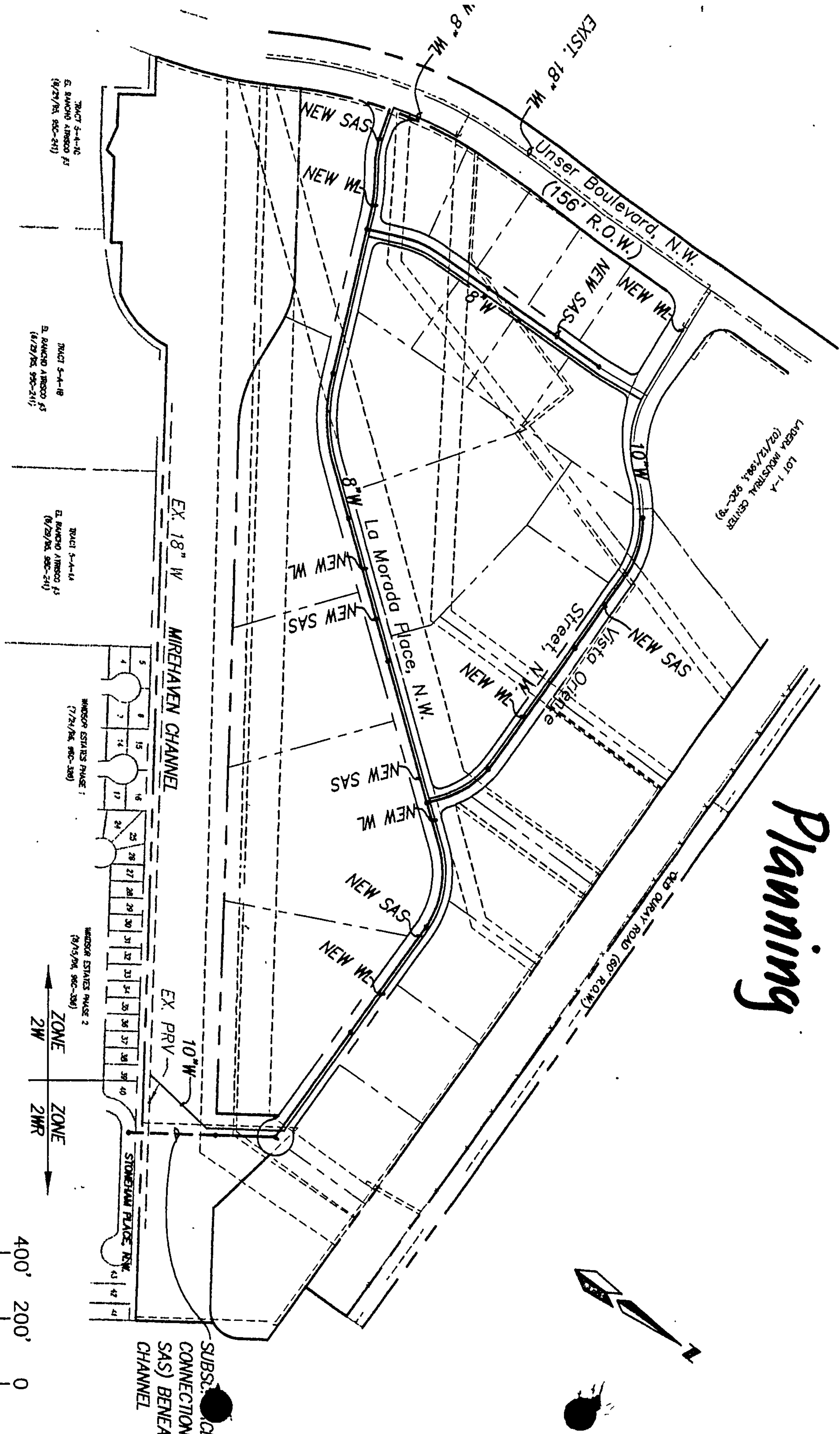


SITE UTILITY PLAN



SCALE

Planning



SITE UTILITY PLAN



SCALE:



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

August 29, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

On July 15, 2003, I requested that the Site Development Plan associated with this project number be deferred until the DRB hearing on October 29, 2003. The application now being submitted with this letter supersedes the previously acted-on Site Development Plan for Subdivision. That previously approved Site Development Plan for Subdivision (conditionally approved by DRB on 06-26-02, and revised thereafter) is no longer valid. This letter formally requests its withdrawal. The plan that has been superseded should be used only for reference.

This new application consists of essentially the same elements of what was previously approved, except for the following:

- **Tract 16** has been moved from Unit II to Unit I.
- Old Ouray Road, which bounded the north side of the site, has been vacated by others. The area it covered now exists as AMAFCA RW, public utility easements and private access to PNM property north of the subject site.
- The area referred to as "Ladera Channel" on the original site development plan (along the north side of the site) was to be dedicated to AMAFCA, but now a tract is located in its place in an attempt to have the channel area be designated detached open space. The overlaying AMAFCA drainage easement for the channel is to remain.
- A perimeter wall detail, in accordance with DRB's new policy of walls, is currently being developed and will be provided to DRB members prior to the hearing.

The original letter identifying EPC conditions of approval and measures that were taken to address the EPC conditions is included herewith. It remains valid.

The preliminary plat for this project was previously submitted and it is scheduled for hearing on September 10, 2003. This application should be heard together with that case.

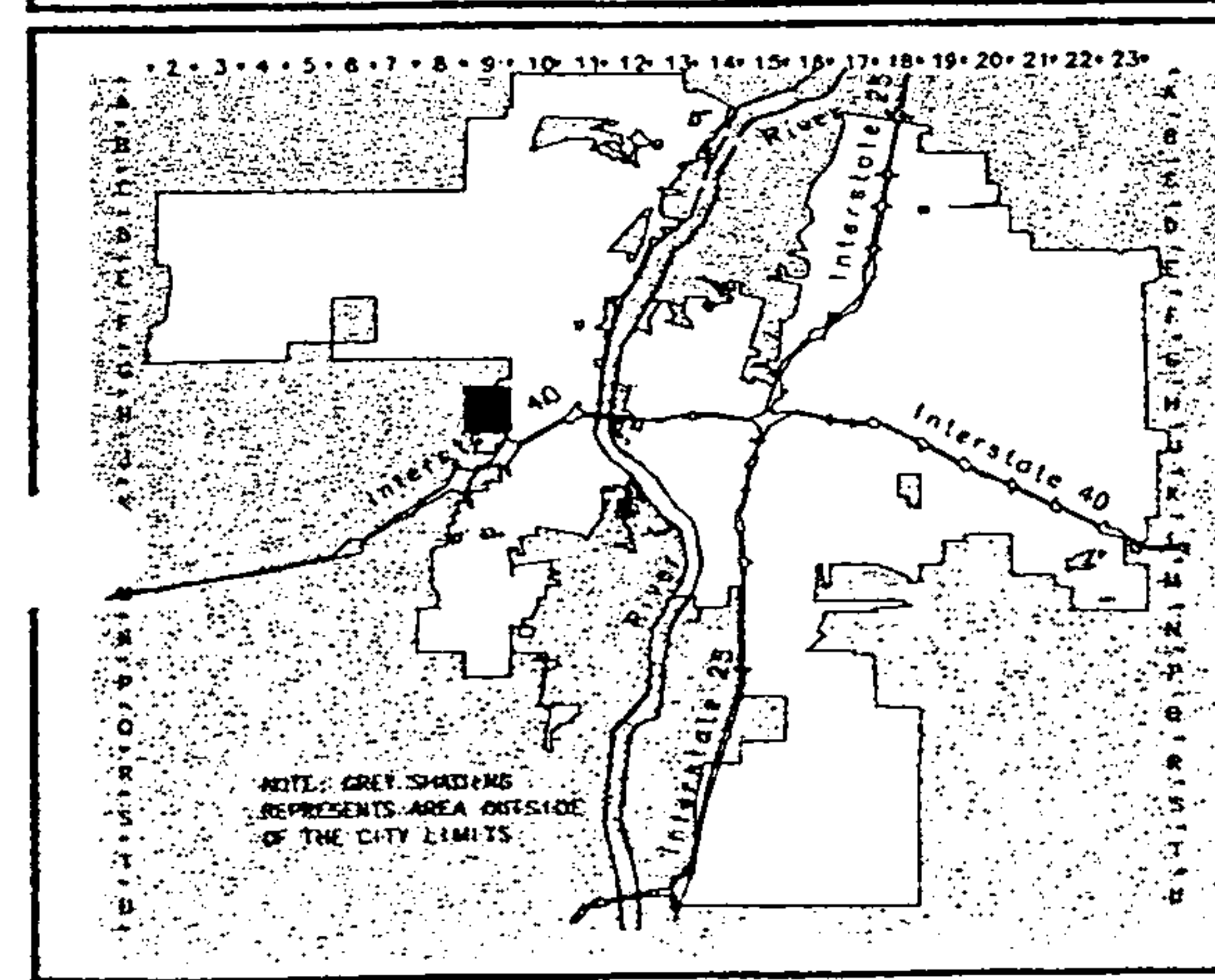
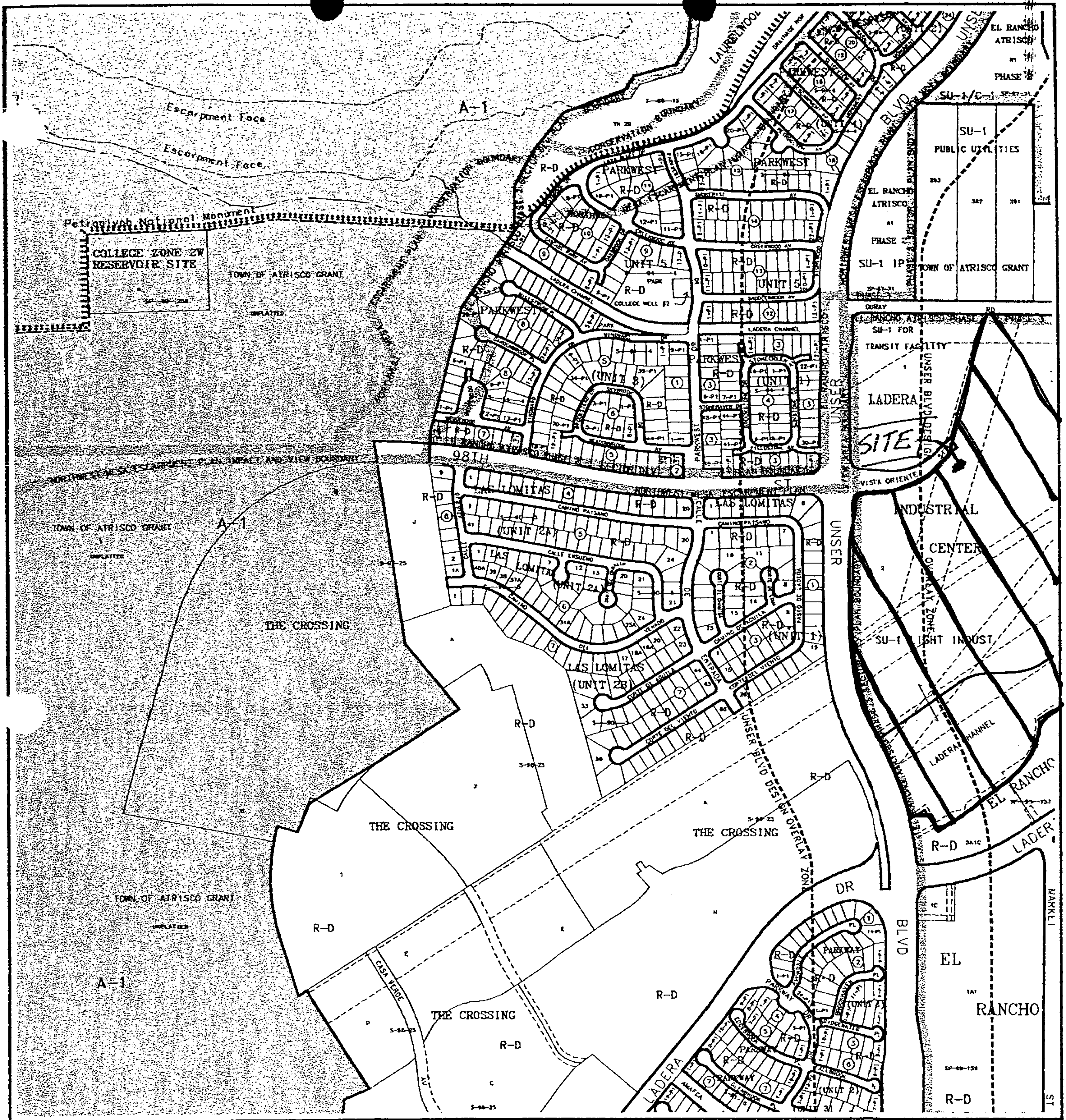
Please contact me if I can be of further assistance.


Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

enclosures

f:\Ladera Business Park\New site plansubmittal letter





CITY OF Albuquerque

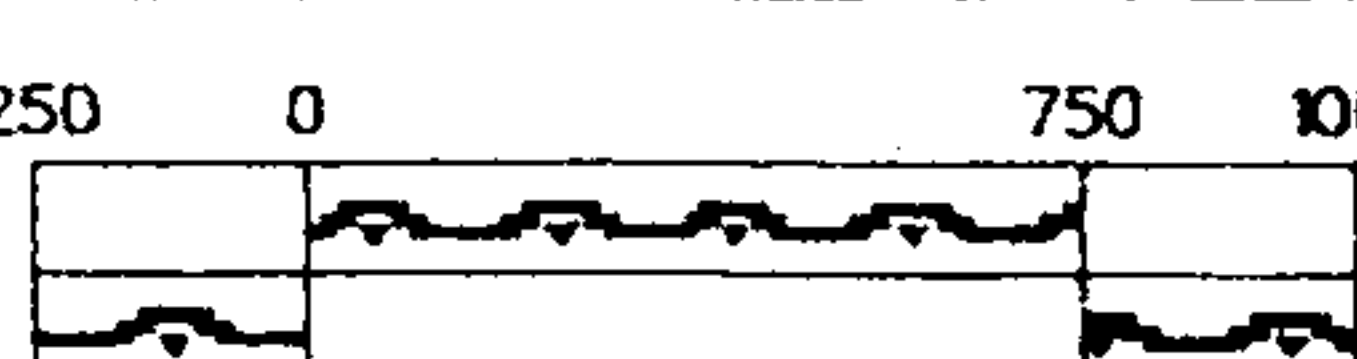
Albuquerque Geographic Information System

PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET

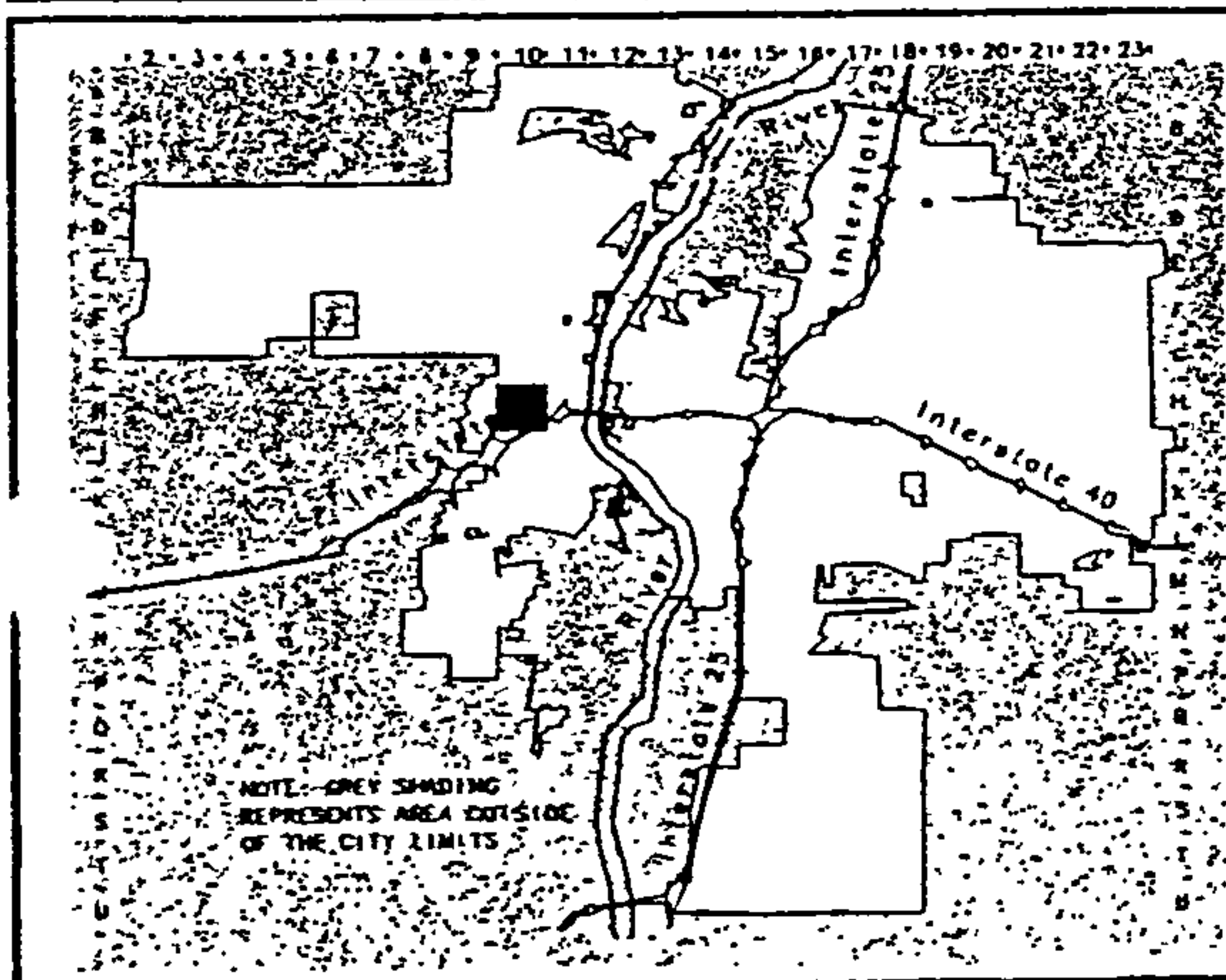
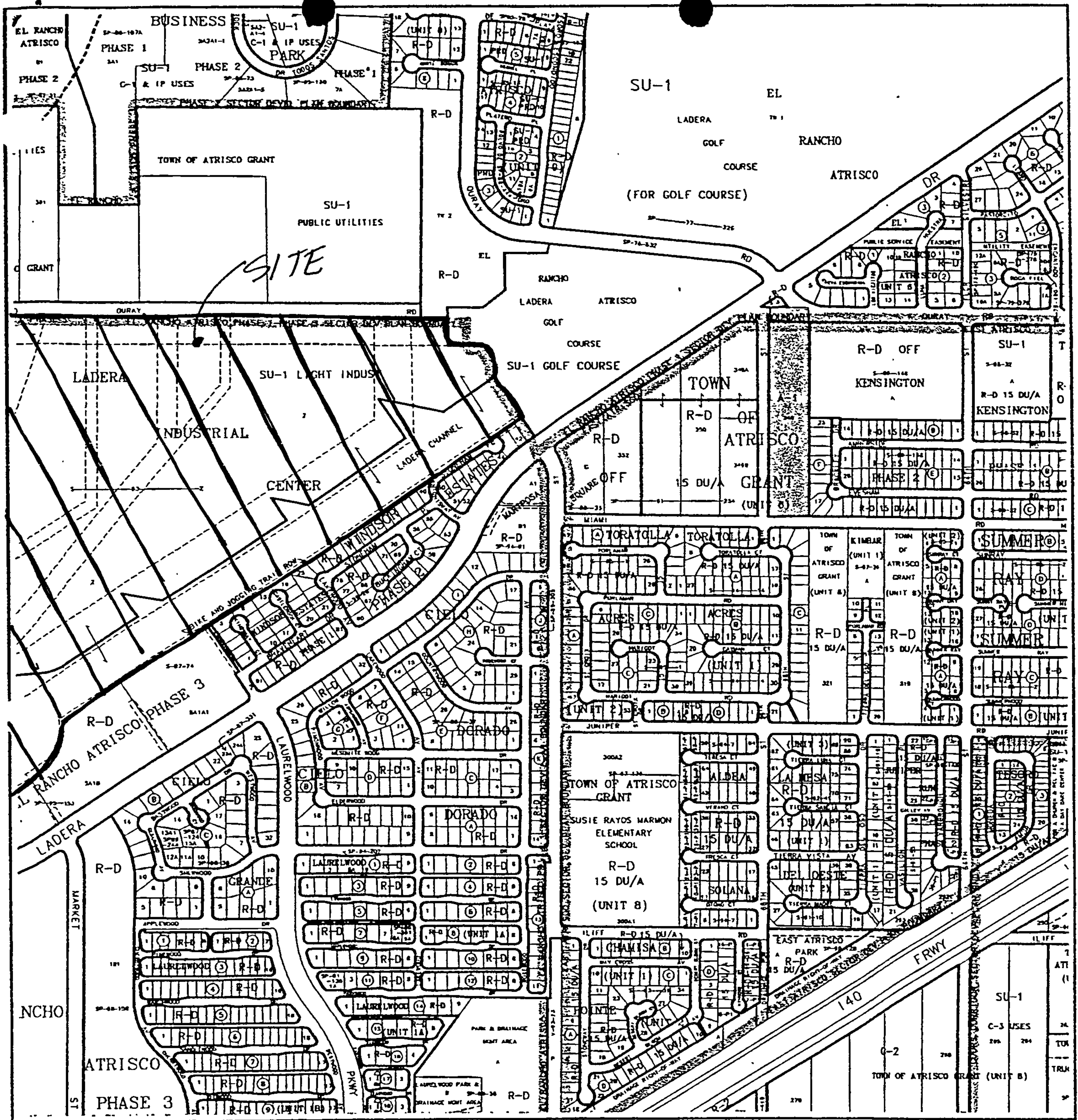
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Zone Atlas Page

H-9-Z

Map Amended through July 28, 2000

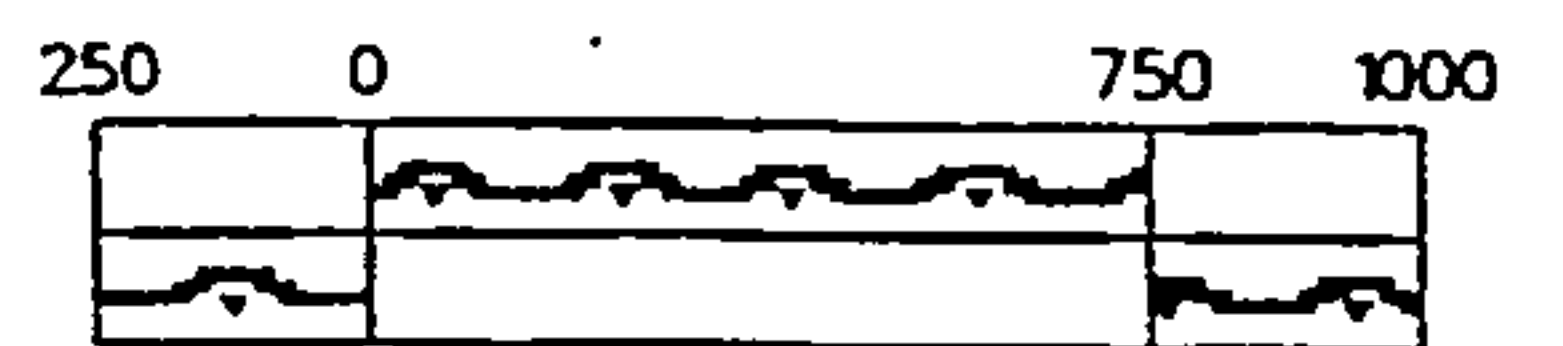


CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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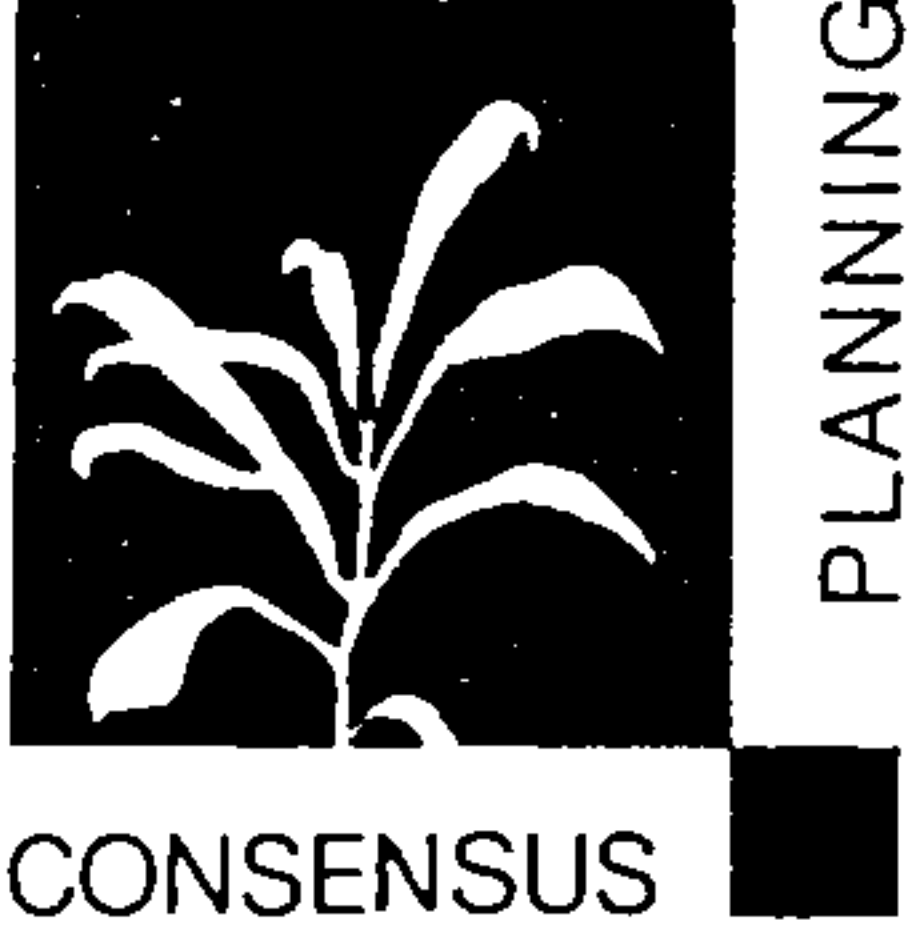
GRAPHIC SCALE IN FEET



Zone Atlas Page

H-10-Z

Map Amended through December 08, 2000



April 23, 2002

Ms. Janet Stephens, DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Landscape Architecture
Urban Design
Planning Services

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Stephens:

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to specify all modifications to the Site Plan in response to the EPC conditions and proposed platting action. The Site Plan for Subdivision was approved by EPC on November 15, 2001. This submittal is being made in concurrence to the application for Preliminary Plat, Vacation of Public Easements, and Deferral of Sidewalks, submitted by Mark Goodwin and Associates (DRB Application #s 02400-00518, 02400-00519, 02500-00520). This submittal is consistent with the conditions set forth by EPC regarding modifications to the design guidelines as they relate to screening walls, lighting standards, and signage standards. Specifically, the site plan and design guidelines have been modified in the following ways:

- Barbed wire or concertina wire are not allowed in the Ladera Business Park. Chain link fencing is not permitted in the first two rows of lots along Unser Boulevard (Lots 12 to 23 and Lot 29);
- Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color.
- 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- No illuminated signage shall face any residential area, except along Unser Boulevard.

Condition No.3 requires that conditions of approval for the proposed site plan for building permit should include an update of the TIS prior to the submittal for development of any tracts within the industrial park. We acknowledge that the EPC conditioned that access to Unser Boulevard is limited to 98th Street and a

PRINCIPALS

Karen R. Marcotte, AICP
James K. Stroziet, AICP
Christopher J. Green, ASLA



PLANNING

CONSENSUS

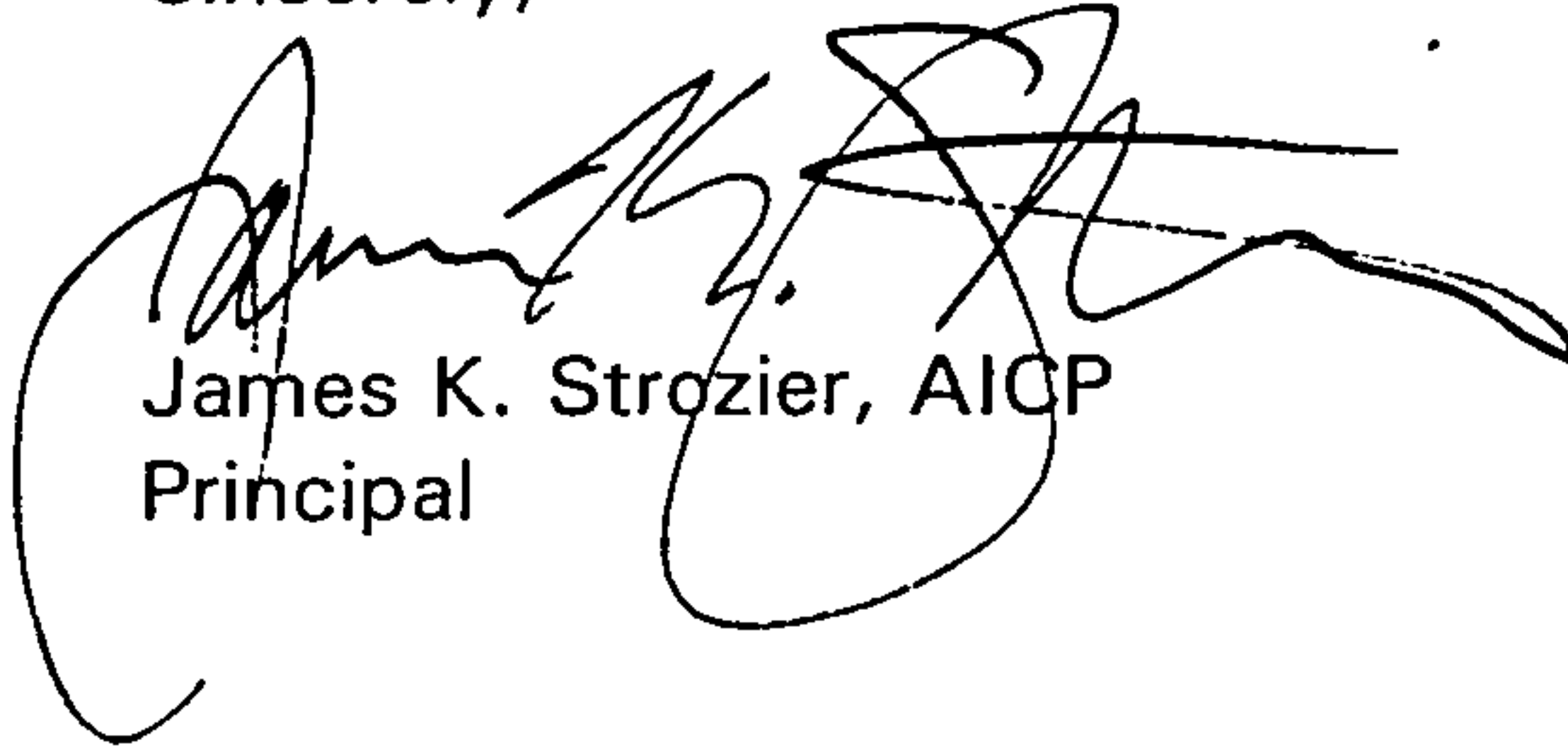
right-turn-only at La Mirada Street. Development within the Park will ensure that internal streets, water, and sewer lines be constructed to meet City standards.

Condition No. 4 delegates all Site Development Plans for Building Permit to DRB.

In addition, agreements reached with the Las Lomitas Neighborhood Association have been integrated into a Neighborhood Agreement document, the CC&Rs for the property, and the Design Guidelines. Condition No. 5 of the Notice of Decision requires that agreement to be filed with the County Clerk as well as cross referenced on the Site Plan and Design Guidelines.

Based upon this information, we respectfully request that you approve our Site Plan for subdivision. Please feel free to call me at 764-9801 if you have questions or desire additional information.

Sincerely,



James K. Strozier, AICP
Principal



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 16, 2001

OFFICIAL NOTIFICATION OF DECISION

Unser-98th Street Partnership LLC.
P.O. Box 90548
Albuquerque, NM 87199

FILE: 01128-01405 (Project 1001523)

LEGAL DESCRIPTION: Request a Master Development Plan for Lot 2, Ladera Industrial Center, located on Unser Boulevard NW between 98th Street and Ladera Drive NW containing approximately 105 acres. (H-10) Lola Bird, Staff Planner

On November 15, 2001, the Environmental Planning Commission voted to approve 01128-01405, a Master Development Plan, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for subdivision for Lot 2, Ladera Industrial Center, containing approximately 105 acres and located on Unser Boulevard between Ladera Drive and 98th Street, NW.
2. The applicant is proposing to create 26 lots with areas ranging from 1.2 acres to 5.38 acres.
3. This request furthers the applicable goals and policies of the *Comprehensive Plan* by allowing for an urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and choice in housing, transportation, and life styles with a location and intensity that shall respect existing neighborhood values, natural environmental conditions and carrying capacities, and scenic resources.
4. This request furthers the applicable goals and policies of the *West Side Strategic Plan* by locating employment uses on the West Side which is critical to achieving the Plan's goals of reducing vehicle trip distances, decreasing commuter demand across the Rio Grande and establishing healthy community and Village Centers.
5. The submitted site plan generally meets the requirements of the *Zoning Code* for site development plan for subdivision. The site plan covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress and internal circulation requirements. The submittal also includes design guidelines regulating building architecture, materials, colors and height as well as building setbacks.
6. The submittal will be adequate with some changes and additions.

OFFICIAL NOTIFICATION OF DECISION

01128-01405 (Project 10)

November 16, 2001

Page 2

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The design guidelines shall be modified as follows:

Screening Walls and Fences

✓ 8th Bullet: shall be changed to read, "Barbed wire or concertina wire are not allowed in the Ladera Site. Chain link fencing shall not be permitted in the first two rows of lots along Unser."

✓ A new bullet should be added which states, "Loading docks visible from residential areas shall be screened by walls which match building architecture, material and color."

Lighting Standards

✓ 2nd Bullet: shall be changed to read, "20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements."

Signage Standards

A new bullet shall be added which reads, "No illuminated signage shall face any residential area, except along Unser Boulevard."

3. Conditions of approval for the proposed site plan for building permit should include:

An update of the TIS prior to the submittal for development of any of the tracts within the industrial park. Access to Unser Boulevard is limited to 98th Street and a right-turn-only at La Mirada Street. Internal streets, water and sewer lines must be constructed to City standards.

4. Site Development Plans for Building Permit are delegated to the Development Review Board.

5. Any agreement between the applicant and the neighborhoods that further restricts the allowed uses on the site shall be filed with the County Clerk and cross referenced on the site plan. The agreed upon restrictions and additional design guidelines shall be listed on the site plan and on the design guidelines.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY NOVEMBER 30, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER, AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

<u>DRB Application No.: 03-00899 (ASPS)</u>	<u>Project # 1001523</u>
<u>Project Name LADERA BUSINESS PARK</u>	<u>EPC Application No.: 01EPC-01405</u>
<u>Agent: Mark Goodwin & Associates</u>	<u>Phone No.: 828-2200</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____

- UTILITIES: _____

- CITY ENGINEER / AMAFGA _____

- PARKS / CIP: _____

- PLANNING (Last to sign): _____
 - Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - Copy of final plat AND a DXF File for AGIS is required.**
 - Copy of recorded plat for Planning.**

Project Number 1001523

Scanned from the back CS



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 30, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 12:14 p.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000313**
03DRB-01068 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Lot(s) ALL, **EL VALLADO SUBDIVISION**, zoned SU-1/PRD, located on HIDDEN VALLEY DR SE, between SAGEWOOD CT SE and FENNEL CT SE containing approximately 11 acre(s). [REF: DRB-98-142] (L-22) **A ONE-YEAR SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 7/18/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS EXTENDED TO 7/18/04.**

2. **Project # 1000072**
03DRB-01107 Major - Vacation of
Public Right-of-Way
03DRB-01104 Major-Preliminary Plat
Approval
03DRB-01106 Minor -Temp Deferral of
Sidewalks

MARK GOODWIN & ASSOCIATES, PA agent(s) for D R HORTON request(s) the above action(s) for all or a portion of Lot(s) 14-19, Block(s) 34, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, (to be known as **THE CARMEL SUBDIVISION** formerly *BREEZE @ LA CUEVA*) zoned RD, located on LOUISIANA BLVD NE, between HOLLY AVE NE and CARMEL AVE NE containing approximately 6 acre(s). [REF: 1000200] (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/25/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1001348**
03DRB-01091 Major-Vacation of Public Easements

TIERRA WEST LLC, AGENTS FOR NEWMAN HOMES INC., request(s) the above action(s) for all or a portion of Lot(s) 58, 59 and 60, **QUAIL SPRINGS**, zoned R-D 7DU/A, located on QUAIL SPRINGS NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 1 acre(s). [REF: 01ZHE-00963, thru, 01ZHE-00983] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002050**
03DRB-01059 Major – Preliminary Plat Approval
03DRB-01060 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for MEL FAMIE LLC, request(s) the above action(s) for all or a portion of Tract(s) B-2, **LAS MARCADAS SUBDIVISION**, zoned R-LT, located on GOLF COURSE RD NW, between MARNA LYNN AVE NW and JILL PATRICIA ST NW containing approximately 7 acre(s). [REF: V-89-95, 03EPC-00146, 03DRB-00573] [Deferred from 7/30/03] (C-12) **DEFERRED AT THE AGENT'S REQUEST TO 8/13/03.**

5. **Project # 1002324**
03DRB-01112 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for MOCHO, CHANEY, OLSON & MOCHO LLC request(s) the above action(s) for all or a portion of Lot(s) 7-A-1-B, Block(s) 4, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned IP, located on VENICE AVE NE, between SAN MATEO NE and NORTH I-25 NE containing approximately 1 acre(s). (B-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-01227 Minor-Prelim&Final Plat

ISAACSON & ARFMAN agent(s) for MOCHO, CHANEY, OLSON & MOCHO LLC request(s) the above action(s) for all or a portion of Lot(s) 7-A-1-B, Block(s) 4, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned IP, located on VENICE AVE NE, between SAN MATEO NE and NORTH I-25 NE containing approximately 1 acre(s). (B-18) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CITY ACCEPTANCE OF STORM DRAIN.**

6. **Project # 1002777**
03DRB-01056 Major-Vacation of Public Easements

KAREN MARCOTTE agent(s) for MATTHEW MEADOW NEIGHBORHOOD ASSOCIATION, request(s) the above action(s) for all or a portion of Lot(s) 1 and 40, **MATTHEW MEADOWS SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on N. OF LUA'S LANE NW, between 12th ST NW and SAN ISIDRO NW [REF: V-93-54, V-79-37, DRB-93-249, DRB-96-466]. [Deferred from 7/23/03] (G-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1002342**
03DRB-00883 Major-Preliminary Plat
Approval
03DRB-00884 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for MEL FAMIE, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-3, CLYDE LELAND SUBDIVISION, (to be known as PETROGLYPH GARDENS SUBDIVISION) zoned R-T residential zone, located on the EAST SIDE OF ATRISCO DR NW, between LEGENDS AVE NW and WESTERN TRAIL NW containing approximately 3 acre(s). [REF: Z-85-38-5C2, 02DRB-01720 SK] [Deferred from 6/25/03 & 7/23/03] (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/03 THE PRELIMINARY PLAT WAS APPROVED WITH 2 CONDITIONS. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1001523**
03DRB-00757 Major-Vacation of Pub
Right-of-Way
03DRB-00758 Minor-Vacation of Private
Easements
03DRB-00756 Minor-Prelim&Final Plat
Approval
03DRB-00755 Major-Bulk Land Variance

COMMUNITY SCIENCES CORP agent(s) for UNSER - 98TH ST and AIM MANAGEMENT request(s) the above action(s) for, **LADERA INDUSTRIAL CENTER**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and OURAY DR NW (VACATED) containing approximately 129 acre(s). [REF: EPC-00152, EPC-00153, EPC-00229, 1002404, 1001523] [Deferred from 6/4/03, 6/18/03 & 7/9/03] (H-9, H-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

Project # 1001523

- 03DRB-00899 Minor-Amnd SiteDev Plan
Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [Deferred from 6/11/03, 7/9/03 & 7/30/03] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

9. **Project # 1000375**
03DRB-01174 Minor-Prelim&Final Plat
Approval
03DRB-01175 Minor-Amnd SiteDev
Plan Subd
- WAYJOHN SURVEYING, INC. agent(s) for
CARLISLE PARTNERS, LLC request(s) the above
action(s) for all or a portion of Tract(s) C-4, **DUKE
CITY INDUSTRIAL AREA**, zoned C-2 community
commercial zone, SC, located on the north side of
CLAREMONT AVE NE, between WELLESLEY DR
NE and CARLISLE BLVD NE containing
approximately 5 acre(s). [REF: DRB-99-281, Z-99-76,
DRB-96-173, 03DRB-00942] (H-16) **THE
PRELIMINARY PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO
TRANSPORTATION DEVELOPMENT FOR ACCESS
EASEMENT TO BE 24-FEET IN WIDTH. THE
AMENDED SITE PLAN FOR SUBDIVISION WAS
APPROVED WITH FINAL SIGN OFF DELEGATED
TO TRANSPORTATION DEVELOPMENT TO
CHECK FOR THE PLAT TO CONFORM TO THE
SITE PLAN.**
10. **Project # 1002634**
03DRB-01172 Minor-SiteDev Plan
BldPermit/EPC
- KELLS & CRAIG ARCHITECTS INC., agent(s) for
CITY OF ALBUQUERQUE / OPEN SPACE,
request(s) the above action(s) for all or a portion of
Tract(s) 6B2, **LOS POBLANOS RANCH**, zoned SU-1
for Major Public Open Space, located on TIERRA
VIVA PL NW, between MONTANO RD NW and the
GRIEGOS DRAIN NW containing approximately 2
acre(s). [REF: 03EPC-00695] [CHRIS HYER, EPC
CASE PLANNER] (F-13) **THE SITE PLAN FOR
BUILDING PERMIT WAS APPROVED WITH FINAL
SIGN OFF DELEGATED TO CITY ENGINEER TO
CHECK FOR PROPER SIGNATURES ON THE
INFRASTRUCTURE LIST.**

11. **Project # 1001426**
03DRB-00812 Minor-Amnd SiteDev Plan
BldPermit

JERRY DANIELE agent(s) for NEW LIFE BAPTIST CHURCH request(s) the above action(s) for all or a portion of Block(s) 2A & 2B, Tract(s) N, **ATRISCO BUSINESS PARK, UNIT 2**, zoned IP, located on LOS VOLCANES RD NW, between UNSER BLVD. NW and COORS NW containing approximately 5 acre(s). [REF: DRB 99-199, 01450-01196] [Deferred from 5/28/03] (J-10) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1001864**
03DRB-01229 Minor-SiteDev Plan
BldPermit/EPC

JUNIPER DESIGN agent(s) for S. G. PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) F-1, Block(s) 1, **COUNTRY CLUB SUBDIVISION**, zoned SU-2 special neighborhood zone, MD-1, located on DR MARTIN LUTHER KING JR AVE NE, between MULBERRY ST NE and CEDAR ST NE containing approximately 1 acre(s). [REF: 02EPC-01120] [**DEBBIE STOVER, EPC CASE PLANNER**] (K-15) **THE ABOVE REQUEST WAS INDEFINITELY DEFERRED.**

13. **Project # 1002832**
03DRB-01230 Minor-SiteDev Plan
BldPermit

MILLER & ASSOCIATES, agent(s) for PECK-TRASK INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 53 , (to be known as **PTI ELECTRICAL CONTRACTORS**), **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on VISTA ALAMEDA NE, between EDITH BLVD NW and the AMAFCA NORTH DIVERSION CHANNEL NW containing approximately 1 acre(s). [REF: DRB-98-223, 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS COMMENTS IN FILE.**

14. **Project # 1002786**
03DRB-01075 Minor-SiteDev Plan
BldPermit

JIM MILLER - MILLER & ASSOCIATES, agent(s) for FIDELITY TRUST CO. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP industrial park zone, located on SAN MATEO BLVD NE, between SAN DIEGO AVE NE and BEVERLY HILLS AVE NE containing approximately 3 acre(s). [REF: 01ZHE-01832] [Deferred from 7/9/03 & 7/30/03] (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/6/03.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

15. **Project # 1001396**
03DRB-01231 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) 1-A, 2-A & 3-A, **ALTA TIERRA DEL NORTE, UNIT 1**, zoned R-1 residential zone, located on CALLE MONTANA NE, between VISTA DEL NORTE DR NE and CALLE FUERTE NE containing approximately 1 acre(s). [REF: 02DRB-00682, 02DRB-01871] (D-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE.**

16. **Project # 1001413**
03DRB-01160 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-3, VENTANA RANCH, **PINON POINTE - UNIT 5**, zoned R-LT, located on LAS VENTANAS RD NW, between IRVING BLVD NW and RAINBOW BLVD NW containing approximately 17 acre(s). [REF: 03DRB-00591] [Deferred from 7/23/03] (B-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR THE DXF FILE.**

17. **Project # 1002025**
03DRB-01217 Minor-Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FRED N. SEELEY request(s) the above action(s) for all or a portion of the north portion of Tract(s) 6, LANDS OF C. H. HALL (to be known as **WEST PLATEAU MOBILE HOME SUBDIVISION**, zoned SU-1 special use zone, FOR MH, located on the west side of 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). [REF: 03DRB-00044, 03DRB-00045] (K-09) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR DXF FILE AND P-1 DESIGNATIONS AFTER LOT #.**

18. **Project # 1002266**
03DRB-01232 Minor-Preliminary Plat
Approval

WILKS CO agent(s) for MICHAEL A EAVES request(s) the above action(s) for all or a portion of Tract(s) 121-B-2-A and 121-B-1, (to be known as Lands of Eaves & Olguin >, **MRGCD MAP 31**, zoned RA-2, located WEST OF RIO GRANDE BLVD NW, between ARBOR RD NW and TEODORO RD NW containing approximately 1 acre(s). [REF: 02DRB-01538] (F-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) ACCESS EASEMENT SHALL BE WIDENED TO 22- FEET. 2) SOLID WASTE'S CONCURRENCE IS REQUIRED PRIOR TO FINAL PLAT APPROVAL.**

19. **Project # 1002479**
03DRB-01226 Minor-Final Plat
Approval

ISAACSON & ARFMAN PA, agent(s) for JAY REMBE, (DBA WINTERHAVEN PARTNERS), request(s) the above action(s) for all or a portion of Lot(s) 6, RIVERSIDE PLAZA, (to be known as **THE PRESERVE**) zoned SU-1 special use zone, FOR PRD, 8DU/AC, and located on the east side of WINTERHAVEN RD NW, between MONTANO RD NW and LA ORILLA RD NW containing approximately 4 acre(s). [REF: 03DRB-00233, 03DRB-00813,..814 &..815, 03DRB-00718] (E-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

20. **Project # 1000610**
03DRB-00984 Minor- Final Plat Approval

CONSENSUS PLANNING, agent(s) for WEST MESA MINI STORAGE, request(s) the above action(s) for all or a portion of Tract(s) 334/SLY, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-1 special use zone, OFFICE, located on the NORTHWEST CORNER OF MIAMI ST NW AND 57TH ST NW containing approximately 6 acre(s). [REF: 03EPC-00312, 03EPC-00314, 03EPC-00315] [MAKITA HILL, EPC CASE PLANNER] [*Deferred from 6/25/03, 7/9/03 & 7/16/03 WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 7/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS DEFERRED TO 7/23/03, was indefinitely deferred on a no show 7/23/03 & 7/30/03*] (H-11) **INDEFINITELY DEFERRED ON A NO SHOW.**

THERE ARE NO SKETCH PLATS THIS WEEK

21. Approval of the Development Review Board Minutes for July 16, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Other Matters: **Project #1000593/Application #03DRB-01079 (SBP)** Sign-off of Site Plan with delegation for request heard 7/23/03. **THIS ACTION WAS TAKEN.**

ADJOURNED: 12:14 P.M.

