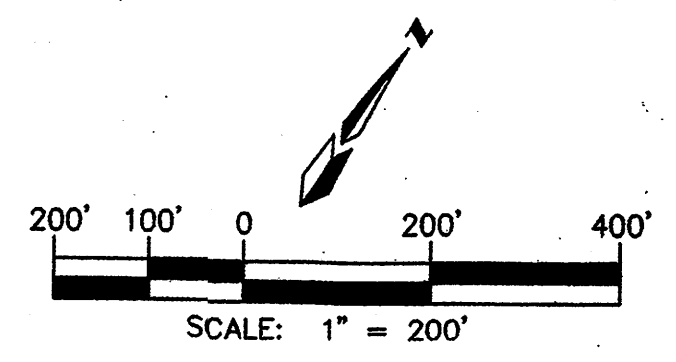
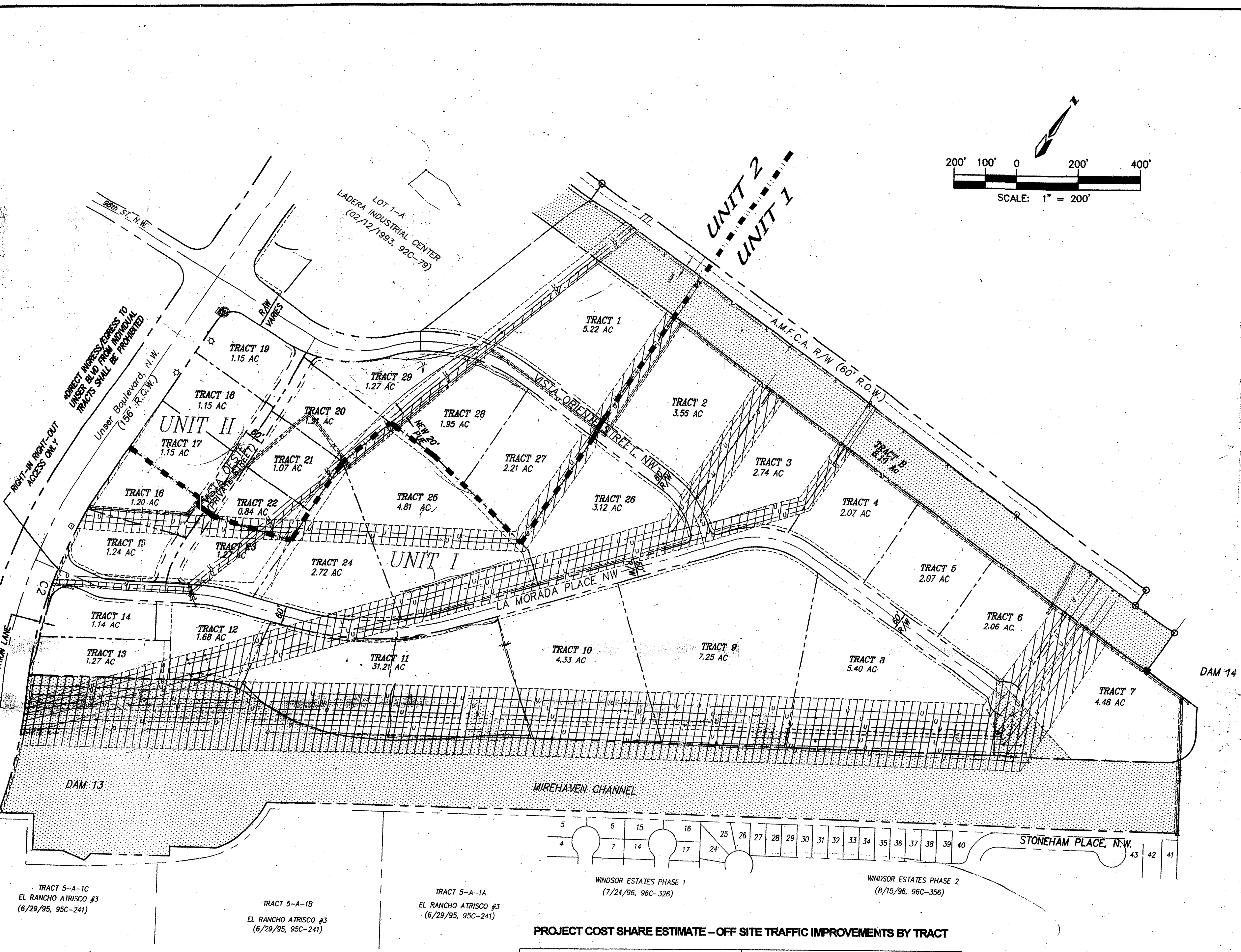


VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER
 UNSER-98th ST. PARTNERSHIP, LLC
 P.O. BOX 90548
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 821-1034

PLANNERS
 CONSENSUS PLANNING
 924 PARK AVE. S.W.
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 764-9801

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200



SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS:
 PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS:
 VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS:
 A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT:
 AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN:
 THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001523
 Application No. 02-01458

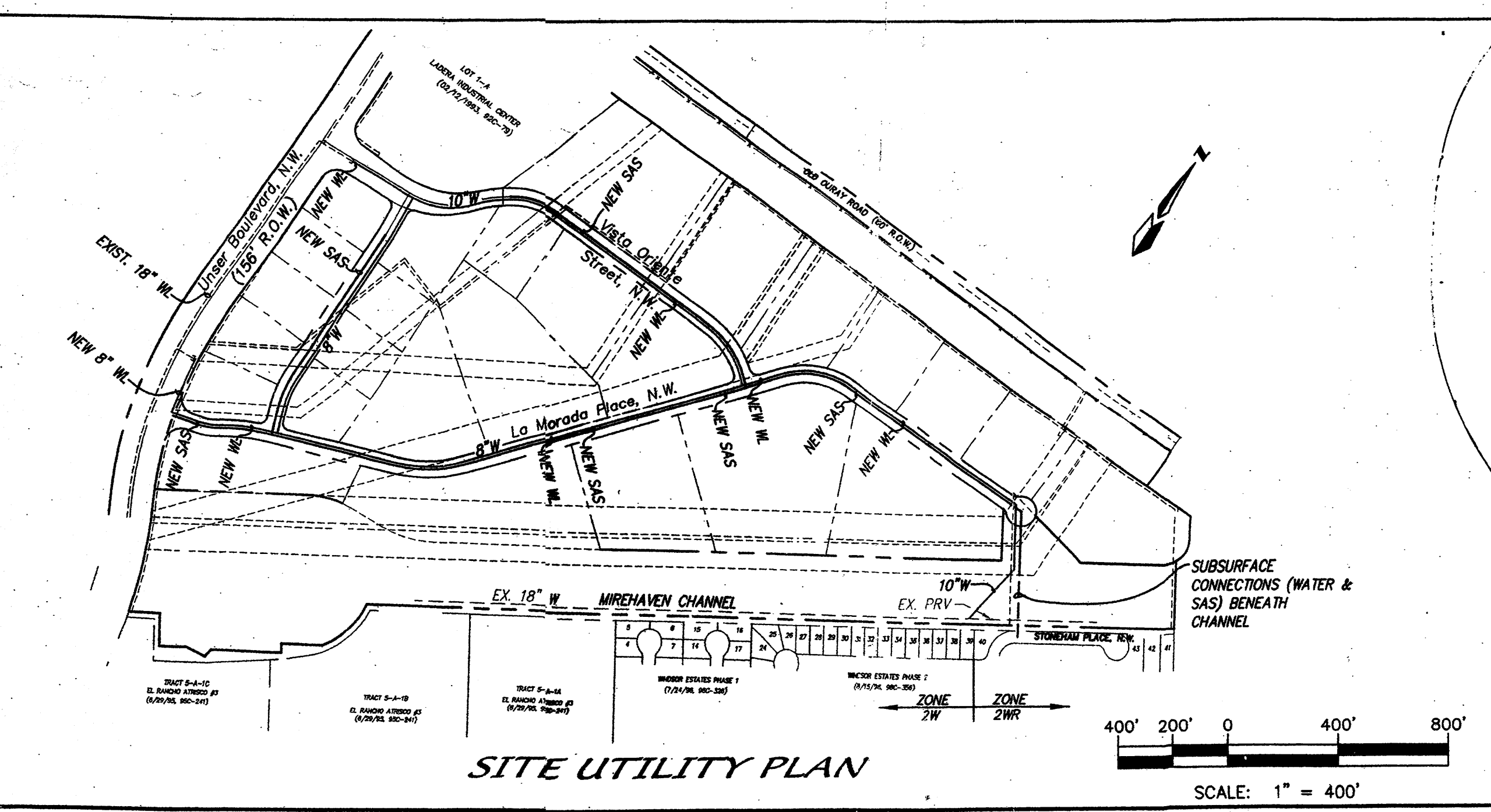
Shawn Watson 1/16/04
 Planning Department / DRB Chair

Bruce A. Bigham 10/8/03
 City Engineer

Bill As... 10/6/03
 Transportation Development

Roger Sheen 10/8/03
 Utility Development

Christine Sandoval 10/8/03
 Parks and Recreation



SITE UTILITY PLAN
 SCALE: 1" = 400'

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.04	17	1.15	1.52	827.10
3	2.74	3.61	1,964.37	18	1.15	1.52	827.10
4	2.07	2.73	1,486.52	19	1.15	1.52	827.10
5	2.07	2.73	1,486.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,398.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.95				
				TOTAL	75.85		\$54,414.58

AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002

*NET OF DRAINAGE EASEMENT
 OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE.

LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

LADERA BUSINESS PARK

SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet I
 Scale: 1" = 200' Date: 01-03-01 Job: A01130

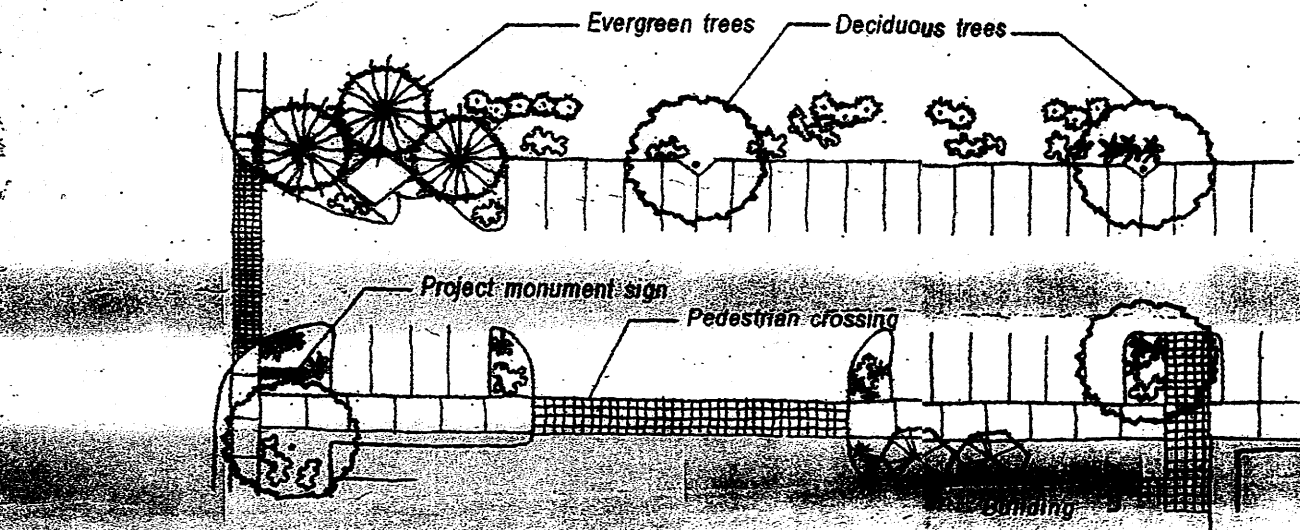
These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Ladera Business Park. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinance. These standards shall apply to all properties within the Ladera Business Park. These guidelines are consistent with the provisions of Neighborhood Agreement, filed with the County Clerk. While these design guidelines apply to the entire Ladera Business Park, page 2 addresses guidelines that are specific to the first two rows of lots referred to as the Ladera Business Center (lots 12-23 and 29). The guidelines for these lots provide more architectural control over this area to create a visually pleasing environment. To oversee development of the Ladera Business Park, an Architectural Control Committee has been designated.

A. Landscape Concept

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Ladera Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project and fall within the existing constraints imposed by the numerous power line, drainage, and utility easements that cross the site. Special landscape treatment shall be provided to minimize noise and sight impacts to adjacent residential areas.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees. Parking and outdoor storage areas beneath the existing power lines shall not be permitted to have trees.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure and/or adjacent to residential properties.
- As a minimum, a 15 foot landscaped buffer is required between industrial/commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height twenty-five feet. The trees shall be spaced at an average of 25 feet on center.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete brick (side by side), or 1/8" x 4" steel construction.
- Landscaping regulations require that 75% of landscaped areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf is discouraged and shall be limited to 20% of the landscaped area.
- One tree is required for each twenty-five linear feet of public or main access roadway. The required trees should be informally clustered with not more than a fifty-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Off-street parking areas shall have one tree for every ten (10) parking spaces except in those areas beneath the existing power lines (within the easements). In the parking areas within the existing power line, easements shall include parking islands planted with shrubs and ground cover for every ten (10) parking spaces.
- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 in height shrubs and groundcovers shall be a one gallon container, and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar materials, which extends completely under the plant material.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive conditions. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.
- Xeriscape principles shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.

B. Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of The Ladera Site.

Building Setbacks

Buildings shall be located on each site according to the following setback dimensions:

- 35 feet from the Unser Boulevard R.O.W. and 20' for internal roadways R.O.W.
- 50 feet from the property line of a residential zone
- 10 feet from internal lot lines

Parking/Circulation

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 20 feet from the Unser Boulevard R.O.W. line; and 10 feet for internal roadways; and, 10 feet from internal lot lines.
- The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office buildings, pedestrian crossings shall be a minimum width of 6 feet. They should be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Shaded pedestrian access shall be provided, including a clear 6 foot-wide path with adjacent trees spaced approximately 25

- For office buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade can be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 feet square (or equivalent).
- For office buildings over 10,000 square feet or groups of buildings on the same lot whose total floor area is over 10,000 square feet, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Convenient connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.

C. Sidewalks / Bikeways

To encourage and enhance the pedestrian nature of the Ladera Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. All streets within the site are required to have sidewalks on both sides of the street. Two pedestrian connections shall be provided to physically connect the Business Park to Unser Boulevard, trails, and the neighborhoods.

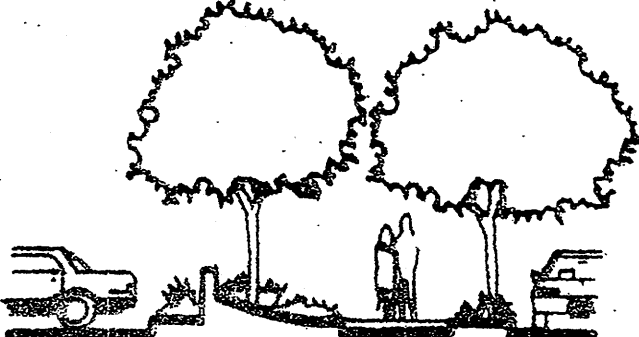
- Sidewalks shall be provided along public rights-of-way at a minimum of 6 foot width and shaded by trees planted 25 feet on center.

D. Screening Walls and Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area, whenever practical. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Ladera Business Park landscape.

The following are standards to ensure effective screening of negative elements:

- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berming. Such screening shall have a minimum height of 3 feet. Employee and customer/tenant parking areas shall be screened from adjacent properties. Appropriate signage and/or highlighted landscaping should be used to direct visitors.
- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade and have a maximum height of 10 feet.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates if they are located adjacent to public rights-of-way.
- Refuse collection areas should not be allowed between the street and building front wherever practical.
- When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. The use of chainlink fencing is not permitted between the building and any street right-of-way. Security fences shall be compatible with the architectural theme of the building.
- Outdoor storage areas are permitted provided they shall be fenced and screened from adjacent public rights-of-way with vines solid fencing, and/or shrubs. Outdoor storage shall not be permitted on any lot adjacent to Unser Boulevard (lots 12-23, 29, the first two rows of lots along Unser Boulevard).
- Barbed wire or concertina wire are not allowed in the Ladera Business Park. Chain link fencing shall not be permitted in the first two rows of lots along Unser Boulevard (lots 12-23, 29).
- Loading docks visible from residential areas shall be screened by walls which match building architecture, material, and color.



Screen parking areas with a combination of plant materials, walls, and earthen berming

E. Lighting Standards

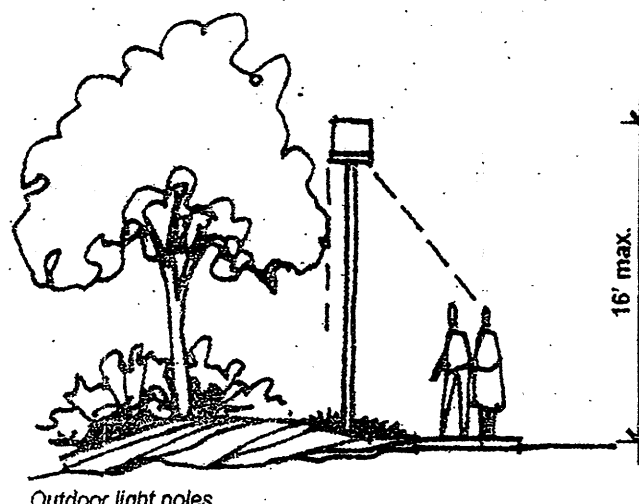
In order to enhance the safety, security and visual aesthetics of the Ladera Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The maximum height for lighting fixtures shall be:

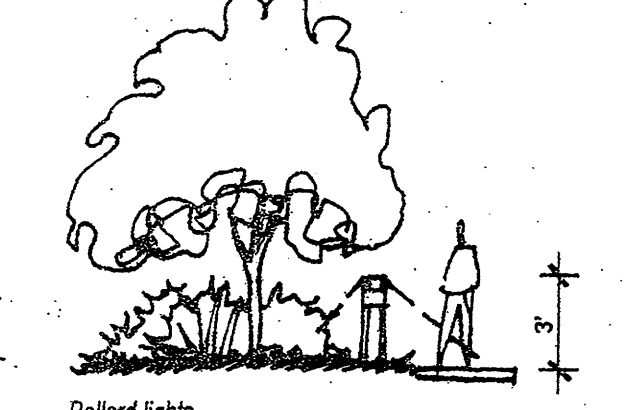
- 16 feet for all walkways and entry plazas.
- 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.
- Exterior elevations of any building fronting a street are encouraged to be feature light to enhance the identity of the building and the appealing ambiance of the total community. The illustrations provide for allowable pedestrian lighting within the Ladera Business Park.
- The use of spread lighting fixtures are required to accent landscapes and walkways. Uplighting fixtures are not permitted. The illustrations provide for allowable pedestrian lighting within the Ladera Business Park.
- Required Street Light specifications: G.E. 100 watt, bronze, Lumen shoebox type with Lexington bronze pole per PNM specification SL3.
- All site lighting fixtures, shall be fully shielded of a full out type. The color of fixtures must compliment the architecture.