Refer to 10/29/03

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 8 DATE: 7.30.03

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd And | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:~~x~~

ENGINEERING COMMENTS:

This project has exceeded the expiration period of the Preliminary Plat, consequently, we will defer our comments to a resubmittal of the project.

RESOLUTION:

10-29-03

APPROVED ____; DENIED ____; DEFERRED ~~X~~; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: July 30, 2003

defers 7/30/03

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 6 DATE: 7.9.03

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

See DRB minutes/speed memo dated 6-4-03.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 9, 2003

Revised 1/19/03

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001523 AGENDA#: 7 DATE: 6.18.03

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

ENGINEERING COMMENTS:

See DRB minutes/speed memo dated 6-4-03.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: June 18, 2003

7/9/03



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 11, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:30 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000614**
03DRB-00783 Major-Two Year SIA

TERRY O. BROWN, P.E. agent(s) for DEVELOPMENT SERVICES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 3-12, and 21-29, Block(s) 33 & 34, Tract A, Unit B, North Albuquerque Acres, (to be known as **LA CUEVA OESTE SUBDIVISION – UNIT 4**) zoned R-D, located on HOLLY AVE NE, between LOUISIANA BLVD NE and SAN PEDRO NE containing approximately 37 acre(s). [REF:DRB-95-121, DRB-97-293, 01DRB-00622] [Deferred from 6/11/03](C-18) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

2. **Project # 1001226**
03DRB-00789 Major-One Year SIA
Procedure B

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL 45, **BERNARDO TRAILS - UNIT 3**, zoned R-2, located on LAS LOMITAS DR NE, between EL PUEBLO RD NE and OSUNA DR NE containing approximately 8 acre(s). [REF: 01DRB-00605, 01DRB-00606, 01DRB-00607, 02DRB-00700, 03DRB-0000173, 03DRB-00174] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**

3. **Project # 1001226**
03DRB-00790 Major-One Year SIA
"B" Modified

MARK GOODWIN & ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) ALL, **BERNARDO TRAILS, UNIT 1**, zoned R-2 residential zone, located on VISTA DEL NORTE DR NE, between OSUNA RD. NE and EL PUEBLO RD. NE containing approximately 19 acre(s). [REF: 01DRB-00605, 01DRB-01685, 02DRB-00700] (D-16) **A ONE YEAR EXTENSION OF THE SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 6/6/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS APPROVED TO 6/6/04.**

4. **Project # 1000658**
03DRB-00786 Major-SiteDev Plan Subd
03DRB-00787 Major-SiteDev Plan
BldPermit

KNIGHT SEAVEY, JUD CERVENAK, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING TO VERIFY IF SIDEWALK INFORMATION IS IN COMPLIANCE WITH THE ZONE CODE.**

03DRB-00808 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA, agent(s) for OTOÑO PARTNERS request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT - UNIT 1**, zoned SU-2 M-1, located on ALAMEDA NE, between JEFFERSON NE and I-25 NE containing approximately 5 acre(s). [REF: DRB-98-30, 00DRB-00938 (P&F), ZA-00-173] (C-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/11/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/8/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: AN ADEQUATE PUBLIC RIGHT-OF-WAY EASEMENT SHALL BE GRANTED FOR THE ACCESS POINT ON ALAMEDA TO THE SATISFACTION OF THE TRAFFIC ENGINEER. THIS IS TO BE DONE PRIOR TO FINAL PLAT APPROVAL. THE FINAL PLAT WAS INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

5. **Project # 1001038**
03DRB-00785 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for HELMICK / SPRADLIN DEVELOPMENT PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, **LA CUEVA TIERRA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ROBS PL NE, between VENTURA ST. NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: DRB-94-436, ZA-95-43, 01DRB-00139, 01DRB-00429, 03DRB-00554] (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1002639**
03DRB-00719 Minor-Sidewalk Waiver
03DRB-00720 Minor-Temp Defer SDWK
03DRB-00721 Minor-Subd Design (DPM) Variance
03DRB-00722 Major-SiteDev Plan Subd
03DRB-00717 Major-Preliminary Plat Approval

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) 6-14, Block(s) 4, Tract(s) 2, North Albuquerque Acres, **TREMENTINA SUBDIVISION** zoned RD/SU-1, 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD. NE containing approximately 9 acre(s). [*Deferred from 5/28/03 AND 6/11/03*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/18/03.**

7. **Project # 1002640**
03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan BldPermit

ISAACSON & ARFMAN PA agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQ. ACRES, **VISTA DEL AGUILA SUBDIVISION**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s) [*Deferred from 5/28/03 AND 6/11/03*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/25/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1002405**
03DRB-00879 Minor-SiteDev Plan
BldPermit/EPC

JOHN A. MYERS agent(s) for TANAGER- REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, **TOWN OF ATRISCO GRANT, NORTHEAST UNIT**, zoned SU-1 special use zone, for C-1 uses to include AUTO BODY REP. & PAINT., located on the WEST SIDE OF COORS BLVD NW, between SEQUOIA RD NW and QUAIL RD NW containing approximately 5 acre(s). [REF: 02EPC-01949] [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 6/11/03] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**

9. **Project # 1001523**
03DRB-00899 Minor-Amnd SiteDev Plan
Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [Deferred from 6/11/03] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/9/03.**

10. **Project # 1002512**
03DRB-00896 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for SOUTHWEST SELF STORAGE LLC, request(s) the above action(s) for all or a portion of Lot(s) 2, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW between TOWER RD SW and SAN YGNACIO RD SW containing approximately 4 acre(s). [REF: 03EPC-00320, 03DRB-00730, 1002642 (VAC.)] **[JANET STEPHENS, EPC CASE PLANNER] (L-9) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE HYDRANT CONNECTION DETAILS.**

03DRB-00894 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING INC agent(s) for SOUTHWEST SELF STORAGE, LLC request(s) the above action(s) for all or a portion of Tract(s) 40, **TOWN OF ATRISCO GRANT**, zoned O-1 office and institution zone, located on the EAST SIDE OF 98TH ST SW, between TOWER RD SW and SAN YGNASIO ST SW containing approximately 4 acre(s). [REF: 03DRB-00730, 03EPC-00320] (L-9) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD READJUSTMENT AND DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000627**
03DRB-00890 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CALVARY CHAPEL OF ALBUQUERQUE INC request(s) the above action(s) for all or a portion of Tract(s) A, **CALVARY CHAPEL**, zoned O-1 / M-1, located on OSUNA RD NE, between WASHINGTON ST NE and JEFFERSON NE containing approximately 20 acre(s). [REF: 03DRB-00675, 03DRB-00676, 03DRB-00677, 03DRB-00678, 03DRB-00679] (E-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

12. **Project # 1000722**
03DRB-00889 Minor-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for FTS CONSTRUCTION, INC. request(s) the above action(s) for all or a portion of Tract(s) D-3, ALBUQUERQUE SOUTH, UNIT 1, (to be known as **SAPPHIRE ESTATES**, zoned SU-1 special use zone, R-LT, located on the WEST SIDE OF UNSER BLVD SW between SAPPHIRE ST SW and SAGE RD SW containing approximately 3 acre(s). [REF: 02DRB-01272 THRU, 02DRB-001275, 01DRB-01488, 00DRB-01086, DRB-99-220, Z-99-64] (M-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

13. **Project # 1001376**
03DRB-00874 Minor-Amnd Prelim Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for MESA VERDE DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) 1, Block(s) 3, Lot(s) 8-25 and Block(s) 4, Lot(s) 9-23, Unit 3, NORTH ALBUQUERQUE ACRES, **DESERT RIDGE TRAILS NORTH**, zoned R-D residential and related uses zone, developing area, located on the WEST SIDE OF WYOMING BLVD NE, between BEVERLY HILLS AVE NE and FLORENCE AVE NE, containing approximately 33 acre(s). [REF: [REF: 02DRB-01363, 01965, 01966, 01967, 01968] (B-19) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THE AMENDED GRADING PLAN ENGINEER STAMP DATED 5/21/03 WAS APPROVED. THE AMENDED INFRASTRUCTURE LIST DATED 6/11/03 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

14. **Project # 1002429**
03DRB-00898 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC, agent(s) for LOS SUENOS LLC request(s) the above action(s) for all or a portion of Lot(s) 58-A-1&59-A-1, **LOS SUENOS SUBDIVISION, UNIT 1**, zoned R-T residential zone, located on NIGHT SHADOW AVE NW, between SWEET DREAMS DR NW and DREAMY WAY DR NW containing approximately 1 acre(s). [REF: 00110-01134, 02DRB-01645, 03DRB-00013, 03DRB-00082] (A-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE AND NEW MEXICO UTILITIES SIGNATURE.**

15. **Project # 1002539**
03DRB-00532 Minor-Prelim&Final Plat
Approval

JERRY CULAK, SURVEYOR agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [Deferred from 4/9/03] *[WAS INDEFINITELY DEFERRED, TO ADDRESS INFRASTRUCTURE LIST COMMENTS, AT THE AGENT'S REQUEST]* (J-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF CONCRETE ESTATE CURB.**

03DRB-00895 Minor-Sidewalk Waiver

ROSEMARY A MORIN FOR agent(s) for HABITAT FOR HUMANITY, request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, **ARIAS ACRES ADDITION**, zoned S-R, located on 15TH ST NW, between MOUNTAIN NW and BELLAMAH NW containing approximately 1 acre(s). [REF: 03DRB-00421 (SK), 03DRB-00532 (PF)] (J-13) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1002704**
03DRB-00892 Minor-Sketch Plat or Plan
- JIM SACOMAN agent(s) for CRESTVIEW PATIO HOMES request(s) the above action(s) to dedicate Home Owner's Association Private Right-of-Way to the CITY OF ALBUQUERQUE, **CRESTVIEW PATIO HOMES**, zoned SU-1 PRD, located on OSUNA PL NE, between MOON ST NE and EUBANK BLVD NE containing approximately 12 acre(s). [REF: Z-74-6 / AX-76-4, Z-76-29] (F-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1002705**
03DRB-00897 Minor-Sketch Plat or Plan
- LARRY READ & ASSOCIATES INC agent(s) for HACIENDAS BY THE CARLISLES request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 17, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, (to be known as **PAISIANO COURT**) zoned R-D, 3DU/acre, located on MODESTO AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 4 acre(s). (B-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002455**
03DRB-00893 Minor-Sketch Plat or Plan
- JOE COTRUZZOLA agent(s) for J GROUP request(s) the above action(s) for all or a portion of Tract(s) A-3-B, **J GROUP ADDITION**, zoned SU-1 for C-1, located on SAN ANTONIO RD NE, between I-25 NE and SAN PEDRO NE containing approximately 10 acre(s). [REF: 03EPC-00147, 03EPC-00148, DRB-96-452] (E-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE**
19. Approval of the Development Review Board Minutes for May 7, 14, 21 and 28, 2003. **THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

ADJOURNED: 1:30 P.M.



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND: X

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the amendment request. Show all easements on site plan

RESOLUTION:

7-9-03

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: June 11, 2003

June 3, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

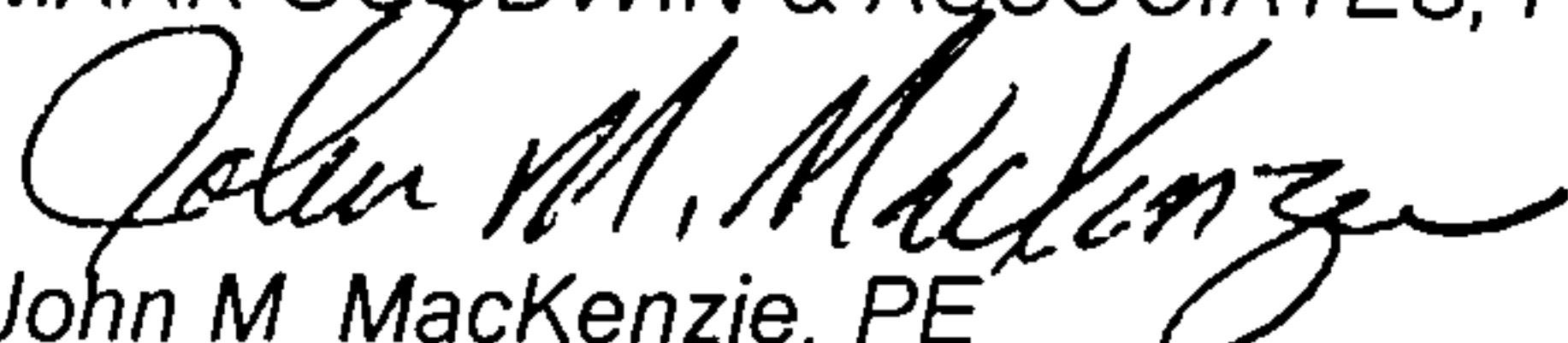
On behalf of Unser/98th Street Partnership, I am submitting this application for a "changed" Site Development Plan for Subdivision. This submittal is not an "amended" plan because the plan last heard by DRB (conditionally approved on 06-26-02) has not been signed off by the City Engineer or Planning yet.

From the original plan, another applicant (AIM Management 03DRB-00755 Bulk Land Variance) has contracted to acquire Tracts 1, 2 and 26 thru 29. A zone change for this excluded area has been obtained by them and a Bulk Land Plat is now being routed separately in connection with that change. The purpose of this submittal is to reflect that change on the original Site Development Plan for Subdivision since we are its author. Upon filing, the new Bulk Land Plat by others will change the names of the property covering this plan to Lots 2-C, 2-D and 2-E of the Ladera Industrial Center. The "changed" Site Development Plan for Subdivision now reflects those underlying lots accordingly.

The previously approved preliminary plat and infrastructure list (also dated 06-26-02) from the original plan are no longer valid, so this letter formally requests their withdrawal. A revised preliminary plat and infrastructure list will be submitted in the near future to reflect the new project configuration and how it relates to the other party's changed residential project adjoining this site to the northwest.

Please contact me if I can be of further assistance.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

JMM/bm

enclosures

CITY OF ALBUQUERQUE
Planning Department
Development Review Board
June 11, 2003 Comments

Item # 9

Project # 1001523

Application # 03DRB-00899

Subject : Ladera Industrial Center, Revised Site Plan

No objection once the word "Revised" is added to the Site Plan for Subdivision on the title block.



Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1001523

Item No. 19

Zone Atlas H-9

DATE ON AGENDA 5-28-03

INFRASTRUCTURE REQUIRED (x)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- (x) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION AMENDM.
- () SITE PLAN FOR BUILDING PERMIT

No.	Comment
-----	---------

- The standard street improvements are required on an infrastructure list.
- The streets need to meet the requirements of the DPM.
- A traffic distribution layout is needed.
- A TIS or update to a TIS is required, as applicable.
- Hammerhead cul-de-sacs require the Fire and Solid Waste departments approval.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
 CITY OF ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001523

AGENDA ITEM NO: 19

SUBJECT:

- | | | |
|--------------------------------|---------------------------------|-------------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
 An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussal* ~~___~~; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 28, 2003



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1001523
Application Number: 03DRB-00810

DRB Date: 5/28/03
Item Number: 19

Subdivision: Rinconada Crossing

Tracts 1 & 2, Lots 1A, 1B, 2A thru 2E, Ladera Industrial Center.

Zoning: RT

Zone Page: H-9

New Lots (or units) : 137

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

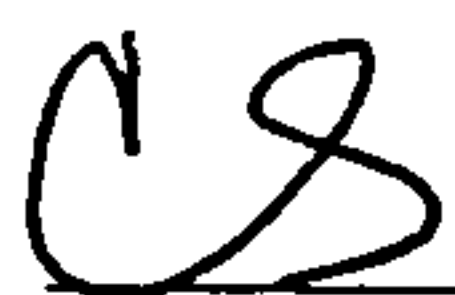
This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 137 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

R-T zoning does not require 2400sq.ft of open space.

Who will maintain the trail on Vista Oriente? City will need to have a streetscape agreement in place for trails/landscaping not identified on the Trails and Bikeways Facility Master Plan.

Signed: 

Christina Sandoval, (PRD)

Phone: 768-5328



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 28, 2003

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:15 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002642**
03DRB-00730 Major-Vacation of Pub
Right-of-Way

CITY OF ALBUQUERQUE, DEPT. OF PUBLIC WORKS request(s) the above action(s) for all or a portion of Block(s) NA, Tract(s) NA, **WEST TOWER RD R.O.W. @ 98TH ST. SW, NA**, zoned NA, located on TOWER RD SW, between EUCARIZ AVE. SW and SAN YGNACIO RD. SW containing approximately 1 acre(s). (L-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1000546**
03DRB-00732 Major-SiteDev Plan
BldPermit
03DRB-00711 Major-Amnd SiteDev Plan
Subd

CHERRY / SEE ARCHITECTS agent(s) for CITY OF ALBUQUERQUE, PARKS & REC. request(s) the above action(s) for all or a portion of Lot(s) NA, Tract(s) NA, **PHIL CHACON PARK**, zoned SU-1, Municipal Park & Rel. Fac., located on LOUISIANA BLVD SE, between GIBSON BLVD SE and SOUTHERN BLVD SE containing approximately 50 acre(s). [REF: DRB-96-214, Z-96-96, Z-94-11, AA-00691, AA-00966, 02AA-00504] (L-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING. THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHANGE THE TITLE BLOCK ON THE COMBINED SITE PLAN FOR BUILDING PERMIT AND MASTER PLAN.**

3. **Project # 1000627**
03DRB-00675 Major-Vacation of Public Easements
03DRB-00678 Major-Vacation of Public Easements
03DRB-00679 Major-Vacation of Public Easements
03DRB-00677 Major-Vacation of Public Easements
03DRB-00676 Minor-Vacation of Private Easements

ISAACSON AND ARFMAN PA agent(s) for CALVARY CHAPEL request(s) the above action(s) for all or a portion of Tract(s) A, **CALVARY CHAPEL**, zoned O-1, M-1, located on NW CORNER OF OSUNA, between WASHINGTON NE and containing approximately 20 acre(s). [REF: DRB-94-142, DRB-94-143, 1000627 00440-00856] (E-17) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1001796**
03DRB-00716 Major-Vacation of Public Easements

SAMUEL C DE BACA agent(s) for SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, **STOUT SUBDIVISION**, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD NW, between EAGLE RANCH RD NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: Z-98-17, Z-84-122, DRB-97-507/S-98-25] (C-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1002479**
03DRB-00718 Major-Vacation of Public Easements

ISAACSON & ARFMAN, PA agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 6, **RIVERSIDE PLAZA**, zoned SU-1, for PRD/8DU/AC, located on E. SIDE OF WINTERHAVEN RD NW, between MONTANO RD NW and LA ORILLA RD NW containing approximately 6 acre(s). [REF: 03DRB-00233] (E-12)

03DRB-00813 Minor-SiteDev Plan Subd/EPC
03DRB-00814 Minor-SiteDev Plan BldPermit/EPC
03DRB-00815 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN agent(s) for JAY REMBE request(s) the above action(s) for all or a portion of Lot(s) 6, **RIVERSIDE PLAZA**, zoned SU-1 for PRD (8DU/ac), located on WINTERHAVEN RD NW, between MONTANO RD NW and LA ORILLA RD NW containing approximately 6 acre(s). [REF: 03EPC-00308, 03EPC-00309, 03DRB-00233, 03DRB-00718] [DEBBIE STOVER, EPC CASE PLANNER] [Deferred from 5/28/03] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/4/03.**

6. **Project # 1002638**
03DRB-00714 Major-Vacation of Pub Right-of-Way

CAM NGUYEN agent(s) for CAM NGUYEN request(s) the above action(s) for all or a portion of Lot(s) 13, Block(s) 31, **BUENA VENTURA SUBDIVISION**, zoned R-1, located on ALTEZ ST NE, between EUBANK BLVD NE and WYOMING BLVD NE containing approximately 1 acre(s). (K-20) TRANSPORTATION DEVELOPMENT REVISED THEIR COMMENT TO STATE 10 FEET OF RIGHT-OF-WAY NEEDS TO BE RETAINED FROM THE FACE OF CURB TO THE PROPERTY LINE. **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1002639**
03DRB-00719 Minor-Sidewalk Waiver
03DRB-00720 Minor-Temp Defer SDWK
03DRB-00721 Minor-Subd Design (DPM)
Variance
03DRB-00722 Major-SiteDev Plan Subd
03DRB-00717 Major-Preliminary Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for BOYHAHN, LLC request(s) the above action(s) for all or a portion of Lot(s) 6-14, Block(s) 4, Tract(s) 2, North Albuquerque Acres, **TREMENTINA SUBDIVISION** zoned RD/SU-1, 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD. NE containing approximately 9 acre(s). [Deferred from 5/28/03] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/11/03.**

8. **Project # 1002640**
03DRB-00728 Minor-Temp Defer SDWK
03DRB-00723 Major-Preliminary Plat
Approval
03DRB-00726 Minor-Sidewalk Variance
03DRB-00725 Minor-Sidewalk Variance
03DRB-00724 Major-SiteDev Plan
BldPermit

ISAACSON & ARFMAN PA agent(s) for BOYHAHN LLC request(s) the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, Tract(s) 2, NO. ALBUQ. ACRES, **VISTA DEL AGUILA SUBDIVISON**, zoned RD SU-1, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). [Deferred from 5/28/03] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/11/03.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1001426**
03DRB-00812 Minor-Amnd SiteDev Plan
BldPermit4

JERRY DANIELE agent(s) for NEW LIFE BAPTIST CHURCH request(s) the above action(s) for all or a portion of Block(s) 2A & 2B, Tract(s) N, **ATRISCO BUSINESS PARK, UNIT 2**, zoned IP, located on LOS VOLCANES RD NW, between UNSER BLVD. NW and COORS NW containing approximately 5 acre(s). [REF: DRB 99-199, 01450-01196] [Deferred from 5/28/03] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/4/03.**

10. **Project # 1002666**
03DRB-00807 Minor-SiteDev Plan
BldPermit

DEKKER / PERICH / SABATINI agent(s) for T T & Y, LLC request(s) the above action(s) for all or a portion of Lot(s) A, Tract(s) P-1, **ATRISCO BUSINESS PARK, UNIT 1**, zoned SU-1 special use zone, located on the WEST SIDE OF COORS RD NW, between LOS VOLCANES RD NW and CLOUDCROFT RD NW containing approximately 2 acre(s). [REF: DRB-86-09] [Deferred from 5/28/03] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/4/03.**

11. **Project # 1002249**
03DRB-00635 Minor-SiteDev Plan
Subd/EPC
03DRB-00637 Minor-SiteDev Plan
BldPermit/EPC
03DRB-00770 Minor-Prelim & Final Plat

TIERRA WEST LLC agent(s) for WALMART STORES EAST, INC. request(s) the above action(s) for all or a portion of Tract(s) F1 & E1, **AMERICAN SQUARE**, zoned C-2 community commercial zone, located on CARLISLE BLVD NE, between CLAREMONT AVE NE and PHOENIX AVE NE containing approximately 13 acre(s). [REF: 02EPC-01475 & 02EPC-01476, 03DRB-00445 VPE] **[Debbie Stover, EPC Case Planner]** [Deferred from 5/21/03] (H-16) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/28/03 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1002077**
03DRB-00792 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) B & C, **EL RANCHO GRANDE – UNIT 9A**, zoned R-2 residential zone, located on BUTCH CASSIDY DR SW, between JESSE JAMES DR SW and BILLY THE KID RD SW containing approximately 3 acre(s). [REF: 03DRB-00513] (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project #1000692**
03DRB-00830 Minor – Amended
Infrastructure List for Amended SBP

DESERT SKY DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) A-1A, Block(s) 1, **BEAR CANYON VILLAGE, UNIT 2**, zoned SU-1 for limited C-1, located on the corner of WYOMING BLVD NE between BURLISON DR NE and HARPER RD NE, containing approximately 4 acre(s). [REF: 01DRB-00180, 00EPC-01017, 00EPC-01181] (E-19) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT THAT WAS ASSOCIATED WITH THIS PROJECT #1000692 HAS BEEN VOIDED. THE INFRASTRUCTURE LIST DATED 3/7/01 HAS BEEN VOIDED.**

14. **Project # 1001453**
03DRB-00797 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for D. R. HORTON HOMES, INC. request(s) the above action(s) for all or a portion of Tract(s) E-1, CANTABELLA SUBDIVISION, (to be known as **SEDONA @ VENTANA RANCH**) zoned R-LT residential zone, located on the EAST SIDE OF UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA HILLS RD NW containing approximately 20 acre(s). [REF: 01DRB-01608, 01DRB-01470, 01DRB-01471] [Project # changed from 1000132 to Project #1001453] (B-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

15. **Project # 1001852**
03DRB-00793 Minor-Ext of SIA for Temp
Defer SDWK

MARK GOODWIN & ASSOCIATES P.A. agent(s) for A. S. I. - E. S. FRANCISCO MELENDEZ request(s) the above action(s) for all or a portion of Block(s) 34, Unit(s) B, **PUNO DE TIERRA ESTATES, UNITS 1 and 2 and TRACT A**, zoned R-1 residential zone, located WEST OF COORS BLVD SW, between ARENAL RD SW and the AMOLE DIVERSION CHANNEL containing approximately 29 acre(s). [REF: DRB-97-498, 02DRB-00490 P&F, 02DRB-01463] (M-10) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 5/24/03, AS IDENTIFIED ON THE MOST RECENT SIA, IS EXTENDED TO 5/24/05.**

16. **Project # 1001997**
03DRB-00781 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for THE HOMESITE GROUP ONE, LLC request(s) the above action(s) for all or a portion of Tract(s) C, **MONTEREY PARK SUBDIVISION**, zoned R-LT residential zone, located NORTH OF MCMAHON BLVD NW, EAST OF UNSER BLVD NW and WEST OF STONEBRIDGE DR NE containing approximately 11 acre(s). [REF: 02DRB-01398, 02DRB-01402, 02DRB-00853 SK, 02-01400 (VPRIE)] (A-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION AND PLANNING FOR DXF FILE.**

17. **Project # 1002088**
03DRB-00803 Minor-Prelim&Final Plat Approval

HARRIS SURVEYING INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or a portion of Lot(s) 7A, 8A AND 9A, **JOHN BARON BURG PARK**, zoned S-R, located on 19TH ST NW, between ZEARING NW and I-40 NW containing approximately 1 acre(s). [REF: 02DRB-01755, 02DRB-001483, 02DRB-01484] (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DXF FILE.**

18. **Project # 1002538**
03DRB-00791 Minor-Prelim&Final Plat Approval

LAWRENCE GARCIA request(s) the above action(s) for all or a portion of Lot(s) 2A, 2B, 2C and 2D (to be known as **LANDS OF SANDRA ELENA GARCIA, LANDS OF AMARANTE & ESPERANZA SANCHEZ**, zoned R-3, located on DELAMAR AVE NW, between 4th ST NW and 2nd ST NW containing approximately 1 acre(s). [REF: 03DRB-00419] (F-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/28/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: THE GRADING AND DRAINAGE PLAN AND THE SIA NEED TO BE COMPLETED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # ~~1001523~~**
03DRB-00810 Minor-Sketch Plat or Plan
- COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, Lot(s) 1A, 1B, 2A thru 2E, **LADERA INDUSTRIAL CENTER**, zoned SU-1 Transit and Light Industrial, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and OURAY RD NW (LADERA CHANNEL) containing approximately 29 acre(s). [REF: 03DRB-00755, 03DRB-00756, ~~03DRB-00757~~, 03DRB-00758, ~~EPC-00229~~, ~~00152~~ and ~~00153~~] (H-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
20. **Project # 1002659**
03DRB-00796 Minor-Sketch Plat or Plan
- MICHAEL SILBERT request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Tract(s) A1, **LANDS OF JACK CULLY, MRGCD MAP # 32**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between GUADALUPE TRAIL. NW and TIERRA VIVA PL NW containing approximately 4 acre(s). [REF: Z-79-134, AX 97-21] (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
21. **Project # 1002660**
03DRB-00799 Minor-Sketch Plat or Plan
- MICHAEL GALLEGOS agent(s) for ANGELICA GALLEGOS request(s) the above action(s) for all or a portion of Lot(s) 4, Tract(s) 37-A4, **MRGCD MAP # 37**, zoned SU-2 special neighborhood zone, R-1, located on GOMEZ AVE NE, between BROADWAY BLVD NE and EDITH BLVD NE containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1002663**
03DRB-00804 Minor-Sketch Plat or Plan

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) E, **NM CREDIT CORPORATION**, zoned SU-2 for C-3, located on ARNO NE, between LOMAS NE and MOUNTAIN RD NE containing approximately 2 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project # 1002668**
03DRB-00811 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) C, Block(s) 5, Tract E, Block(s) 2, **VISTA MAGNIFICA** and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned SU-1 special use zone, PRD, and R-3, located on the EAST SIDE OF ATRISCO DR NW, between ILIFF RD NW and I-40 containing approximately 7 acre(s). [REF: SP-78-421] (H-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Other Matters: **PROJECT #1002135/APPL. #03DRB-00863 Preliminary & Final Plat approval. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT; TRACT DESIGNATION FOR RIGHT-OF-WAY NEEDS CLARIFICATION AND TO PLANNING FOR DXF FILE.**

ADJOURNED: 1:15 P.M.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 4, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001523

03DRB-00757 Major-Vacation of Pub Right-of-Way

03DRB-00758 Minor-Vacation of Private Easements

03DRB-00756 Minor-Prelim&Final Plat Approval

03DRB-00755 Major-Bulk Land Variance

COMMUNITY SCIENCES CORP agent(s) for UNSER/98TH ST and AIM MANAGEMENT request(s) the above action(s) for, **LADERA INDUSTRIAL CENTER**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and OURAY DR NW (VACATED) containing approximately 129 acre(s). [REF: EPC-00152, EPC-00153, EPC-00229, 1002404, 1001523] (H-9, H-10)

Project # 1001543

03DRB-00747 Major-Amnd Prelim Plat Approval

JEFF MORTENSEN & ASSOCIATES INC agent(s) for HOECH REAL ESTATE CORP request(s) the above action(s) for all or a portion of Tract(s) ALL and(Lots 1-61) and (Parcels 1 & 2), **DESERT RIDGE PLACE -UNIT 1**, zoned R-D, located on HOLLY AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 11 acre(s). [REF: 1001543] (C-20)

Project # 1001939

03DRB-00753 Major-Vacation of Public Easements

03DRB-00752 Major-Preliminary Plat Approval

WILSON & COMPANY INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A1B and The Crossing -Unit 2A (Tr A), **CIELO OESTE**, zoned R-D, located on GUNNISON PL NW, between UNSER BLVD NW and 98TH ST NW containing approximately 15 acre(s). [REF: 1000150, 1000207, 1000515, 1001939] (H-9)

Project # 1002423

03DRB-00749 Major-Preliminary Plat
Approval

03DRB-00751 Minor-Temp Defer SDWK

03DRB-00750 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. agent(s) for CURB, INC.
request(s) the above action(s) for all or a portion of Lot(s)
ALL, Tract(s) E-1 ALL LOTS IN EL RANCHO GRANDE
S/D, UNIT 10, ALBUQUERQUE SOUTH, UNIT 3, zoned
R-2, located on VALLEY VIEW DR SW, between
CARTAGENA AV. SW and DE ANZA DR. SW containing
approximately 20 acre(s). [REF: 03DRB-00059] (N-09)

Project # 1002643

03DRB-00734 Major-Bulk Land Variance

03DRB-00735 Minor-Prelim&Final Plat

Approval

SURV-TEK INC agent(s) for PARADISE HEIGHTS LLC
request(s) the above action(s) for all or a portion of Tract(s)
A-D, LANDS OF PARADISE HEIGHTS, zoned R-1,
located on DOUGLAS AVE NW, between WESTSIDE
BLVD NW and BROOKLINE BLVD NW containing
approximately 42 acre(s). (A-10)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 20, 2003.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



PB METER
7131916

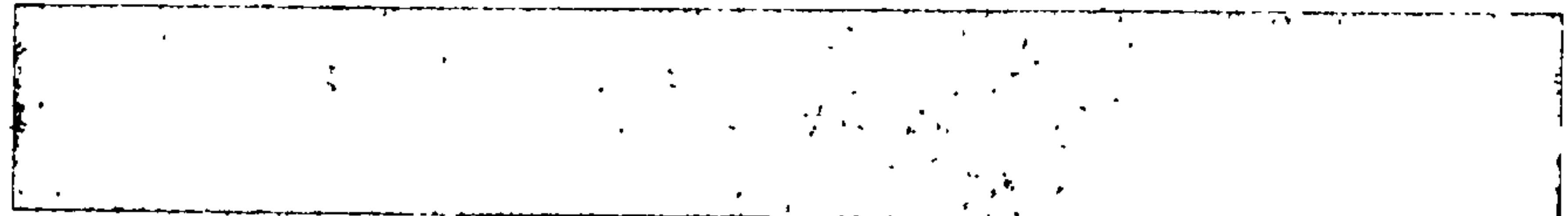
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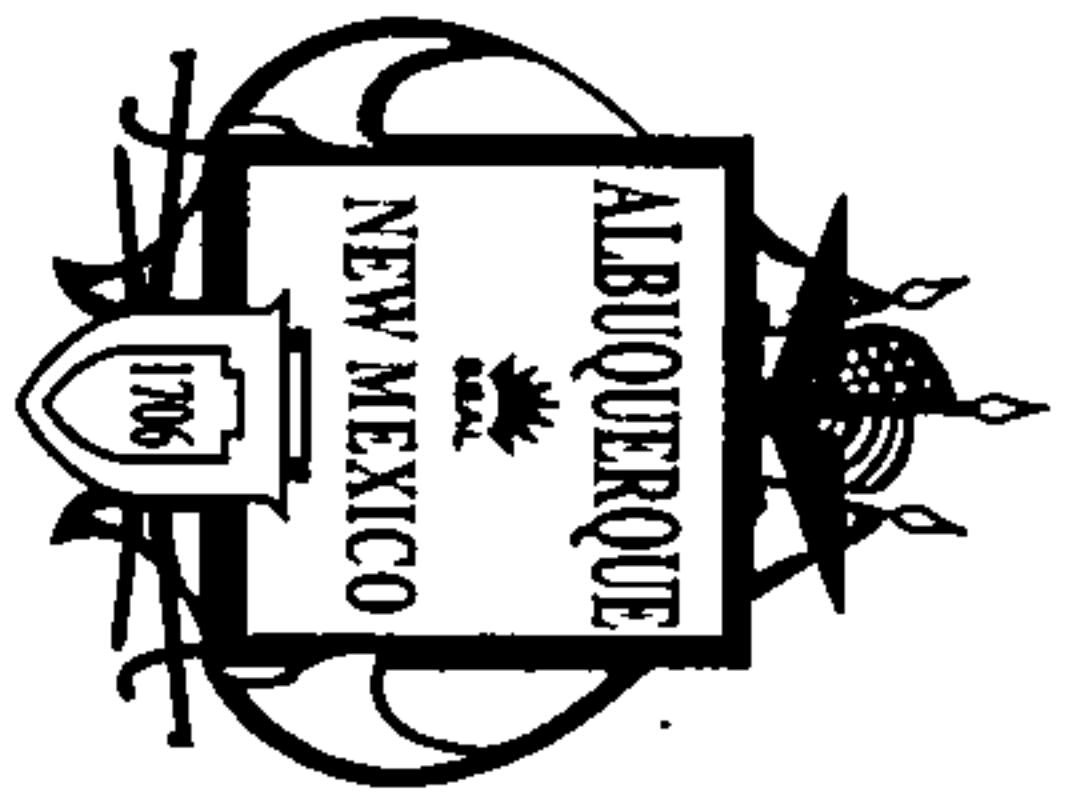
U.S. POSTAGE

101005916125430340

KLEIN RICHARD N & JUDITH A
2115 STONEHAM PL NE
ALBUQUERQUE NM 87120

87120+4713





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN TO SENDER
ATTEMPTED
NOT KNOWN

ALBUQUERQUE NM 87103

PB METER 7131916

U.S. POSTAGE

3037

100905940523740313

PRESLEY COMPANIES (THE)
1909 CARLISLE BL NE
ALBUQUERQUE NM 87110

473333333

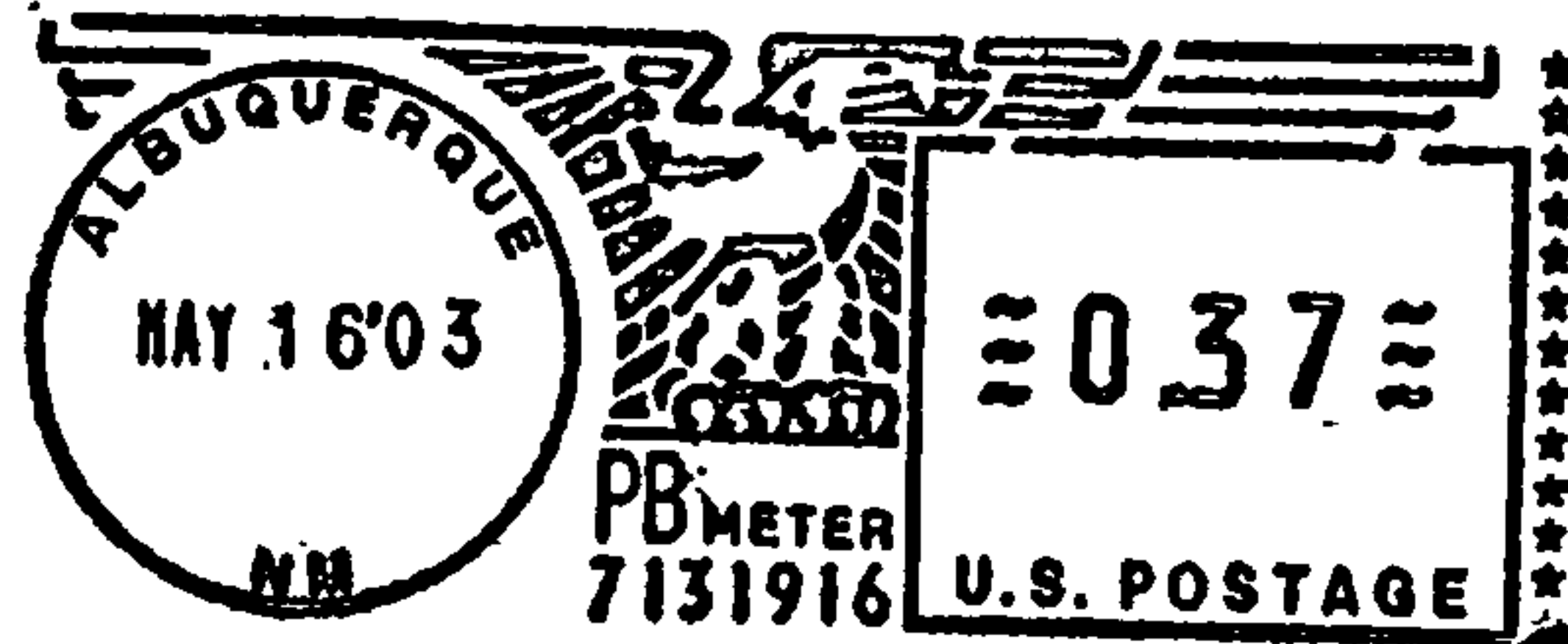
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