In addition to the guidelines listed below, all lighting shall be consistent with the provisions of the State of New Mexico's Night Sky Ordinance. The following are additional standards for the design of the lighting system:

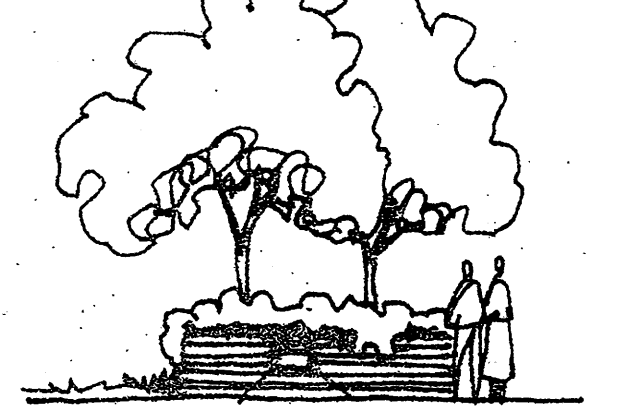
- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.



Outdoor light poles



Bollard lights



Wall pocket lights

Area lighting shall be used to highlight public spaces and walkways.

All lighting fixtures shall be fully shielded in order to prevent light spillage, with no light lens or bulb protruding below the fixture.

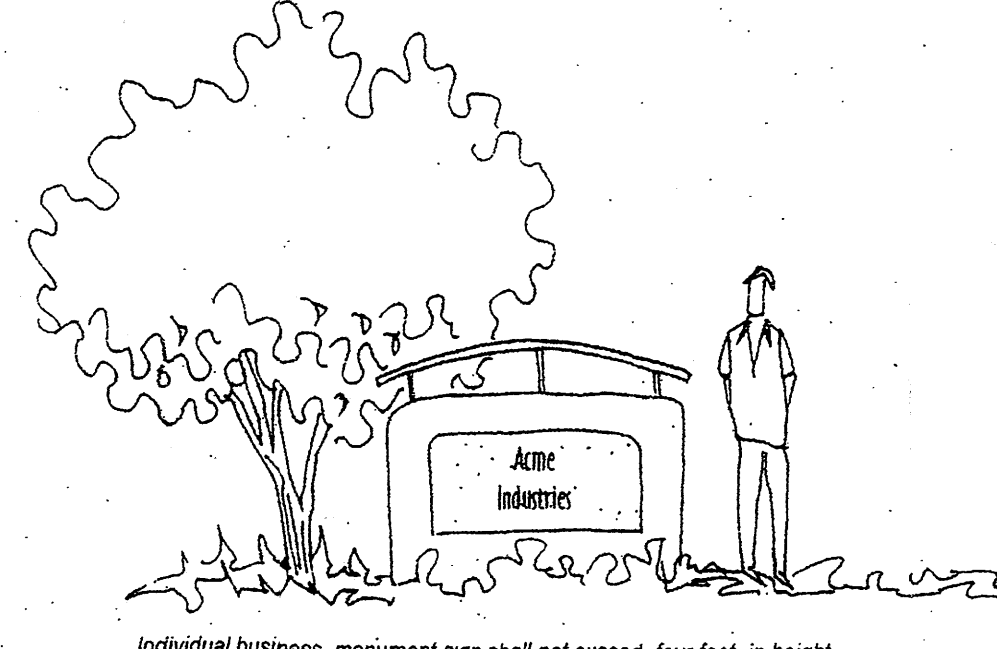
- All light fixtures for pole and building mounted lights shall be fully shielded in order to prevent light spillage, with no light lens or bulb protruding below the fixture.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

F. Signage Standards

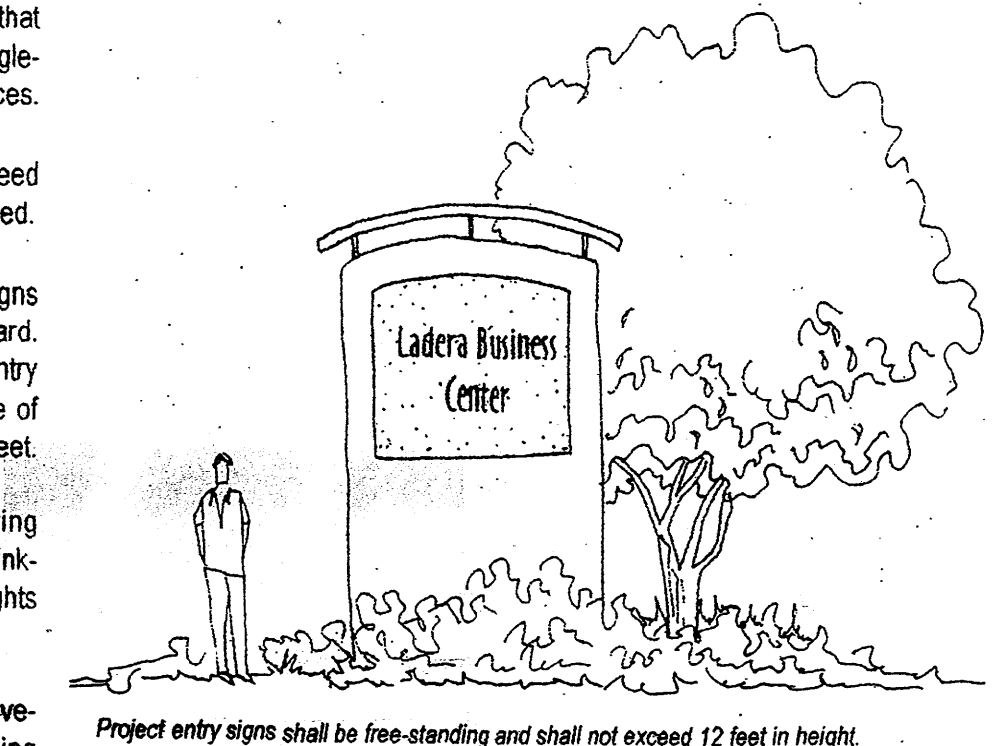
The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Ladera Site and are pursuant to the Unser Boulevard Design Overlay Zone. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

- No off-premise signs are allowed.
- Signs shall be limited to wall signs and free-standing monument signs.
- All elements of a sign shall be maintained in a visually appealing manner.
- One wall sign shall be permitted per facade per business.
- One free-standing business monument sign shall be permitted per street frontage per premises; a second free-standing sign is permitted on any given street frontage greater than 1,500 linear feet.
- The height of a business monument sign shall not exceed 4 feet and the sign face shall not exceed 32 square feet.
- Individual buildings are allowed facade mounted signs whose area shall not exceed 6% of the area of the facade to which it is applied.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- The height of a wall sign shall not exceed the height of the wall to which it is attached.
- The project is allowed two Project Entry signs at the access points on Unser Boulevard. The height of the free-standing Project Entry signs shall not exceed 12 feet. The size of the sign face shall not exceed 75 square feet.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
- Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.
- Signs located on rocks, trees, or other natural features are not permitted.
- Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are not permitted.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- No illuminated signage shall face any residential area, except along Unser Boulevard.



Individual business monument sign shall not exceed four feet in height.