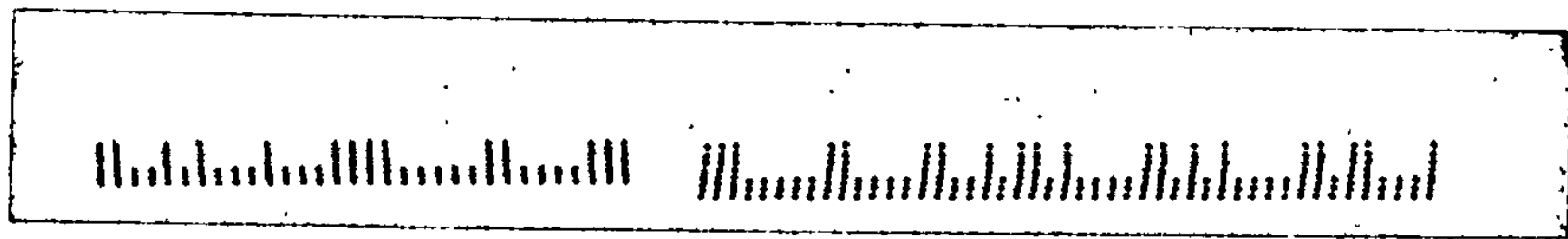
PLANNING DEPARTMENT



- UNDELIVERABLE AS ADDRESSED
- MOVED. LEFT NO ADDRESS
- UNCLAIMED
- REFUSED
- ATTEMPTED, NOT KNOWN
- NO SUCH STREET
- NO SUCH NUMBER
- NO RECEPTACLE
- DECEASED
- VACANT

~~10090595004501010905~~

~~PLAINS ELECTRIC GENRTN & TRANS
GENERAL DELIVERY
ALBUQUERQUE NM 87197~~





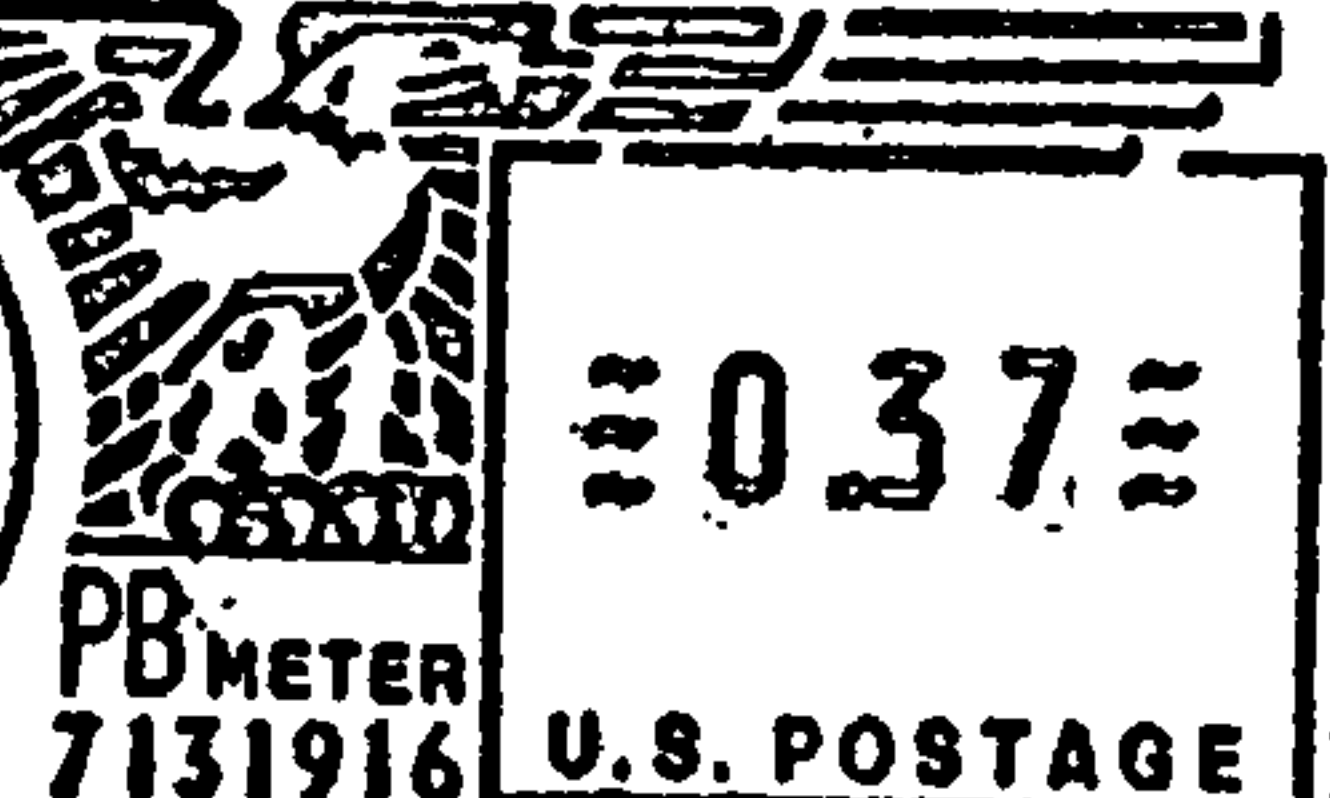
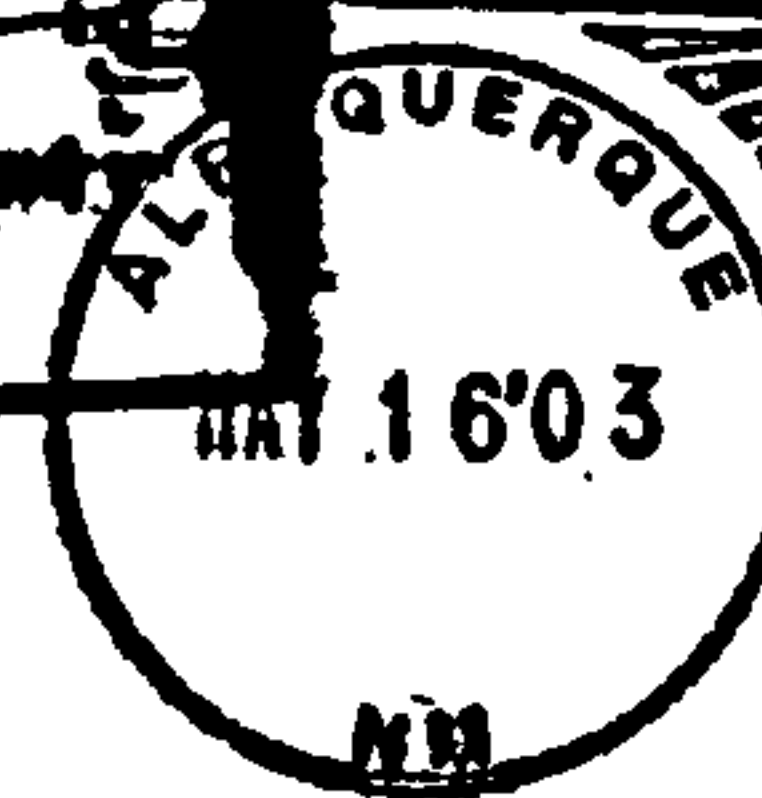
City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



*Not at
this
address*

101005901443220703

US GOVT BUREAU OF RECLAMATION
2401 AZTEC RD NE
ALBUQUERQUE NM 87107



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME _____
AGENT DEKKER / PERICH
ADDRESS _____
PROJECT & APP # 1001523 / 101797
PROJECT NAME THE SHOPS @ LA MORADA

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Scanned from here bad

DEKKER/PERICH/SABATINI, LTD 12-92
6801 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FED #85-0367023

WELLS FARGO NEW MEXICO, N.A. 0204
Albuquerque, NM 87103-1081
95-219-1070

035867

CHECK NO.

35867

Exactly Fifty and no/100 Dollars

DUPLICATE

DATE 12/19/2005
Treasury Division

AMOUNT

\$50.00

PAY TO THE ORDER OF CITY OF ALBUQUERQUE

12/19/2005

LOC: ALBU

RECEIPT# 00049831 WSH 008 TRANS# 0027

Account 441006 Fund 0110

VOID AFTER 90 DAYS

Activity 4983000 TRSCCS

Trans Amt

\$50.00

J24 Misc

035867 107002192 104759568

\$50.00

\$0.00

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME _____
AGENT DEKKER / PERICH
ADDRESS _____
PROJECT & APP # 1001523 / 0.1797
PROJECT NAME THE SHOPS @ LA MORADA

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
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035867

CHECK NO. 35867

Exactly Fifty and no/100 Dollars

DUPLICATE
CITY OF ALBUQUERQUE
DATE: 12/19/2005
Treasury Division
AMOUNT \$50.00

PAY TO THE ORDER OF CITY OF ALBUQUERQUE

12/19/2005
RECEIPT# 00049831 WSH 008 TRANSH 0027
Account 441006 Fund 0110 VOID AFTER 90 DAYS
Activity 4983 TRSCCS
Trans Amt J24 Misc
\$50.00

⑈035867⑈ ⑈107002192⑈ ⑈1047519568⑈
CHANGE \$50.00 \$0.00



December 19, 2005

Mr. Bob Sparling
Sparling Construction Company
8900 Washington NE
Albuquerque, NM 87113

Landscape Architecture
Urban Design
Planning Services

RE: Recommendation to Architectural Design Review Committee
Lot # 15 and 16 - Retail Shops

302 Eighth St. NW
Albuquerque, NM 87102

Dear Mr. Sparling:

(505) 764-9801

Fax 842-5495

cp@consensusplanning.com

www.consensusplanning.com

Plans for the above referenced Lot have been reviewed for compliance with the 'Declaration of Covenants, Conditions and Restrictions' and Neighborhood Agreement for the Ladera Business Park. The recommendation to the Committee for this property is as follows:

X Approval based upon submittal of materials that addressed the items contained in letter dated November 21, 2004.

Issues addressed include:

- Landscaping;
- Lighting;
- Signage; and
- Building architecture and color.

The developer has met all the conditions requested by the Architectural Control Committee. Please feel free to call me if you have any questions or desire additional information.

Sincerely,

Paul Huckabee
Senior Planner

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

c: Carrie Mettling, Dekker/Perich/Sabatini

ASSOCIATES

Jacqueline Fishman, AICP

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Mr. Allan Frenkel PHONE: 480 945-5848
 ADDRESS: 7720 E. Heatherbrae Ave. Unit 19 FAX: _____
 CITY: Scottsdale STATE AZ ZIP 85251 E-MAIL: afrenkel@cox.net
 Proprietary interest in site: Contract Purchaser List all owners: _____
 AGENT (if any): Dekker/Perich/Sabatini PHONE: 505 761-9700
 ADDRESS: 6801 Jefferson St. NE Suite 100 FAX: 505 761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrise@dps.abq.com

DESCRIPTION OF REQUEST: Application to DRB for approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 15 & 16 Block: _____ Unit: _____
 Subdiv. / Addn. Ladera Industrial Center TBK THE SHOPS @ LA MORADA
 Current Zoning: SU-1 Light Industrial Proposed zoning: Same
 Zone Atlas page(s): H-9 No. of existing lots: 2 No. of proposed lots: 2
 Total area of site (acres): 2.63 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 100905946421841502 & 100905946123641501 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Unser, NW (2101 & 2105 Vista Oeste, NW)
 Between: La Morada, NW and Vista Oriente, NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): PN 1001523
DRB-98-118, DIEPC-01405, 04DRB-01491

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Christopher R. Cunning DATE 11/22/05
 (Print) Christopher R. Cuning for Dekker/Perich/Sabatini Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 02797</u>	<u>SBP</u>	<u>7(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>12/07/05</u>		Total <u>\$ 405.00</u>		
<u>11/29/05</u>		Project # <u>1001523</u>		

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Christopher R. Gunning for D/P/S
Applicant name (print)
Christopher R. Gunning
Applicant signature / date
11/22/05

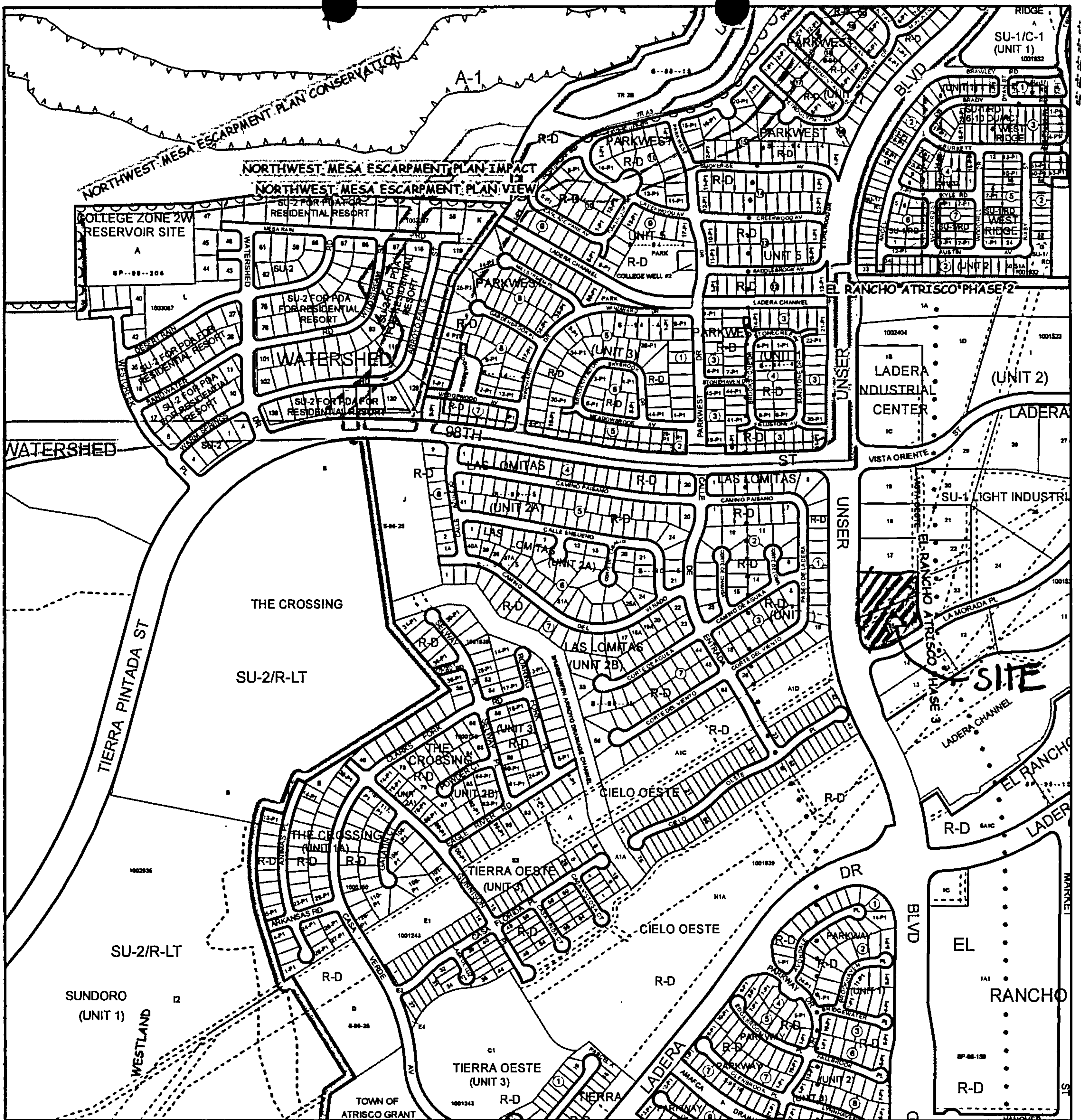


Form revised JUNE 2005

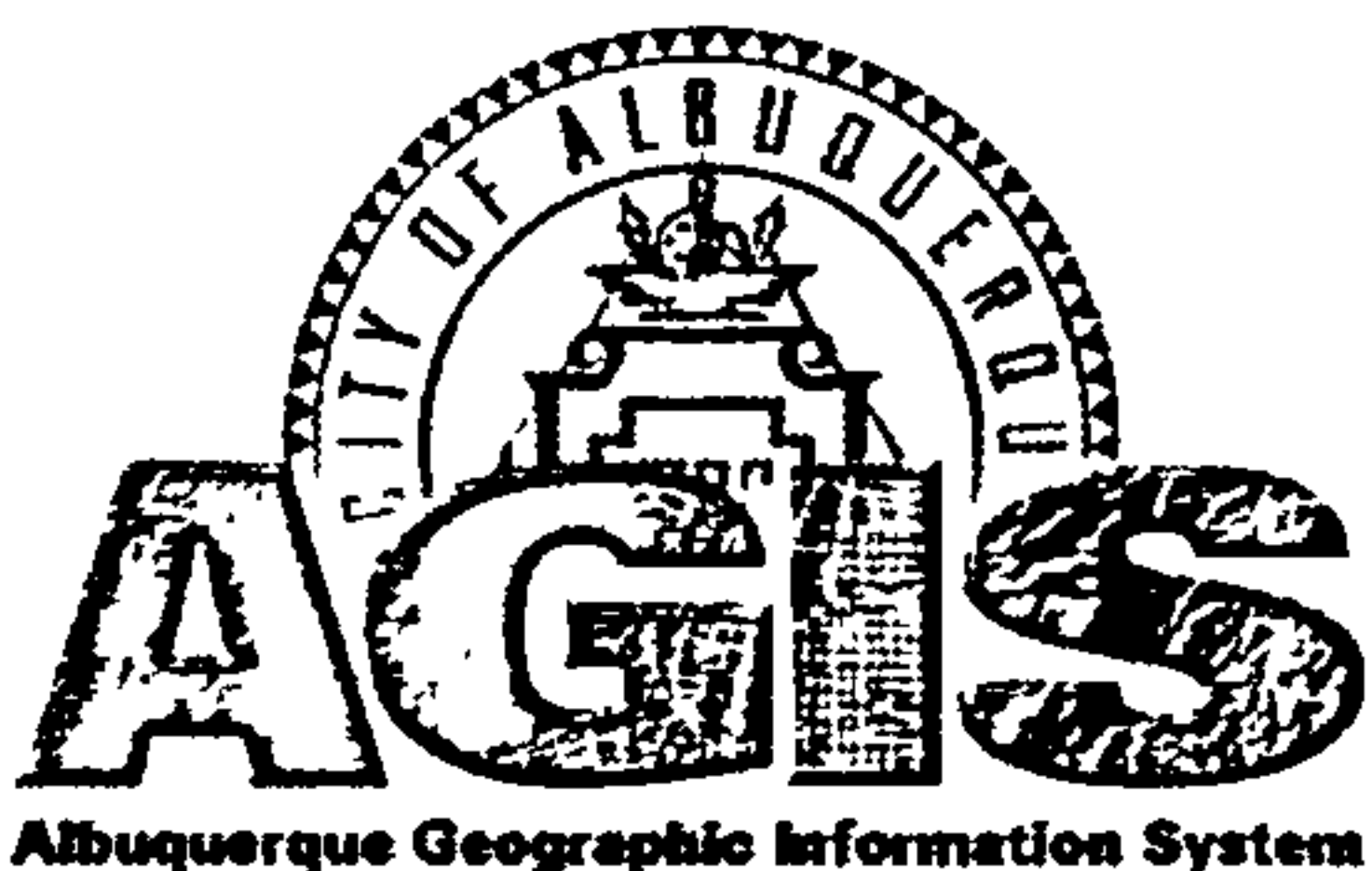
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB-01797

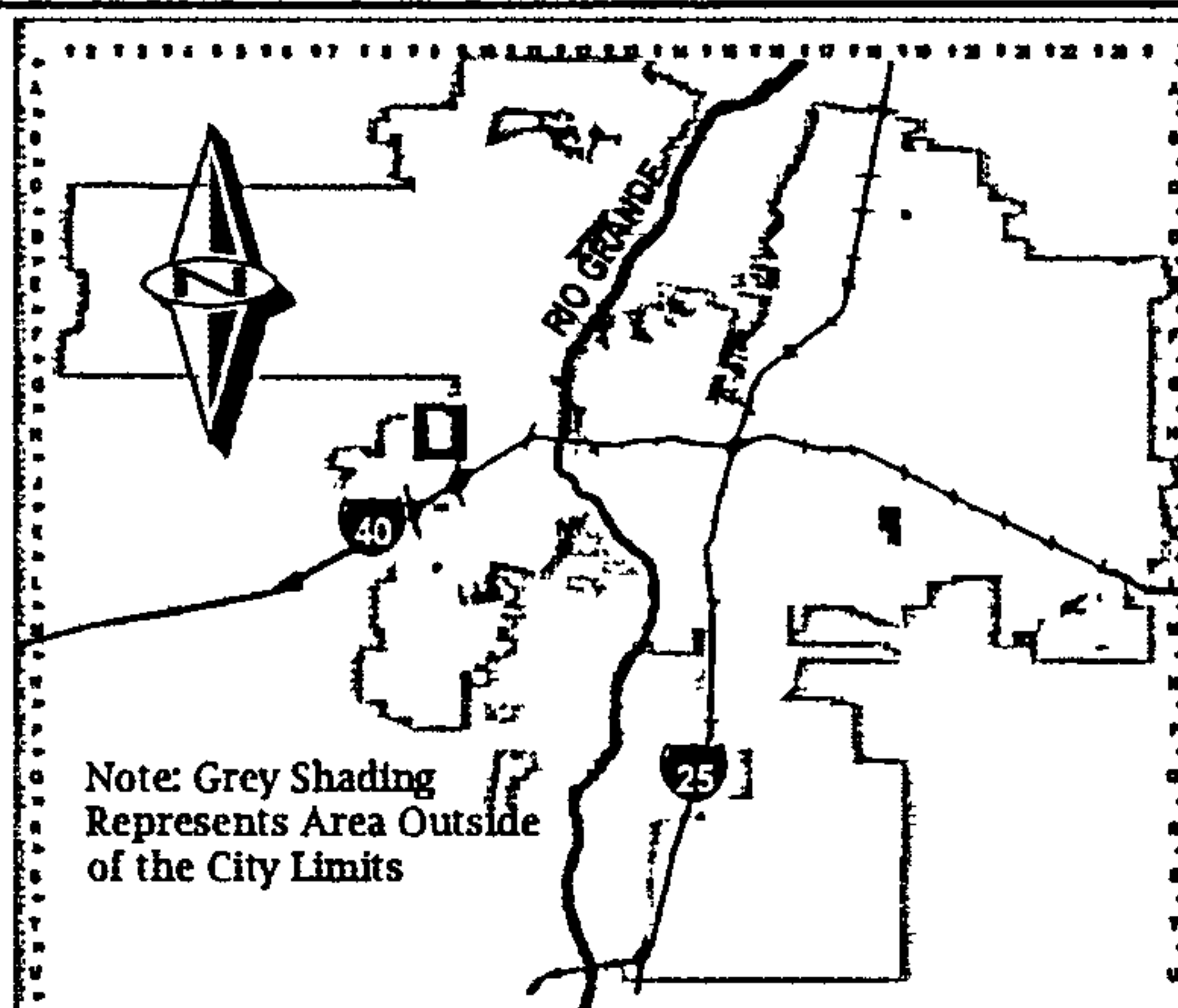
KE S's 11/29/05
Planner signature / date
Project # 1001523



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 11/2/2005



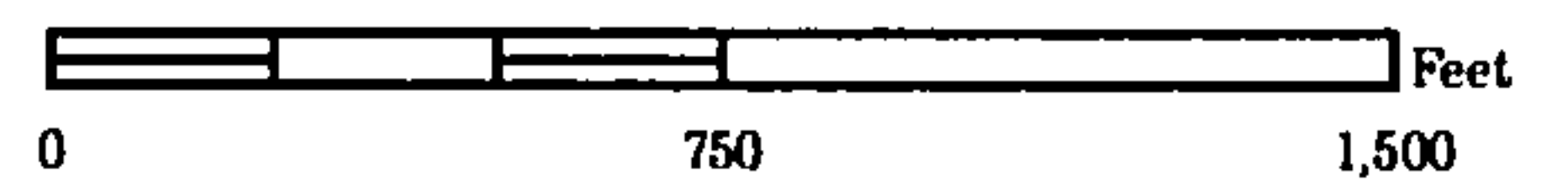
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

H-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



November 22, 2005



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Ms. Sheran Matson, DRB Chairperson
Development Review Board
City of Albuquerque
600 Second Street, NW
Albuquerque, New Mexico 87103

Re: Application to the Development Review Board for Site Development Plan for Building Permit
Lots 15 & 16, Ladera Industrial Center, Albuquerque, New Mexico
City Project Number 1001523

Dear Sheran:

We are submitting, on behalf of Mr. Allan Frenkel, an application for Site Development Plan for Building Permit for lots 15 & 16 in the Ladera Industrial Center. An IP Master Plan was previously approved for the development, and according to that approval, we are required to submit to DRB for review. We have previously submitted a package for review and approval by the Architectural Review Committee for the development, and their letter of approval is included in this submittal. Their one condition of approval pertains to the size of the monument signs, and we have revised our drawings to comply with the maximum size allowed in the Covenants.

The proposed project is a grouping of four retail shops buildings, clustered on the two lots, with pedestrian connections between the four buildings. The buildings are grouped around a common parking area that occupies the area below the overhead power lines that lie within the 60' PNM easement. The buildings facades generally face the interior of the site, but are oriented to be visible from Unser, La Morada, and the internal private drive. There are two building types that will each be repeated twice. The architectural theme of the buildings is a combination of traditional New Mexico styles that will relate to the existing residential neighborhoods nearby.

We believe we have addressed all the requirement of the submittal, and we respectfully request your approval. Please let me know if you have any questions or comments.

Sincerely,

Dekker/Perich/Sabatini

Christopher R. Gunning, AIA
Principal

Cc: Allan Frenkel
Carrie Mettling
File

Attachments

■■■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

FAX TRANSMITTAL

Allan Frenkel
7720 E. Heatherbrae Avenue, #19
Scottsdale, AZ 85251
Ph: 480-945-5848
Fax: 480-874-4221
Cell: 832-577-1440
Email: afrenkel@cox.net

TO: Chris Gunning
DRS

PH: 505-761-9100

FX: 505-761-4222

DATE: 11/21/05

No: of Pages: 2

SUBJECT: Authorization Letter - City of Albuquerque DRB
Ladera Lots 15 & 16

Thank you,

Allan

November 21, 2005

Mr Chris Gunning
Dekker/Perich/ Sabatini
6801 Jefferson NE, Suite 100
Albuquerque, New Mexico 87109

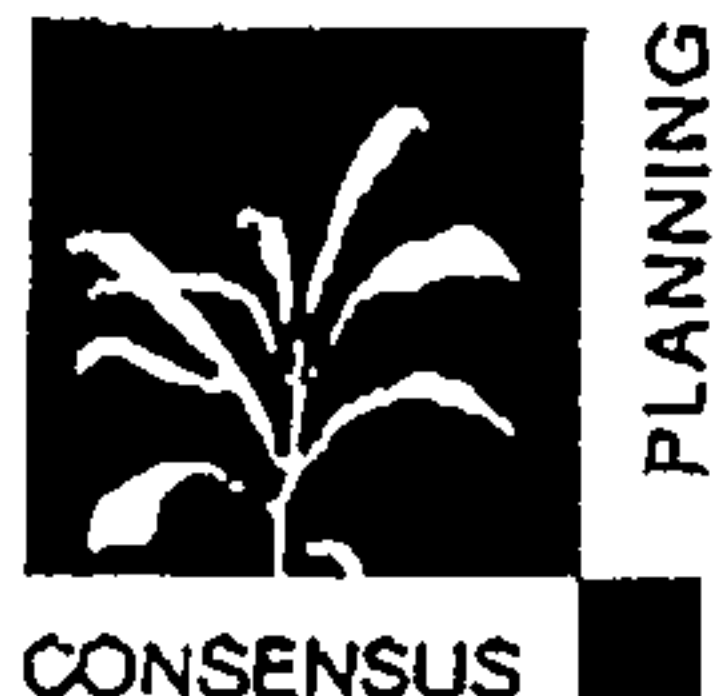
Dear Chris:

This correspondence is in reference to your submission to the City of Albuquerque Design Review Board for approval of a Site Development Plan for a Building Permit for Tracts 15 and 16, Ladera Business Park at the southeast corner of Unser Boulevard and 98th Street NW, north of I-40. As Contract Purchaser of the subject property, you have my approval and authorization to act as my agent in pursuit of the approvals as outlined. This authorization is within the limits of the existing Purchase Contract.

Sincerely Yours,



Allan S. Frenkel
7720 E. Heatherbrae Ave. #19
Scottsdale, Arizona 85251
Tel 480-945-5848
Cell 832-577-1440
e-mail afrenkel@cox.net

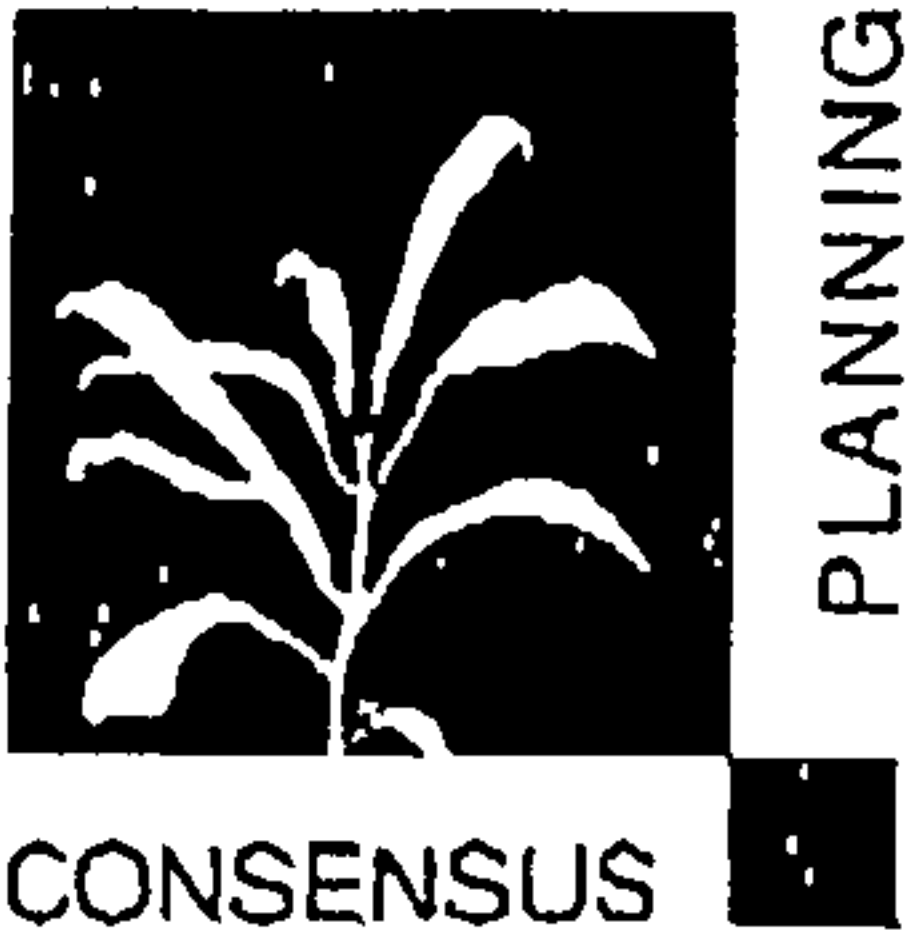
***fax cover sheet***

Date:	November 22, 2005	Pages:	13 (including cover)
To:	Christopher Gunning, AIA Fax: 505-761-4222	From:	Paul Huckabee
Re:	Lots 15 & 16 Ladera Industrial Park	Job #:	1275-3

Comments:**Mr. Gunning,**

Attached is the recommendation to the Architectural Design Review Committee and the Design Reviewer's Worksheet for Lots 15 and 16 (Retail Shops) of the Ladera Industrial Park.

Paul Huckabee



November 21, 2005

Mr. Bob Sparling
Sparling Construction Company
8900 Washington NE
Albuquerque, NM 87113

RE: Recommendation to Architectural Design Review Committee
Lot # 15 and 16 – Retail Shops

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Sparling:

Plans for the above referenced Lots have been reviewed for compliance with the 'Declaration of Covenants, Conditions and Restrictions' and Neighborhood Agreement for the Ladera Business Park. The recommendation to the Committee for this property is as follows:

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801

Fax 842-5495

cp@consensusplanning.com

www.consensusplanning.com

Approval pending submittal, revision, and/or addition of the following:

- The following site lighting specifications should be included:
 - Exterior elevations of any building fronting a street are encouraged to feature light to enhance the identity of the building and the appealing ambiance of the total community.
 - The use of spread lighting fixtures is required to accent landscapes and walkways. Uplighting fixtures are not permitted.
- The proposed freestanding sign is not in compliance with the Covenants, Conditions, and Restrictions and must be revised. The CC&Rs call for business monument signs that shall not exceed 4 feet in height and with a sign face not exceeding 32 square feet.
- Floor plans need to be provided with the site plan set.
- A drive aisle is shown encroaching into the 20-foot parking and circulation setback at approximately the center of the project adjacent to Unser Boulevard. The plans should be modified to relocate the driveway out of the setback area.
- The type of special paving used for pedestrian crossing points should be defined as shown on the site plan.
- The landscape plan shows a "residential buffer" on the north side of the project. A residential buffer is not required at this location and the notation should be removed.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

- Coniferous trees need to be added in the parking areas. A ratio of 60/40 deciduous trees to coniferous trees is required. The landscape plan should be revised accordingly.
- Two additional trees are required adjacent to La Morada and one additional tree is required adjacent to the street at the eastern property line. The mix of trees on these streets is required to have a ratio of 60/40 deciduous trees to coniferous trees. The landscape plan should be revised accordingly.
- The size of the Austrian Pine should be a minimum 2-inch caliper trunk width or have a height of 10-12 feet. The Desert Willow should be a minimum of a 24-inch specimen. The landscape plan should be revised to reflect the appropriate sizes.
- The patio area located at the southeast corner of the building at the northeast corner of the project should have either a shade structure or adequate shade trees. The site plan and/or landscape plan should be revised accordingly.
 - One of the trash enclosures should be relocated to provide more convenient service to the eastern portion of the project.
 - Details need to be provided on how rooftop mechanical equipment is to be screened. If equipment will be ground-mounted, the location and screening of the equipment must be shown on the site plan/landscape plans.
- Per the City of Albuquerque Zoning Code, all required landscaped areas 36 square feet or larger shall be covered with living, vegetative materials such as grasses, vines, spreading shrubs, or flowers, over at least 75% of the landscaped area. Coverage will be calculated from the mature spread of the plants. To minimize water consumption, the use of vegetative ground cover other than turf grass is encouraged. Any non-living ground cover areas not intended as mulch around spreading plants must be clearly delineated on the landscaping plan.
 - Provide color and material samples for review. Also indicate proposed colors on the elevation plans. Primary building colors are limited to yellow ochres, browns, dull reds, blues, grays, and gray-greens. The middle range of reflectance is intended to avoid very light and very dark colors.
 - Articulation of the buildings, particularly the rear and sides, should be provided to create pockets of light and shadow to provide relief from monotonous expanses of facades.
 - Offsets to the roofline should be provided to prevent a continuous plane from occurring, particularly on the side and rear elevations.

Please call me if you have any questions or desire additional information.

Sincerely,



Paul Huckabee, AICP
Senior Planner

c: Christopher Gunning, Dekker/Perich/Sabatini

Ladera Business Park
ARCHITECTURAL DESIGN REVIEWER'S WORKSHEET

Lot # 15 1/6

Date submitted 11/15/2005

Builder / Owner DEKKER/PEDICH/SABATINI (ARCHITECTS)

Plans (1 set required)

Check (\$430.00, attach copy)

New Remodel Outbuildings Landscaping Other

Building Use RETAIL SHOPS

Landscaping

Mix of evergreen (coniferous/Deciduous trees within parking areas).

CONIFEROUS TREES NEEDED IN PARKING AREAS.

Off-street parking areas - one tree for every 10 spaces.

A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.

Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.

A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure and or adjacent to residential properties.

As a minimum, a 15 foot landscaped buffer is required between industrial/commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height twenty-five feet. The trees shall be spaced at an average of 25 feet on center.

N/A

Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped area. NEED ADDITIONAL GROUNDCOVERS TO MEET REQUIREMENT

One tree is required for each twenty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees. TWO ADDITIONAL TREES NEEDED ON LA MORADA, ONE ADDITIONAL TREE ON EAST PROPERTY LINE ROAD. USED 60/40 MIX.

Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 in height; shrubs and groundcovers shall be a one gallon container; and turf grasses shall be capable of providing complete ground coverage within one growing season after installation. AUSTRIAN PINE SUBSTANDARD. DESERT WILLOW SHOULD USE 24" BOX AS EQUIVALENT.

An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency. ✓

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material. ✓

Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical. ✓

Setbacks

Buildings shall be located on each site according to the following setback dimensions:

- 35 feet from the Unser Boulevard R.O.W and ✓
 - 20' for internal roadways R.O.W. ✓
 - 50 feet from the property line of a residential zone N/A
 - 10 feet from internal lot lines ✓
-

Parking/Circulation

20 feet from the Unser Boulevard R.O.W. line; and 10 feet for internal roadways; and, 10 feet from internal lot lines. CIRCULATION ENCROACHMENT INTO UNSER BLVD SETBACK.

ADA compliant parking shall be located adjacent to the building entry. ✓

For office buildings, pedestrian crossings shall be a minimum width of 6 feet. They should be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. SHOULD SPECIFY TYPE OF PAVING SHOWN.

Shaded pedestrian access shall be provided, including a clear 6 foot wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 5 feet square (or equivalent). Truck parking is not permitted on the interior streets within Ladera Business Park. ✓

For office and retail buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade can be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 feet square (or equivalent). ✓

For office buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture. NEED SHADE STRUCTURE OR SHADE TREES.

Convenient connections shall be provided from each building to the internal circulation system and to adjacent roadways. ✓

Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas. ✓

Sidewalks

Sidewalks shall be provided along public rights-of-way at a minimum of 6 foot width and shaded by trees planted 25 feet on center. ✓

Screening Walls/Fences

The following are standards to ensure effective screening of negative elements:

All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berming. Such screening shall have a minimum height of 3 feet. Employee and customer/client parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping should be used to direct visitors. ✓

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade and have a maximum height of 10 feet. N/A

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections. ✓ ONE SHOULD BE MOVED FOR BETTER COVERAGE.

Refuse containers shall be in a corresponding walled and gated area at a height to fully conceal the container. ✓

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. N/A

The use of chainlink fencing is not permitted between the building and any street right-of-way. Security fencing shall be compatible with the architectural theme of the building. N/A

Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with vines solid fencing, and/or shrubs. Outdoor storage shall not be permitted on any lot adjacent to Unser Boulevard (lots 12-23, and lot 29). N/A

Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color. N/A

Lighting Standards

The maximum height for lighting fixtures shall be:

16 feet for all walkways and entry plazas. N/A

25 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements. ✓

Exterior elevations of any building fronting a street are encouraged to feature light to enhance the identity of the building and the appealing ambiance of the total community. NONE SHOWN

The use of spread lighting fixtures are required to accent landscapes and walkways. Uplighting fixtures are not permitted. NONE SHOWN

Required streetlight specifications: G.E. 100 watt, bronze, Lumen shoebox type with Lexington bronze pole per PNM specification SL3. N/A

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements. ✓
- All light fixtures shall be shown as fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter. ✓
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. ✓

Singage

The following are general guidelines for signage design and placement:

- No off-premise signs are allowed. ✓
- Signs shall be limited to wall signs and free-standing monument signs. ✓
- One wall sign shall be permitted per facade per business. ✓
- Individual buildings are allowed facade mounted signs whose area shall not exceed 6% of the area of the facade to which it is applied. ✓
- The height of a wall sign shall not exceed the height of the wall to which it is attached. ✓
- One free-standing business monument sign shall be permitted per street frontage per premises; a second free-standing sign is permitted on any given street frontage greater than 1,500 linear feet. ✓
- The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet.
PROPOSED SIGNS EXCEED HEIGHT AND SIGN AREA
- No sign shall overhang into the public right-of-way or extend above the building roof line. ✓
- No illuminated signage shall face any residential area, except along Unser Boulevard. ✓

Site

- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout should minimize the need for pedestrians to cross parking aisles and landscaped islands. ✓
- Pedestrian linkages shall be clearly visible and highlighted with enhanced paving. ✓
- Parking areas shall be designed to include a pedestrian link to the street sidewalk network. ✓
- All parking facilities adjacent to the streets be screened with low walls and/or landscaping. Such screening shall have a minimum height of 3 feet. ✓
- All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design). ✓
- Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6' clear and lined with shade trees in 5' x 5' planters or equivalent, spaced 25 feet on center. ✓

Architectural

All buildings shall conform to the following requirements:

- The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along Unser Blvd. (lots 13 through 19) shall be restricted to a height of 26 feet (including parapets) and have flat roofs with parapets. ✓
- The primary building colors shall be limited to: Yellow Ochres, Browns, Dull Reds, Blues, Grays, and Grey-Greens however, sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors. COLORS NOT PROVIDED.
- The staggering of planes and/or distinct articulation of building façades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades. SHOULD PROVIDE ON REAR & SIDES OF BUILDINGS.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring. SHOULD PROVIDE ON REAR & SIDES OF BUILDINGS.

_____ Rejected (*must be resubmitted, non-compliance in the following areas*):

Additional Comments

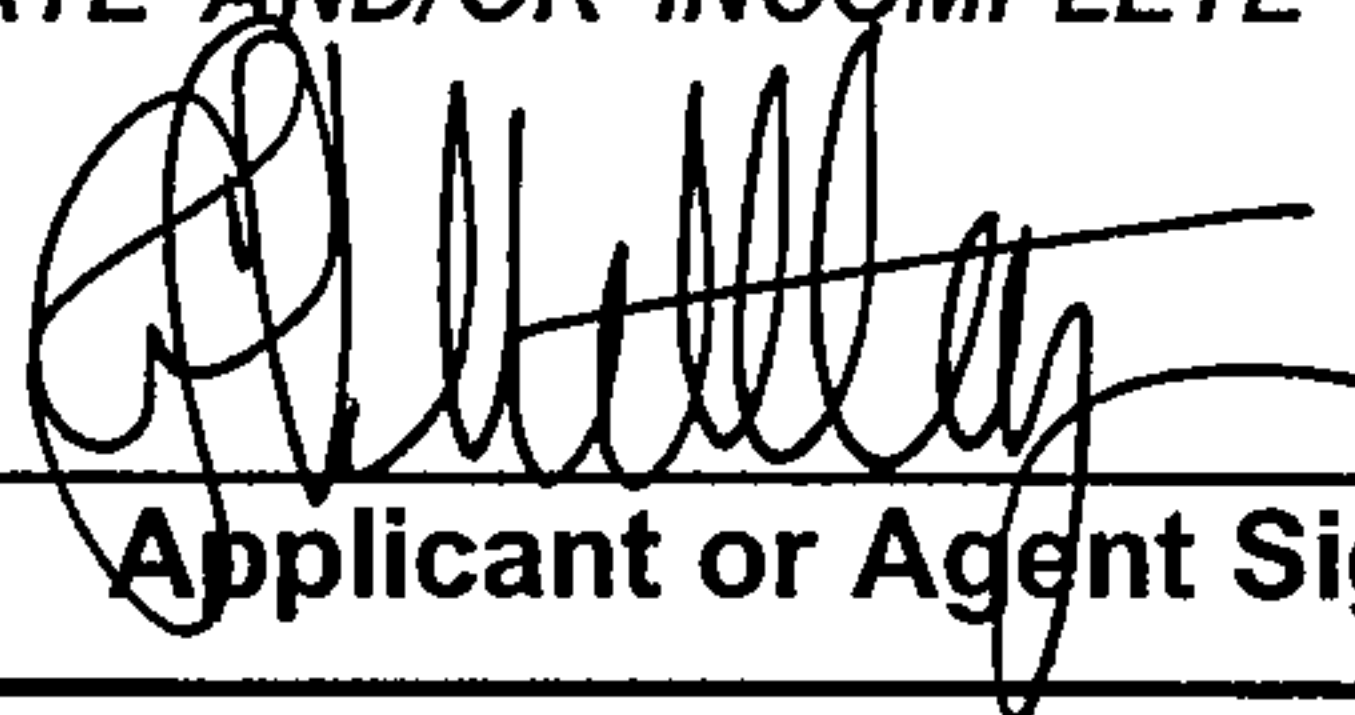
Reviewer's Initials PH

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date 11/29/05

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision ✓
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20' ✓
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale ✓
- 4. North arrow ✓
- 5. Scaled vicinity map ✓
- 6. Property lines (clearly identify) ✓
- 7. Existing and proposed easements (identify each) ✓
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping ✓

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures ✓
- B. Square footage of each structure and building footprint (if different from total square footage) ✓
- C. Proposed use of each structure ✓
- D. Temporary structures, signs and other improvements ✓
- E. Walls, fences, and screening: indicate height, length, color and materials ✓
- F. Dimensions of all principal site elements or typical dimensions thereof ✓
- G. Loading facilities ✓
- H. Site lighting (indicate height & fixture type) ✓
- I. Indicate structures within 20 feet of site ✓
- J. Elevation drawing of refuse container and enclosure, including location. ✓

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 108 ✓ provided: 117 ✓
Handicapped spaces required: 8 ✓ provided: 8 ✓
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 6 ✓
provided: 8 ✓
 - NA 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - NA 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - NA 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan ✓
- 2. Bar Scale ✓
- 3. North Arrow ✓
- 4. Property Lines ✓
- 5. Existing and proposed easements ✓
- 6. Identify nature of ground cover materials ✓
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system ✓
- 9. Planting Beds, indicating square footage of each bed ✓
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage ✓ and percentage.
- 11. Responsibility for Maintenance (statement) ✓
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1. ✓
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan) ✓
- 14. Landscaped area provided; square footage and percent (specify clearly on plan) ✓

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- N/A 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- N/A 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

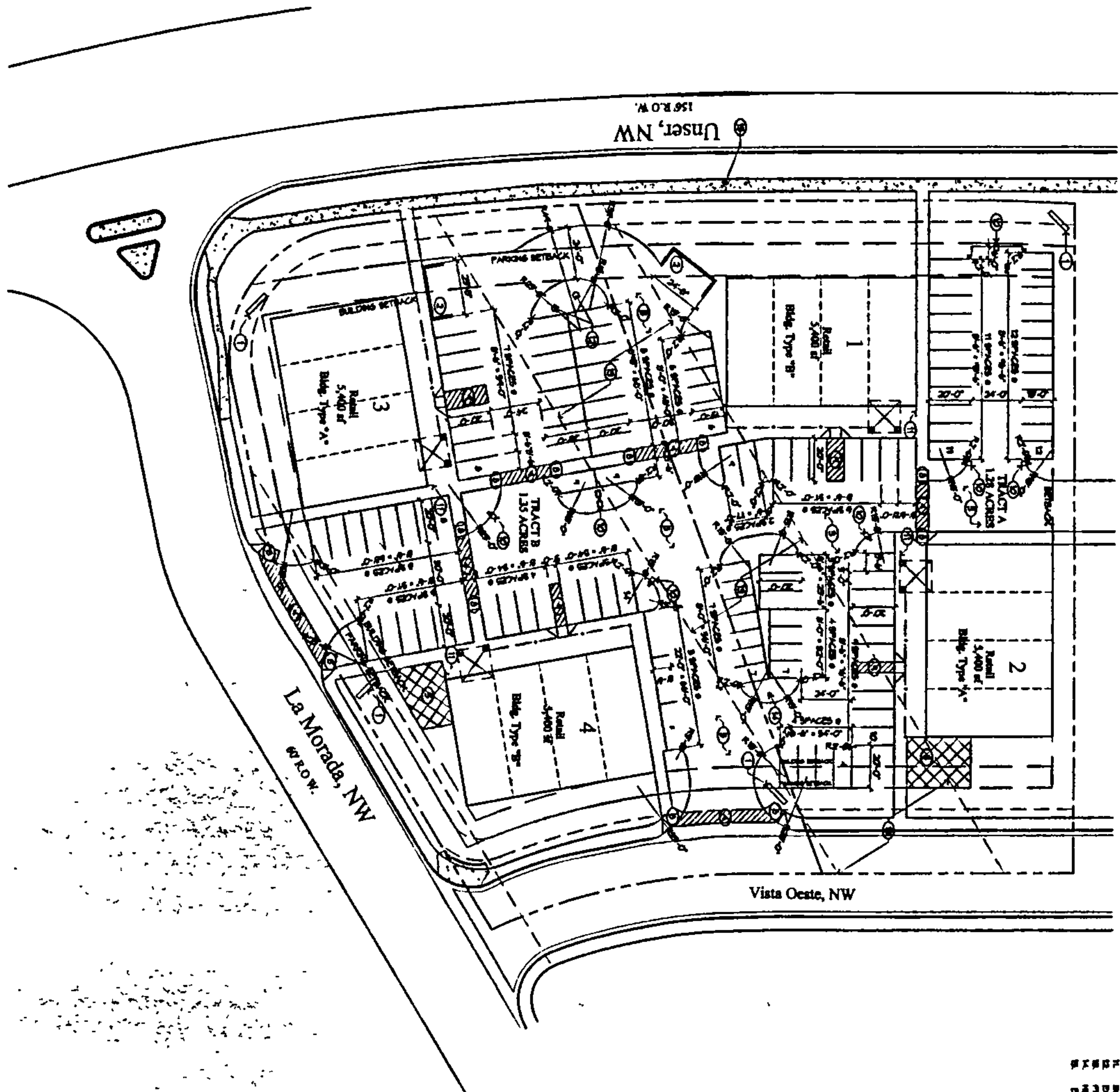
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff). ✓
- B. Bar Scale ✓
- C. Detailed Building Elevations for each facade ✓
 - 1. Identify facade orientation ✓
 - 2. Dimensions of facade elements, including overall height and width ✓
 - 3. Location, material and colors of windows, doors and framing ✓
 - 4. Materials and "common name" colors of all building elements and structures ✓
- NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

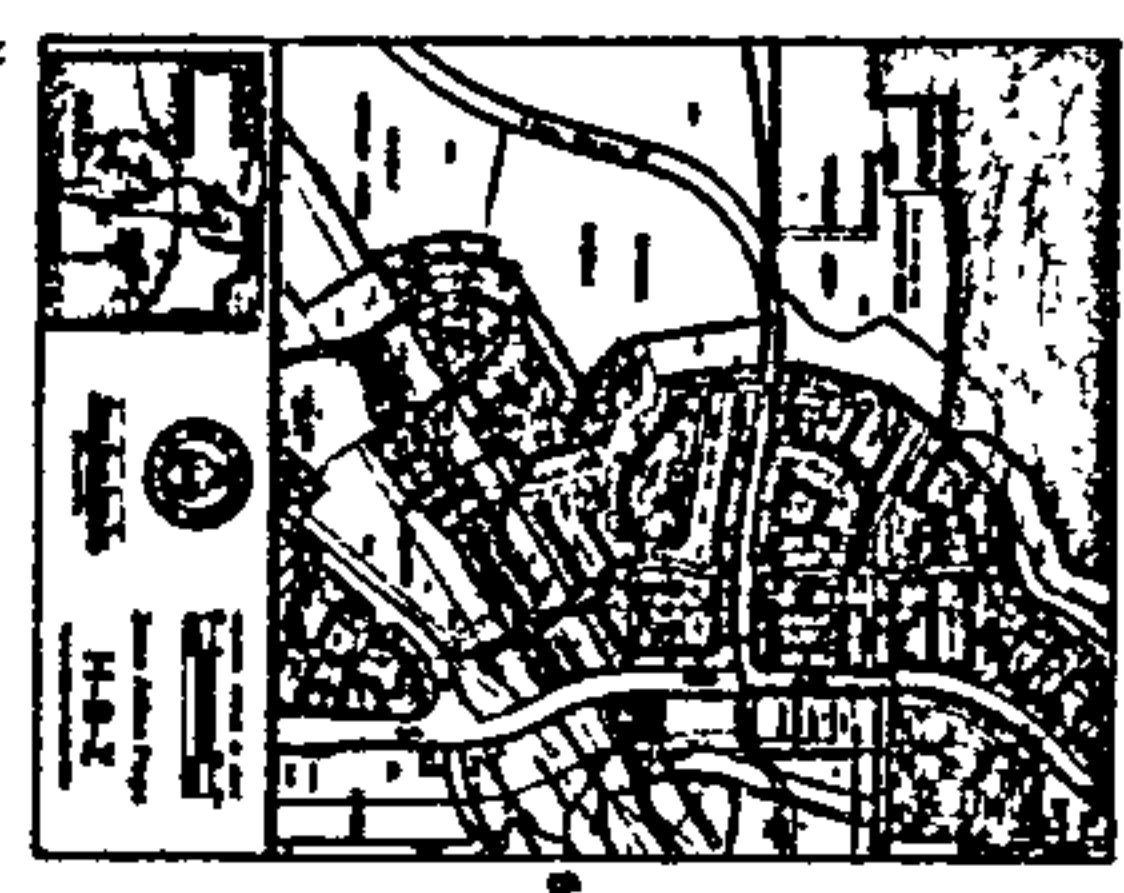
B. Signage

- 1. Site location(s) ✓
- 2. Sign elevations to scale ✓
- 3. Dimensions, including height and width ✓
- 4. Sign face area - dimensions and square footage clearly indicated ✓
- 5. Lighting
- 6. Materials and colors for sign face and structural elements. ✓

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



- KEYED NOTES**
1. DEVELOPMENT WITH THE EXISTING
 2. EXISTING BUILDING TO BE DEMOLISHED
 3. EXISTING BUILDING TO BE RECONSTRUCTED
 4. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 5. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 6. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 7. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 8. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 9. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
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 14. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 15. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 16. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 17. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 18. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 19. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE
 20. EXISTING BUILDING TO BE RECONSTRUCTED WITH PATTERNS/CONCRETE TYPE



VICINITY MAP
K15

TRACT	BLDG #	BLDG AREA	BLDG TYPE
TRACT A	BLDG A-1	5,400 sq ft	Blde Type "B"
	BLDG A-2	5,400 sq ft	Blde Type "B"
	BLDG A-3	5,400 sq ft	Blde Type "B"
TRACT B	BLDG B-1	5,400 sq ft	Blde Type "B"
	BLDG B-2	5,400 sq ft	Blde Type "B"
	BLDG B-3	5,400 sq ft	Blde Type "B"
TRACT C	BLDG C-1	5,400 sq ft	Blde Type "B"
	BLDG C-2	5,400 sq ft	Blde Type "B"
	BLDG C-3	5,400 sq ft	Blde Type "B"

The Shops @ La Morada
 Tracts 15 & 16
 Ladera Business Park, Unit 1
 Albuquerque, New Mexico

Deker Perich Sabatini
 architects
 interior planning engineering
 1801 Alamosa NE
 Suite 100
 Albuquerque, NM 87106
 505 251-1799
 fax 505-251-1322
 4500@psabati.com

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT INFORMATION

PROJECT NAME: _____
 APPLICATION NUMBER: _____

DESIGNER INFORMATION

DESIGNED BY: _____
 CHECKED BY: _____
 DATE: _____

REVIEWER INFORMATION

REVIEWED BY: _____
 DATE: _____

PERMIT INFORMATION

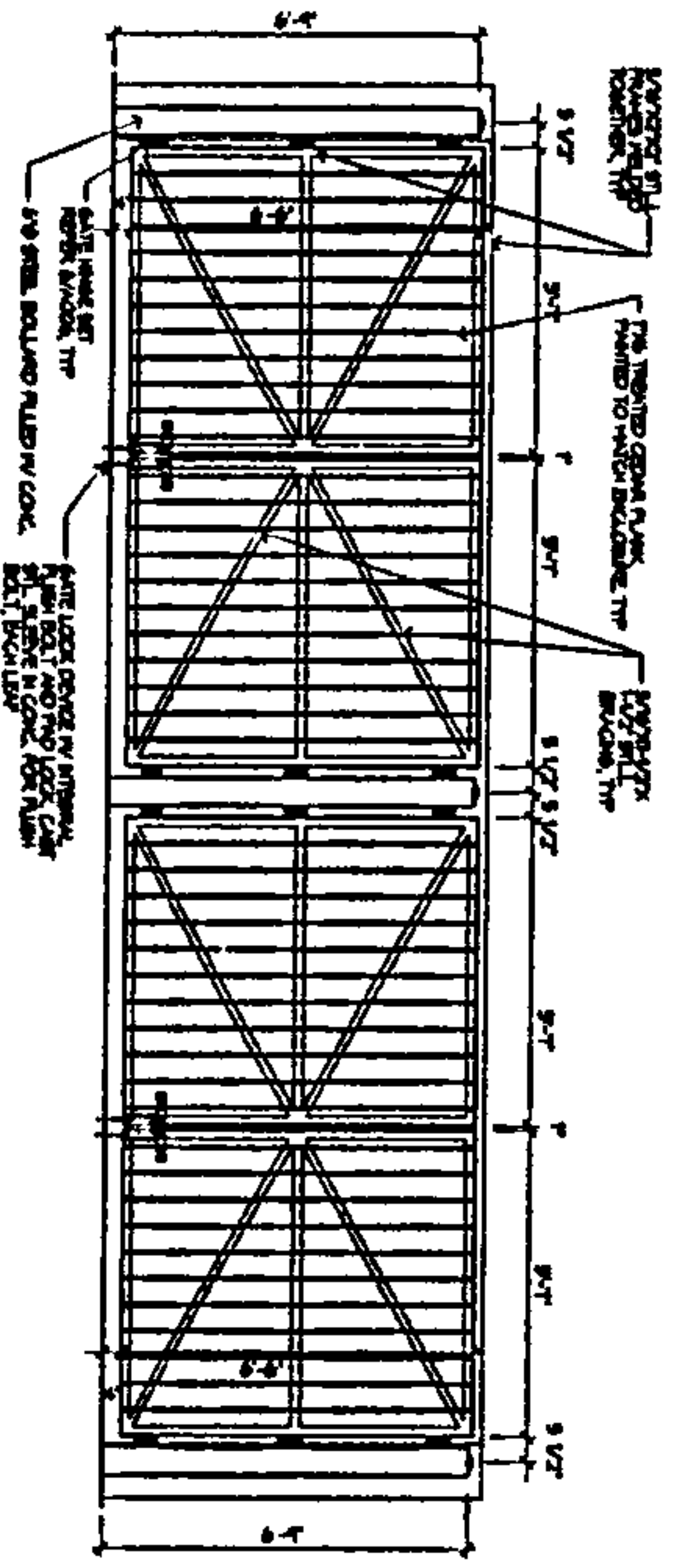
PERMIT NO.: _____
 DATE: _____

SCALE

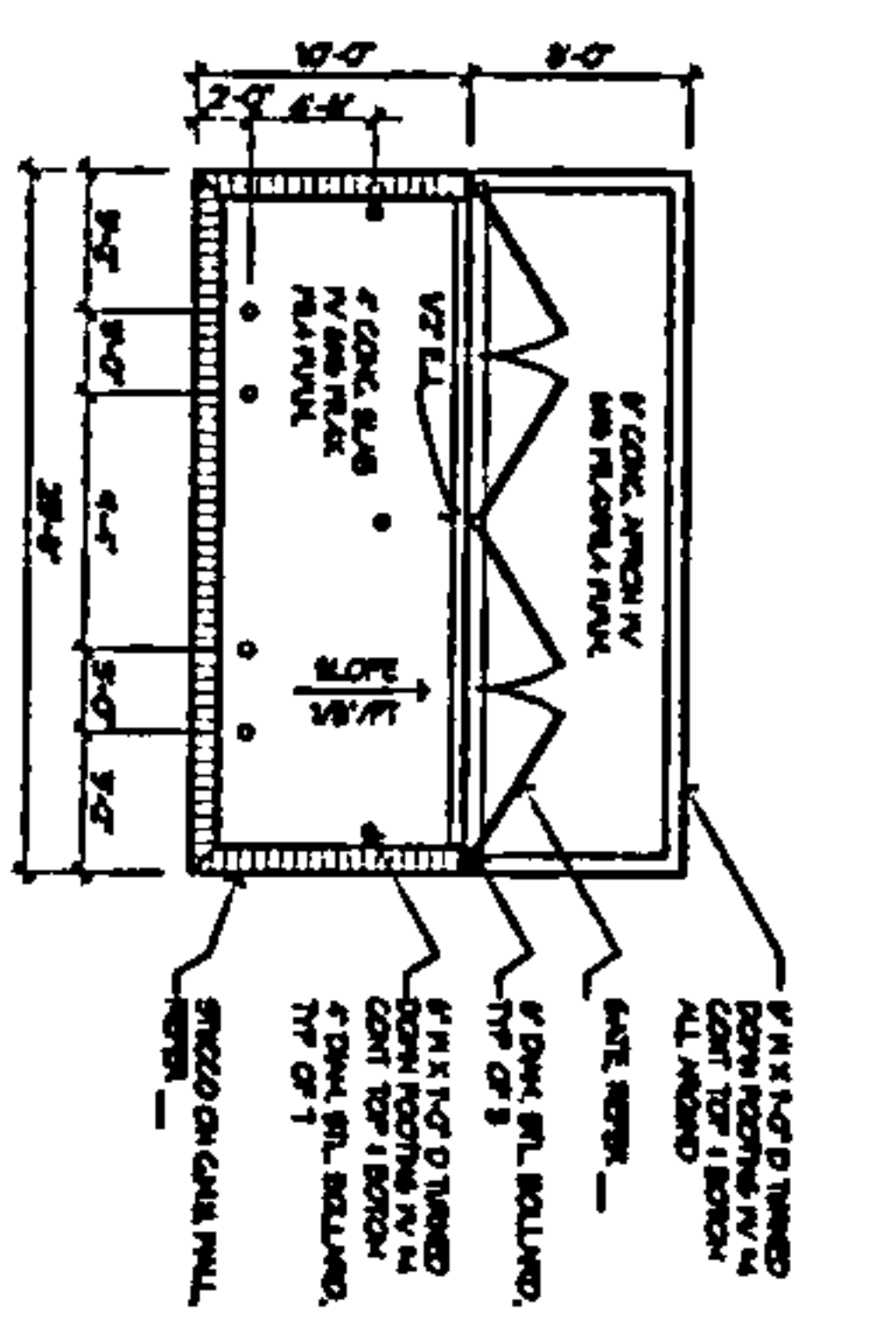
SCALE: 1" = 30'

SHEET NO.

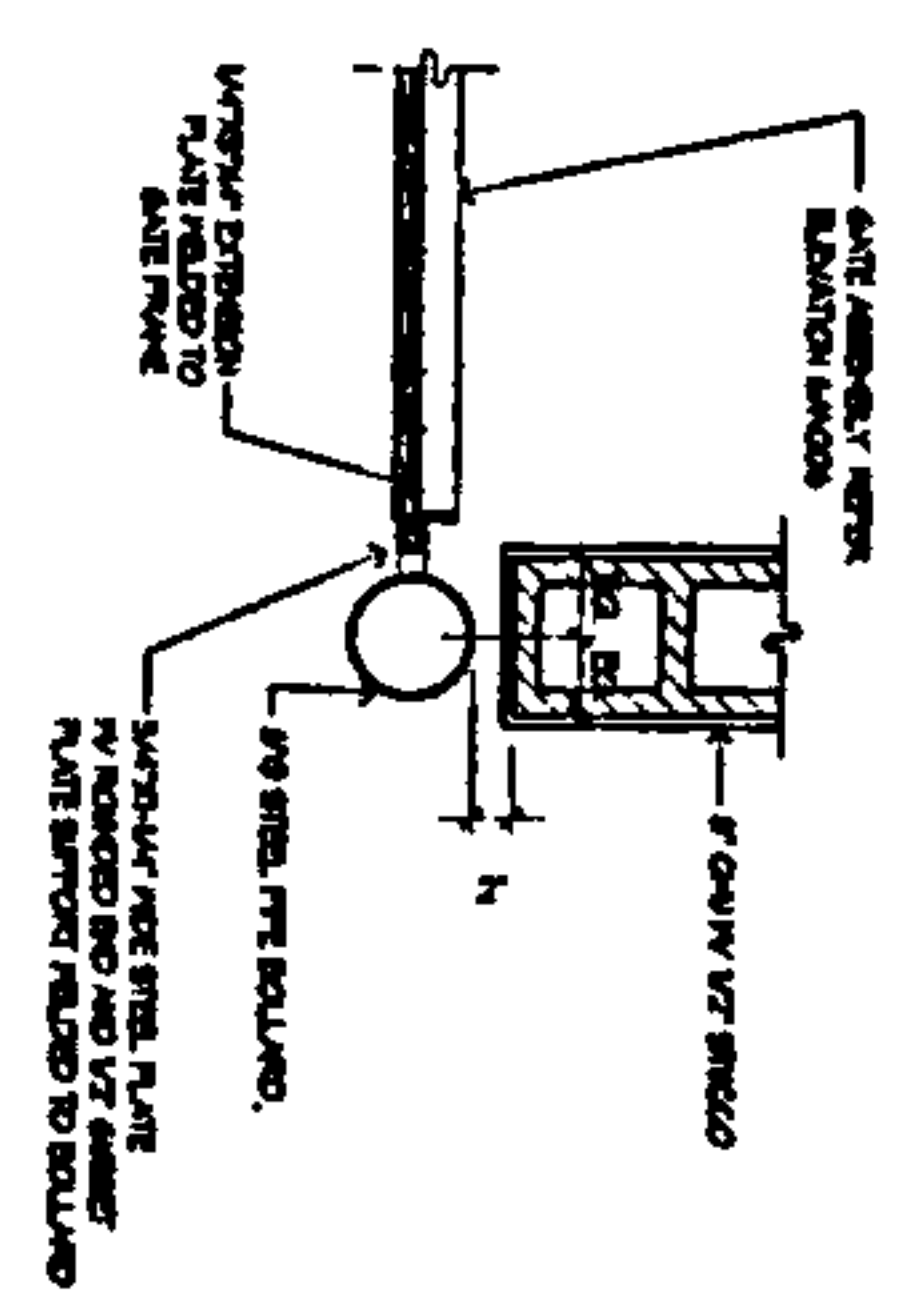
A001



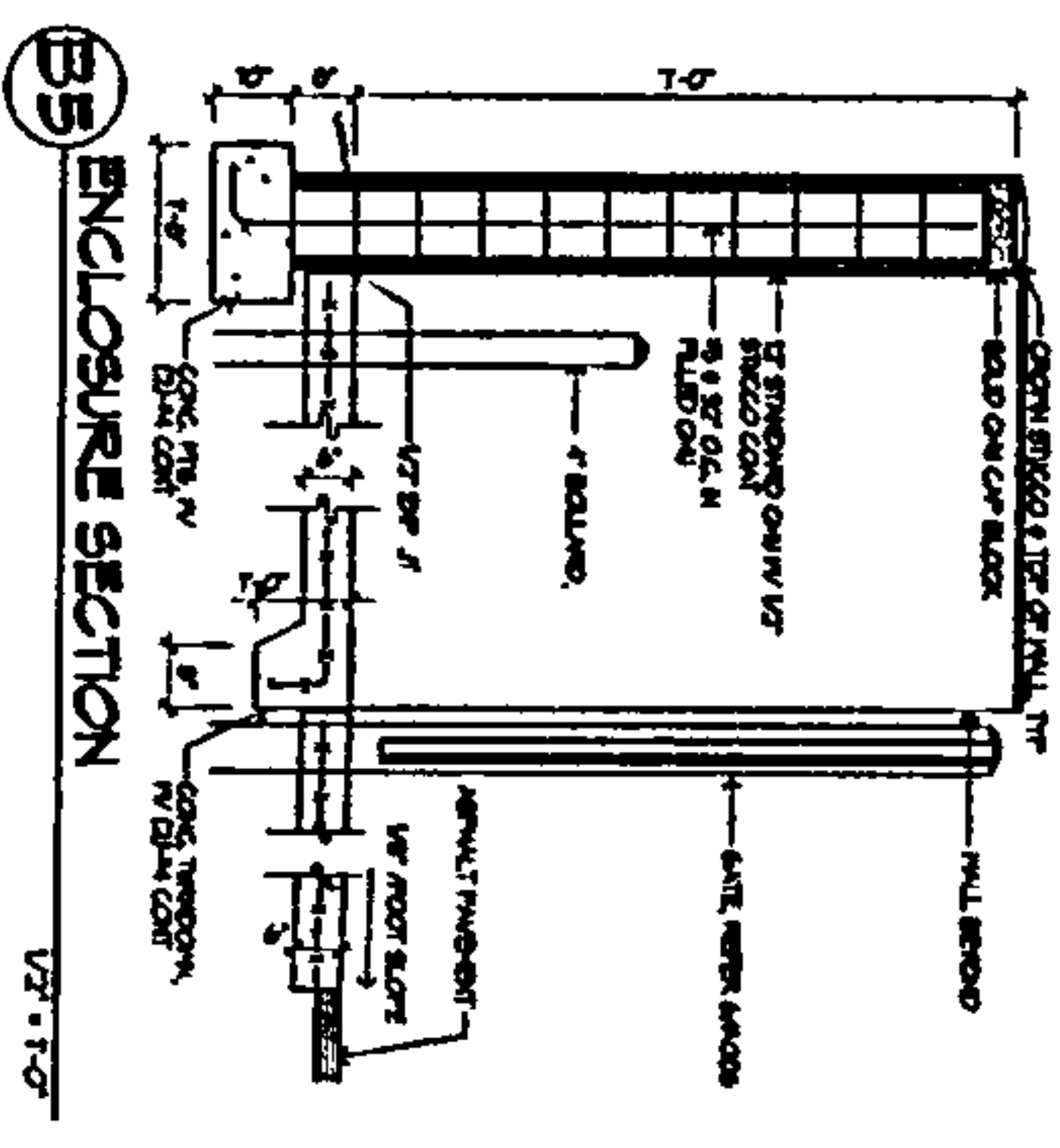
A9 GATE ELEVATION
5/8" = 1'-0"



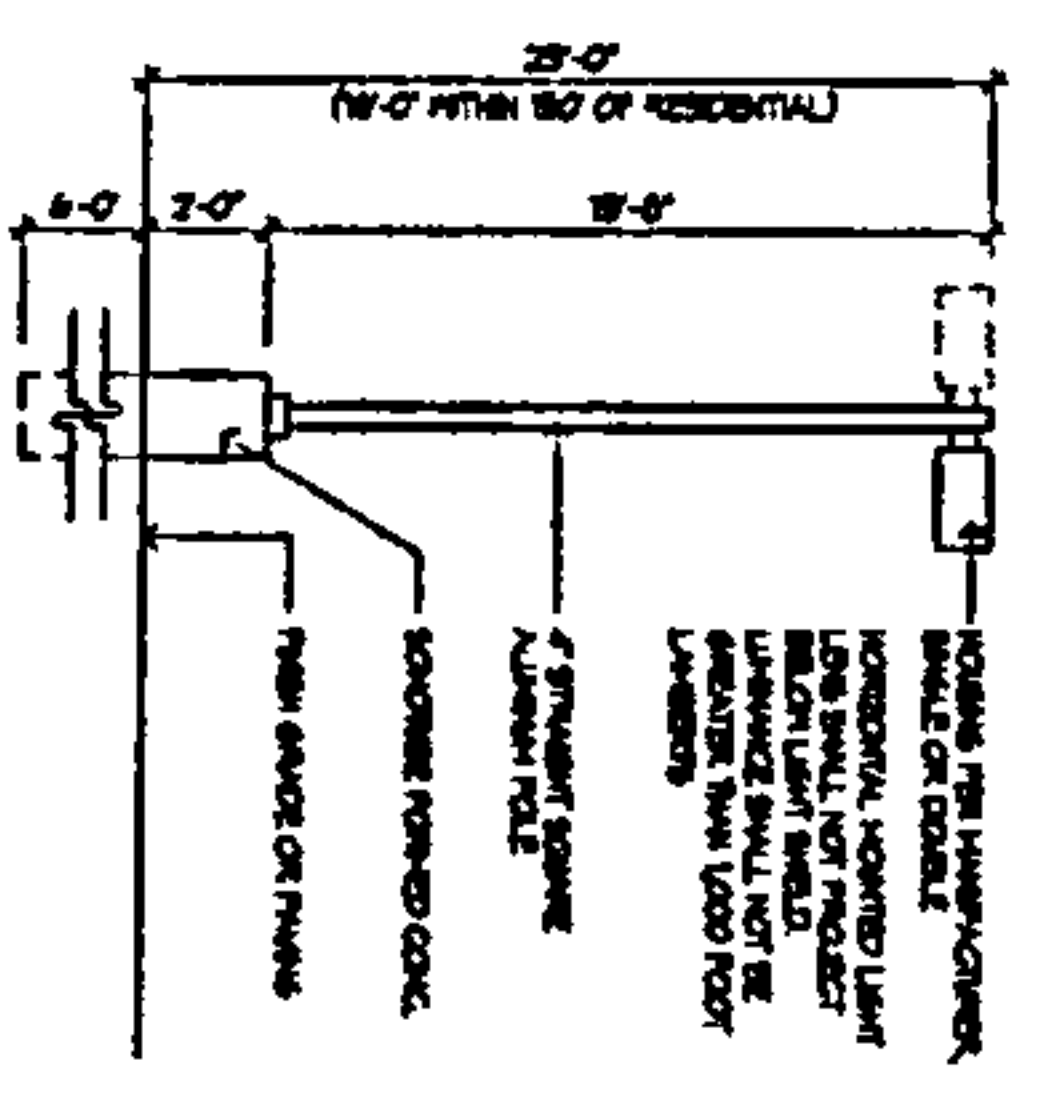
A5 DOUBLE REFUSE ENCLOSURE
1/8" = 1'-0"



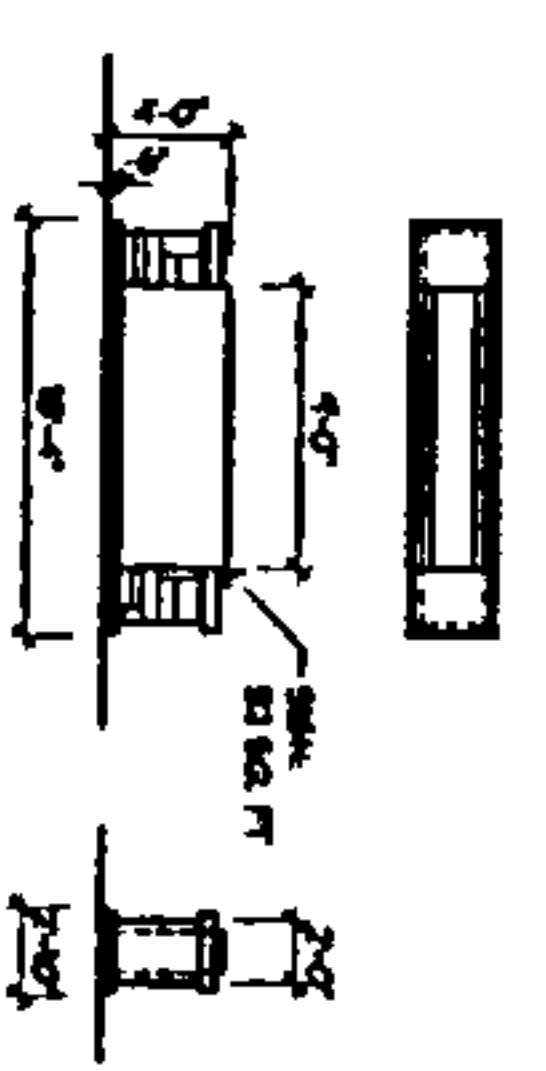
B4 GATE HINGE DETAIL
1" = 1'-0"



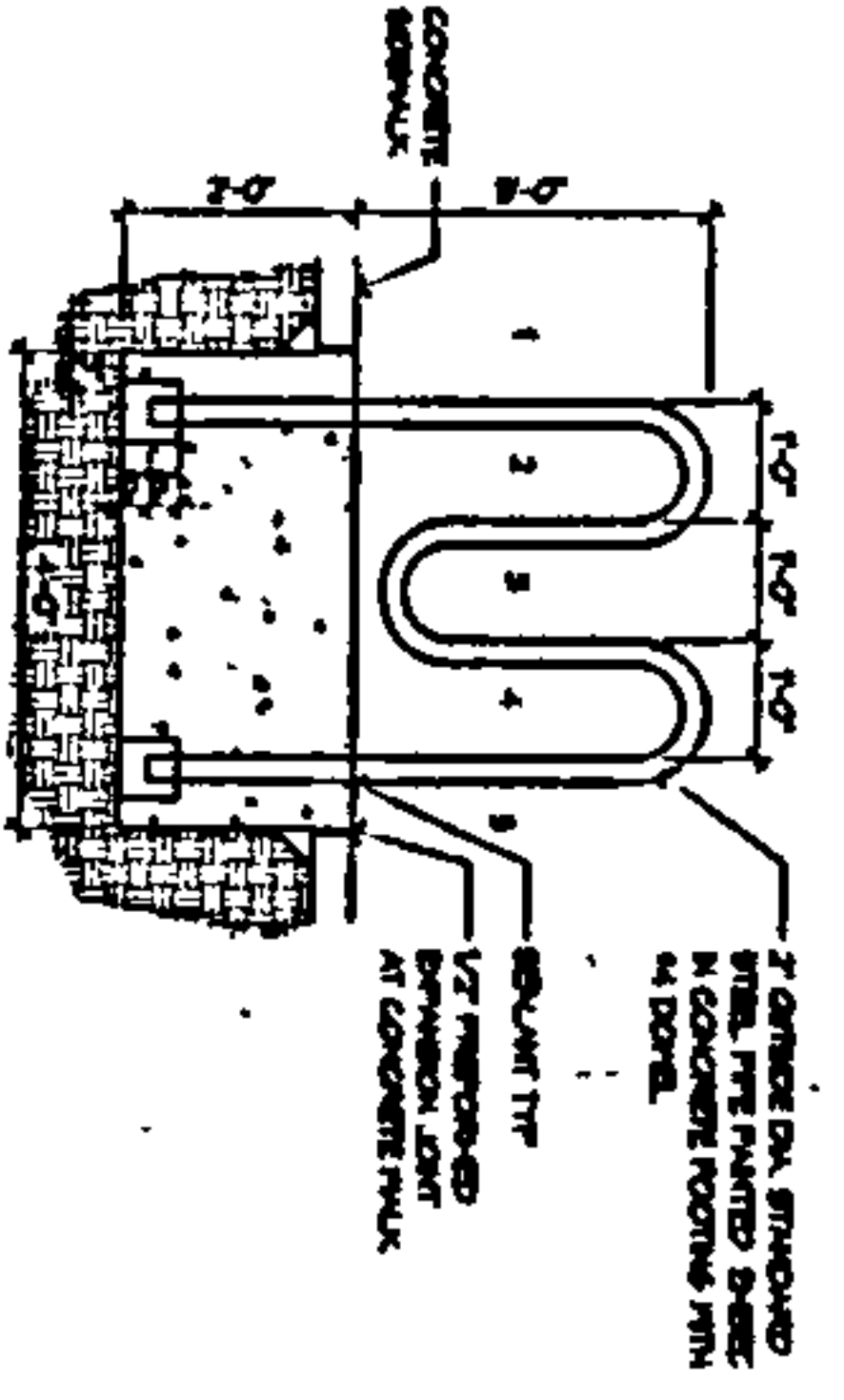
B3 ENCLOSURE SECTION
1/2" = 1'-0"



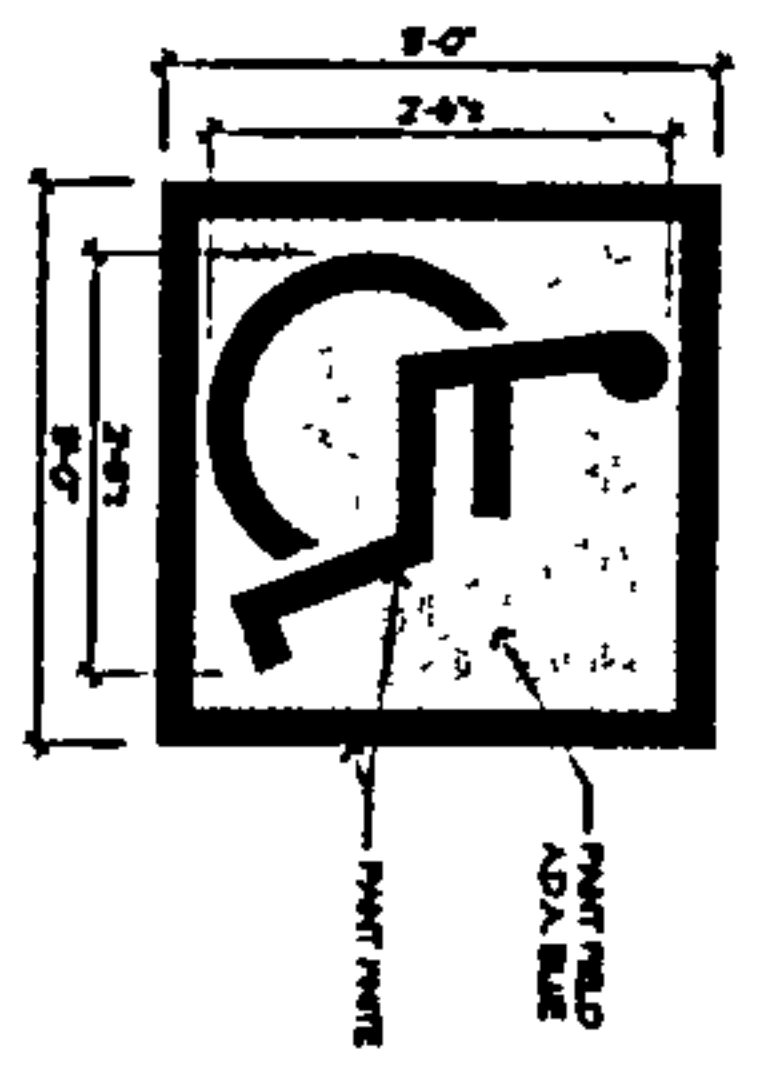
C4 PARKING LOT LIGHT POLE
1/4" = 1'-0"



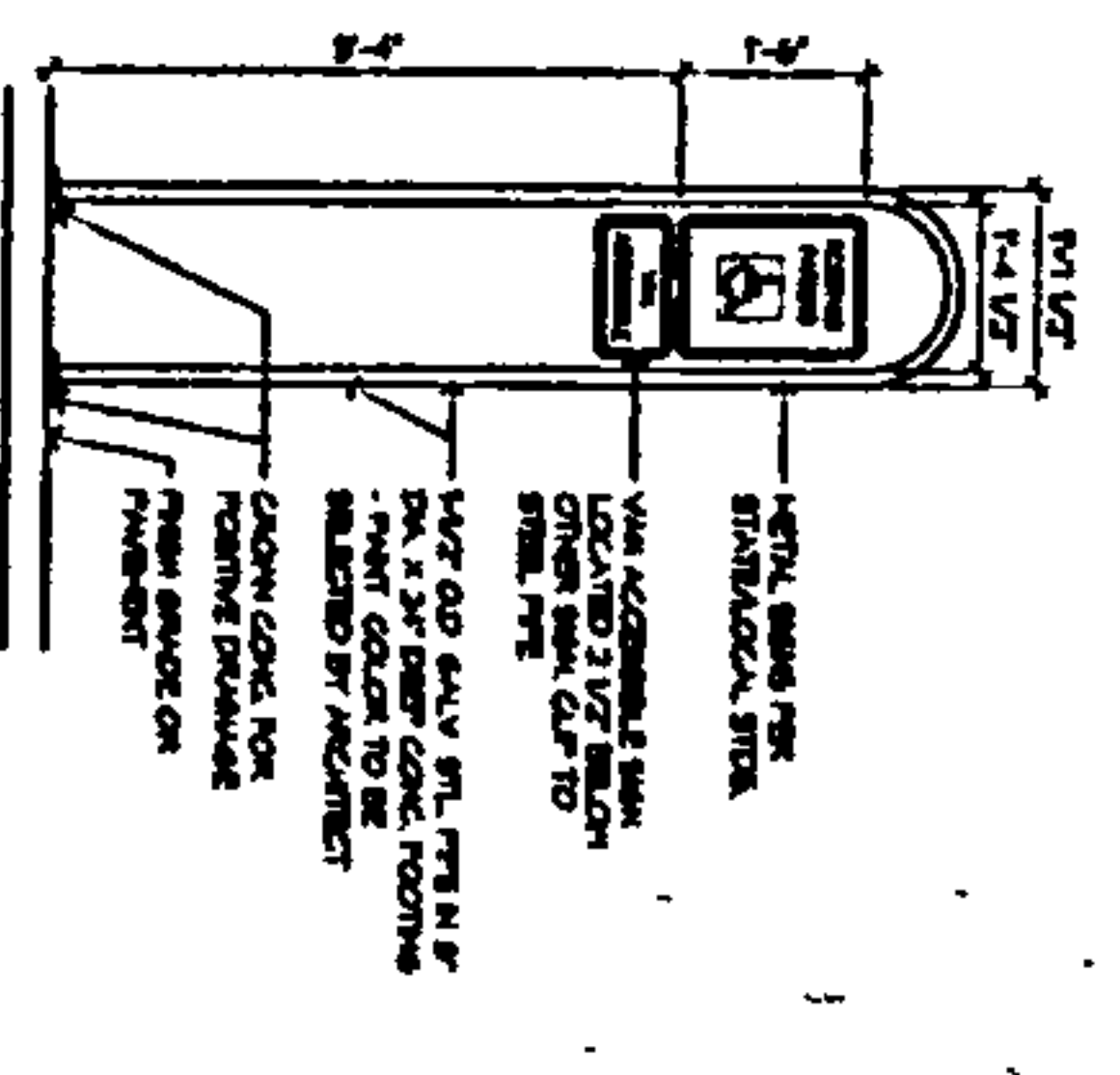
C5 MONUMENT SIGN
1/8" = 1'-0"