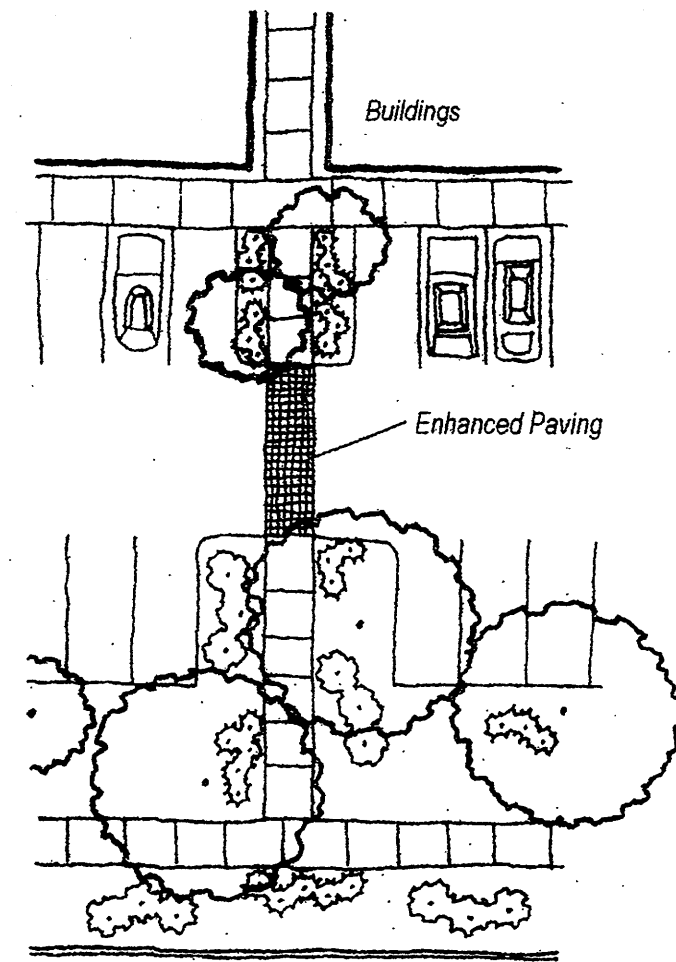
Project entry signs shall be free-standing and shall not exceed 12 feet in height.

G. Site / Architectural Objectives

Site

The creation of an active pedestrian environment in the Ladera Site is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street.

- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout should minimize the need for pedestrians to cross parking aisles and landscaped islands.
- Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- All parking facilities adjacent to the streets be screened with low walls and/or landscaping. Such screening shall have a minimum height of 3 feet.
- All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).
- Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian-vehicular conflicts. All pedestrian ways and paths shall be at least 6' clear and lined with shade trees in 5' x 5' planters, spaced 25 feet on center.



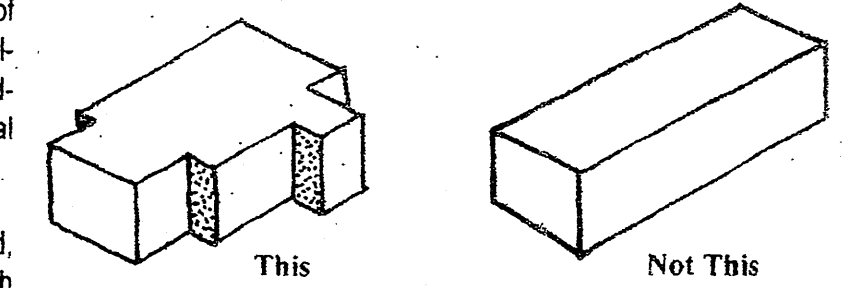
Pedestrian linkages shall be highlighted with enhanced paving and/or signage.

Architectural

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. Stucco, split face, or masonry block shall

Additionally, all buildings shall conform to the following requirements:

- The maximum building height shall be 32 feet, which includes a parapet screening. All buildings along Unser Blvd. (lots 13 through 19) shall be restricted to a height of 26 feet (including parapets) and have flat roofs without parapets.
- Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing an emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- The primary building colors shall be limited to: Yellow Ochres, Browns, Dull Reds, Blues, Grays, and Grey-Greens however sensitive alteration of colors and materials can produce diversity and enhance architectural forms. The middle range of reflectance is intended to avoid very light and very dark colors.
- The staggering of planes and/or distinct articulation of building façades is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual façades.
- Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.
- Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along façades.
- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.
- All rooftop and ground mounted equipment shall be screened from the public view by materials of the same nature as the building's basic materials.
- The top of all rooftop equipment shall be below the top of parapet or screened from view from the public rights-of-way.
- Screen walls shall screen all ground mounted equipment with the top of equipment below the top of screen wall.
- All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- No plastic or vinyl building panels, awnings, or canopies are permitted (metal panels are permitted as an accent feature only). Awnings and canopies shall be integrated with building architecture.
- Parapets and/or architectural tents shall be used to screen mechanical equipment and penetrations from the development on the adjacent properties.
- No generic franchise architecture shall be allowed.
- Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.
- ATM's shall be architecturally integrated with building design.
- Outdoor storage is permitted within Ladera Business Park and shall be screened from view from public rights-of-way with a solid fence or wall that is a minimum of 6 feet and a maximum of 10 feet in height. No outdoor storage is permitted on Lots 12 through 23 and 29, the first two rows of lots adjacent to Unser Boulevard.



The staggering of planes along an exterior wall is encouraged.

H. Utilities

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Ladera Site:

- All new electric distribution lines within the Park shall be placed underground.
- When an above-ground backflow prevention device is required, the heated enclosure should be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

LADERA BUSINESS PARK Site Plan for Subdivision DESIGN GUIDELINES

Prepared for:
Unser-98th Street Partnership LLC
PO Box 90548
Albuquerque, NM 87199

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



August 21, 2002

LADERA BUSINESS PARK DESIGN GUIDELINES FOR LOTS 12-23 & 29

The purpose of these Design Standards is to guide development of lots 12-23 and 29 of the Ladera Business Park in order to create a high-quality, pedestrian friendly Commercial Center. The potential mix of uses within the Commercial Center includes retail, restaurants, office, banks and other commercial services. These uses have been selected to best serve the greater Ladera Business Park and surrounding residential neighborhoods. While the overall design guidelines listed on sheet 2 pertain to the entire Ladera Business Park, the guidelines listed below provide additional architectural control over the property.

The Design Standards were written to require the use of common design elements to unify the project functionally and architecturally. The following categories of design elements used to unify the project are:

- Building groupings to reinforce a "main street" theme
- Decentralization of parking fields to minimize their impact on patrons and the immediate environment
- A strong internal pedestrian path network
- Aesthetic continuity through the use of common building forms and materials
- A common building signage system
- A common landscaping theme

An Architectural Review Committee (ARC), formed by the property owners and master developer, will analyze all potential projects relative to these standards to ensure the realization of the Development Concept. A conceptual site plan, landscaping plan, and building elevations shall be submitted to the ARC by individual project developers for review and comment. Approval must be obtained prior to proceeding with construction documents and submittal for building permit. Approval will be granted when the individual project meets the requirement of these standards to the satisfaction of the ARC.

The Main Street

Intent:

The development's primary organizing element is an internal "main street" to which the majority of buildings relate. Buildings along the main street shall be grouped together and oriented to face the street to encourage a pedestrian environment where patrons can park once and walk between the various uses. Spaces between buildings shall be utilized as plaza areas and outdoor gathering places for dining and other outdoor activities. Convenience parking shall be provided along the main street with drive aisles between buildings to provide access to parking areas behind them. Two traffic circles will act as focal points, traffic calming devices, and opportunities to create patron gathering spaces. Primary entrances to buildings shall be provided on the main street, at the traffic circles, or on side streets. Secondary entrances may be provided at the parking areas behind the buildings.

Design Standards:

- Orient buildings to face the main street with parking fields behind them.
- Group buildings together to maintain the continuity of the main street facade. Provide pedestrian plaza spaces between buildings.
- Access drives to rear parking areas shall be shared so that they occur on only one side of each building.
- Locate primary building entrances on the main street, at the traffic circles where they occur, or along access drives to rear parking areas. Secondary entrances may be provided at the rear parking areas to create "walk through" buildings.
- Shaded portals or canopies shall be provided along the main street and at building entrances.

Trash receptacles and service areas shall be located at the rear of these buildings with appropriate screening as described in the Site section below.

Site along Unser Boulevard

Intent:

Additional building pads are provided along Unser Boulevard to take advantage of their high visibility. The pads are spaced along Unser to break up the parking areas into smaller cells and to provide gaps between buildings to allow visual access into the site or traffic traveling along Unser Boulevard. These buildings are highly visible from all directions and shall be aesthetically pleasing in all sides.

Design Standards:

- Buildings shall be sited adjacent to the Unser Boulevard right-of-way with parking fields between and behind them. No parking is allowed between the pad site buildings and Unser Boulevard.
- Buildings shall be located to minimize the size of the parking fields between them.
- The buildings at these pad sites shall be treated as "four sided" buildings with equal architectural emphasis on all sides. Utilities shall be appropriately screened to conceal them from view.

Sidewalks shall be provided on sides of the pad site buildings to provide a pedestrian friendly environment and to connect to the greater pedestrian path network. These sidewalks may be enlarged to create plazas, outdoor dining or patron gathering spaces.

Shaded portals or canopies shall be provided along pedestrian paths and at building entrances.

Trash receptacles and service areas shall be located in the parking areas between buildings and away from building entrances. These areas shall be screened as described below in the Site section.

Pedestrian Path Network

Intent:

A strong pedestrian path network is critical in creating a "park once and walk" commercial environment. Shaded sidewalks around the perimeter of buildings connecting to frequent pedestrian friendly walkways through parking areas reinforce this concept. Plazas create patron gathering spaces at building entries and outdoor dining spaces. Connection to off-site pedestrian paths completes the network by providing continuity with the surrounding area.