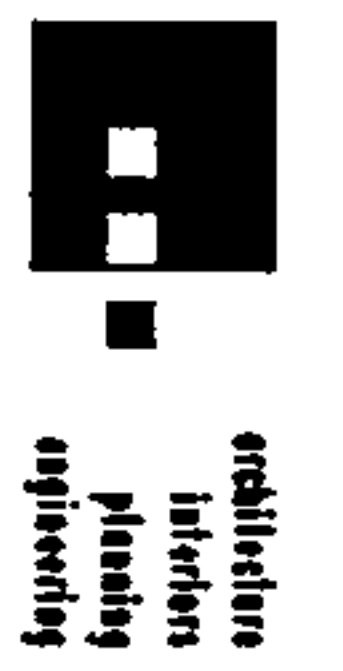
B3 BIKE RACK
1/2" = 1'-0"



D4 ADA PAVEMENT SIGNAGE
3/4" = 1'-0"



D5 POLE MOUNTED H.C. SIGNAGE
1/2" = 1'-0"

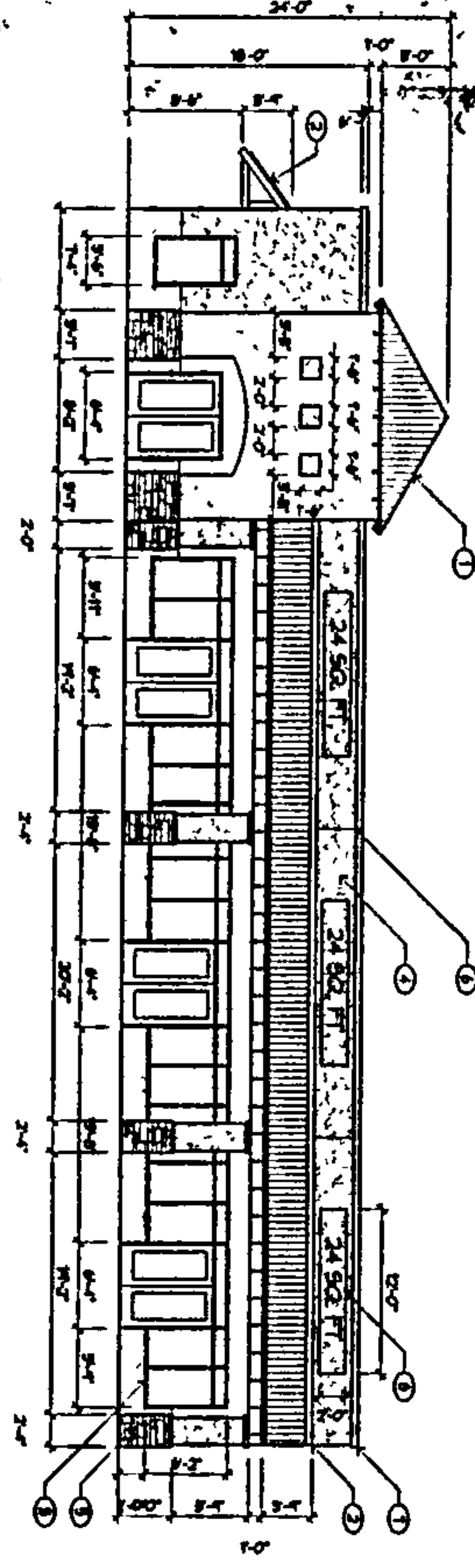


Dekker Perich Sabatini
1801 Jefferson St
Suite 100
Albuquerque, NM 87102
505.251-1111
505.251-1112
970.470.0000

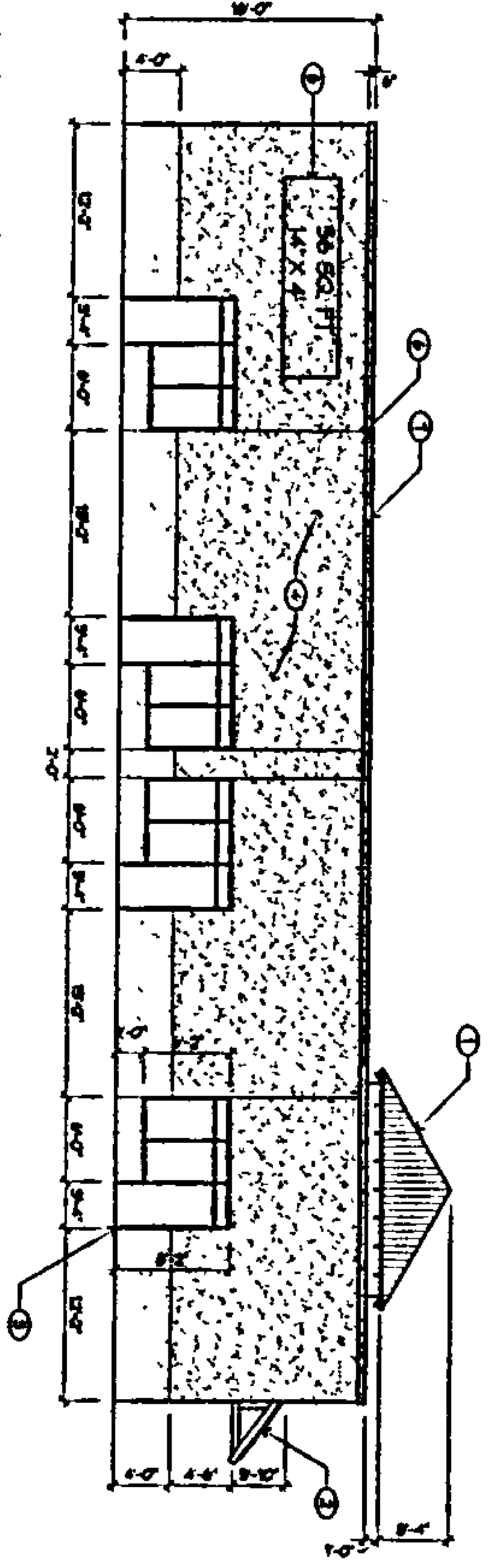
The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

DESIGNED BY	CLV
DRAWN BY	CLV
CHECKED BY	CLV
DATE	1/28/08
PROJECT NO.	07022
DRAWING NAME	SITE DETAILS

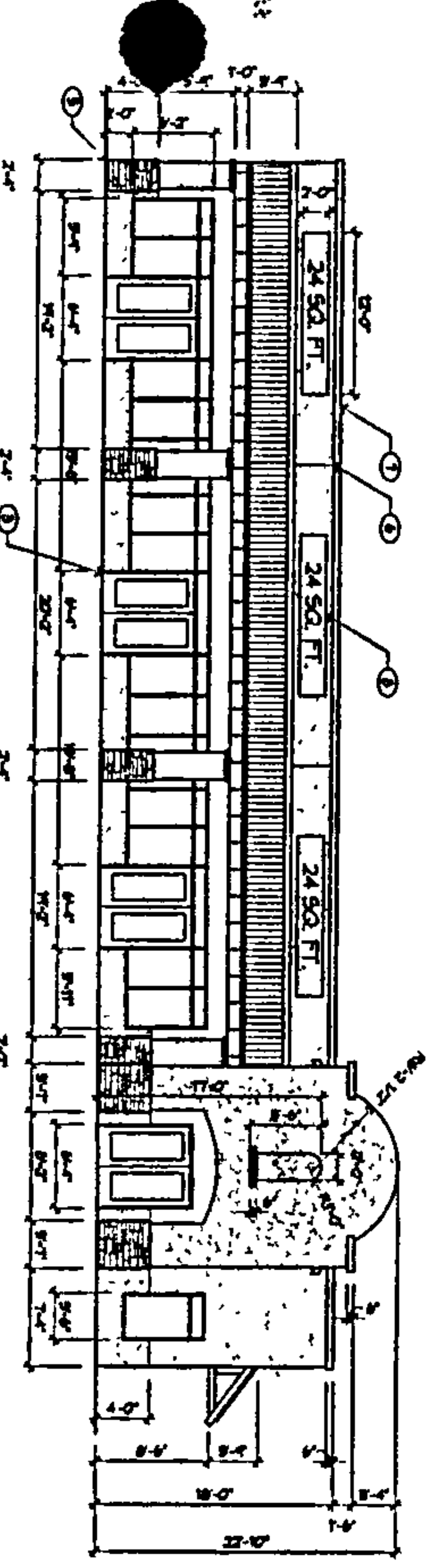
SHEET NO.
A002
2 of 6



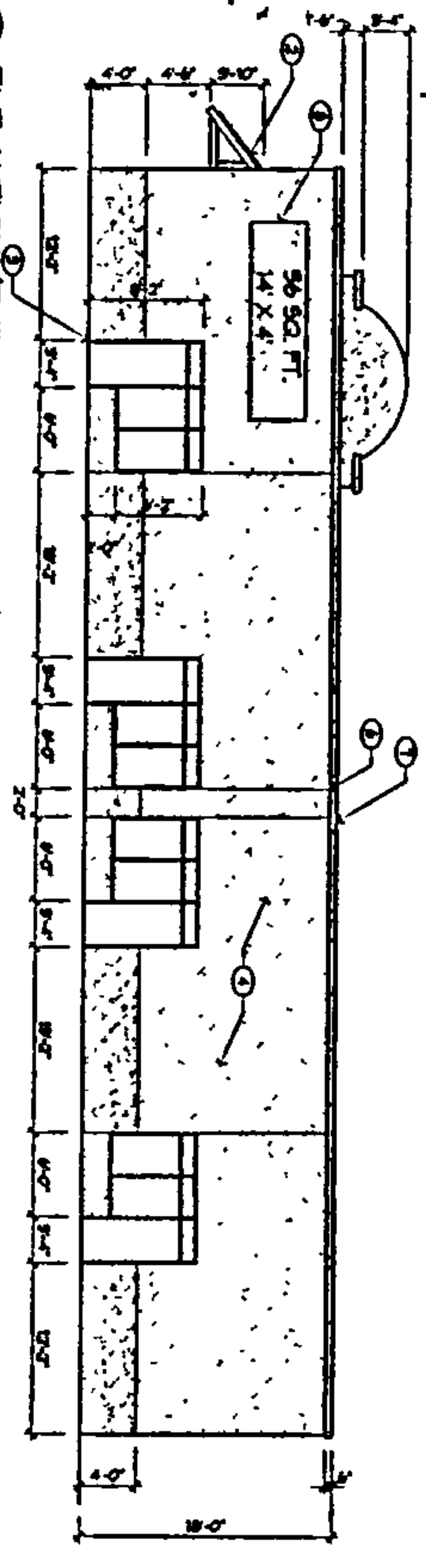
1 ELEVATION (BUILDING TYPE 'A')
BLDG 2 SOUTH, BLDG 3 NORTH



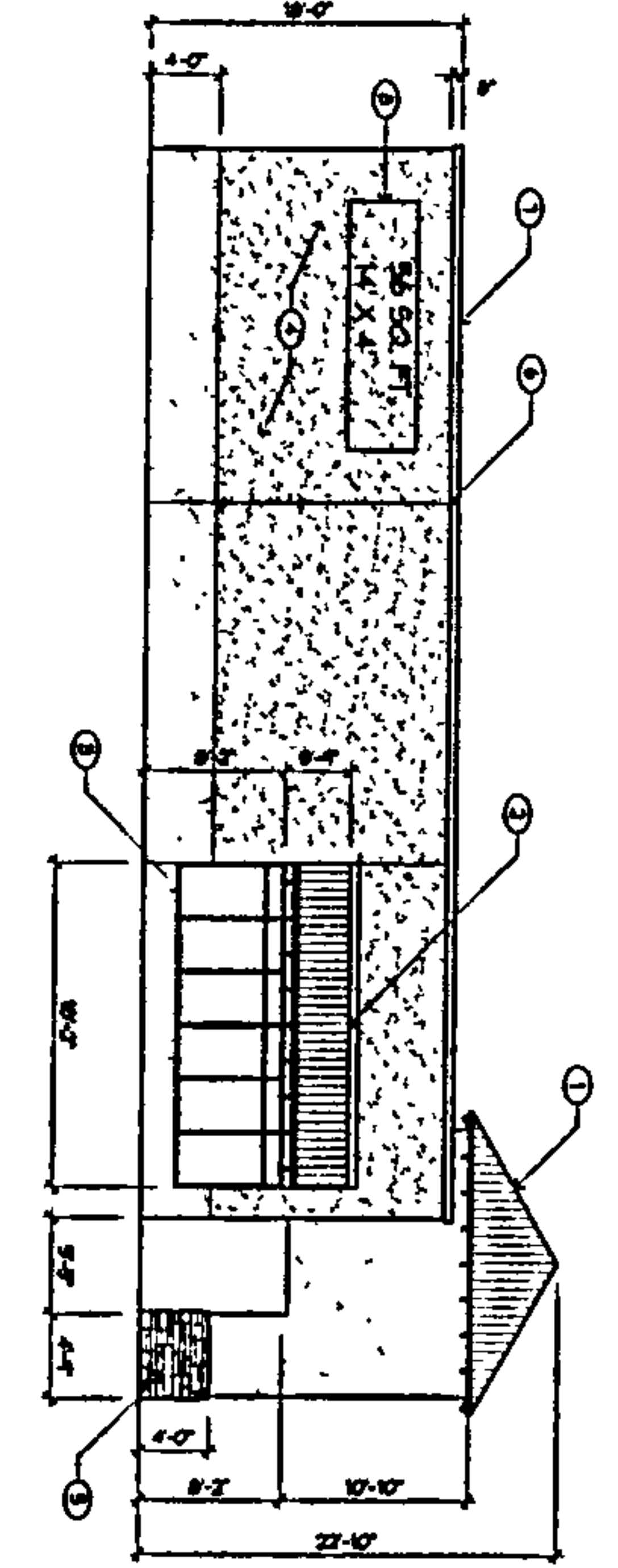
3 ELEVATION (BUILDING TYPE 'A')
BLDG 2 NORTH, BLDG 3 SOUTH



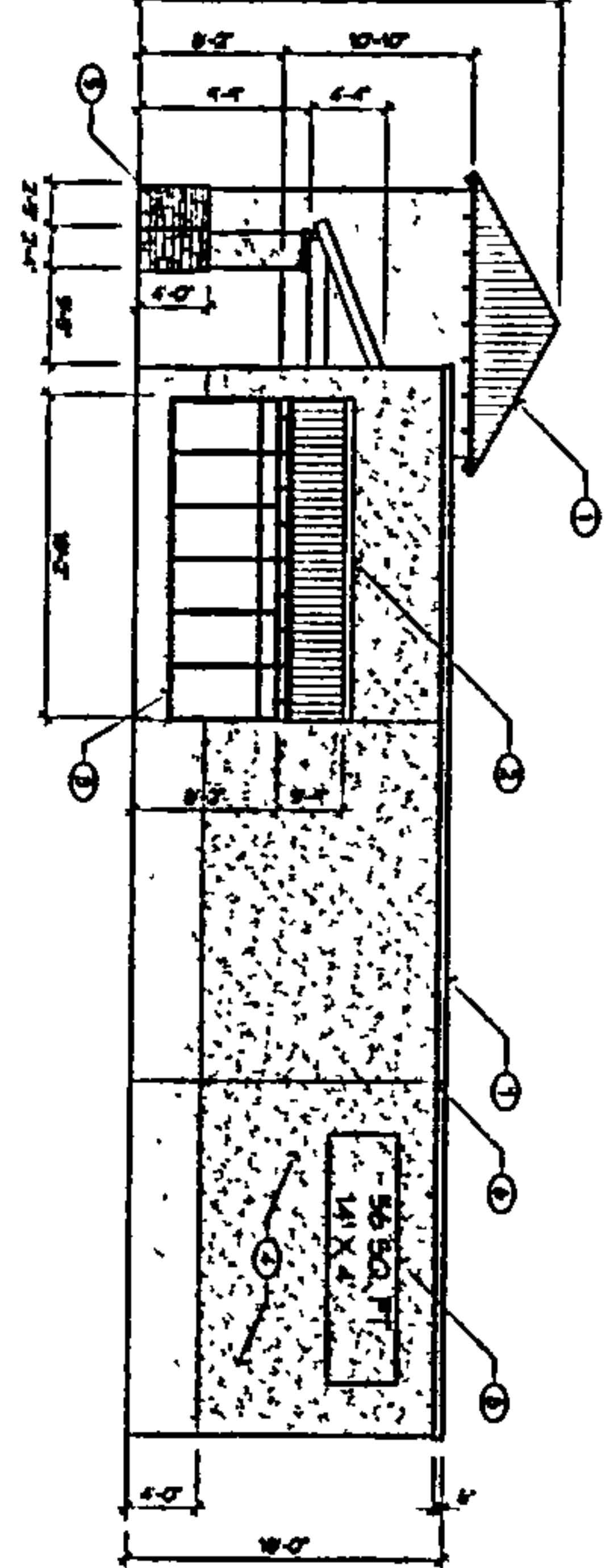
5 ELEVATION (BUILDING TYPE 'B')
BLDG 1 EAST, BLDG 4 WEST



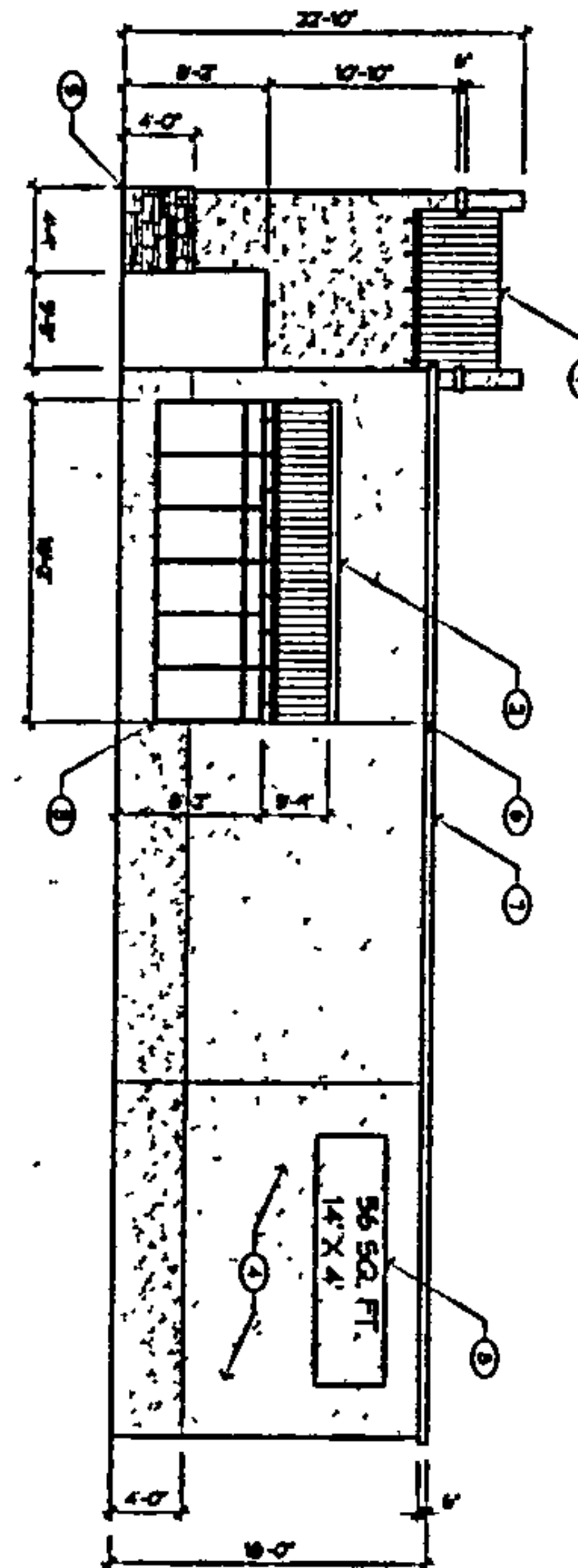
7 ELEVATION (BUILDING TYPE 'B')
BLDG 1 WEST, BLDG 4 EAST



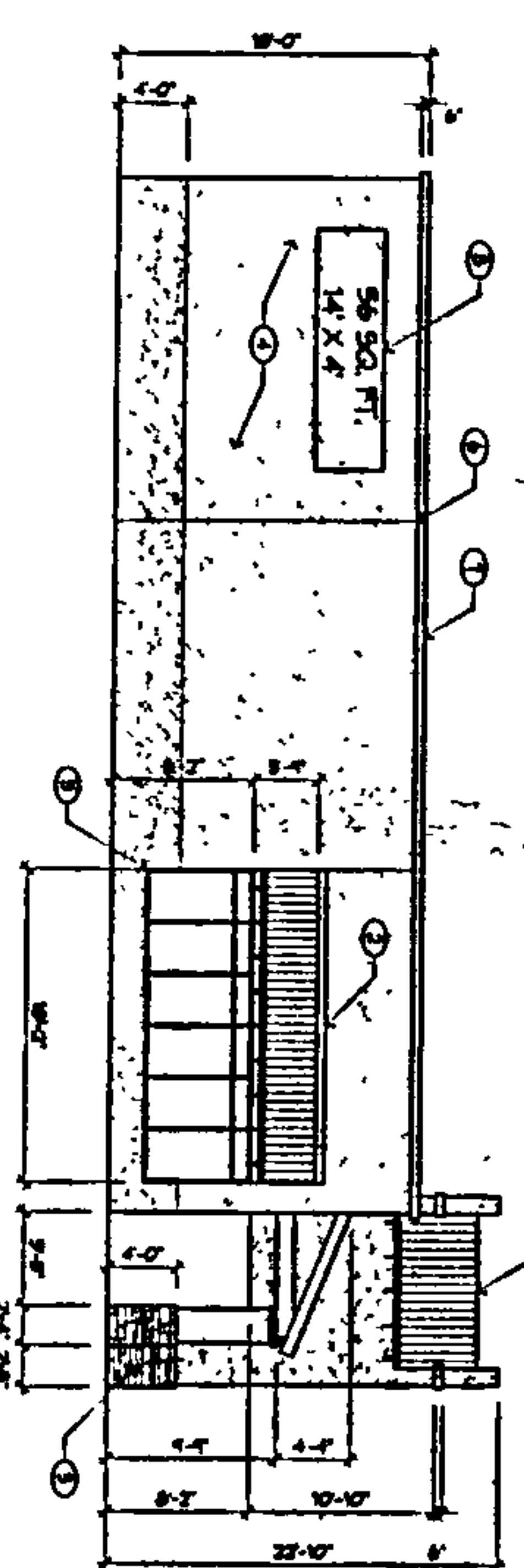
2 ELEVATION (BUILDING TYPE 'A')
BLDG 2 WEST, BLDG 3 EAST



4 ELEVATION (BUILDING TYPE 'A')
BLDG 2 EAST, BLDG 3 WEST



6 ELEVATION (BUILDING TYPE 'B')
BLDG 1 NORTH, BLDG 4 SOUTH

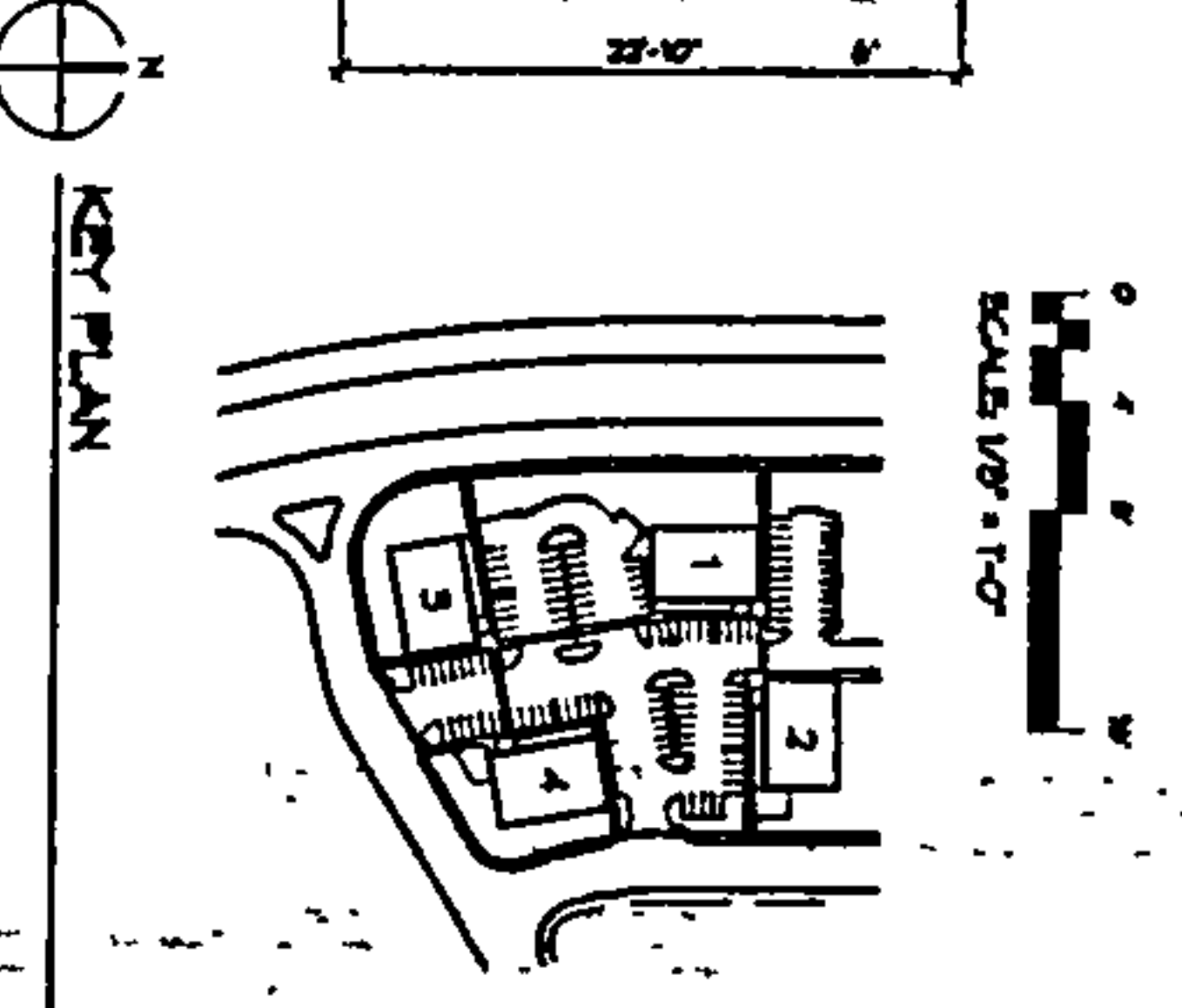


8 ELEVATION (BUILDING TYPE 'B')
BLDG 1 SOUTH, BLDG 4 NORTH

- KEYED NOTES**
1. GALVANIZED METAL ROOF
 2. GALVANIZED METAL JOISTS ON STEEL BEAMS
 3. ALUMINUM STORMDOOR SYSTEM
 4. 3/4\"/>
 - 5. 3/4\"/>
 - 6. 3/4\"/>
 - 7. 3/4\"/>
 - 8. TRIMMED CHANNEL LETTERS WITH PLASTIC FACED

Dekker Perich Sabatini
architects
interiors
planning
engineering

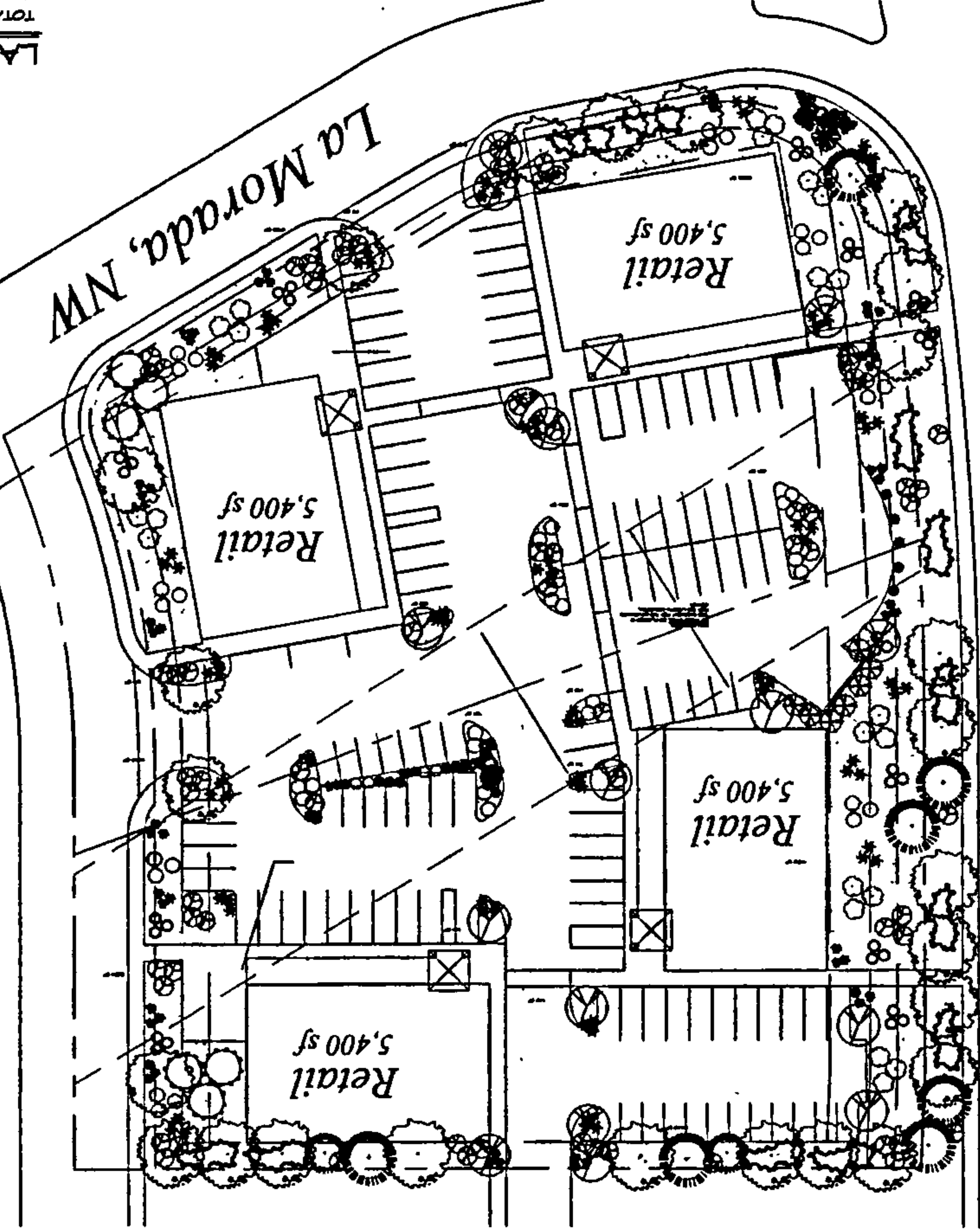
4401 Jefferson St
Suite 100
Albuquerque, NM 87106
505.251.5188
505.251.5222
pps@dpesb.com



The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

PROJECT: ELEVATIONS
DRAWN BY: [Redacted]
REVIEWED BY: [Redacted]
DATE: 11/28/08
PROJECT NO.: 08186
DRAWING NAME: ELEVATIONS BUILDING TYPES 'A' & 'B'
SHEET NO.: A003
3 of 6

Unser, NW



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. All landscaping shall be in accordance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Urban Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservation and environmentally sound landscape principles will be followed in design and installation.

Water management is the sole responsibility of the Property Owner. All landscaping will be coordinated with the City of Albuquerque Zoning Code, Street Tree Ordinance, Urban Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservation and environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Seeds for brown gravel over filter fabric shall be placed in an landscape area which are not designated to receive native seed.

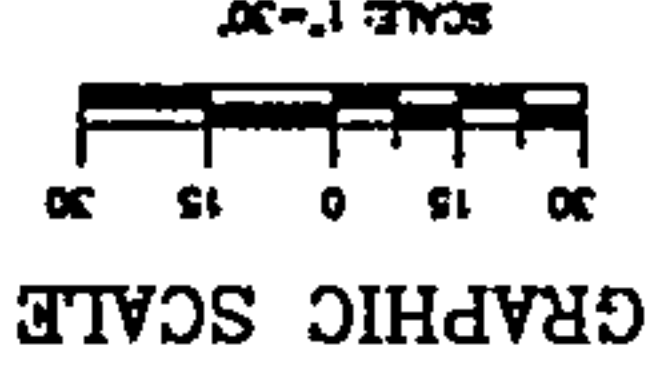
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	95610	squares feet
TOTAL BUILDING AREA	10800	squares feet
OFFSITE AREA	6030	squares feet
NET LOT AREA	88780	squares feet
LANDSCAPE REQUIREMENT	15%	squares feet
TOTAL LANDSCAPE REQUIREMENT	9724	squares feet
TOTAL BED PROVIDED	26190	squares feet
GROUNDCOVER REQ.	75%	squares feet
TOTAL GROUNDCOVER REQUIREMENT	14619	squares feet
TOTAL GROUNDCOVER PROVIDED	30043	squares feet
TOTAL 500 AREA	0	squares feet
(max 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	26190	squares feet

STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: Unser Blvd
Required: 10 Provided: 14
Decision: 4

PLANT LEGEND

	SYCAMORE (N) 28 7' cal. Prune app.
	PLATANUS (N) 16 7' cal. Prune catenary
	ALBURN PRUNE (N) 4 8'-8" Prune top
	DESERT WILLOW (N) 6 8'-8" Prune top
	CHOCOLATE BARK (N) 2 8' cal. Prune top
	PALM YUCCA (N) 2 8' cal. Prune top
	SALVADORA (N) 4 8' cal. Prune top
	BRD OF PALM (N) 12 8' cal. Prune top
	CANNONBALL (N) 12 8' cal. Prune top
	BUTTERNUT (N) 12 8' cal. Prune top
	APACHE PLUM (N) 41 8' cal. Prune top
	MADONNA (N) 10 8' cal. Prune top
	REGAL HART (N) 11 8' cal. Prune top
	ROSEMARY (N) 26 8' cal. Prune top
	KOBAYASHI (N) 26 8' cal. Prune top
	HILLS HONEYLOC (N) 68 8' cal. Prune top
	JAPANESE YAMANE (N) 68 8' cal. Prune top
	UNCLE-DONOVAN (N) 68 8' cal. Prune top
	THUNDERBOLT (N) 10 8' cal. Prune top
	GREENEAF CORONA (N) 26 8' cal. Prune top
	COLONNADA (N) 26 8' cal. Prune top
	OREGON (N) 26 8' cal. Prune top
	SANTA FE BROWN GRASS WITH FILTER FABRIC

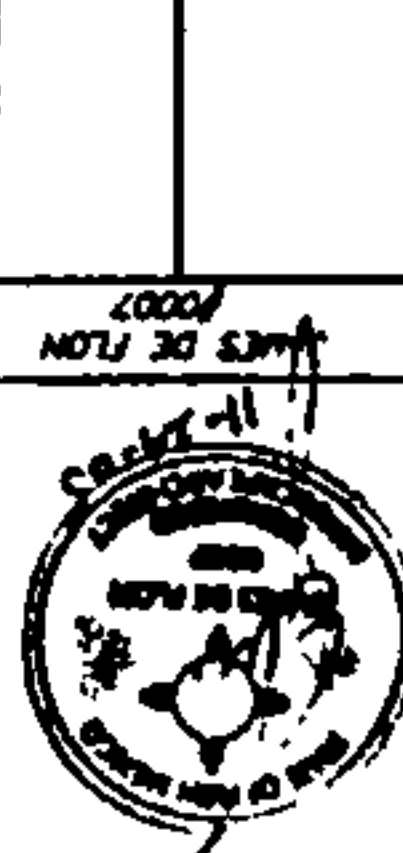


17 of 17
SHEET 1

Client: Unser and La Morada Retail
Project: Albuquerque, NM
Date: 1/14/2021

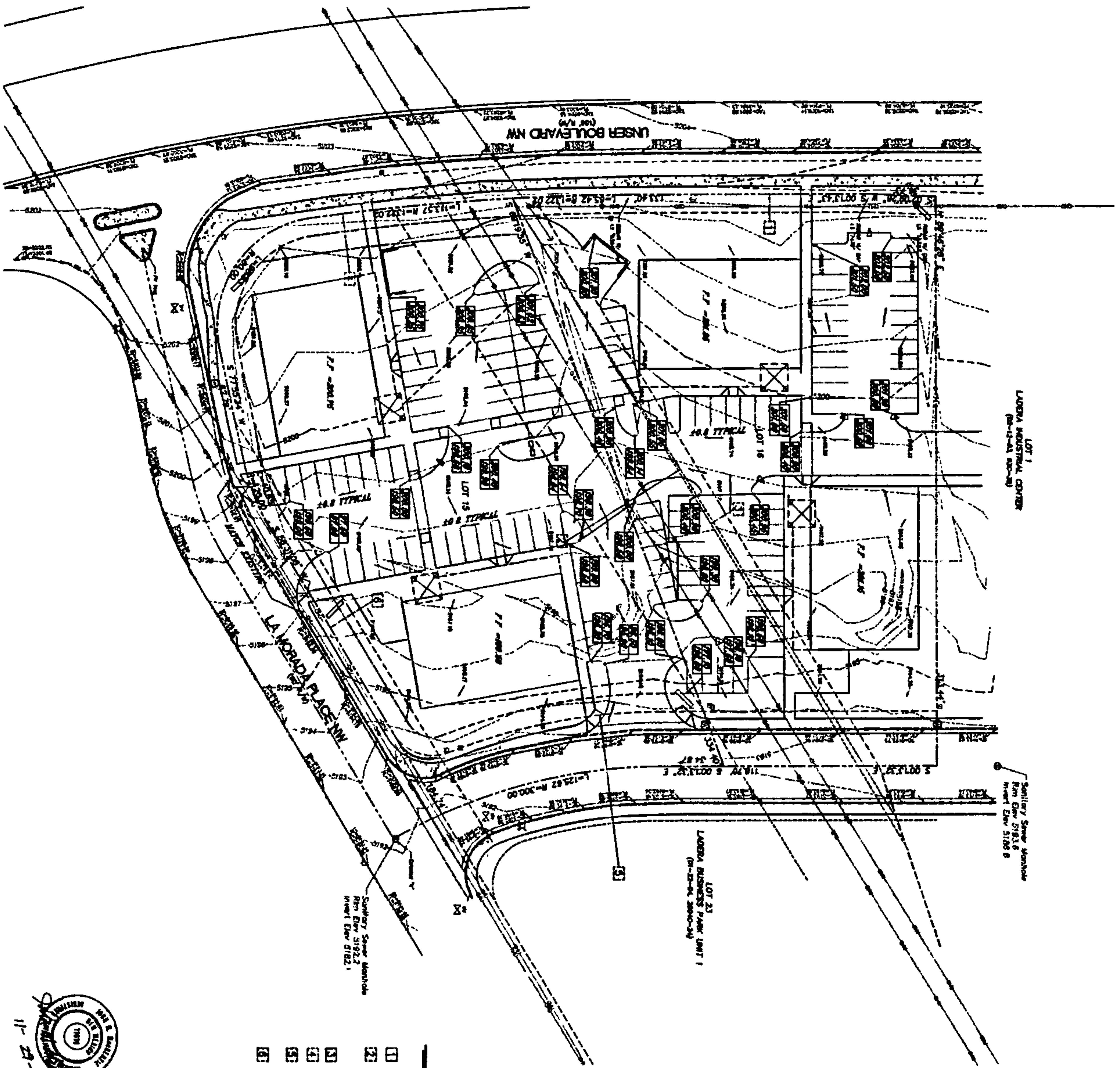
The Hilltop
Landscape Architecture & Interiors

Unser and La Morada Retail
Albuquerque, NM
Conceptual
LANDSCAPE PLAN



Cont. Lic. #201456
Renee Lynn K.E. #27164
Landscape Architect
Tel: (505) 898-7717
www.hilltoplandscape.com





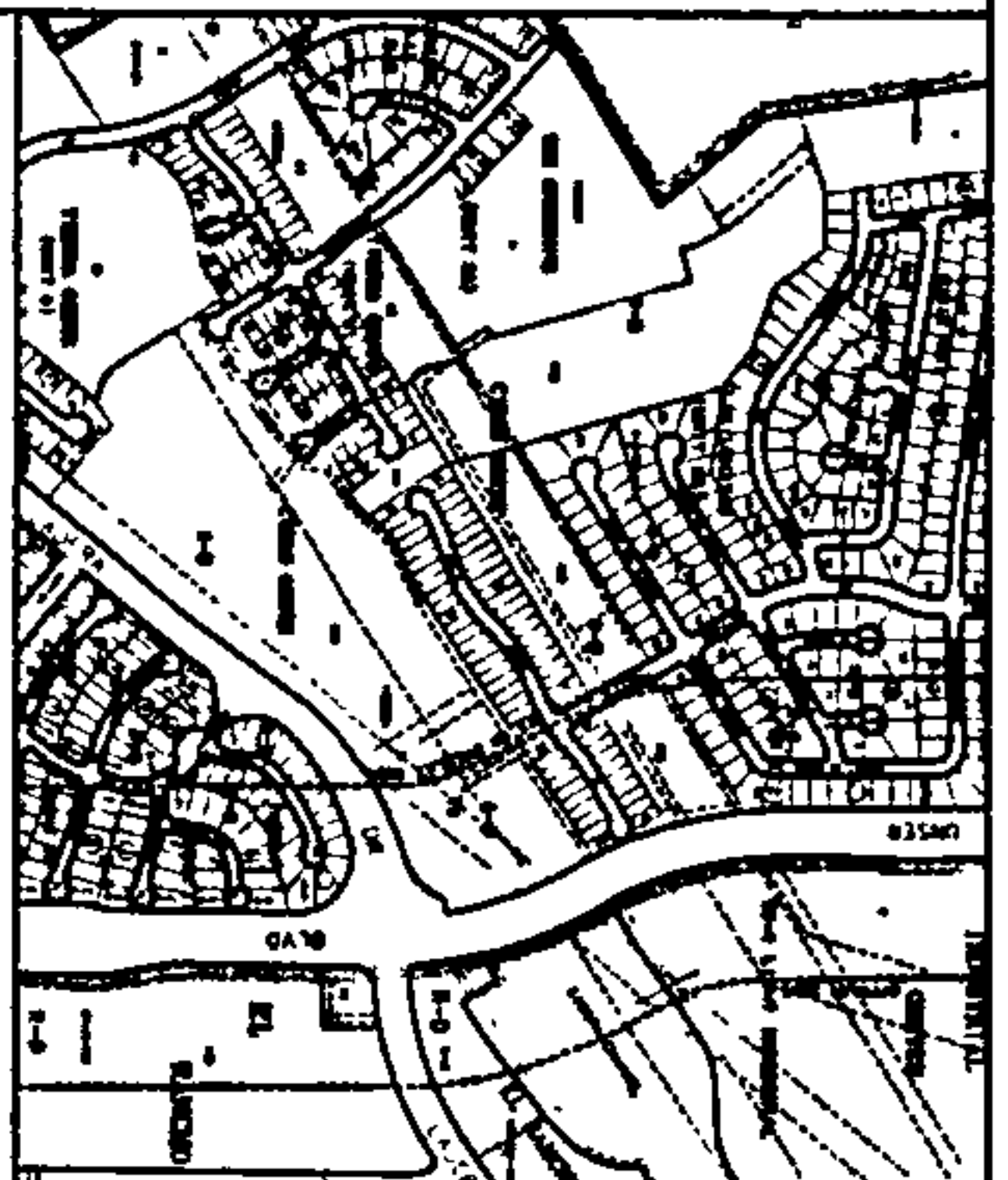
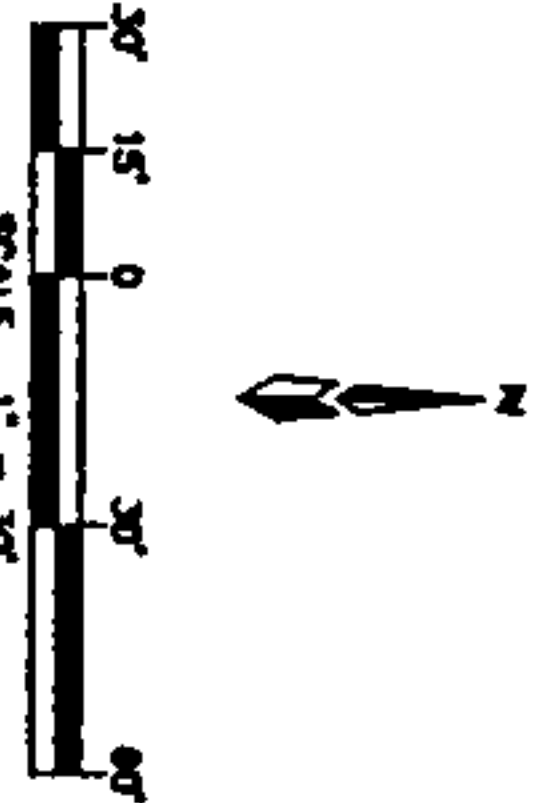
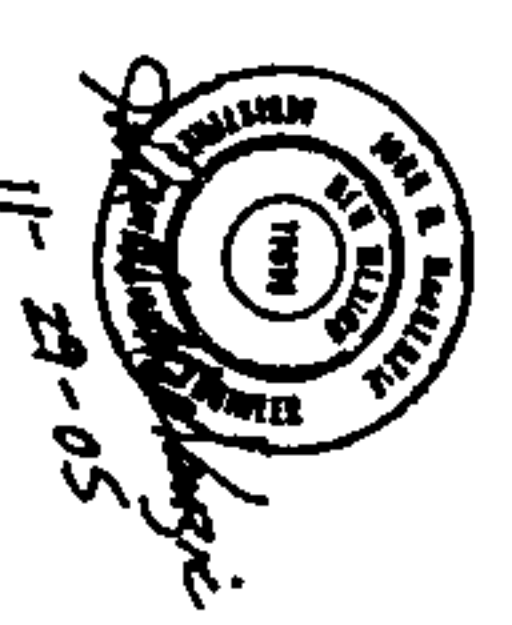
LOT 1 LADERA INDUSTRIAL CENTER
(10-12-04 2000-04)

Sanitary Sewer Manhole
Rim Elev 5183.6
Invert Elev 5185.9

LOT 23 LADERA BUSINESS PARK UNIT 1
(10-12-04 2000-04)

Sanitary Sewer Manhole
Rim Elev 5182.2
Invert Elev 5182.1

- NOTES**
- Easements**
- 1 EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/04, 04C-24)
 - 2 EXISTING 80' GOVERNMENTAL DRIVE ELECTRIC COOPERATIVE RIGHT OF WAY EASEMENT (03/14/03, BK. 400, PAGES 618-622)
 - 3 EXISTING OVERHEAD UTILITY EASEMENT (1/22/04, 04C-24)
 - 4 EXISTING 30' WATERLINE EASEMENT (1/22/04, 04C-24)
 - 5 EXISTING 80' WIRE PRIVATE ACCESS EASEMENT (1/22/04, 04C-24)
 - 6 EXISTING PAW EASEMENT (1/22/04, 04C-24)



ACS BENCHMARK

ACS BENCHMARK 1-INCH FINISH HAVING AN ELEVATION OF 5142.74.

LEGAL DESCRIPTION

TRACTS NUMBERED 150 AND 151, PART OF SECTION 10(T) OF COUNTY OF BERNALILLO, STATE OF NEW MEXICO, AS SHOWN ON THE MAP OF SAID COUNTY, NEW MEXICO, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 128.

- LEGEND**
- 1 884 PROPERTY LINE
 - 1 884 EXISTING SPOT ELEVATION
 - 5004 EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FRESHED FLOOR
 - BASE BOUNDARY
 - WATER BREAK
 - EXISTING GAMB AND GUTTER
 - EXISTING STORM DRAIN
 - N 90°00'00" E RECORD BEARING AND DISTANCES
 - UTILITY RECEIVAL
 - FOUND AS RECORDED
 - CENTRAL POINT 75 7718'
 - WATER METER
 - UTILITY POLE
 - OVERHEAD UTILITY LINES
 - DAY WIRE
 - FINE HYDRANT
 - LIGHT POST
 - TOP BACK OF CURB
 - SHOULD
 - FL-004-0 GROUND SPOT ELEVATION
 - 1A-C-004-0 TOP OF ASPHALT CURB ELEVATION
 - CONCRETE

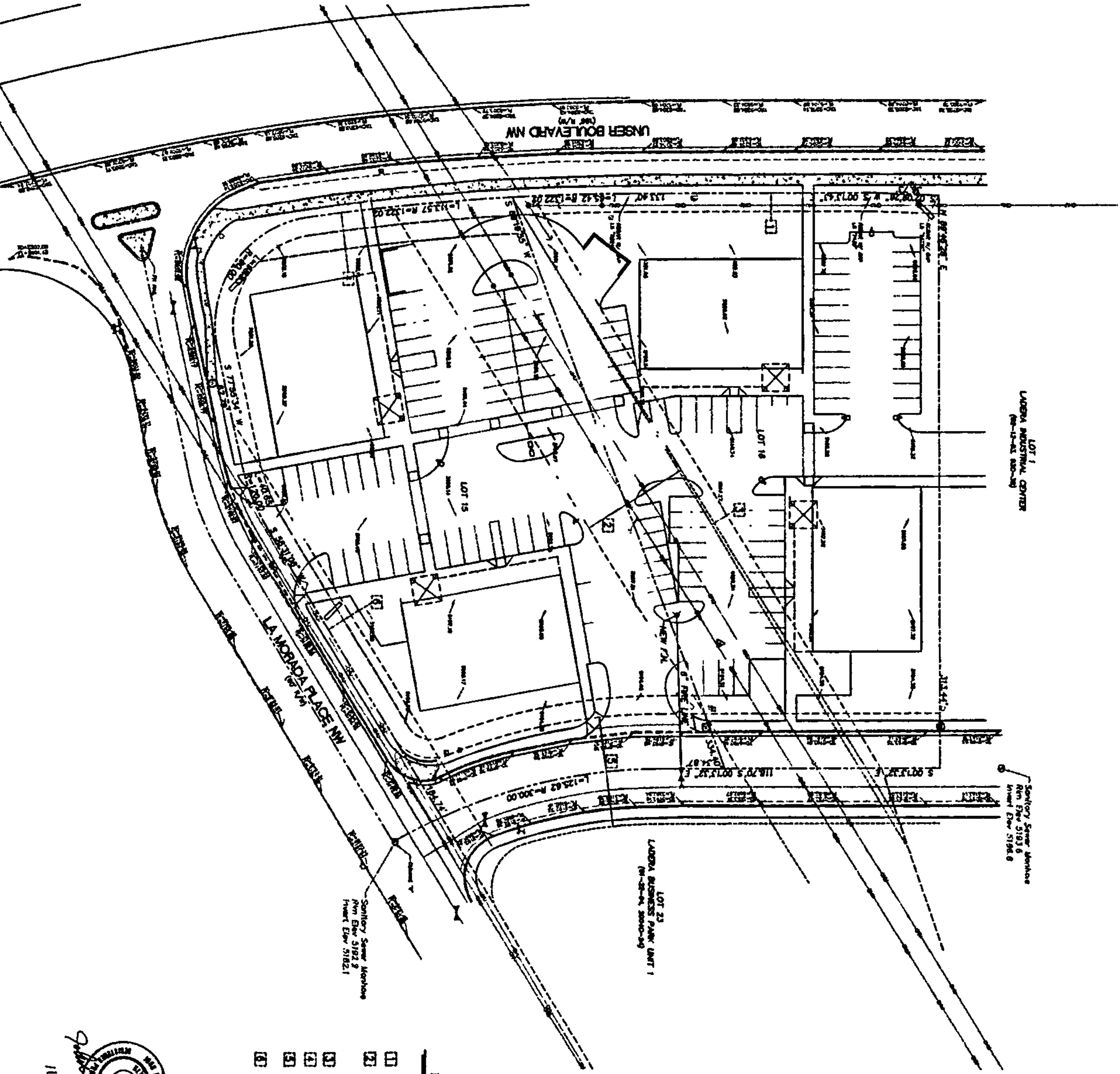
LOTS 15 & 16 LADERA BUSINESS PARK

GRADING & DRAINAGE

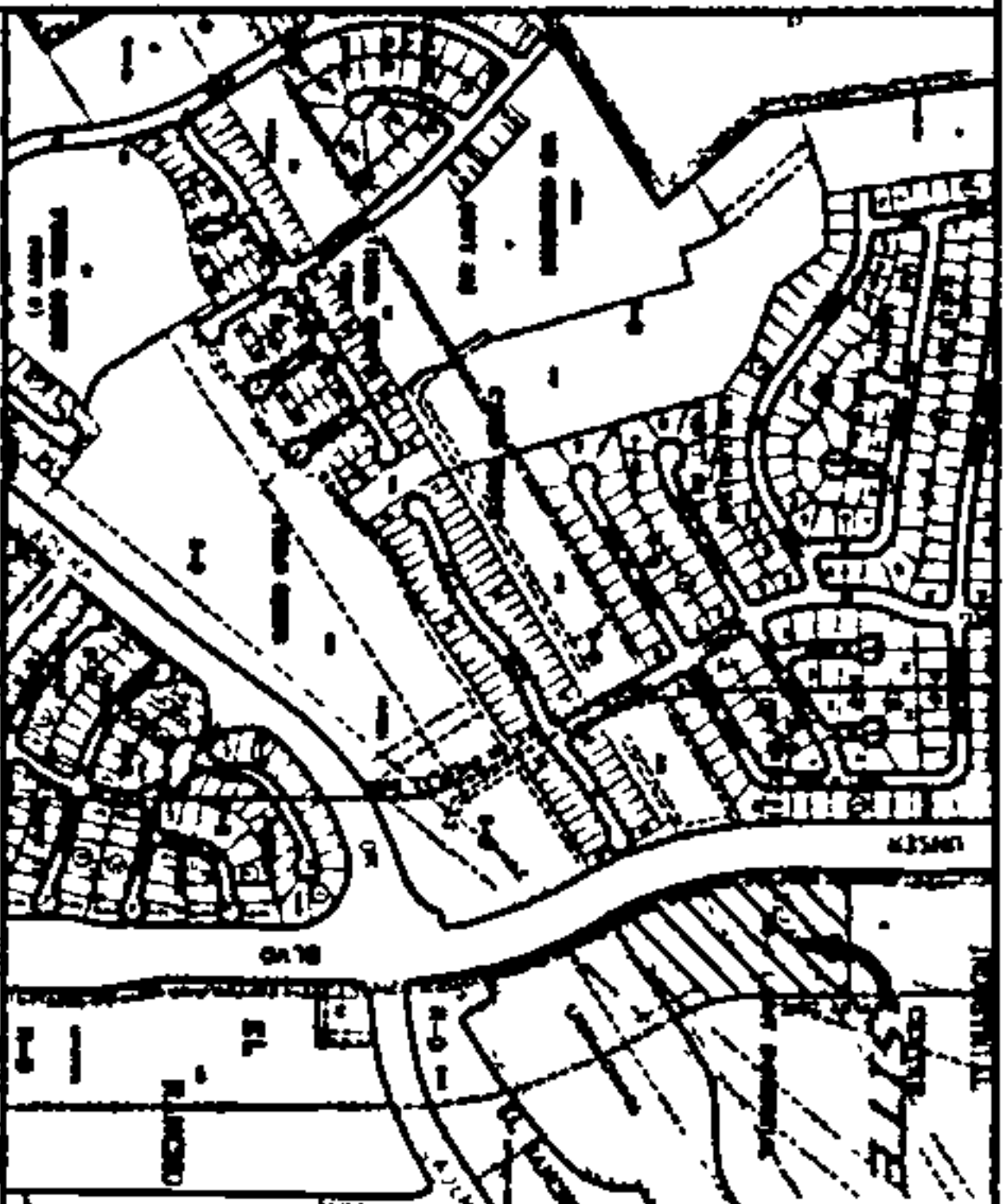
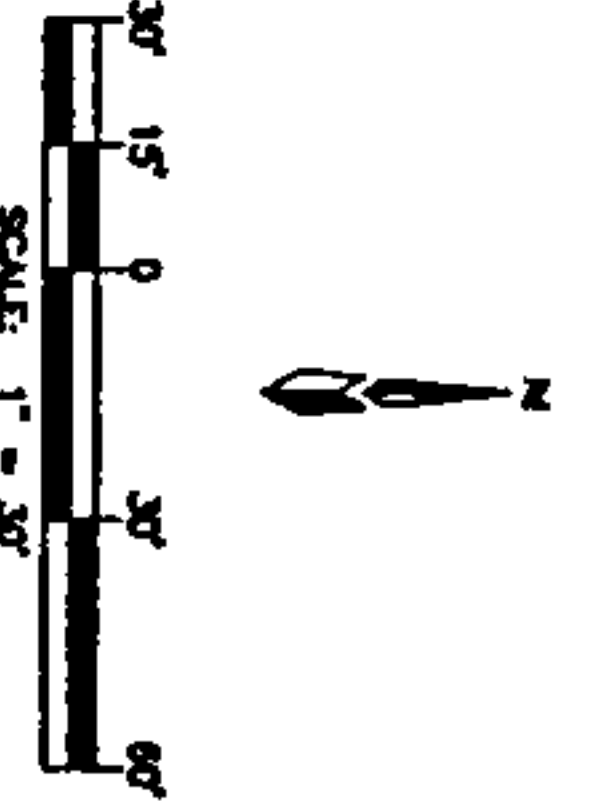
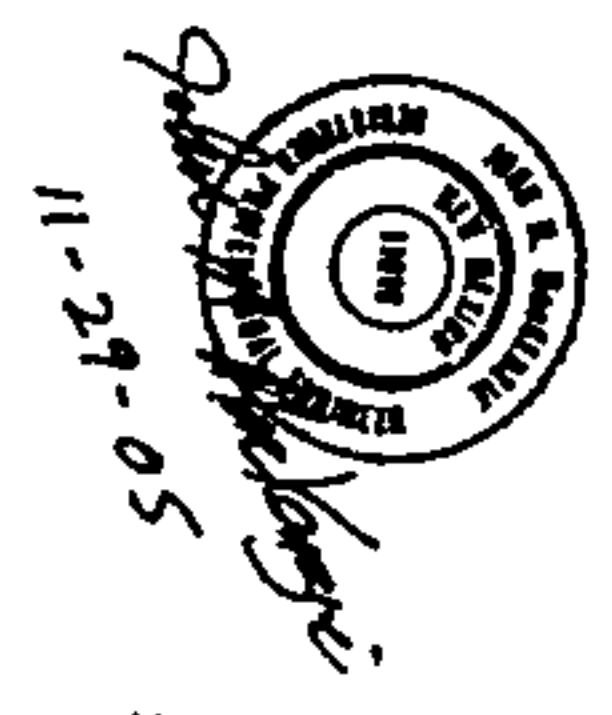
dmg MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)787-0539

Drawn: JDS Date: 11/10/04 Sheet 5 of 6
Checked: DMG
Scale: 1" = 30'

ASB001\DRAWING\DRAWING\ASB001.DWG 11/26/04 GJM



- NOTES**
- Easements**
- 1 EXISTING 30' PUBLIC UTILITY EASEMENT (1/22/04, 04C-24)
 - 2 EXISTING 30' CONVENTIONAL DIVER ELECTRIC COOPERATIVE RIGHT OF WAY EASEMENT (03/19/01, BK. LASC. 408, PAGES 519-522)
 - 3 EXISTING OVERHEAD UTILITY EASEMENT (1/22/04, 04C-24)
 - 4 EXISTING 30' WATERLINE EASEMENT (1/22/04, 04C-24)
 - 5 EXISTING 30' WIDE PRIVATE ACCESS EASEMENT (1/22/04, 04C-24)
 - 6 EXISTING 30' EASEMENT (1/22/04, 04C-24)



ACS BENCHMARK
ACS BENCHMARK 1"-HGT NAILING IN ELEVATION OF 5142.74

LEGAL DESCRIPTION
TRACTS BUNDLED TOGETHER (15) AND SEVEN (7) OF LADERA BUSINESS PARK, UNIT 2 AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004, PAGE 524.

- LEGEND**
- PROPERTY LINE
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FRESHED FLOOR
 - BASH BOUNDARY
 - WATER METER
 - EXISTING CURB AND GUTTER
 - EXISTING STORM DRAIN
 - N 90°00'00" E RECORD BEARING AND DISTANCES
 - UTILITY POSTS/VALVES FOUND AS NOTICED
 - CONVENTIONAL BOUNDARY 1/2 77°9'
 - WATER METER
 - UTILITY POLE
 - OVERHEAD UTILITY LINES
 - OUT LINE
 - FIRE HYDRANT
 - LIGHT POST
 - TOP BACK OF CURB
 - GROUND SPOT ELEVATION
 - FLOW LINE ELEVATION
 - TOP OF ASPHALT CURB ELEVATION
 - CONCRETE

LOTS 15 & 16 LADERA BUSINESS PARK
UTILITY PLAN

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87189
(505)828-2200, FAX (505)787-9539

DATE: 11/29/05
SCALE: 1" = 30'

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME: ALLAN FRENKEL
AGENT: DEKKER / PERICH / SABATINI
ADDRESS: 6801 JEFFERSON
PROJECT & APP #: 1001523 / 0179.7
PROJECT NAME: LADERA INDUSTRIAL CENTER

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ 385.⁰⁰ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 405.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DEKKER/PERICH/SABATINI, LTD 12-92
6801 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700
FED #85-0367023

WELLS FARGO NEW MEXICO, N.A. 0204
Albuquerque, NM 87103-1081
95-219-1070

CHECK NO. 035698

DATE 11/22/05

AMOUNT \$ 405.⁰⁰

PAY TO THE ORDER OF
FOUR HUNDRED FIVE DOLLARS & ⁰⁰/₁₀₀
CITY OF ALBUQUERQUE

VOID AFTER 90 DAYS

[Signature]

DUPLICATE
City Of Albuquerque
Treasury Division

11/29/2005 12:53PM LOC: ANN
X
RECEIPT# 00053777 WSH 007 TRANSH 0030
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$405.00
J24 Misc \$20.00

DUPLICATE
City Of Albuquerque
Treasury Division

11/29/2005 12:53PM LOC: ANN
X
RECEIPT# 00053778 WSH 007 TRANSH 0030
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt : \$405.00
J24 Misc \$385.00
CK \$405.00
CHANGE \$0.00

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align:right">Supplemental form</p> <p>SUBDIVISION S</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation V</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC) L</p>	<p style="text-align:right">Supplemental form</p> <p>ZONING & PLANNING Z</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p>APPEAL / PROTEST of... A</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
---	---

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Unser / 98th Street Partnership, LLC PHONE: 821-1034

ADDRESS: P.O. Box 90548 FAX: _____

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200

ADDRESS: PO Box 90606 FAX: 797-9539

CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: john@goodwinengineers.com

DESCRIPTION OF REQUEST: Major Subdivision: Ladera Business Park, Unit 2, Final Plat Application

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2-A Block: _____ Unit: _____

Subdiv. / Addn. Ladera Business Park

Current Zoning: SU-1 / Light Industrial Proposed zoning: Same

Zone Atlas page(s): H-9 & H-10 No. of existing lots: 1 LOT No. of proposed lots: 10 Tracts

Total area of site (acres): 18.8928 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 101005909033320105 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Boulevard

Between: Ladera Drive NW and Barstow Street NE

CASE HISTORY: DRB Project # 10001523 01 EPC 01405

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03 DRB 01360, 01361, 03 DRB 00810, 0301458 02 DRB 00518

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 9/28/04 02 DRB 00519

SIGNATURE John M. MacKenzie DATE 9/28/04

(Print) John M. MacKenzie Applicant Agent

Scanned from here back CS

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <table border="0"> <tr> <td><u>04DRB</u></td> <td><u>-</u></td> <td><u>-01491</u></td> <td><u>FP</u></td> <td><u>S(3)</u></td> <td><u>\$ 0</u></td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td><u>CMF</u></td> <td>_____</td> <td><u>\$ 20.00</u></td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td colspan="5"></td> <td>Total</td> </tr> <tr> <td colspan="5"></td> <td>\$ _____</td> </tr> </table> <p>Hearing date <u>10-6-04</u></p>	<u>04DRB</u>	<u>-</u>	<u>-01491</u>	<u>FP</u>	<u>S(3)</u>	<u>\$ 0</u>	_____	_____	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>	_____	_____	_____	_____	_____	\$ _____	_____	_____	_____	_____	_____	\$ _____	_____	_____	_____	_____	_____	\$ _____						Total						\$ _____	<p>Project # <u>1001523</u></p>
<u>04DRB</u>	<u>-</u>	<u>-01491</u>	<u>FP</u>	<u>S(3)</u>	<u>\$ 0</u>																																							
_____	_____	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>																																							
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					Total																																							
					\$ _____																																							

Budhu Swal 9-28-04
Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. *Pending*

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

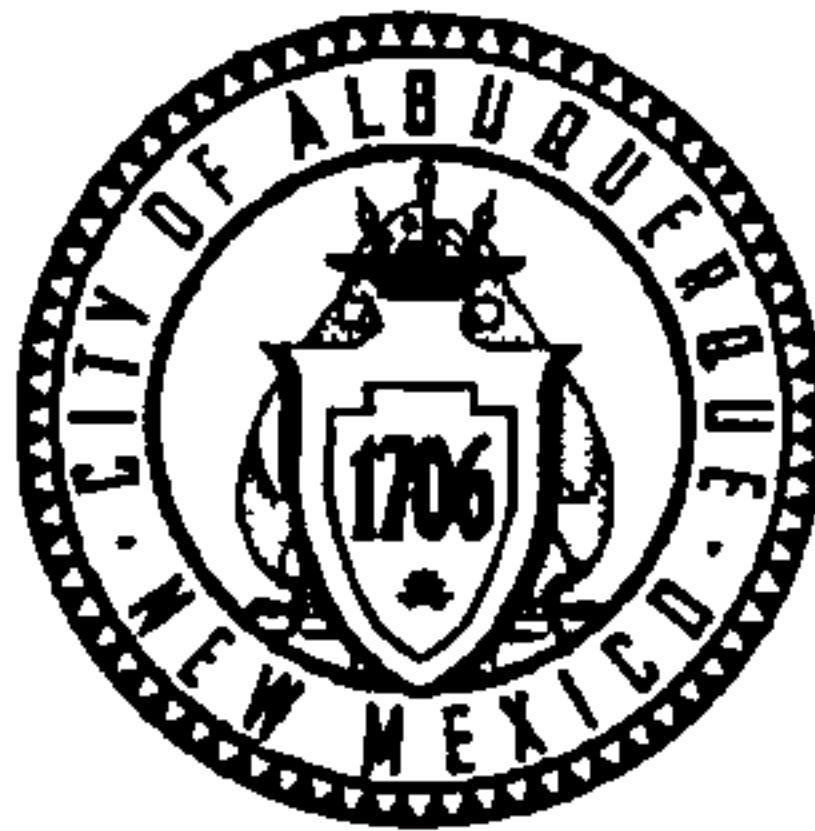
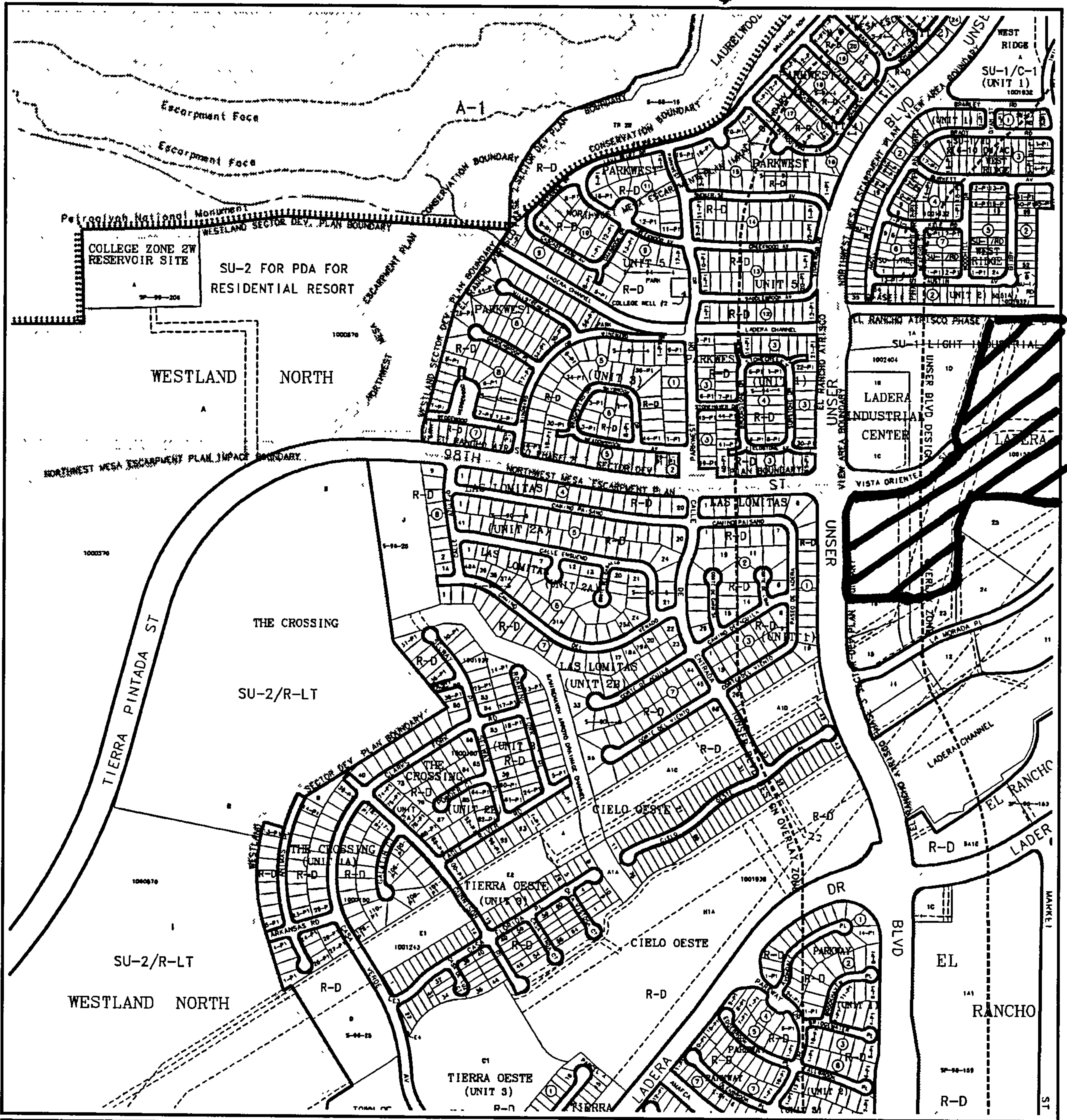
JOHN M. MACKENZIE, P.E.
Applicant name (print)
John M MacKenzie 9/28/04
Applicant signature / date



Form revised 3/03, 8/03 and 11/03
[Signature] 9-28-04
Planner signature / date

<input type="checkbox"/> Checklists complete	Application case numbers
<input type="checkbox"/> Fees collected	04DRB - 01491
<input type="checkbox"/> Case #s assigned	- -
<input type="checkbox"/> Related #s listed	- -

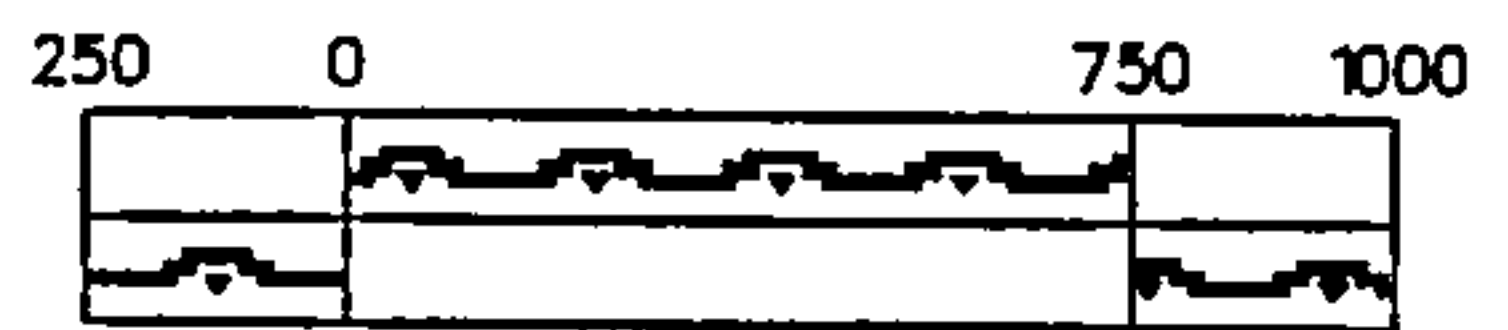
Project # 1001523



Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2004

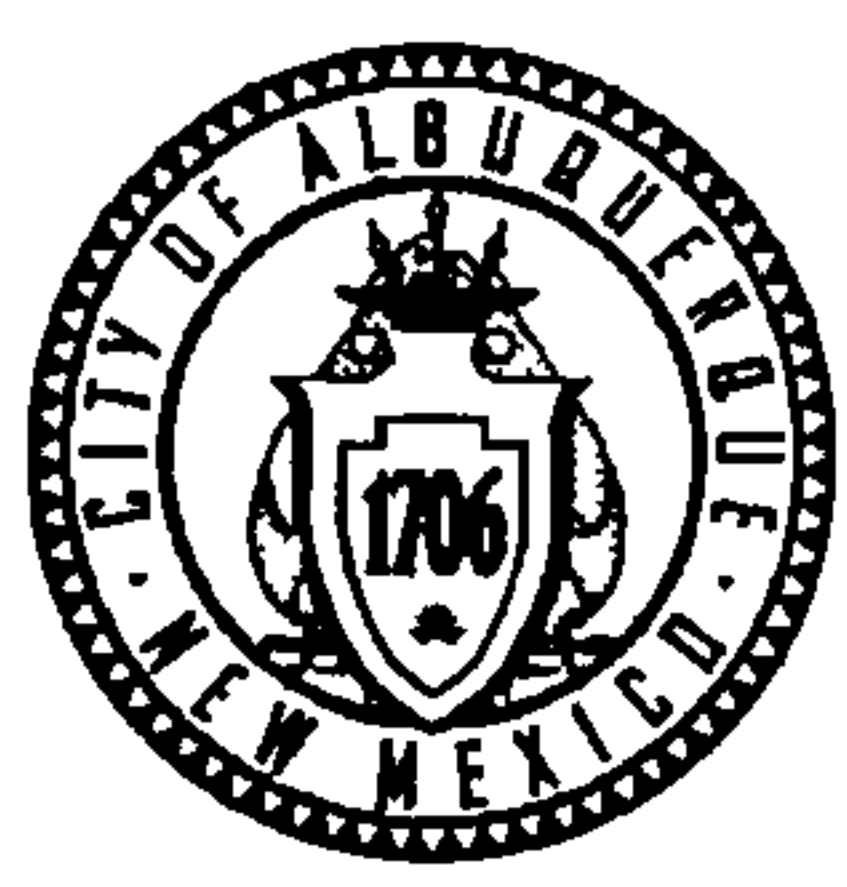
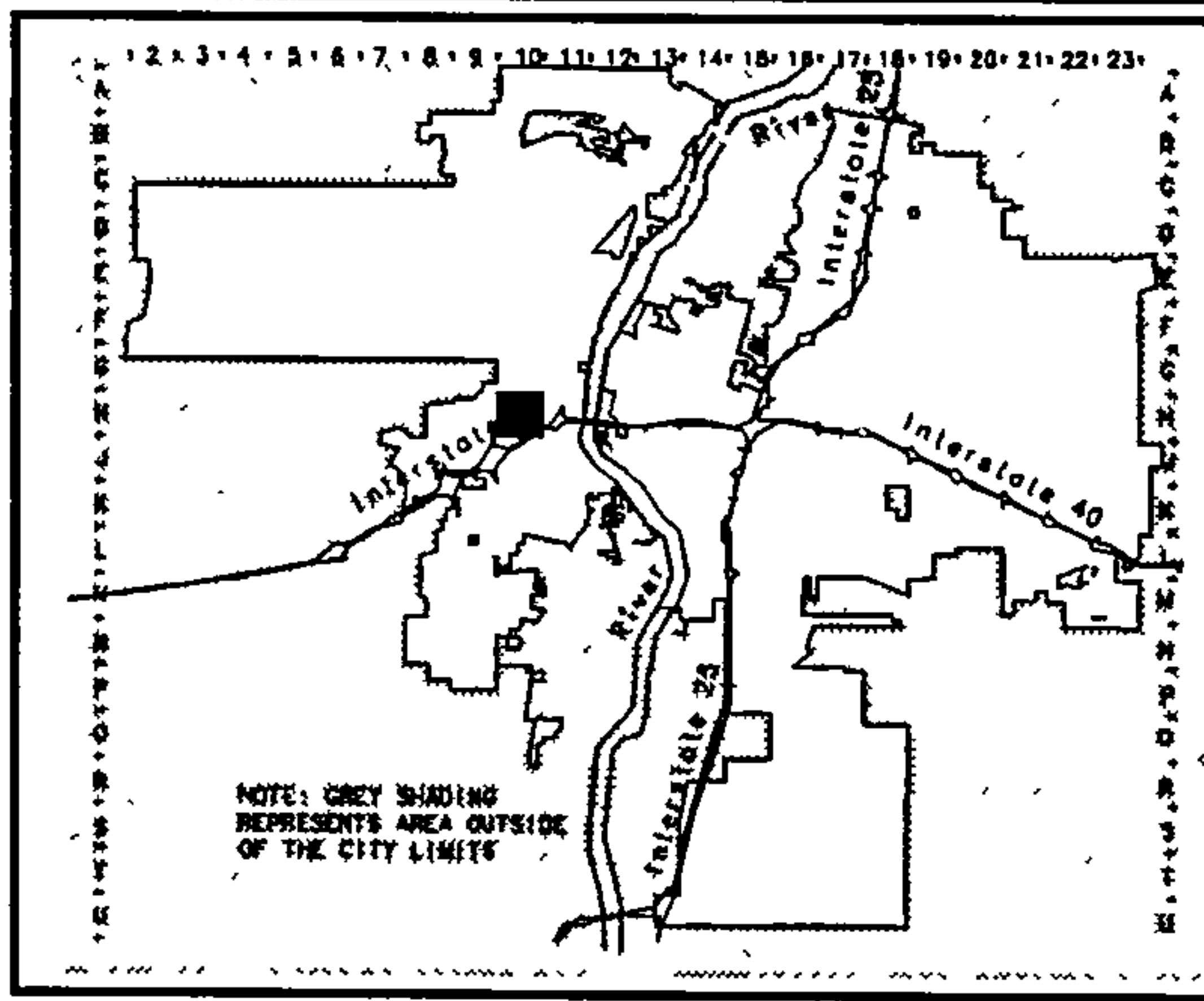
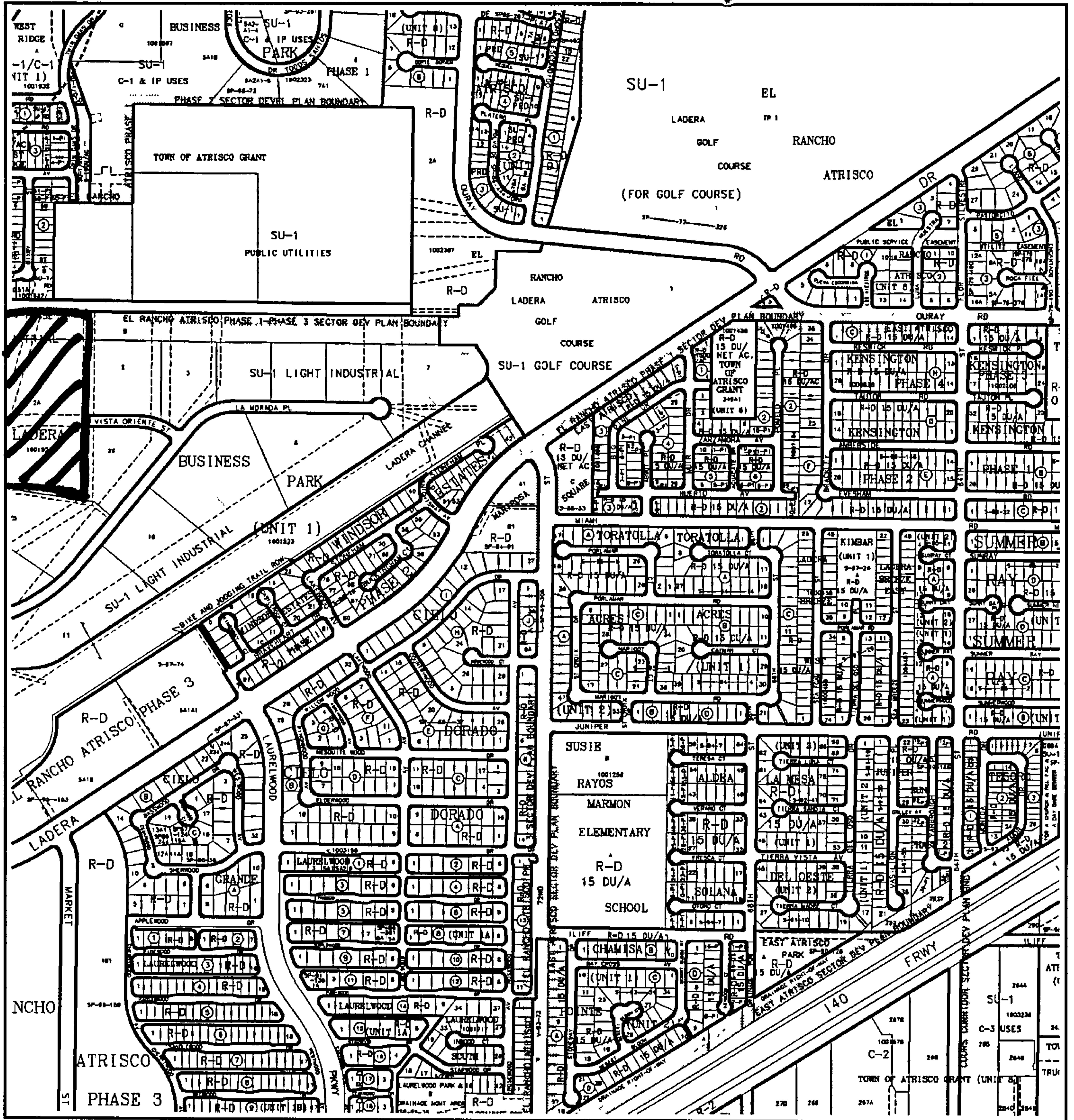
GRAPHIC SCALE IN FEET



Zone Atlas Page

H-9-Z

Map Amended through September 01, 2004



A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT
 © Copyright 2004



Zone Atlas Page
H-10-Z
 Map Amended through September 01, 2004

271

No. of Lots:
Nearest Major Streets

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

Ladera Business Park, Unit 2

693282

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 15th day of September, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Unser/98th Street Partnership, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] New Mexico Limited Liability Company, whose address is 8900 Washington NE, Albuquerque, NM 87113 and whose telephone number is 821-1034, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Lot 2-A, Ladera Business Park, recorded on January 22, 2004 in the records of the Bernalillo County Clerk at Book 2004C, pages 24 through -- (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Unser/98th Street Partnership, LLC (Owner).

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as LADERA BUSINESS PARK, UNIT 2 describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 8th day of October, 2005 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 693282.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME UNser/98th St Partnership
 AGENT Mark Goodwin & Assoc
 ADDRESS PO Box 90606
 PROJECT & APP # 1001523 / 04 DRB 01491
 PROJECT NAME Ladera Bus Park

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

D. MARK GOODWIN AND ASSOCIATES, P.A.		4343
P.O. BOX 90606 ALBUQUERQUE, NM 87199-0606 (505) 828-2200		95-681/1070
DATE <u>9-28-02</u>		
City Of Albuquerque Treasury Division		\$ <u>20.00</u>
PAY TO THE ORDER OF <u>City of Albuquerque</u>	9/28/2004 10:01AM LOC: ANNX	
<u>Twenty No/100</u>	RECEIPT# 00029853 WSH 006 TRSLSAFS010	
	Account 441032 Fund 0110	
Coronado Office 1-800-488-2265	Activity 3424000 TRSEJA	
FOR _____	Trans Amt \$20.00	
	J24 Misc \$20.00	
	CK <u>Eileen Resendiz</u> \$20.00	MP
	CHANGE \$0.00	
⑈004343⑈ ⑈107006813⑈ 283007003⑈	Thank You	
	City Of Albuquerque	



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199

FAX 797-9539

email: dmgs@swcp.com

facsimile
TRANSMITTAL

to: Claire Senova
fax #: 924-3864
re: Ladera BP (1001523)
date: October 24, 2003
pages: 2, including this cover sheet.

*Scanned from here back
JS*

From the desk of...