Design Standards:

- A continuous 6' wide meandering pedestrian path along Unser shall connect with the existing paths to the north and south. Sidewalks shall be provided that connect this element to the internal pedestrian path network at each pad site and along the new public streets.
- Raised crosswalks (speed tables) with special paving shall be provided where pedestrian paths intersect with vehicular paths. These crosswalks shall be provided to create a continuous pedestrian path between buildings and to calm vehicular traffic.
- A continuous sidewalk shall be provided along the main street with raised crosswalks (speed tables) with special paving at intersections with all vehicular drives.
- Plazas shall be provided at traffic circles, building entries, and outdoor dining areas. These elements shall be directly connected to the pedestrian path network.

Architectural Forms and Materials

Intent:

A common architectural theme reinforces the sense of quality and permanence desired for this development. The predominant quality architectural theme in the vicinity is defined by stucco wall surfaces and pitched Spanish tile roofs. In order to expand on the sense of quality for the area, the architectural theme for this development is based on these materials as well as other complementary materials used in Spanish Colonial and California Mission architecture.

Design Standards:

- Smaller buildings shall utilize pitched Spanish tile roofs with slopes varying from 3:12 to 6:12 pitch.
- Larger buildings may utilize low-slope roofs with parapets as required over longer span areas, but pitched Spanish tile roofs shall be used as accents at the perimeter and at smaller building elements and portals.
- Vertical wall surfaces shall be predominantly white or light colored earth-tone stucco or EIFS.
- Cut stone, pre-cast concrete or visually similar elements of stucco or EIFS shall be used as accents around prominent entries or other openings, as well as at parapet caps and wainscots when they are used.
- Structural elements for portals, balconies, porte cocheres or similar elements shall be either dark stained heavy timber (or visually similar materials) or massive stucco arcades.
- Railings shall be of black wrought iron, tubular steel, dark stained wood or other visually similar materials.
- Window frames shall be black, dark stained wood, dark wood tone or appropriately colored aluminum or steel at the discretion of the Architectural Review Committee.
- Window openings, particularly on the South and West facades, may be shaded with cloth awnings (or visually similar materials), trellises, portals, or awnings roofed with Spanish tile and exposed structural elements similar to those described under the fifth bullet point above.
- Roof top mechanical units shall be screened with architecturally integrated parapets, screen walls, or pitched Spanish tile elements at least as tall as the highest part of the equipment.

Site and Hardscape Materials

Intent:

Site and hardscape materials shall be complimentary to the architectural theme of the development. Appropriate materials include: concrete with accent materials, colored concrete, brick and concrete pavers.

Design Guidelines

- The predominant hard surface for sidewalks, pedestrian crosswalks and plazas may be standard concrete but must have accents of either brick or concrete pavers, or visually similar jointed and colored concrete. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Site furniture such as benches, trash receptacles, light fixtures, bollards, etc shall be of black, dark green or dark red metals. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Pedestrian paths along walkways adjacent to buildings and along the main street shall utilize pedestrian scale light fixtures, twelve feet tall or less, in materials as described in paragraph 2 above.
- Ground level screen walls for utilities and trash enclosures shall be solid with stucco or EIFS finish to match the adjacent or nearby buildings. Gates shall be opaque using dark stained wood or visually similar materials.

Landscaping

Intent:

The general theme and materials of the landscape should be appropriate to our desert climate using heat and drought tolerant, water-conserving plants. Plazas, courtyards and other patron gathering areas will be treated as oases utilizing shade trees, climbing vines on trellises, or other shading devices to create a cooler outdoor environment. Small fountains or other water features can add further to the sense of coolness in these spaces. Care must be taken in selecting plant materials so that excessive shade is absent during the colder months of the year. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

- Plant materials shall be primarily low water use and drought tolerant.
- Density of plant material shall be increased around patron gathering spaces to add "coolness" to those areas. Shade trees, colorful flowering plants and overhanging vines may also be used to reinforce a sense of coolness in these areas.
- Shade trees shall be consistent based on their location. For instance, street trees may be one species and shade trees in patron gathering areas may be another, while parking area shade trees may be another. All shade trees shall be selected to be insect and disease resistant.
- All landscaping shall be served by an automated irrigation system.

Signage

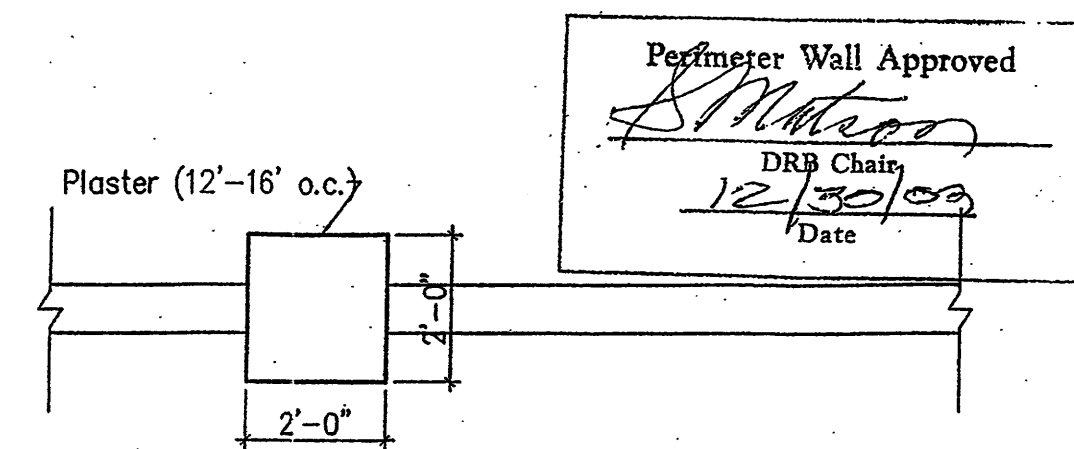
Intent:

Signage shall be complimentary to the architectural theme and consistent throughout the development. Tenant standard colors, fonts and logos may be used, but must conform to the detail and construction standards below.

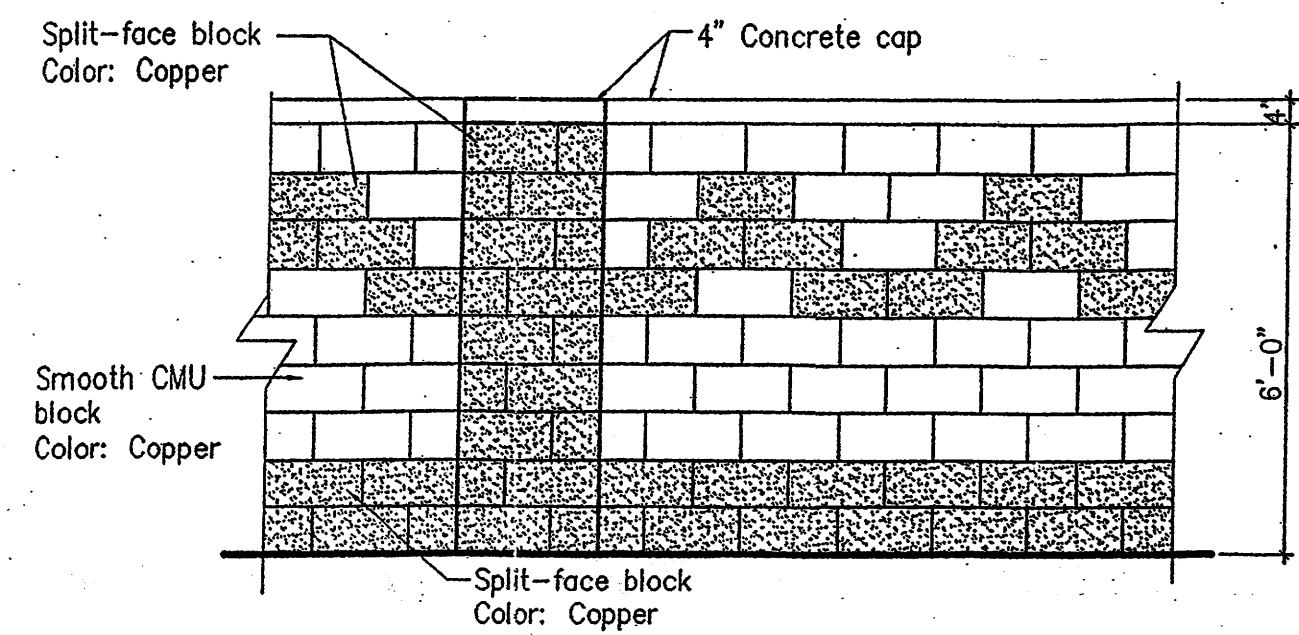
- Monument sign locations are shown on the illustrative site plan at the corners of Unser Boulevard and the new streets, and at the intersections of the "main street". These may be utilized by multiple tenants at the discretion of the ARC. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Building signage shall be limited to internally illuminated, individual letter signs, back-lit individual letter signs, or neon signs as approved by the ARC, and in conformance with City of Albuquerque requirements.
- No building mounted box signs are allowed, except logo signs as approved by the Architectural Review Committee.
- No pole-mounted signs are allowed.