John M. MacKenzie
Senior Engineer
Mark Goodwin & Associates
Box 90606
Albuquerque, NM 87199

505-828-2200
Fax:



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

October 24, 2003

Ms. Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

This is a request to withdrawal the referenced case from the upcoming agenda. Previous action has already been taken on this property which results in the continuance of further action being unnecessary.

Please call me if I can be of any further assistance.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

John M. MacKenzie
John M. MacKenzie, PE
Vice President

JMM/bm



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

August 29, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: **Ladera Business Park (Project No. 1001523)**

Dear Ms. Matson:

On July 15, 2003, I requested that the Site Development Plan associated with this project number be deferred until the DRB hearing on October 29, 2003. The application now being submitted with this letter supersedes the previously acted-on Site Development Plan for Subdivision. That previously approved Site Development Plan for Subdivision (conditionally approved by DRB on 06-26-02, and revised thereafter) is no longer valid. This letter formally requests its withdrawal. The plan that has been superseded should be used only for reference.

This new application consists of essentially the same elements of what was previously approved, except for the following:

- **Tract 16** has been moved from Unit II to Unit I.
- Old Ouray Road, which bounded the north side of the site, has been vacated by others. The area it covered now exists as AMAFCA RW, public utility easements and private access to PNM property north of the subject site.
- The area referred to as "Ladera Channel" on the original site development plan (along the north side of the site) was to be dedicated to AMAFCA, but now a tract is located in its place in an attempt to have the channel area be designated detached open space. The overlaying AMAFCA drainage easement for the channel is to remain.
- A perimeter wall detail, in accordance with DRB's new policy of walls, is currently being developed and will be provided to DRB members prior to the hearing.

The original letter identifying EPC conditions of approval and measures that were taken to address the EPC conditions is included herewith. It remains valid.

The preliminary plat for this project was previously submitted and it is scheduled for hearing on September 10, 2003. This application should be heard together with that case.

Please contact me if I can be of further assistance.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

enclosures

f:\Ladera Business Park\New site plansubmittal letter



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

July 15, 2003

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
P. O. Box 1293
City of Albuquerque NM 87103

**Re: Ladera Business Park Subdivision - Site Development for Subdivision Plan Revision
(Project # 1001523)**

Dear Ms. Matson:

I am requesting the referenced case be deferred Ninety days to the DRB hearing on October 29, 2003.

Please contact me if I can be of further assistance.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

A handwritten signature in black ink that reads 'John M. MacKenzie'. The signature is written in a cursive, flowing style.

John M. MacKenzie, PE
Vice President

xc: Pat Wylie, Unser/98th St. Partnership



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
FAX 797-9539
email: dmga@swcp.com

facsimile
TRANSMITTAL

to: Sheran Matson
fax #: 924-3864
re: 1001523
date: July 15, 2003
pages: 2, including this cover sheet.

From the desk of...

John M. MacKenzie
Senior Engineer
Mark Goodwin & Associates
Box 90606
Albuquerque, NM 87199

505-828-2200
Fax:

facsimile
TRANSMITTAL

to: Sheran Matson
fax #: 924-3864
re: 1001523
date: July 2, 2003
pages: 2, including this cover sheet.

From the desk of...

John M. MacKenzie
Senior Engineer
Mark Goodwin & Associates
Box 90606
Albuquerque, NM 87199

505-828-2200
Fax:



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

#6

July 2, 2003

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
P. O. Box 1293
City of Albuquerque NM 87103

Re: **Ladera Business Park Subdivision - Site Development Plan Revision (Project # 1001523)**

Dear Ms. Matson:

Based upon my recent discussion with Ron Bohannon, I am requesting the referenced case be deferred three weeks to the DRB hearing on July 30, 2003.

Please contact me if I can be of further assistance.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE
Vice President

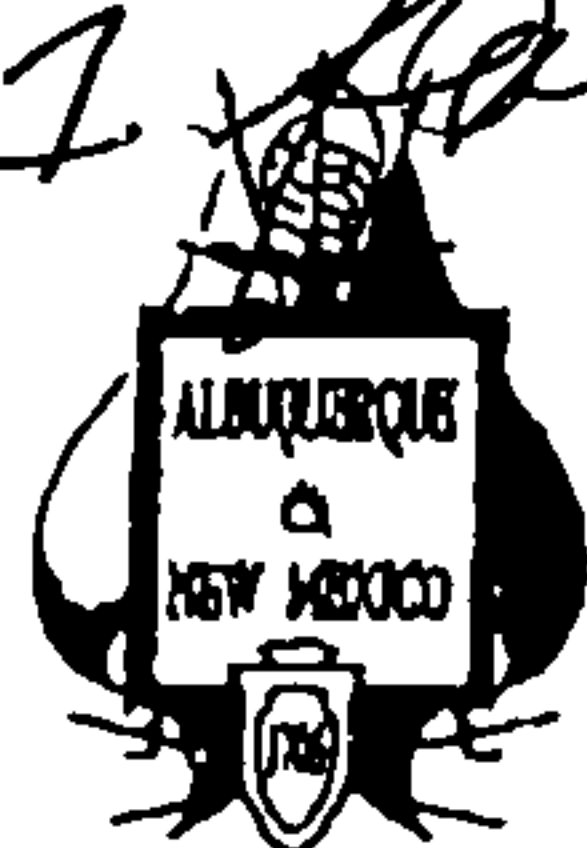
xc: Pat Wylle, Unser/98th St. Partnership

220090

Income

~~0023~~

*only for Rinconada
Crossing - rest is still
SU-1 for Industrial Park*



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001523 *
03EPC-00152 Zone Map Amendment
03EPC-00153 EPC Sector Development Plan
Amendment

Tiffany Homes
P.O. Box 2010
Corrales, NM 87048

LEGAL DESCRIPTION: for portion of Lot 2, Ladera Industrial Center, a zone map amendment from SU-1 Light Industrial to R-T, located on UNSER BLVD. NW, between OLD OURAY ROAD NW and LADERA DRIVE NW, containing approximately 22 acres. (H-10) Simon Shima, Staff Planner

On March 20, 2003 the Environmental Planning Commission voted to recommend approval to the City Council of Project 1001523/ 03EPC 00153, an amendment to the El Rancho Atrisco Phase III Sector Development Plan, for a Portion of Lot 2, Ladera Industrial Park based on the following Findings:

FINDINGS:

1. This is a request for an amendment to the El Rancho Atrisco Phase III Sector Development Plan for approximately 21.5 acres of lands located east of Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter called the "subject site".
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan. The request is consistent with the Comprehensive Plan Developing Urban Area goal and applicable policies d, e, and k.
3. The West Side Strategic Plan (the "WSSP") objectives most applicable to the request are relating to employment and the community concept. Concerning employment, the WSSP has identified the Atrisco Business Park as one of the three major employment centers on the West Side, and a potential business park area located west of Unser Boulevard and north of I-40. Therefore, future residents on the subject site would have access to the Atrisco Business Park, the designated Regional Employment Center, and a potential business park area within two miles, respectively.

OFFICIAL NOTICE OF DECISION

MARCH 20, 2003

PROJECT #1001523

PAGE 2

4. The subject site is located in the Ladera Community. In line with the community concept for the West Side, the WSSP has established a community activity center area and three (3) neighborhood center areas within the Ladera Community. The subject site is not in any of these center areas as identified.
5. The Environmental Planning Commission approved a Master Development Plan creating 26 small business/ industrial lots, including the subject site, for the Ladera Industrial Park on November 15, 2001. Nonetheless, no final plat has been filed for the Ladera Industrial Park.
6. The WSSP provides a strategy for prioritizing development locations for the West Side through the Phasing Plan designating the Ladera Community as the first priority location for development. Nonetheless, the subject site and adjacent lands designated for light industrial development are practically an island of vacant lands surrounded by residential development. There has been no demonstrated market demand for industrial development on the subject site since annexed to the City in early 1980's. The request, precursor to potential residential development, would be consistent with the Phasing Plan of the WSSP.
7. The WSSP Policy 2.5 provides that when considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes. The request would affect Susie Rayos Marman Elementary School, Jimmy Carter Middle School, and West Mesa High School. All those schools are currently enrolled beyond their designed space capacities. As public schools become overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed by the Albuquerque Public Schools to relieve schools with large numbers of students. This matter should be considered by the Development Review Board for subdivision approval.
8. The request is consistent with certain applicable objectives and policies of the WSSP. With respect to Policy 2.5, concerning public schools capacity to support the increased number of homes, the benefits to the City for allowing residential development of this site outweigh any potential negative impacts upon our school system.
9. The PNM Switching Plant is located north of the subject site. In addition, three (3) 115 KV electric transmission lines run over the subject site. In response to public concern as to whether the electric and magnetic fields (EMFs) produced through the generation, transmission, and use of electric power might adversely affect human health, numerous research studies and scientific reviews have been conducted to examine the possible health effects of EMFs. Such studies nonetheless have failed to provide straightforward answers.

OFFICIAL NOTICE OF DECISION
MARCH 20, 2003
PROJECT #1001523
PAGE 3

10. In 1996 the City and the County adopted the Facility Plan: Electric Service Transmission and Subtransmission Facilities (1995 – 2005). The Plan addresses primarily the future location of transmission lines. The Plan does address EMFs, but offers no specific recommendations. The Plan provides a general guideline for right-of-way corridor widths for transmission lines. It is 50 feet for 115 KV as a general rule. The existing PNM easement width for the transmission line complies with the Facility Plan standard.
11. The applicant engaged a PNM Principal Engineer to conduct spot measurements of 60-cycle magnetic fields and to plot them on the site drawing. Planning staff is not capable of evaluating the results. Based on currently available information, however, it appears that residential use of land in the vicinity of electric transmission lines is feasible without jeopardizing public health, particularly, in view of the existing PNM easement width for the transmission line in compliance with the Facility Plan standard. This matter should be considered by the Development Review Board for subdivision approval.
12. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard. The Sector Development Plan zones SU-1 for Light Industrial for the approximately 115-acres of lands including the subject site due to the presence of several high voltage power line easements.
13. Regarding the Plan area south of the Mirehaven or Ladera Diversion Channel, the Sector Development Plan zones Multi-Family Residential for a narrow strip of lands north of Ladera Drive, and RT for a majority of lands south of Ladera Drive. The remaining Plan area south of Ladera Drive is zoned for C-1, C-2 and Open Space.
14. Despite the fact that the El Rancho Atrisco Phase III Sector Development Plan initially zoned the subject site for SU-1 for Light Industrial in consideration of power line easements, R-T zoning was established for residential development elsewhere in the Plan area.
15. Since annexed to the City in early 1980's, the subject site has remained vacant while the surrounding areas have been developed residentially. The land use change from SU-1 for Light Industrial to R-T, precursor to residential development on the site, would be more advantageous to the community consistent with certain adopted City plan objectives and policies.
16. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations. Both Associations support the request.
17. The amendment to the El Rancho Atrisco Phase III Sector Development Plan requires City Council approval

OFFICIAL NOTICE OF DECISION
MARCH 20, 2003
PROJECT #1001523
PAGE 4

On March 20, 2003 the Environmental Planning Commission voted recommend approval to the City Council of Project 1001523/03EPC 00152, a zone map amendment from SU-1 for Light Industrial to R-T, for a Portion of Lot 2, Ladera Industrial Park based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from SU-1 for Light Industrial to R-T for approximately 21.5 acres of lands located east of Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter called the "subject site".
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan. The request is consistent with the Comprehensive Plan Developing Urban Area goal and applicable policies d, e, and k.
3. The West Side Strategic Plan (the "WSSP") objectives most applicable to the request are relating to employment and the community concept. Concerning employment, the WSSP has identified the Atrisco Business Park as one of the three major employment centers on the West Side, and a potential business park area located west of Unser Boulevard and north of I-40. Therefore, future residents on the subject site would have access to the Atrisco Business Park, the designated Regional Employment Center, and a potential business park area within two miles, respectively.
4. The subject site is located in the Ladera Community. In line with the community concept for the West Side, the WSSP has established a community activity center area and three (3) neighborhood center areas within the Ladera Community. The subject site is not in any of these center areas as identified.
5. The Environmental Planning Commission approved a Master Development Plan creating 26 small business/ industrial lots, including the subject site, for the Ladera Industrial Park on November 15, 2001. Nonetheless, no final plat has been filed for the Ladera Industrial Park.
6. The WSSP provides a strategy for prioritizing development locations for the West Side through the Phasing Plan designating the Ladera Community as the first priority location for development. Nonetheless, the subject site and its adjacent sites designated for light industrial development are practically an island of vacant lands surrounded by residential development. There has been no demonstrated market demand for industrial development on the subject site since annexed to the City in early 1980's. The request, precursor to potential residential development, is consistent with the Phasing Plan of the WSSP.

OFFICIAL NOTICE OF DECISION

MARCH 20, 2003

PROJECT #1001523

PAGE 5

7. The WSSP Policy 2.5 provides that when considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes. The request would affect Susie Rayos Marman Elementary School, Jimmy Carter Middle School, and West Mesa High School. All those schools are currently enrolled beyond their designed space capacities. As public schools become overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed by the Albuquerque Public Schools to relieve schools with large numbers of students. This matter should be considered by the Development Review Board for subdivision approval.
8. The request is consistent with certain applicable objectives and policies of the WSSP. With respect to Policy 2.5, concerning public schools capacity to support the increased number of homes, the benefits to the City for allowing residential development of this site outweigh any potential negative impacts upon our school system.
9. The PNM Switching Plant is located north of the subject site. In addition, three (3) 115 KV electric transmission lines run over the subject site. In response to public concern as to whether the electric and magnetic fields (EMFs) produced through the generation, transmission, and use of electric power might adversely affect human health, numerous research studies and scientific reviews have been conducted to examine the possible health effects of EMFs. Such studies nonetheless have failed to provide straightforward answers.
10. In 1996 the City and the County adopted the Facility Plan: Electric Service Transmission and Subtransmission Facilities (1995 – 2005). The Plan addresses primarily the future location of transmission lines. The Plan does address EMFs, but offers no specific recommendations. The Plan provides a general guideline for right-of-way corridor widths for transmission lines. It is 50 feet for 115 KV as a general rule. The existing PNM easement width for the transmission line complies with the Facility Plan standard.
11. The applicant engaged a PNM Principal Engineer to conduct spot measurements of 60-cycle magnetic fields and to plot them on the site drawing. Planning staff is not capable of evaluating the results. Based on currently available information, however, it appears that residential use of land in the vicinity of electric transmission lines is feasible without jeopardizing public health, particularly, in view of the existing PNM easement width for the transmission line in compliance with the Facility Plan standard. This matter should be considered by the Development Review Board for subdivision approval.
12. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard. The Sector Development Plan zones SU-1 for Light Industrial for the approximately 115-acres of lands, including the subject site, due to the presence of several high voltage power line easements.

OFFICIAL NOTICE OF DECISION
MARCH 20, 2003
PROJECT #1001523
PAGE 6

- 13. Regarding the Plan area south of the Mirehaven or Ladera Diversion Channel, the Sector Development Plan zones Multi-Family Residential for a narrow strip of lands north of Ladera Drive, and RT for a majority of lands south of Ladera Drive. The remaining Plan area south of Ladera Drive is zoned for C-1, C-2 and Open Space.
- 14. Despite the fact that the El Rancho Atrisco Phase III Sector Development Plan initially zoned the subject site for SU-1 for Light Industrial use in consideration of power line easements, R-T zoning was established for residential development elsewhere in the Plan area.
- 15. Since annexed to the City in early 1980's, the subject site has remained vacant while the surrounding areas have been developed residentially. The zone map change from SU-1 for Light Industrial to R-T, precursor to residential development on the site, would be more advantageous to the community consistent with certain adopted City plan objectives and policies, thereby meeting one of the requirements under R-270-1980 for a zone map application pursuant to the Zoning Code.
- 16. The R-T Zone for the subject site is generally compatible with the surrounding area zoning except for the lands immediately to the south.
- 17. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations. Both Associations support the request.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 4, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MARCH 20, 2003
PROJECT #1001523
PAGE 7

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/SS/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Dan Serrano, Ladera West NA, 3305 Rhonda de La Chusas NW, Albuquerque, NM 87120
Barry King, Ladera West NA, 3808 Todos Santos NW, Albuquerque, NM 87120
Darlene Motley, 8139 Corte de Aguila NW, Albuquerque, NM 87120



Sheran A. Matson

05/19/03 03:19 PM

To: Fred J. Aguirre/PWD/CABQ@COA, Roger A.
Green/PWD/CABQ@COA
cc: (bcc: Sheran A. Matson/PLN/CABQ)
Subject: Rinconada Crossing

Jeff Jesenowski(sp?) came to see me today. He asked me if he & Cliff Spirock could submit an application for Rinconada Crossing preliminary plat without the proof of zone change if it was produced at the DRB meeting. I told him the case would be deferred if there was no Notice of Decision. The zone change request is due to be heard at City Council on June 9th. Cliff wants to come in for sketch plat, then bulk land variance, & preliminary plat. Since this is May 19th already, I don't see a problem. They will have to advertise the DRB applications after sketch plat. The Council will decide on June 9th...if not, all deals are off...then there is a 15 day appeal period.

Since I will be on vacation from June 6th through the 13th, I thought I should let you know about this in case anything comes up while I am gone.

5/23/03

Bob Paulsen agreed w/ me that, since the zoning is changing from SU1-1D to SU1-Transit to AT, a site plan is no longer needed. Therefore there is no need to amend the site plan. Since the site plan was not signed by City Engineer or Planning, there is no need to make it.

S. Watson



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

9

June 11, 2003

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
P. O. Box 1293
City of Albuquerque NM 87103

Re: Ladera Business Park Subdivision - Site Development Plan Revision (Item No. 9 on 06-11-03, Project # 1001523)

Dear Ms. Matson:

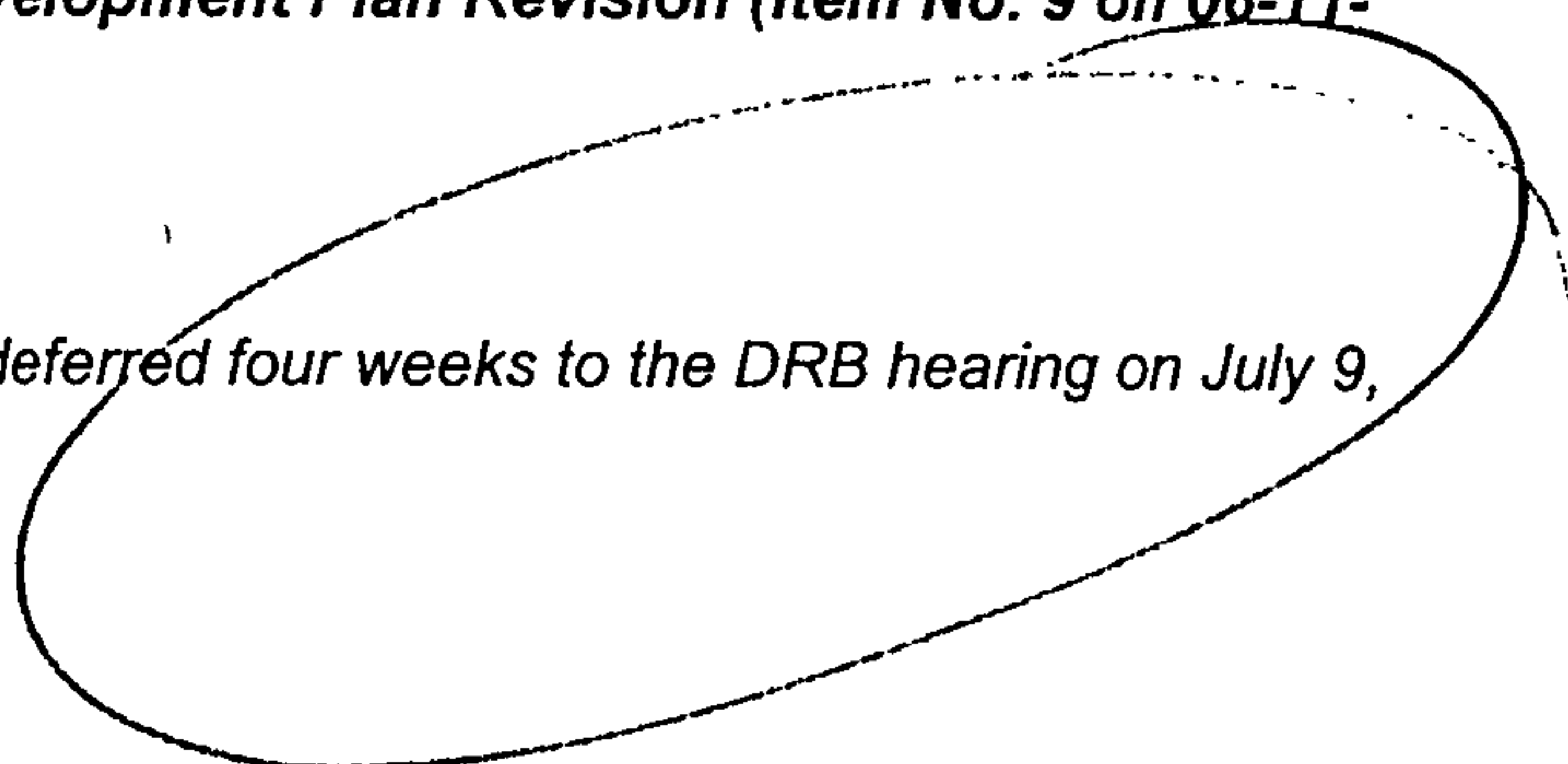
With this letter I am requesting the referenced case be deferred four weeks to the DRB hearing on July 9, 2003.

Please contact me if I can be of further assistance.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE





<p>SUBDIVISION</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input checked="" type="checkbox"/> ... for Subdivision Purposes</p> <p><input type="checkbox"/> ... for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form</p> <p>ZONING</p> <p><input type="checkbox"/> Annexation & Zone Establishment</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal</p>	<p>Z</p> <p>A</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>Unser - 98th Street Partnership</u>	PHONE: <u>821-1034</u>
ADDRESS: <u>P.O. Box 90548</u>	FAX: _____
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87199</u>	E-MAIL: _____
Proprietary interest in site: <u>Owner</u>	
AGENT (if any): <u>Mark Goodwin & Associates, PA</u>	PHONE: <u>828-2200</u>
ADDRESS: <u>PO Box 90606</u>	FAX: <u>797-9539</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87199</u>	E-MAIL: <u>dmg@swcp.com</u>

DESCRIPTION OF REQUEST: Revised Site development Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2 Block: _____ Unit: _____

Subdiv. / Addn. Ladera Industrial Center

Current Zoning: SU-1 for light industrial Proposed zoning: n/a

Zone Atlas page(s): H-10 No. of existing lots: 1 No. of proposed lots: 31

Total area of site (acres): 120 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no

UPC No. 101005909033320105 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. NW
Between: 98th Street NW and Ladera Drive NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): AX-81-10 Z-81-49
01128-01405 Project 3 1001523 DRB app no. 02DRB-00518 03DRB-00755

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE John M. MacKenzie DATE _____
(Print) John M. MacKenzie, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03 DRB - 00899</u>	<u>ASPS</u>	<u>P4</u>	\$ <u>45.-</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>June 11 2003</u>	_____	_____	Total \$ <u>45.-</u>
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	_____

John M. MacKenzie
Planner signature / date

Project # 100 1523
Walt Brown

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- 2 copies of the Conceptual Utility Layout Plan if relevant (mark one for Planning, one for Utility Development)
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 5 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NA

NOTE: The next three items are also required only if the original approval required a public hearing.

- Notifying letter and certified mail receipts addressed to owners of any adjacent residential properties
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (Not required if amendment changes less than 2% of square footage.)
- Sign Posting Agreement (Not required if amendment changes less than 2% of square footage.)

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to **all** those listed above:

- Collocation evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Cynthia Borrego-Archuleta at 924-3335 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John MacKenzie, PE

John MacKenzie

Applicant name (print)

6-3-03

Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

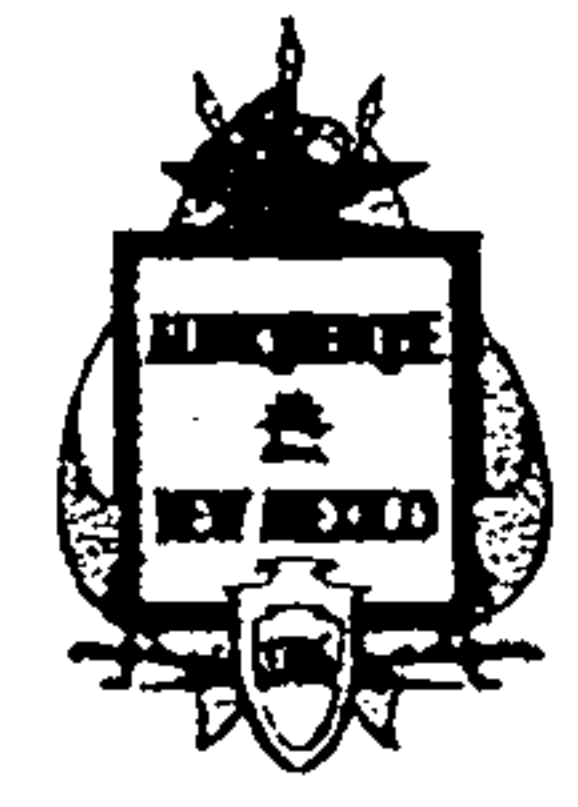
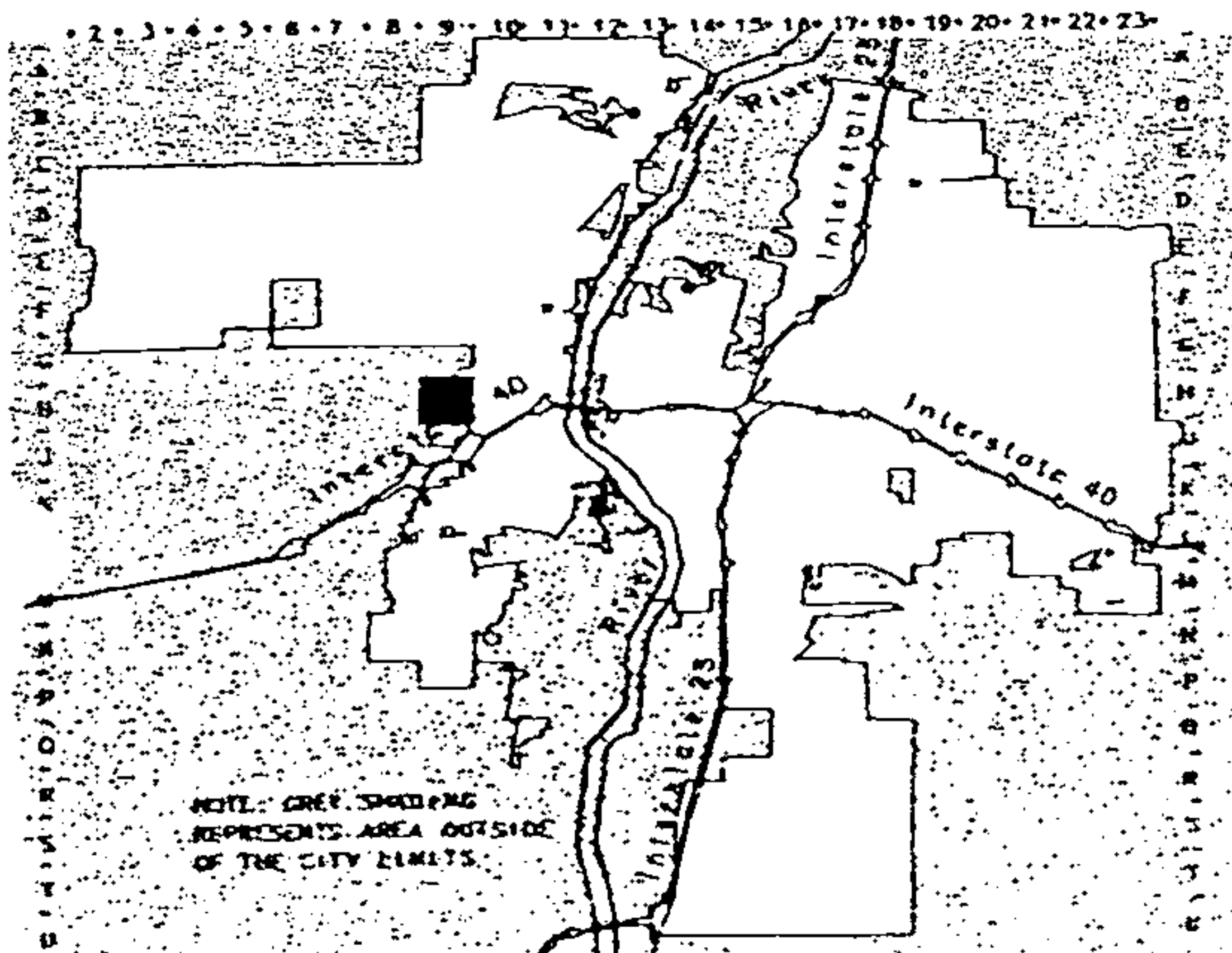
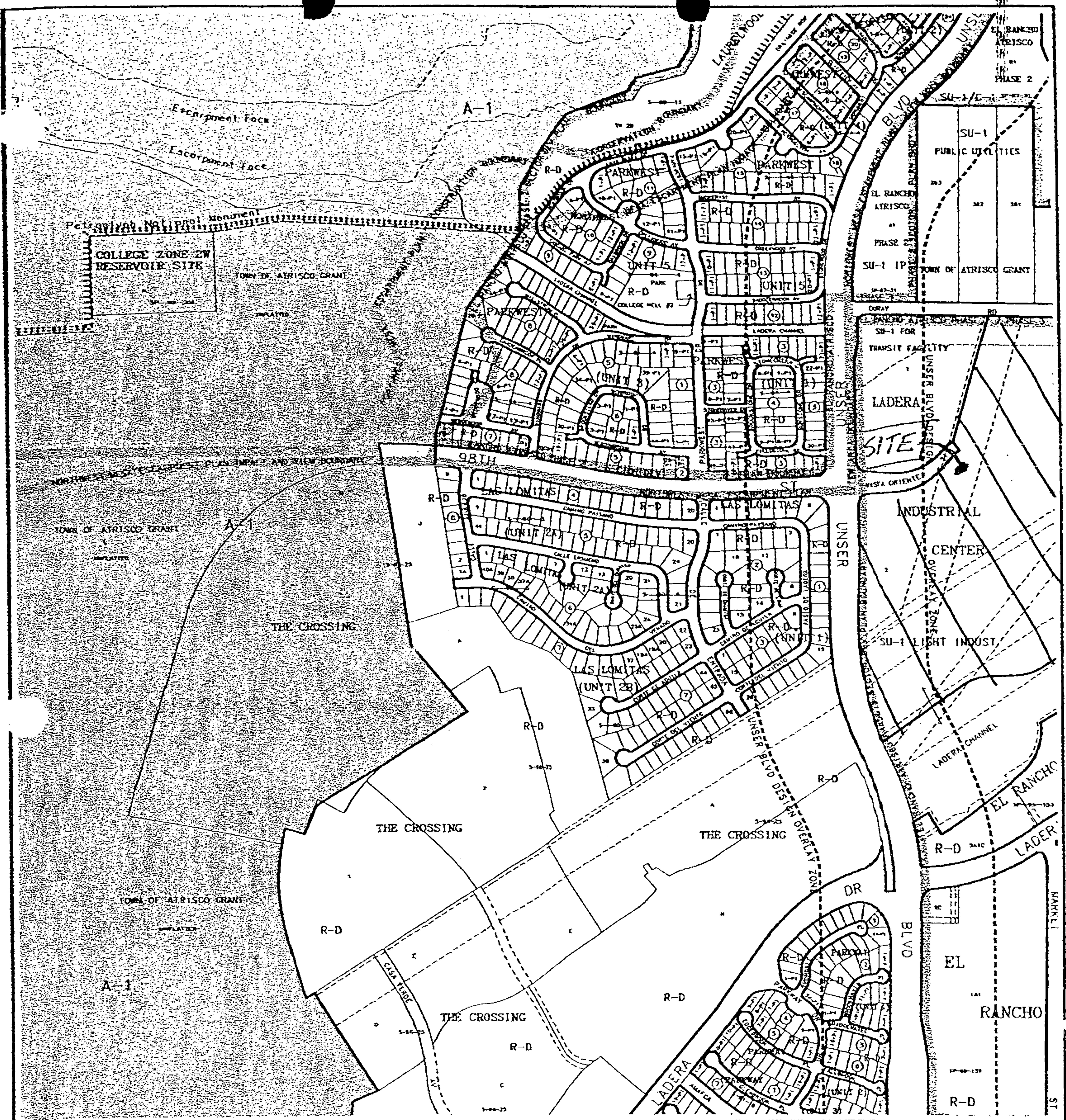
Application case numbers
 03DRB- _____ - 00899
 _____ - _____
 _____ - _____

Jan 6/3/03

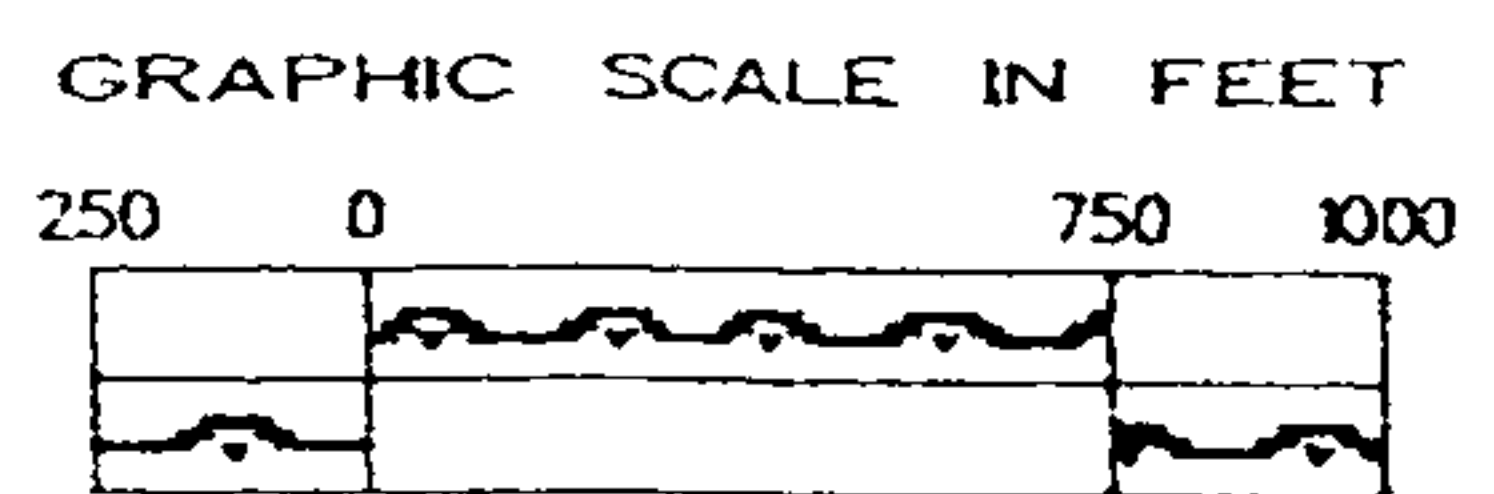
Planner signature / date

Project # 100 1523

See attached E-mail from Sheran



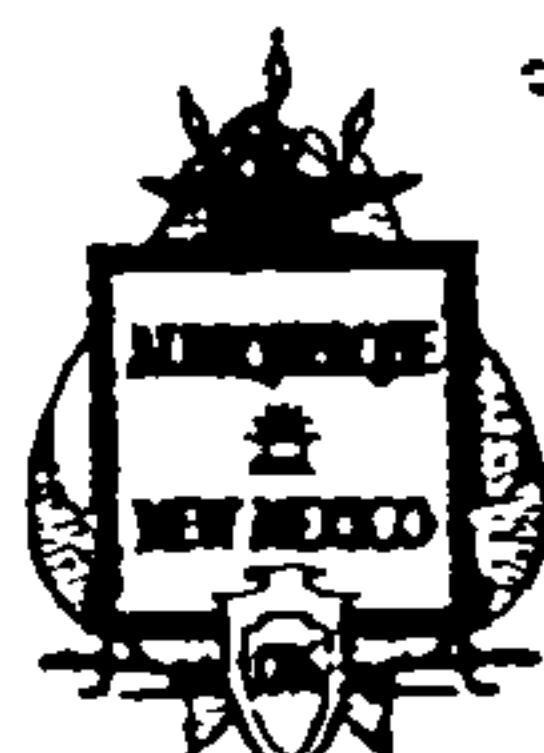
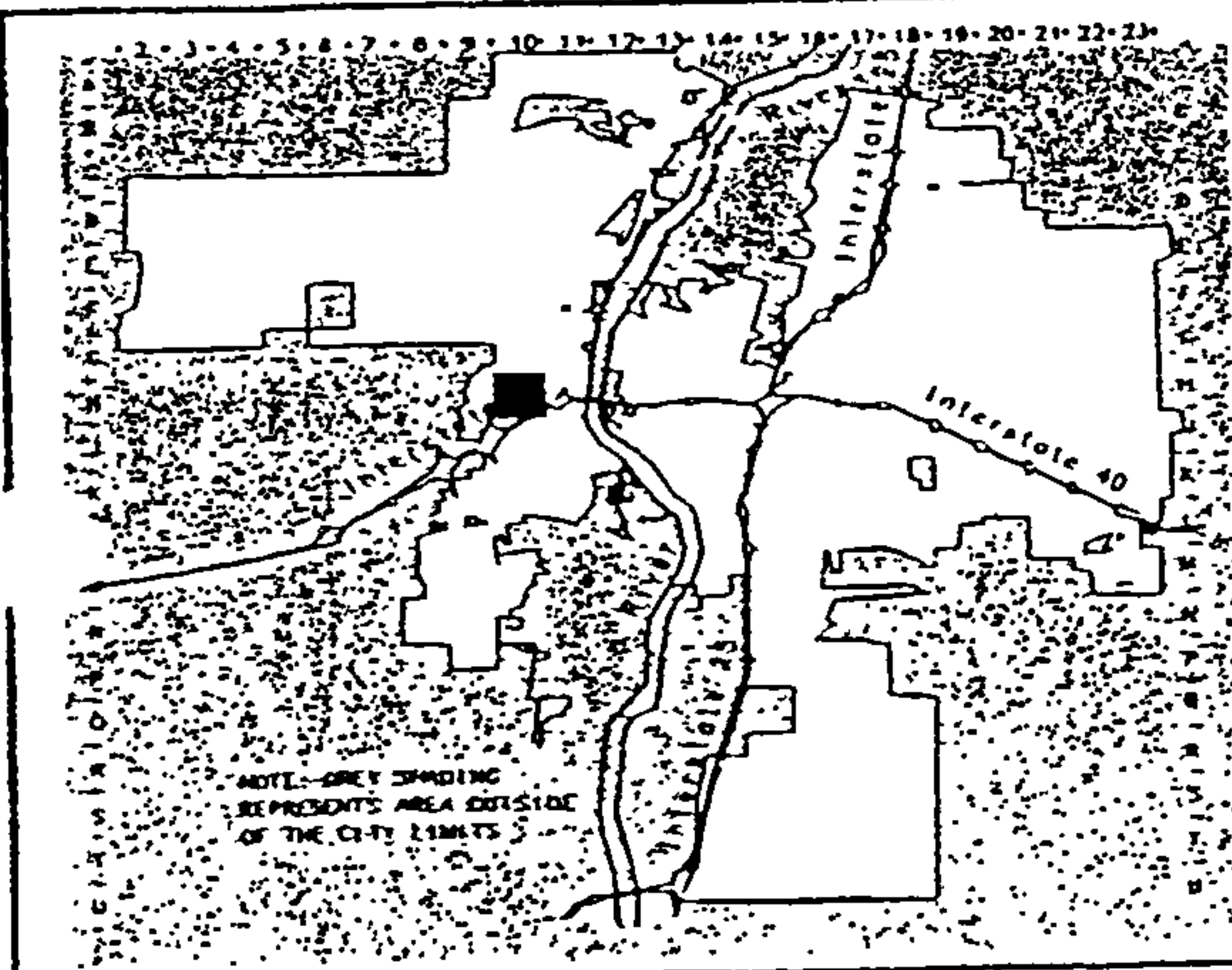
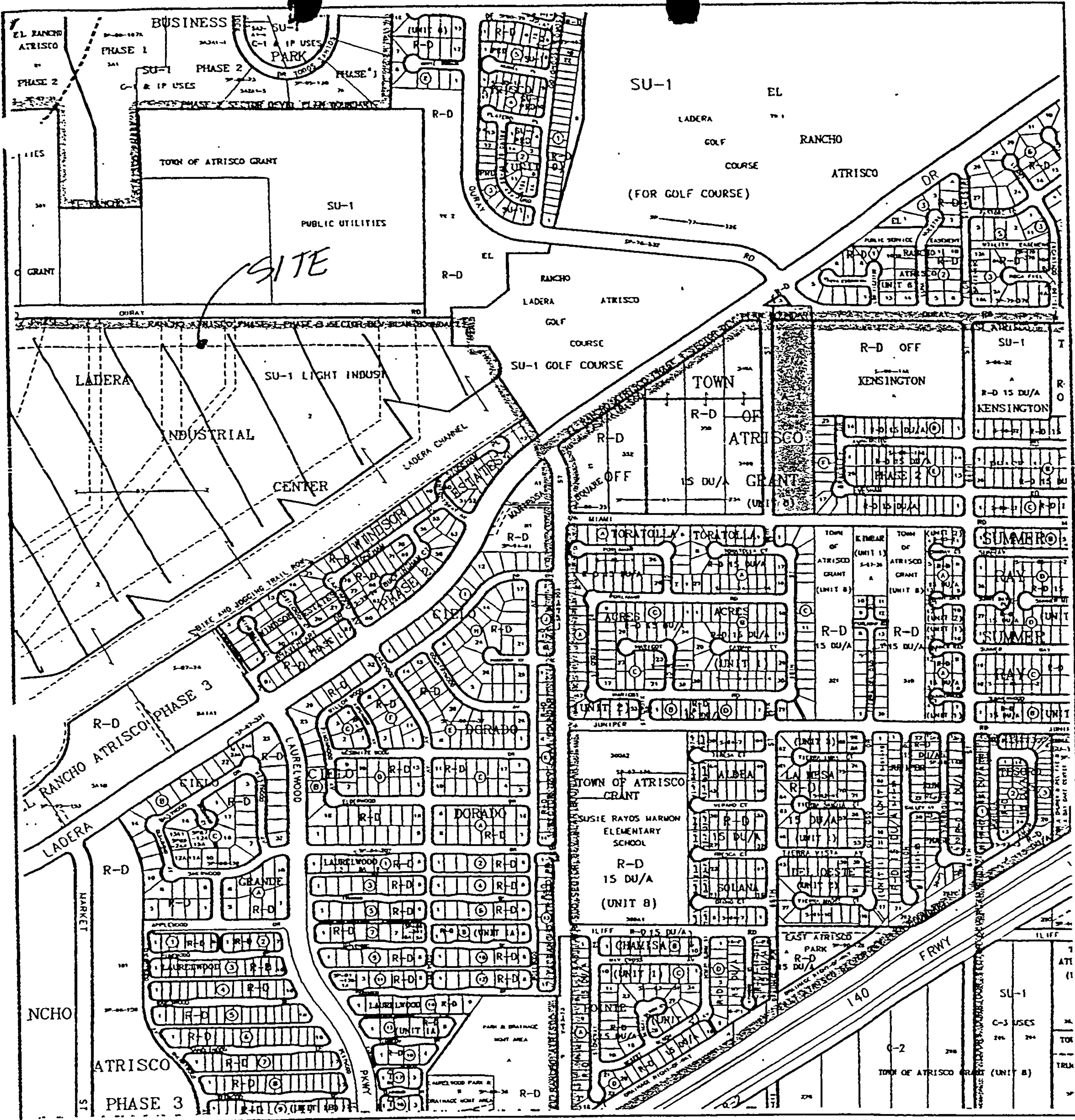
CITY OF
Albuquerque
A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2000



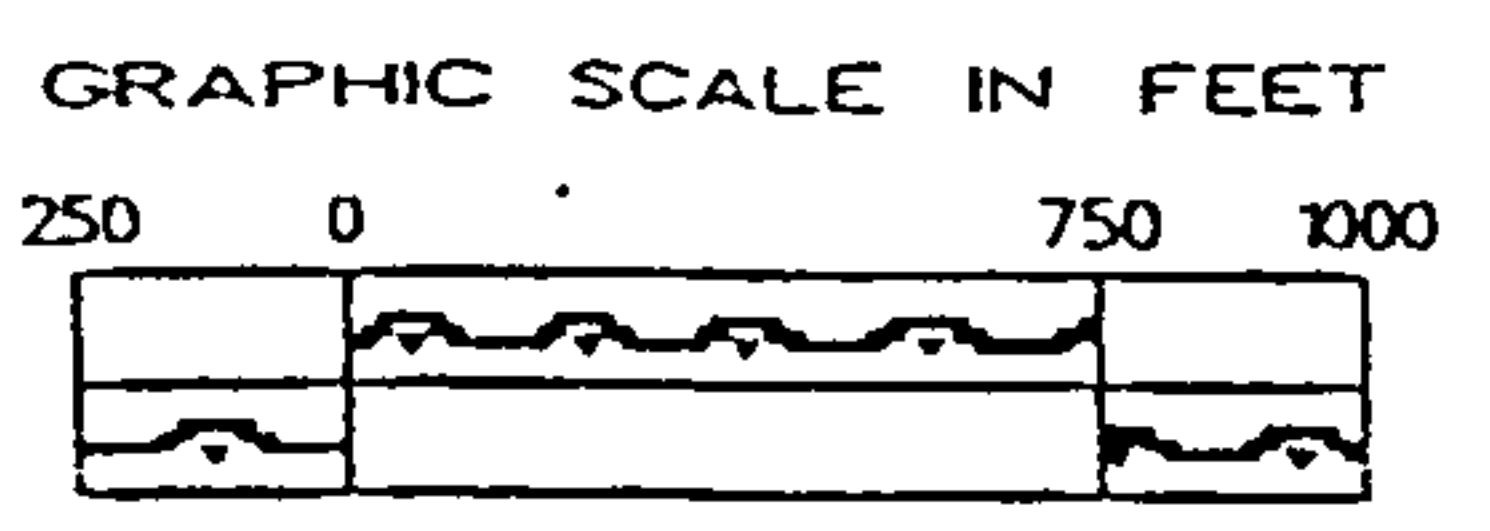
Zone Atlas Page

H-9-Z

Map Amended through July 28, 2000



CITY OF
Albuquerque
A G I S
PLANNING DEPARTMENT
© Copyright 2000



Zone Atlas Page

H-10-Z

Map Amended through December 08, 2000

ONE STOP SHOP *** FRONT COUNTER
PLANNING DEPARTMENT

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDL)
Plaza Del Sol - 2nd & 4th Floor West - 500 2nd St NW - 87102
Front Counter Main Number (505) 324-3853 or 324-3895
Main Fax (505) 324-3864

DUPLICATE
City Of Albuquerque
Treasury Division

06/03/2003 12:59PM LOC: ANN
RECEIPT# 00007543 WSH 007 TRANSH 0022
Account 441006 Fund 0110 TRSCCS
Activity 4983000 \$45.00
Trans Amt \$45.00
J24 Misc CK \$0.00
CHANGE

PAID RECEIPT

APPLICANT NAME Unser 98th St Partnership
AGENT MGA JM
ADDRESS _____
PROJECT NO. 100 1523
APPLICATION NO. _____

\$ 45.00 441006 4983000 (DRB Cases)
\$ 441006 4971000 (EFC & AA LUCC Appeals)
\$ 441018 4971000 (Notification)
\$ 45.00 Total amount due

D. MARK GOODWIN AND ASSOCIATES, P.A.

P.O. BOX 90606
ALBUQUERQUE, NM 87199-0606
(505) 828-2200

3946

PAY TO THE ORDER OF CITY OF ALBUQUERQUE

DATE 6-3-03

95-681/1070

Forty Five \$ 45.00

DOLLARS

 BANK OF AMERICA
Coronado Office
1-800-488-2265

FOR _____
⑈003946⑈ ⑆107006813⑆ 283007003⑈

john mackenzie

From: ~~kenneth@cabq.gov~~
Sent: Tuesday, June 03, 2003 7:27 AM
To: john mackenzie
Subject: FW: Ladera Business Park

-----Original Message-----

From: SMatson@cabq.gov [mailto:SMatson@cabq.gov]
Sent: Monday, June 02, 2003 4:30 PM
To: dm@swcp.com
Subject: Re: Ladera Business Park

It is an "amended" site plan excluding those Tracts. As far as fees go, it is an amended plan, not an original one. Please be sure to tell RJ or Joe that this amendment is administrative but goes to DRB NOT to Cynthia Borrego.