NOTES:

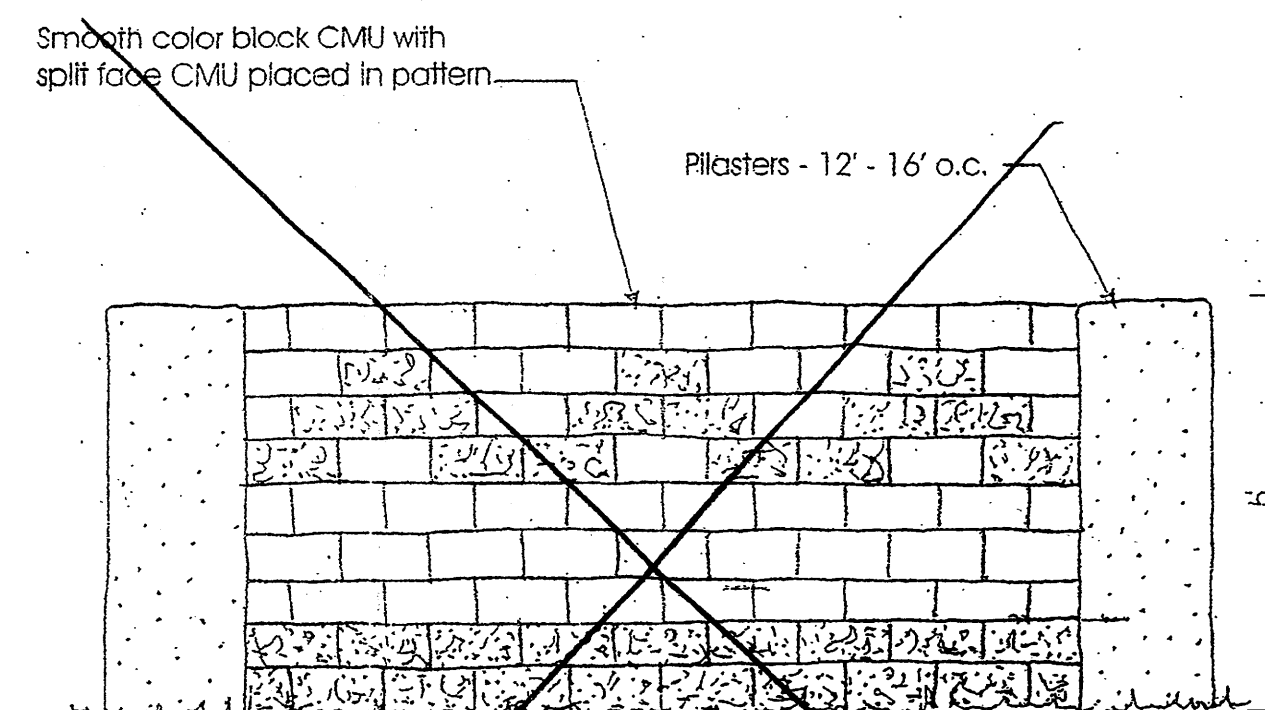
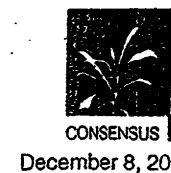
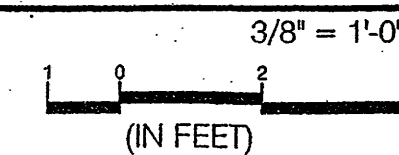
- ZONE ATLAS - G9, G10, H9, H10
- NEAREST INTERSECTION IS UNSER & VISTA ORIENTE N.W.



PLAN VIEW



**PROJECT# 1001523; 03DRB-01360
WALL DETAIL @ LADERA BUSINESS PARK**



Wall Detail @ Ladera Business Park

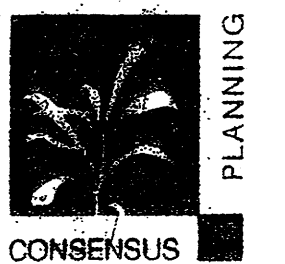


**LADERA BUSINESS PARK
Site Plan for Subdivision**

DESIGN GUIDELINES

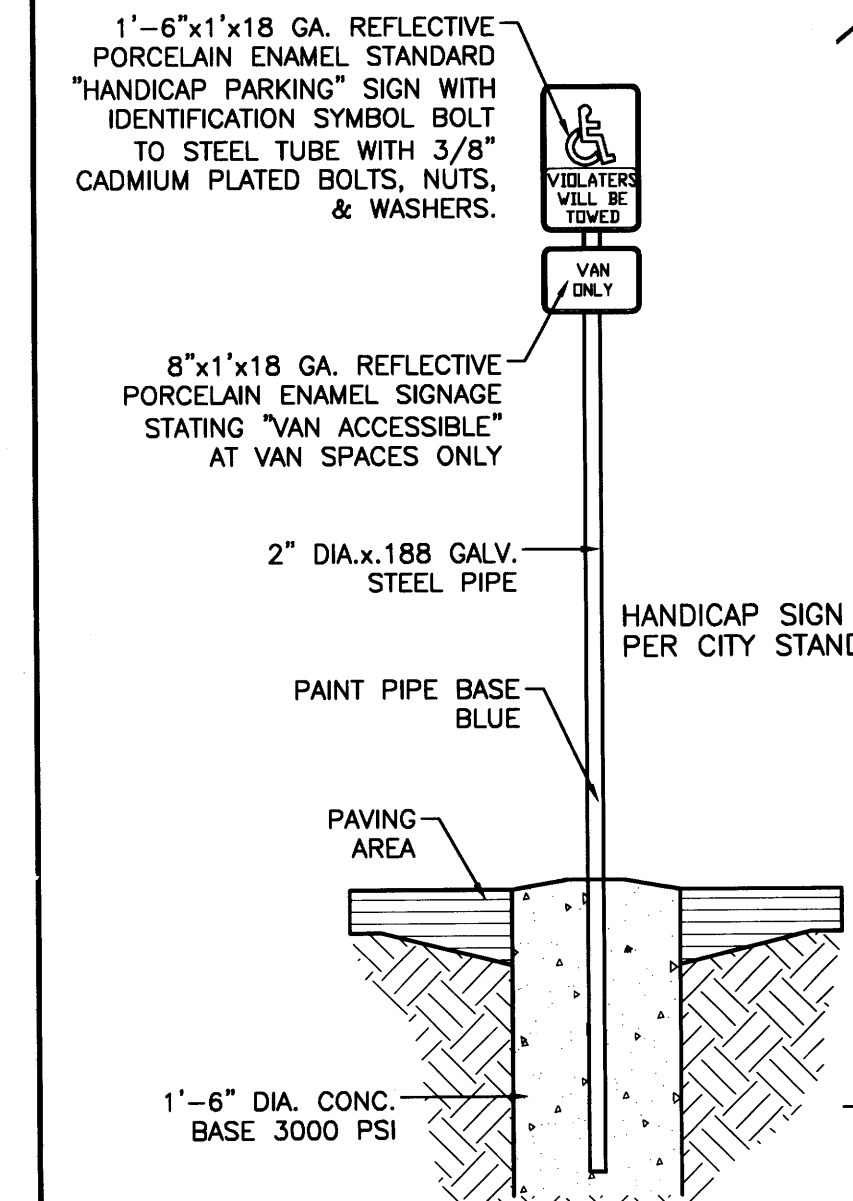
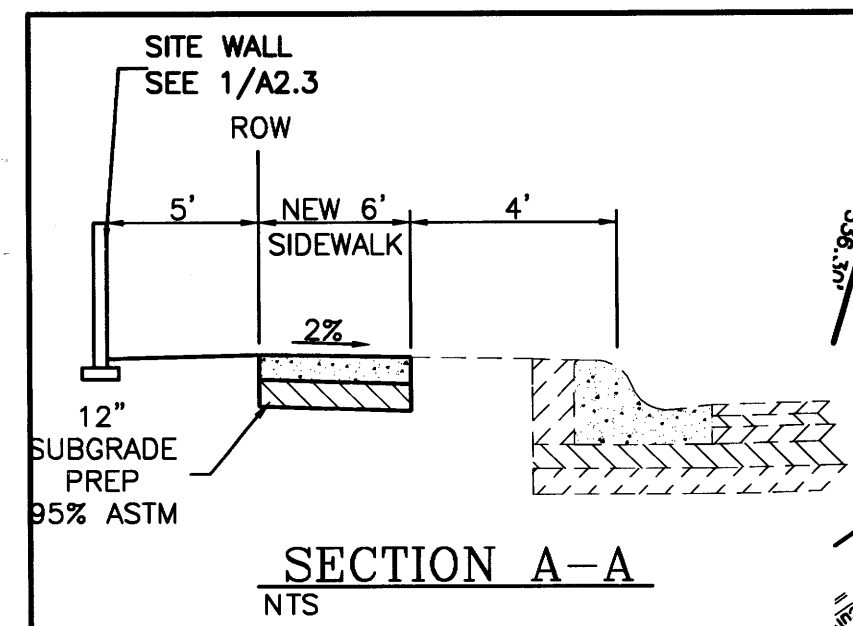
Prepared for:
Unser-98th Street Partnership LLC
PO Box 90548
Albuquerque, NM 87199

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

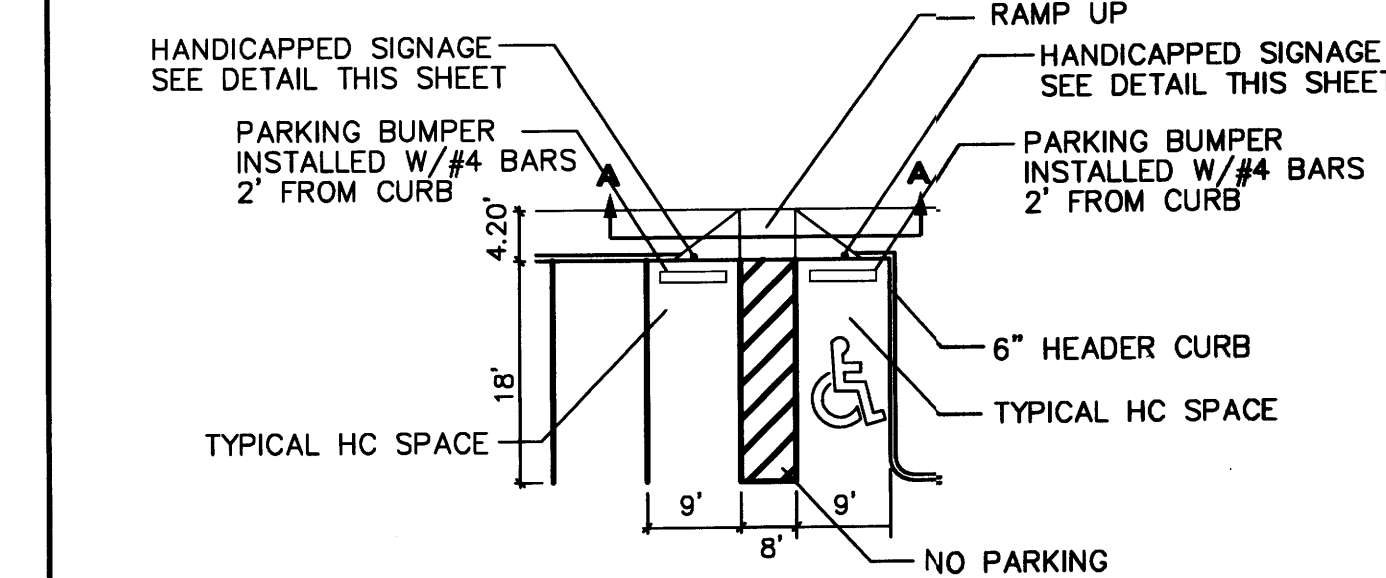


August 21, 2002

Sheet 3 of 3

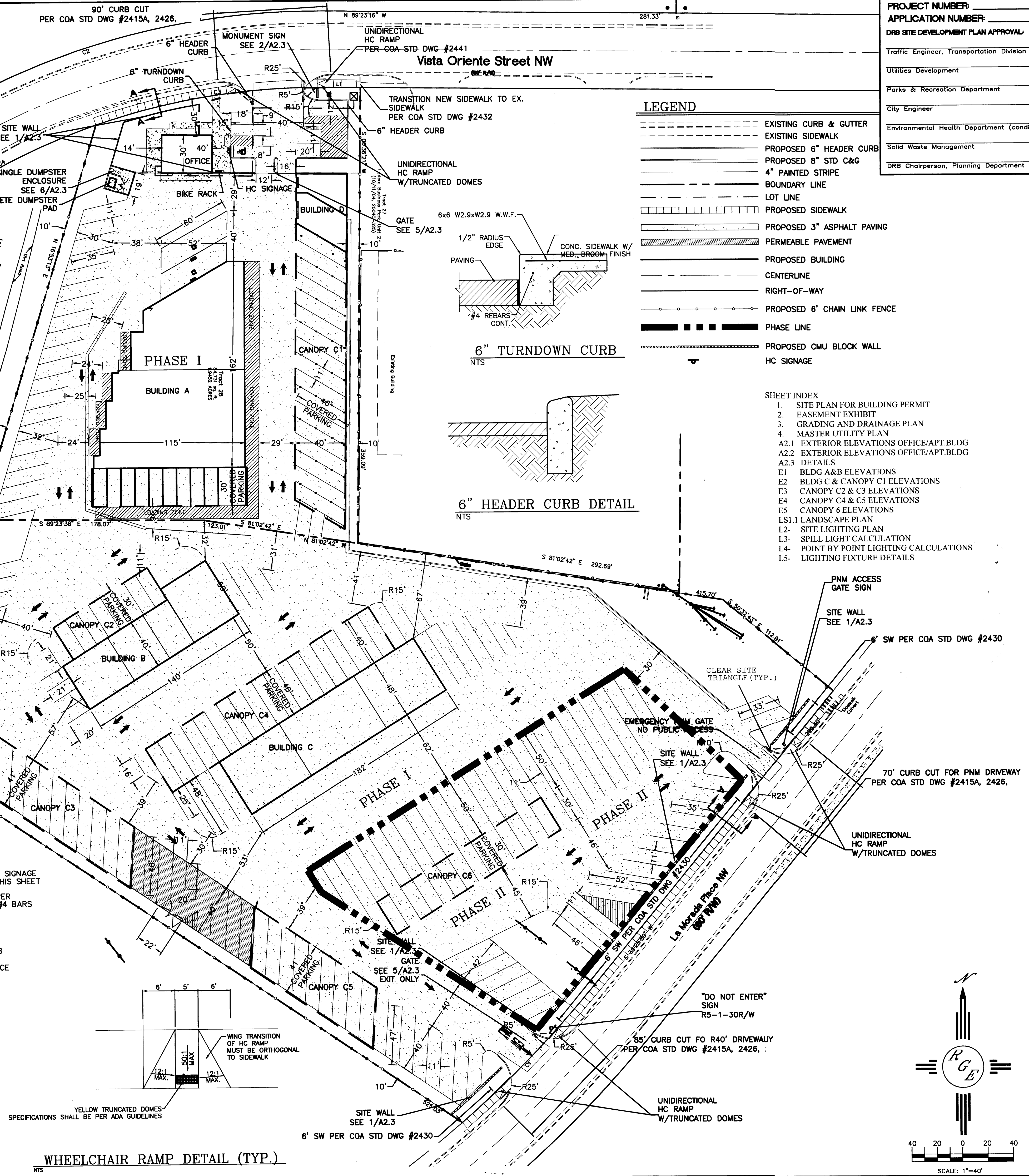


HANDICAP SIGN
NTS



HC PARKING DETAIL
NTS

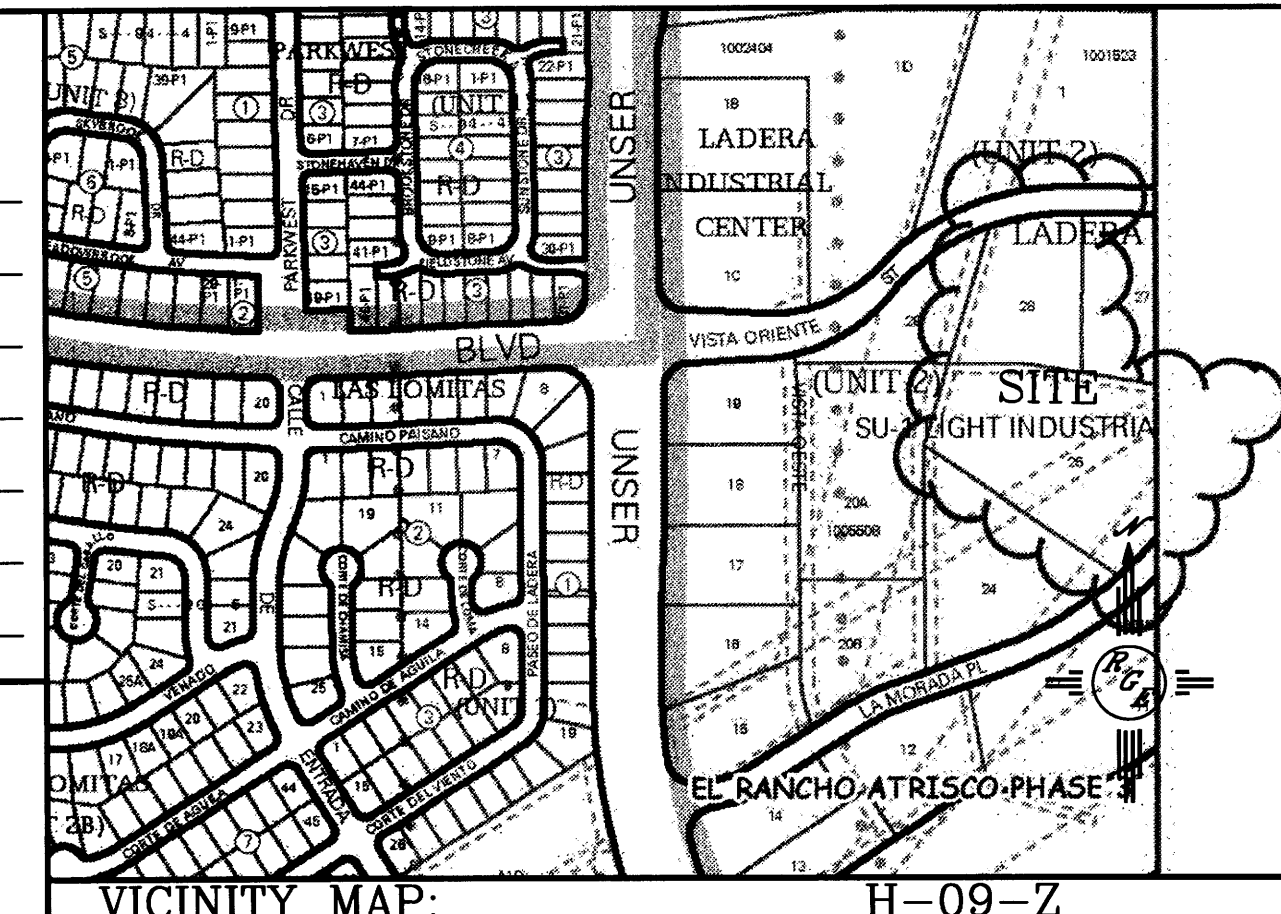
SECTION A-A
NTS



WHEELCHAIR RAMP DETAIL (TYP.)
NTS

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



LEGAL DESCRIPTION:
TR. 26, 28, UNIT 2-LADERA LIGHT INDUSTRIAL

LEGEND

	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	BOUNDARY LINE
	LOT LINE
	PROPOSED SIDEWALK
	PERMEABLE PAVEMENT
	PROPOSED BUILDING
	CENTERLINE
	RIGHT-OF-WAY
	PHASE LINE
	PROPOSED CMU BLOCK WALL
	HC SIGNAGE

- SHEET INDEX
- SITE PLAN FOR BUILDING PERMIT
 - EASEMENT EXHIBIT
 - GRADING AND DRAINAGE PLAN
 - MASTER UTILITY PLAN
 - A2.1 EXTERIOR ELEVATIONS OFFICE/APT.BLDG
 - A2.2 EXTERIOR ELEVATIONS OFFICE/APT.BLDG
 - A2.3 DETAILS
 - E1 BLDG A&B ELEVATIONS
 - E2 BLDG C & CANOPY C1 ELEVATIONS
 - E3 CANOPY C2 & C3 ELEVATIONS
 - E4 CANOPY C4 & C5 ELEVATIONS
 - E5 CANOPY 6 ELEVATIONS
 - LS1.1 LANDSCAPE PLAN