"John M.

MacKenzie"
<dm@swcp.com>

To: "Sheran Matson" <smatson@cabq.gov>
cc:
Subject: Ladera Business Park

06/02/03 03: 19 PM

Sheran,

Isn't so wonderful to be dealing with so many agents on one project!

Question: We are the author of the Site Development Plan for Subdivision. I understand that we are to submit a changed site plan that reflects the exclusion of the part that Bohannon and Spirock are working on. Exactly what type of submittal is this? An amended plan it is not, but a "changed" plan it is, correct. Despite that, I'm assuming that I use the P4 form (amendments). As far as fees go, is it an amendment, or an original plan? I'll include Ron Bohannon's letter of explanation unless you want me to create my own and provide more explanation.

John

-----Original Message-----

From: SMatson@cabq.gov [mailto:SMatson@cabq.gov]

Sent: Monday, June 02, 2003 7:35 AM

To: rrb@tierrawestllc.com

Cc: D. Mark Goodwin; Jeffrey Jesionowski; Cliff Spirock

Subject: Re: Ladera Industrial Center Bulk Land Plat & Site Development Plan



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

June 3, 2003

Sheran Matson, AICP
DRB Chair
City of Albuquerque Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:


On behalf of Unser/98th Street Partnership, I am submitting this application for a "changed" Site Development Plan for Subdivision. This submittal is not an "amended" plan because the plan last heard by DRB (conditionally approved on 06-26-02) has not been signed off by the City Engineer or Planning yet.

From the original plan, another applicant (AIM Management 03DRB-00755 Bulk Land Variance) has contracted to acquire Tracts 1, 2 and 26 thru 29. A zone change for this excluded area has been obtained by them and a Bulk Land Plat is now being routed separately in connection with that change. The purpose of this submittal is to reflect that change on the original Site Development Plan for Subdivision since we are its author. Upon filing, the new Bulk Land Plat by others will change the names of the property covering this plan to Lots 2-C, 2-D and 2-E of the Ladera Industrial Center. The "changed" Site Development Plan for Subdivision now reflects those underlying lots accordingly.

The previously approved preliminary plat and infrastructure list (also dated 06-26-02) from the original plan are no longer valid, so this letter formally requests their withdrawal. A revised preliminary plat and infrastructure list will be submitted in the near future to reflect the new project configuration and how it relates to the other party's changed residential project adjoining this site to the northwest.

Please contact me if I can be of further assistance.

Sincerely,
MARK GOODWIN & ASSOCIATES, P.A.


John M. MacKenzie, PE
Vice President

JMM/bm

enclosures

June 3, 2003

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Ladera Business Park (Project No. 1001523)

Dear Ms. Matson:

Please be aware that I concur with the proposed changes to the original application for this project that were outlined in John MacKenzie's letter to you, dated June 3, 2003.

Please contact me if you have any questions or comments.

Sincerely,

Unser-98TH Street Partnership, LLC


Robert Sparling
Managing Member

A City of Albuquerque

*Scanned from
web page
as*



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action *SK*

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

ZONING Supplemental form **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

Special Exception **E**

APPEAL / PROTEST of... Supplemental form **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Collatz Inc. PHONE: (505) 898-6338

ADDRESS: PO Box 2010 FAX: (505) 898-6316

CITY: Corrales STATE NM ZIP 87048 E-MAIL: _____

Proprietary interest in site: Contract Purchaser from AIM Mgmt. Corp. and Unser/98th Partnership LLC

AGENT (if any): Community Sciences Corporation PHONE: (505) 897-0000

ADDRESS: PO Box 1328 FAX: (505) 898-5195

CITY: Corrales STATE NM ZIP 87048 E-MAIL: sciencenm@aol.com

DESCRIPTION OF REQUEST: 1) Sketch Plat Review, 2) Major Sub. for 3 lots created by pending Bulk Land Plat and Vacation * (Case _____). To create a 137 Lot R-T sub. in 2 phases.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. * (proposed) Lots 1A, 2A and 2B Block: N/A Unit: N/A

Subdiv. / Addn. Bulk Land Plat of Lots 1A, 1B, 2A thru 2E, Ladera Industrial Center

Current Zoning: SU-1 (Transit) and SU-1 Lt. Ind. Proposed zoning: R-T (pending City Council on EPC cases)

Zone Atlas page(s): H-9-Z No. of existing lots: 3 No. of proposed lots: 137

Total area of site (acres): 28.95 Density if applicable: dwellings per gross acre: 4.7 dwellings per net acre: 5.2

Within city limits? Yes; No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 1-009-059-456-344-1-02-01 portion of MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Unser Blvd. NW

Between: Vista Oriente St. NW and (vacated) Ouray Rd. NW (Ladera Channel)

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
Bulk Plat application 03 DRB - 00755/56/57; EPC 229, EPC 152/153, DRB 1002404, DRB 1001523

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE *Cliff A. Spirock* DATE 5/07/03
(Print) CLIFF A. SPIROCK, AICP Applicant Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03 DRB - 00810</u>	<u>SK</u>	<u>53</u>	<u>\$ 0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date: <u>MAY 28 2003</u>			Total \$ <u>0</u>

qjm 5/20/03
Planner signature / date

Project # 1001523

Form revised December 2002
9/01/03

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the Official D.R.B. Notice of approval
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
 Extension of preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CLIFF SPIROCK
 Applicant name (print)

[Signature] 5/19/03
 Applicant signature / date

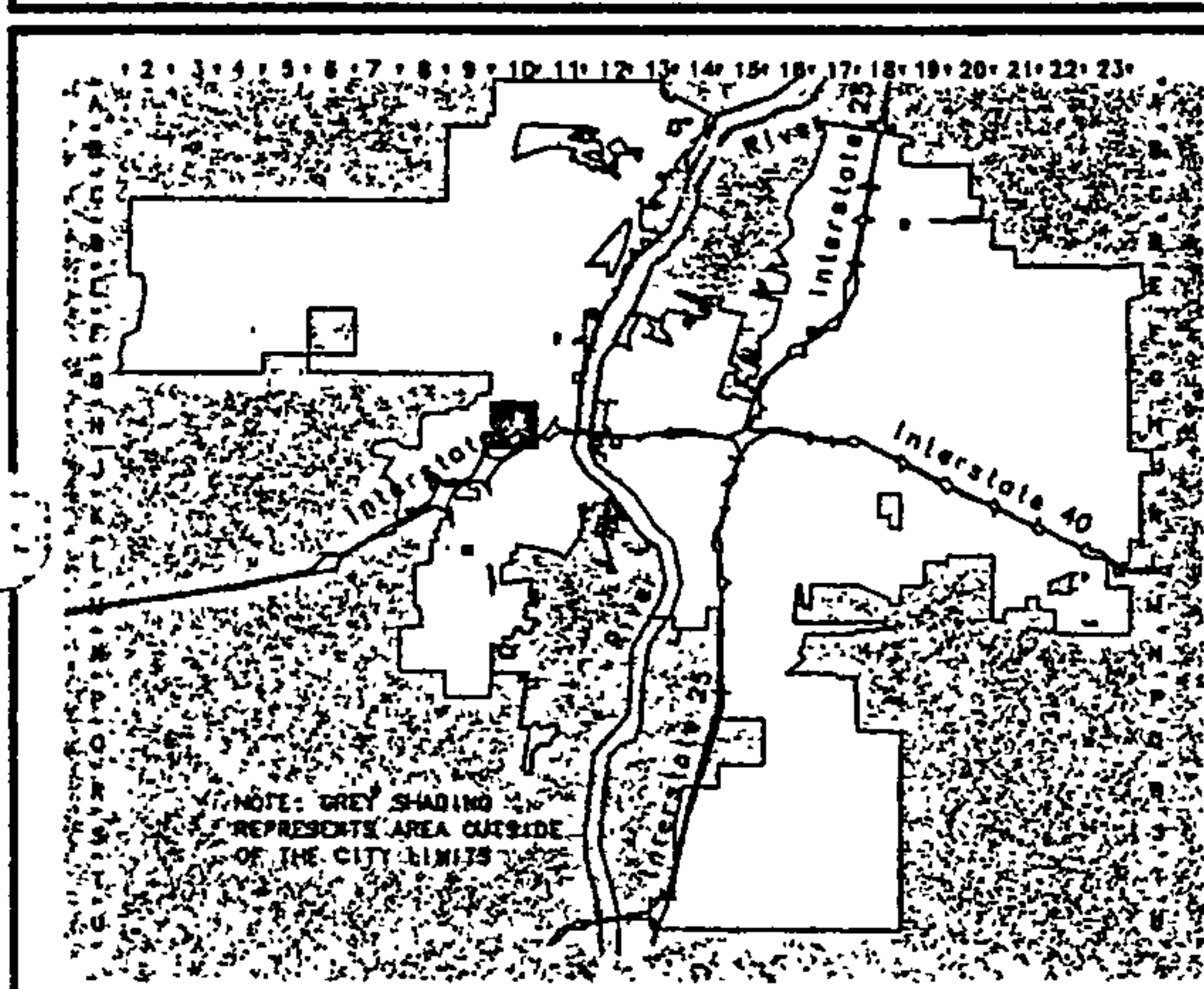
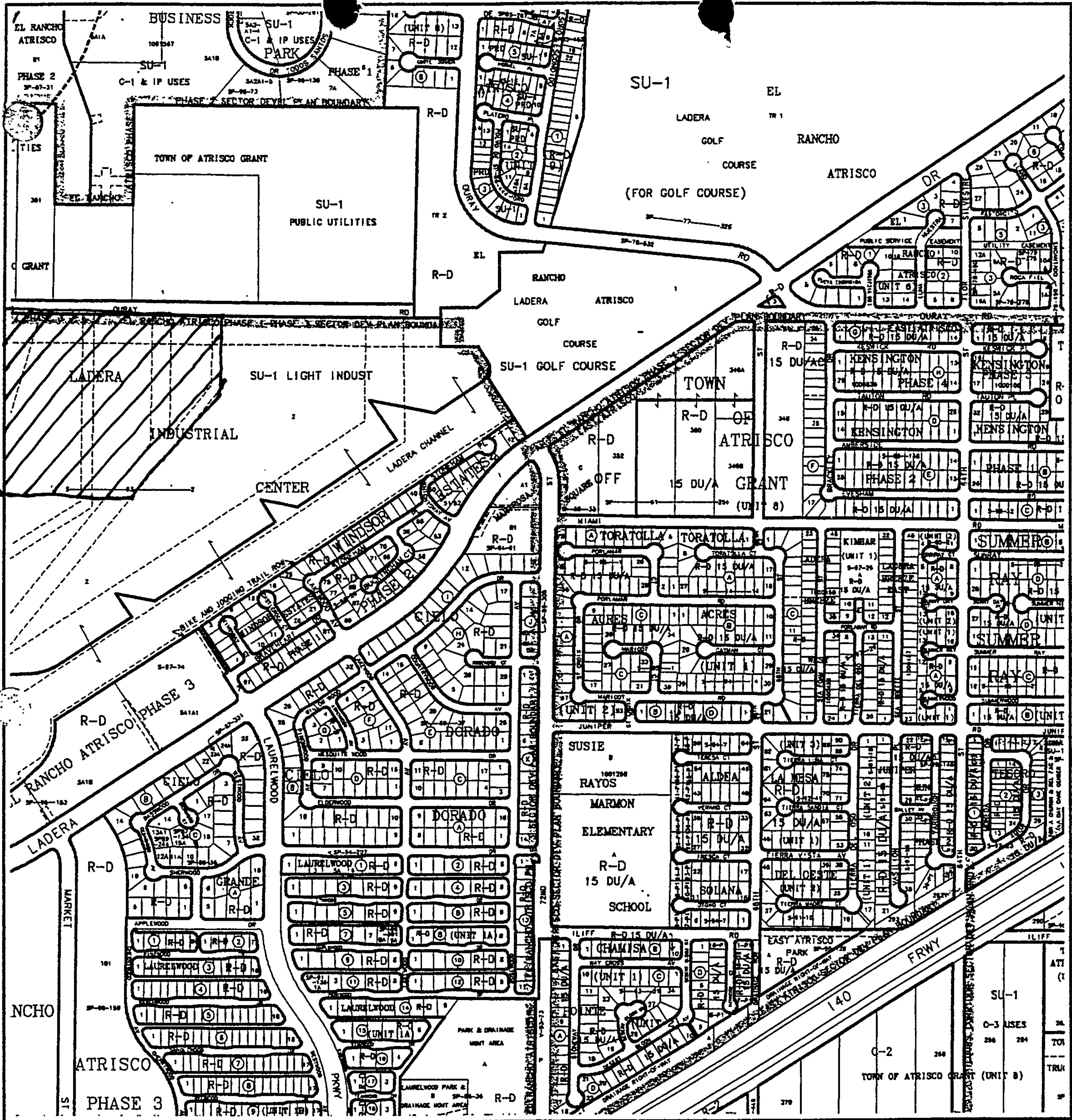
Form revised September 2004
 2003



[Signature] 5/20/03
 Planner signature / date

Project # 1001523

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03 DRB - - 00810



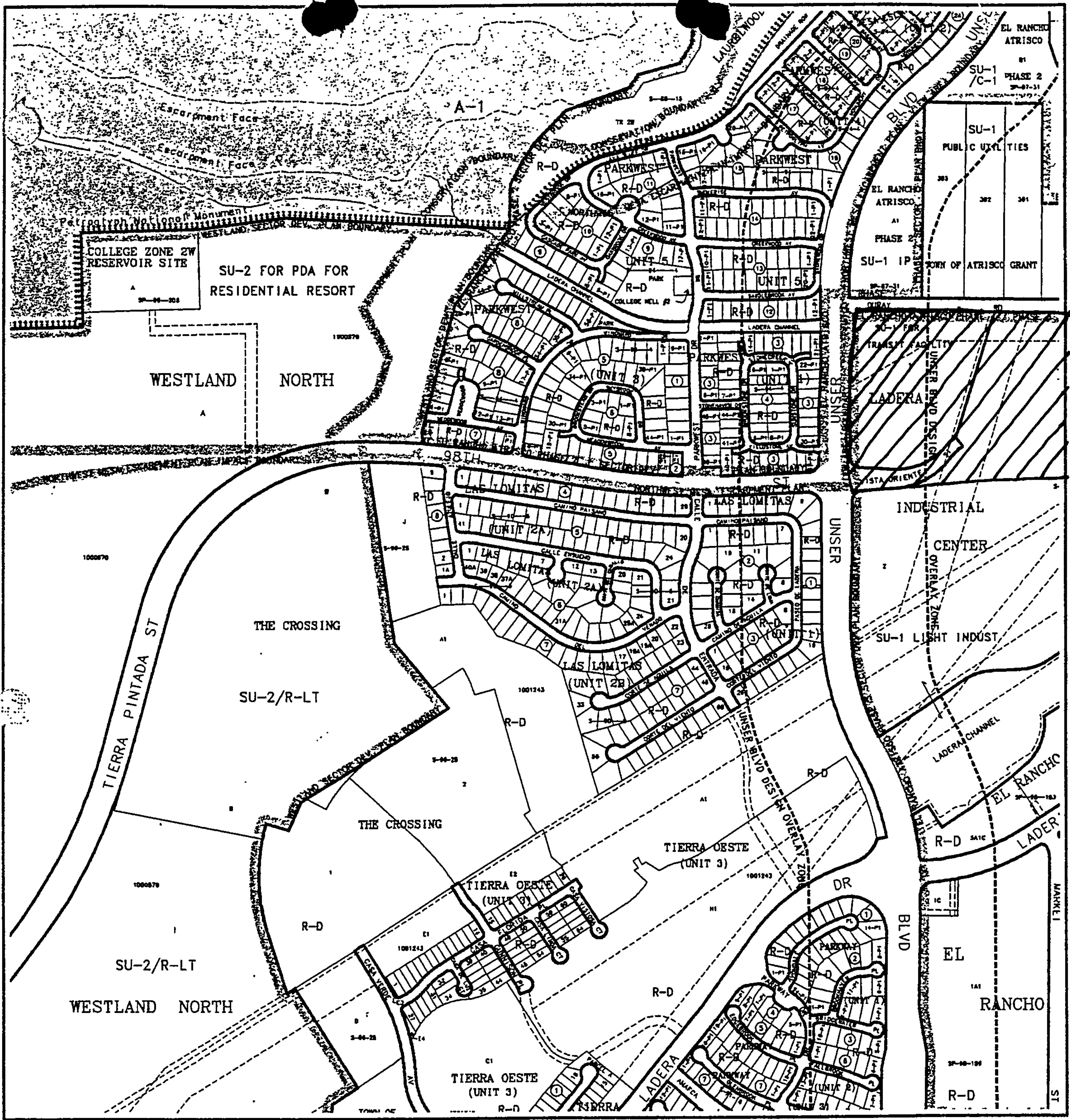
CITY OF Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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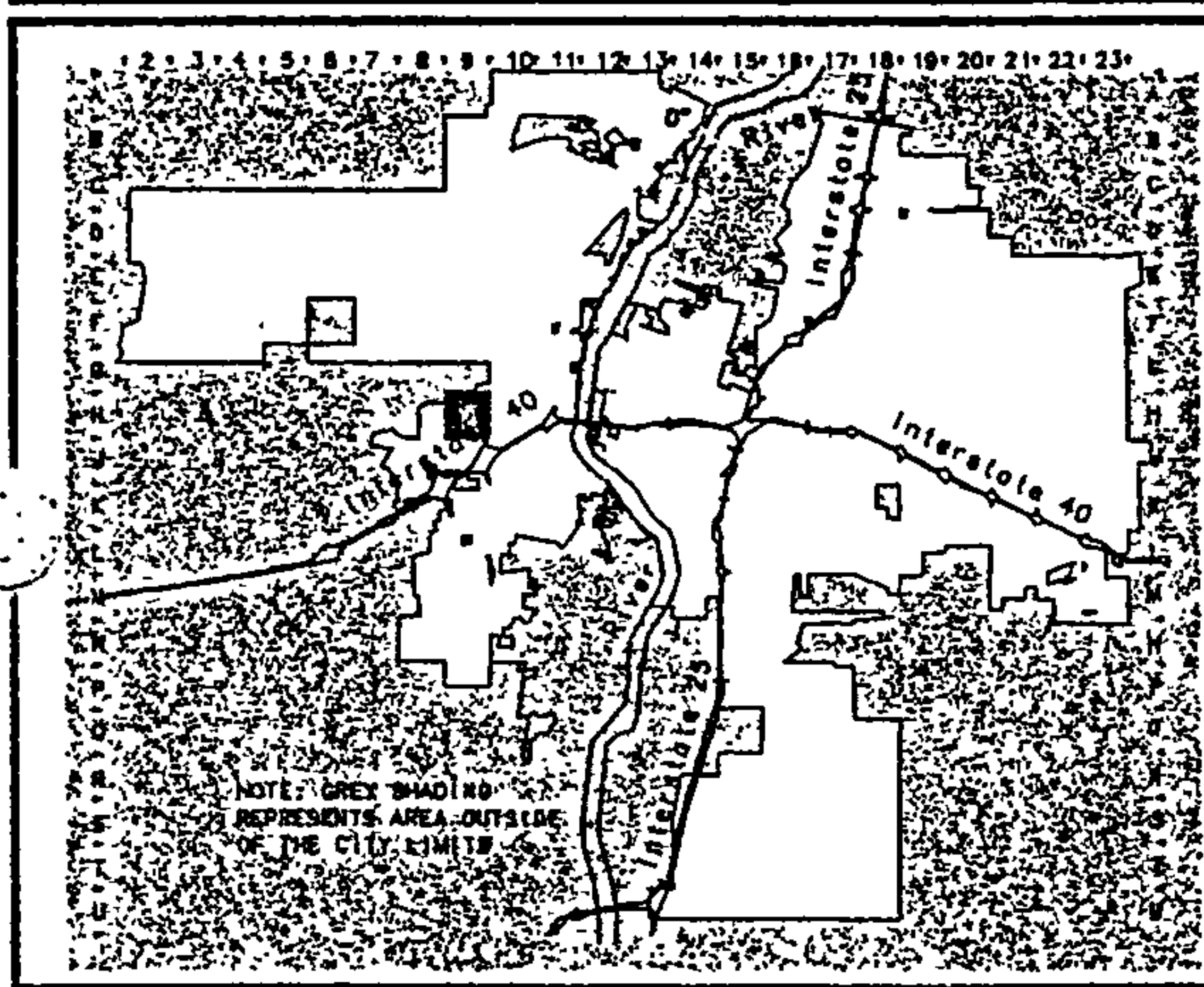
Zone Atlas Page

H-10-Z

Map Amended through April 03, 2002

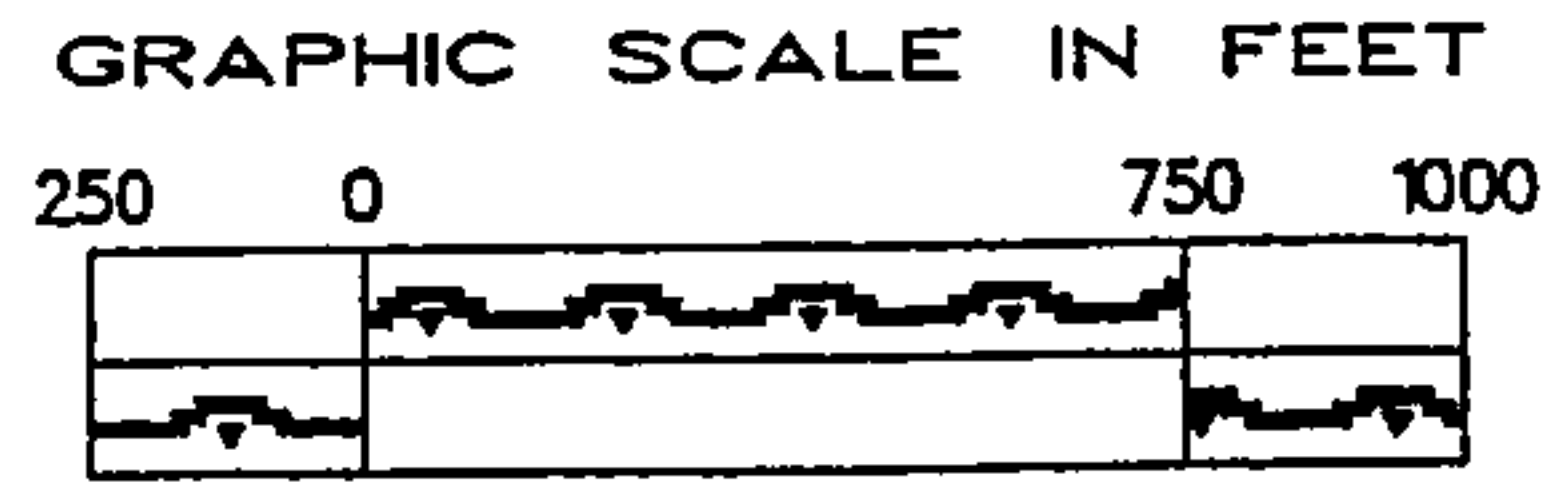


SITE



CITY OF Albuquerque
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2002



Zone Atlas Page

H-9-Z

Map Amended through April 03, 2002

220090

Incomi

~~03/23~~

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001523 *
03EPC-00152 Zone Map Amendment
03EPC-00153 EPC Sector Development Plan
Amendment

Tiffany Homes
P.O. Box 2010
Corrales, NM 87048

LEGAL DESCRIPTION: for portion of Lot 2, Ladera Industrial Center, a zone map amendment from SU-1 Light Industrial to R-T, located on UNSER BLVD. NW, between OLD OURAY ROAD NW and LADERA DRIVE NW, containing approximately 22 acres. (H-10) Simon Shima, Staff Planner

On March 20, 2003 the Environmental Planning Commission voted to recommend approval to the City Council of Project 1001523/ 03EPC 00153, an amendment to the El Rancho Atrisco Phase III Sector Development Plan, for a Portion of Lot 2, Ladera Industrial Park based on the following Findings:

FINDINGS:

1. This is a request for an amendment to the El Rancho Atrisco Phase III Sector Development Plan for approximately 21.5 acres of lands located east of Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter called the "subject site".
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan. The request is consistent with the Comprehensive Plan Developing Urban Area goal and applicable policies d, e, and k.
3. The West Side Strategic Plan (the "WSSP") objectives most applicable to the request are relating to employment and the community concept. Concerning employment, the WSSP has identified the Atrisco Business Park as one of the three major employment centers on the West Side, and a potential business park area located west of Unser Boulevard and north of I-40. Therefore, future residents on the subject site would have access to the Atrisco Business Park, the designated Regional Employment Center, and a potential business park area within two miles, respectively.

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4. The subject site is located in the Ladera Community. In line with the community concept for the West Side, the WSSP has established a community activity center area and three (3) neighborhood center areas within the Ladera Community. The subject site is not in any of these center areas as identified.
5. The Environmental Planning Commission approved a Master Development Plan creating 26 small business/ industrial lots, including the subject site, for the Ladera Industrial Park on November 15, 2001. Nonetheless, no final plat has been filed for the Ladera Industrial Park.
6. The WSSP provides a strategy for prioritizing development locations for the West Side through the Phasing Plan designating the Ladera Community as the first priority location for development. Nonetheless, the subject site and adjacent lands designated for light industrial development are practically an island of vacant lands surrounded by residential development. There has been no demonstrated market demand for industrial development on the subject site since annexed to the City in early 1980's. The request, precursor to potential residential development, would be consistent with the Phasing Plan of the WSSP.
7. The WSSP Policy 2.5 provides that when considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes. The request would affect Susie Rayos Marman Elementary School, Jimmy Carter Middle School, and West Mesa High School. All those schools are currently enrolled beyond their designed space capacities. As public schools become overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed by the Albuquerque Public Schools to relieve schools with large numbers of students. This matter should be considered by the Development Review Board for subdivision approval.
8. The request is consistent with certain applicable objectives and policies of the WSSP. With respect to Policy 2.5, concerning public schools capacity to support the increased number of homes, the benefits to the City for allowing residential development of this site outweigh any potential negative impacts upon our school system.
9. The PNM Switching Plant is located north of the subject site. In addition, three (3) 115 KV electric transmission lines run over the subject site. In response to public concern as to whether the electric and magnetic fields (EMFs) produced through the generation, transmission, and use of electric power might adversely affect human health, numerous research studies and scientific reviews have been conducted to examine the possible health effects of EMFs. Such studies nonetheless have failed to provide straightforward answers.

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10. In 1996 the City and the County adopted the Facility Plan: Electric Service Transmission and Subtransmission Facilities (1995 – 2005). The Plan addresses primarily the future location of transmission lines. The Plan does address EMFs, but offers no specific recommendations. The Plan provides a general guideline for right-of-way corridor widths for transmission lines. It is 50 feet for 115 KV as a general rule. The existing PNM easement width for the transmission line complies with the Facility Plan standard.
11. The applicant engaged a PNM Principal Engineer to conduct spot measurements of 60-cycle magnetic fields and to plot them on the site drawing. Planning staff is not capable of evaluating the results. Based on currently available information, however, it appears that residential use of land in the vicinity of electric transmission lines is feasible without jeopardizing public health, particularly, in view of the existing PNM easement width for the transmission line in compliance with the Facility Plan standard. This matter should be considered by the Development Review Board for subdivision approval.
12. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard. The Sector Development Plan zones SU-1 for Light Industrial for the approximately 115-acres of lands including the subject site due to the presence of several high voltage power line easements.
13. Regarding the Plan area south of the Mirehaven or Ladera Diversion Channel, the Sector Development Plan zones Multi-Family Residential for a narrow strip of lands north of Ladera Drive, and RT for a majority of lands south of Ladera Drive. The remaining Plan area south of Ladera Drive is zoned for C-1, C-2 and Open Space.
14. Despite the fact that the El Rancho Atrisco Phase III Sector Development Plan initially zoned the subject site for SU-1 for Light Industrial in consideration of power line easements, R-T zoning was established for residential development elsewhere in the Plan area.
15. Since annexed to the City in early 1980's, the subject site has remained vacant while the surrounding areas have been developed residentially. The land use change from SU-1 for Light Industrial to R-T, precursor to residential development on the site, would be more advantageous to the community consistent with certain adopted City plan objectives and policies.
16. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations. Both Associations support the request.
17. The amendment to the El Rancho Atrisco Phase III Sector Development Plan requires City Council approval

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On March 20, 2003 the Environmental Planning Commission voted recommend approval to the City Council of Project 1001523/03EPC 00152, a zone map amendment from SU-1 for Light Industrial to R-T, for a Portion of Lot 2, Ladera Industrial Park based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from SU-1 for Light Industrial to R-T for approximately 21.5 acres of lands located east of Unser Boulevard NW between Old Ouray Road NW and Vista Oriente Street NW, hereinafter called the "subject site".
2. The subject site is located in the area designated Developing Urban by the Comprehensive Plan. The request is consistent with the Comprehensive Plan Developing Urban Area goal and applicable policies d, e, and k.
3. The West Side Strategic Plan (the "WSSP") objectives most applicable to the request are relating to employment and the community concept. Concerning employment, the WSSP has identified the Atrisco Business Park as one of the three major employment centers on the West Side, and a potential business park area located west of Unser Boulevard and north of I-40. Therefore, future residents on the subject site would have access to the Atrisco Business Park, the designated Regional Employment Center, and a potential business park area within two miles, respectively.
4. The subject site is located in the Ladera Community. In line with the community concept for the West Side, the WSSP has established a community activity center area and three (3) neighborhood center areas within the Ladera Community. The subject site is not in any of these center areas as identified.
5. The Environmental Planning Commission approved a Master Development Plan creating 26 small business/ industrial lots, including the subject site, for the Ladera Industrial Park on November 15, 2001. Nonetheless, no final plat has been filed for the Ladera Industrial Park.
6. The WSSP provides a strategy for prioritizing development locations for the West Side through the Phasing Plan designating the Ladera Community as the first priority location for development. Nonetheless, the subject site and its adjacent sites designated for light industrial development are practically an island of vacant lands surrounded by residential development. There has been no demonstrated market demand for industrial development on the subject site since annexed to the City in early 1980's. The request, precursor to potential residential development, is consistent with the Phasing Plan of the WSSP.

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7. The WSSP Policy 2.5 provides that when considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes. The request would affect Susie Rayos Marman Elementary School, Jimmy Carter Middle School, and West Mesa High School. All those schools are currently enrolled beyond their designed space capacities. As public schools become overcrowded, boundary changes, alternative schedules, transportation to less crowded schools, and/or combinations of the above strategies may be employed by the Albuquerque Public Schools to relieve schools with large numbers of students. This matter should be considered by the Development Review Board for subdivision approval.
8. The request is consistent with certain applicable objectives and policies of the WSSP. With respect to Policy 2.5, concerning public schools capacity to support the increased number of homes, the benefits to the City for allowing residential development of this site outweigh any potential negative impacts upon our school system.
9. The PNM Switching Plant is located north of the subject site. In addition, three (3) 115 KV electric transmission lines run over the subject site. In response to public concern as to whether the electric and magnetic fields (EMFs) produced through the generation, transmission, and use of electric power might adversely affect human health, numerous research studies and scientific reviews have been conducted to examine the possible health effects of EMFs. Such studies nonetheless have failed to provide straightforward answers.
10. In 1996 the City and the County adopted the Facility Plan: Electric Service Transmission and Subtransmission Facilities (1995 - 2005). The Plan addresses primarily the future location of transmission lines. The Plan does address EMFs, but offers no specific recommendations. The Plan provides a general guideline for right-of-way corridor widths for transmission lines. It is 50 feet for 115 KV as a general rule. The existing PNM easement width for the transmission line complies with the Facility Plan standard.
11. The applicant engaged a PNM Principal Engineer to conduct spot measurements of 60-cycle magnetic fields and to plot them on the site drawing. Planning staff is not capable of evaluating the results. Based on currently available information, however, it appears that residential use of land in the vicinity of electric transmission lines is feasible without jeopardizing public health, particularly, in view of the existing PNM easement width for the transmission line in compliance with the Facility Plan standard. This matter should be considered by the Development Review Board for subdivision approval.
12. In 1981, the City Council adopted the El Rancho Atrisco Phase III Sector Development Plan (SD-81-1) for approximately 348 acres of lands located north of I-40 and east of Unser Boulevard. The Sector Development Plan zones SU-1 for Light Industrial for the approximately 115-acres of lands, including the subject site, due to the presence of several high voltage power line easements.

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13. Regarding the Plan area south of the Mirehaven or Ladera Diversion Channel, the Sector Development Plan zones Multi-Family Residential for a narrow strip of lands north of Ladera Drive, and RT for a majority of lands south of Ladera Drive. The remaining Plan area south of Ladera Drive is zoned for C-1, C-2 and Open Space.
14. Despite the fact that the El Rancho Atrisco Phase III Sector Development Plan initially zoned the subject site for SU-1 for Light Industrial use in consideration of power line easements, R-T zoning was established for residential development elsewhere in the Plan area.
15. Since annexed to the City in early 1980's, the subject site has remained vacant while the surrounding areas have been developed residentially. The zone map change from SU-1 for Light Industrial to R-T, precursor to residential development on the site, would be more advantageous to the community consistent with certain adopted City plan objectives and policies, thereby meeting one of the requirements under R-270-1980 for a zone map application pursuant to the Zoning Code.
16. The R-T Zone for the subject site is generally compatible with the surrounding area zoning except for the lands immediately to the south.
17. A facilitated meeting was held on January 29, 2003 with the Ladera West and Las Lomas Neighborhood Associations. Both Associations support the request.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 4, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/SS/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Dan Serrano, Ladera West NA, 3305 Rhonda de La Chusas NW, Albuquerque, NM 87120
Barry King, Ladera West NA, 3808 Todos Santos NW, Albuquerque, NM 87120
Darlene Motley, 8139 Corte de Aguila NW, Albuquerque, NM 87120

May 19, 2003

City of Albuquerque
Attn: Development Review Board

Subject: Sketch Plat, Rinconada Crossing Lots 1-A, 2-A and 2-B, Bulk Land Plat, Ladera Industrial Center (pending). [INFO ONLY]

Dear Ladies and Gentlemen of the DRB:

This sketch plat is submitted for review and comment, conforming to Environmental Planning Commission (EPC) recommendations to the City Council for amendments to the El Rancho Atrisco III Sector Development Plan and Zoning. For that case, the properties within this proposed plat conform to the City of Albuquerque RT Zone District.

A portion of the proposed plat is within the Unser Blvd. Design Overlay Zone. That overlay zone is for off-premises and commercial signage and no additional design elements are required at the time of platting (Russell Brito, April, 2003).

The plat envisions 137 residential lots with a standard (minimum) footprint of 45' x 105'. Accordingly, all open space requirements (minimum 2400 sq. ft., on lot) are anticipated to be met on-lot.

All proposed lots are to be served by public streets. We are requesting intermittent parking standards on all streets other than Vista Oriente. This street is an approved access location with dedication accomplished by the bulk land plat. One street, connecting the residential property to the industrial center, is requested for infrequent parking standards. >

At the EPC Case for Sector Plan Amendment and Zoning, there was considerable discussion regarding the proximity to high-voltage power lines. Please be advised that EMF radiation counts were conducted by the Public Service Company of New Mexico (PNM) and we have that data on file. While not indicated by any requirement, it was determined to be "prudent" to set the lots back from the power lines that have indications of 20-70 milligauss. Accordingly, the rear property lines in proximity to these fields have been increased beyond the existing PNM easements for transmission facilities.

Certain tracts are designated for common areas to be owned and maintained by a Homeowners' Association or Funded Community Trust. Common areas tracts adjacent to Unser Blvd. and the project entry are primarily decorative. Common area properties underneath the low-EMF transmission facilities are envisioned to have a pedestrian trail connecting to properties to the north, lots now encumbered by the AMAFCA easement for the Ladera Drainage Channel.

A landscaping easement has been created next to Vista Oriente Street burdening the adjacent properties and acceptable to them. The purpose of this easement is to control the appearance (buffer) to industrial properties and to limit driveways and accessibility from Vista Oriente

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LAND DEVELOPMENT IMPLEMENTATION

Street to secondary access. The preliminary and final plat for the subdivision will request a variance to allow a serpentine asphalted trail, minimum 8' width, to replace conventional sidewalks on Vista Oriente Street east of the project entrance. Short, interior stub streets and hammerhead cul-de-sac will be requested for a variance eliminating sidewalks.

The complimentary bulk land plat, if approved as submitted, creates lots 1-B and 2-B for future City open space acquisition. This is subject to independent action by the City's Open Space Advisory Board.

The City of Albuquerque Water/Waste Water Ordinance applies. Accordingly, all landscaping and plant materials within the common areas and the required street trees along Unser Blvd. will be in a xeric environment with drip irrigation. The irrigation system will be owned and maintained by the HOA or funded community trusts.

A preliminary grading and drainage plan indicates approximately three retaining walls to be interspersed within the development to take up approximately 7' of east-west slope.

A preliminary drainage plan and early discussions with the City hydrologist will utilize a storm drain conduit system installed as part of the adjacent Ladera Industrial Center, Phase 1 properties.

For preliminary and final plat, a Water and Sewer Availability Statement will be requested of the City. One has been issued for the Phase 2 Ladera Industrial Center (a portion of this subdivision) and we believe that service demands for the residential project will be less than what has been approved for that project.

We look forward the review and comment session with DRB. Thank you very much.

Respectfully submitted,



Cliff F. Spirock
Agent for Collatz, Inc.

CC:
Sparling Construction
AMI Management