 - L2- SITE LIGHTING PLAN
 - L3- SPILL LIGHT CALCULATION
 - L4- POINT BY POINT LIGHTING CALCULATIONS
 - L5- LIGHTING FIXTURE DETAILS

- GENERAL NOTES:
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER DETAIL THIS SHEET.
 - ALL PRIVATE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED SEE DETAIL SHEET. ALL COA ROW CURBS SHALL BE STD 8" PER COA STD DWG #2415A.
 - ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
 - ALL DRIVABLE SURFACES SHALL BE 3" THICK ASPHALT PAVING.
 - NO BUILDING MOUNTED SIGNAGE SHALL BE PERMITTED.
 - ALL LANDSCAPING WITHIN THE COA ROW WILL BE GOVERNED BY APPROVED STREET TREE AGREEMENT.
 - CROSS LOT ACCESS EASEMENT WILL BE REQUIRED PRIOR TO BUILDING PERMIT.
 - PHASE I WILL INCLUDE ALL LANDSCAPING AND PERIMETER SITE FENCING/WALLS.

SITE DATA:

ZONING: SU-1 LIGHT INDUSTRIAL

BUILDING SF:

OFFICE	= 1200 SF
DWELLING	= 1560 SF
SELF-STORAGE	= 18634 SF
RV STORAGE	= 14632 SF
TOTAL	= 36426 SF

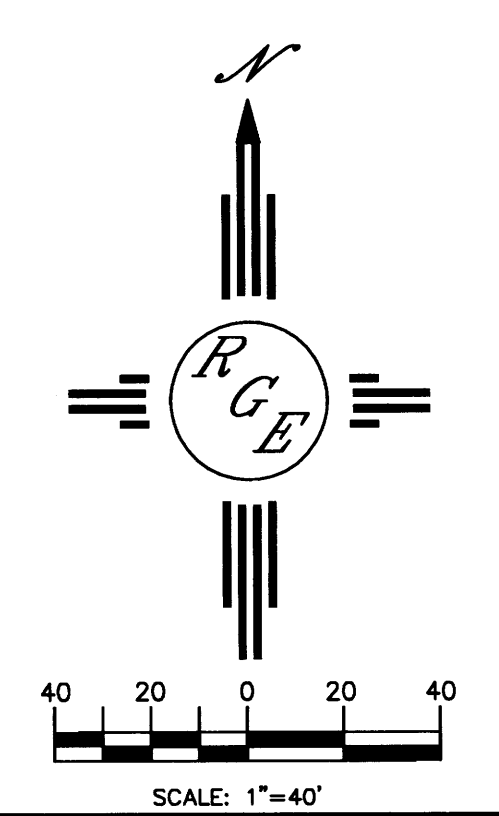
TOTAL LOT AREA: 6.7575 AC ±

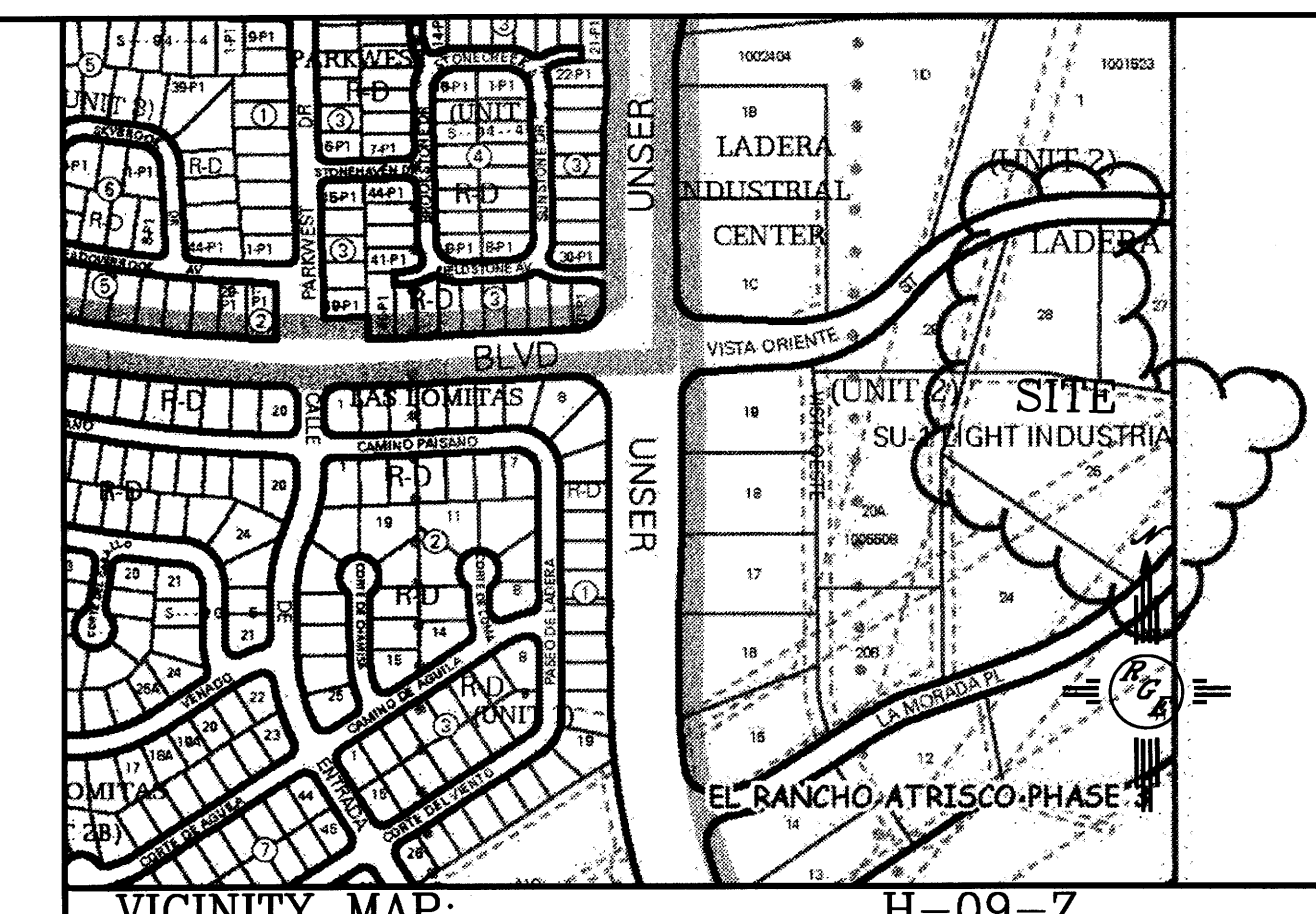
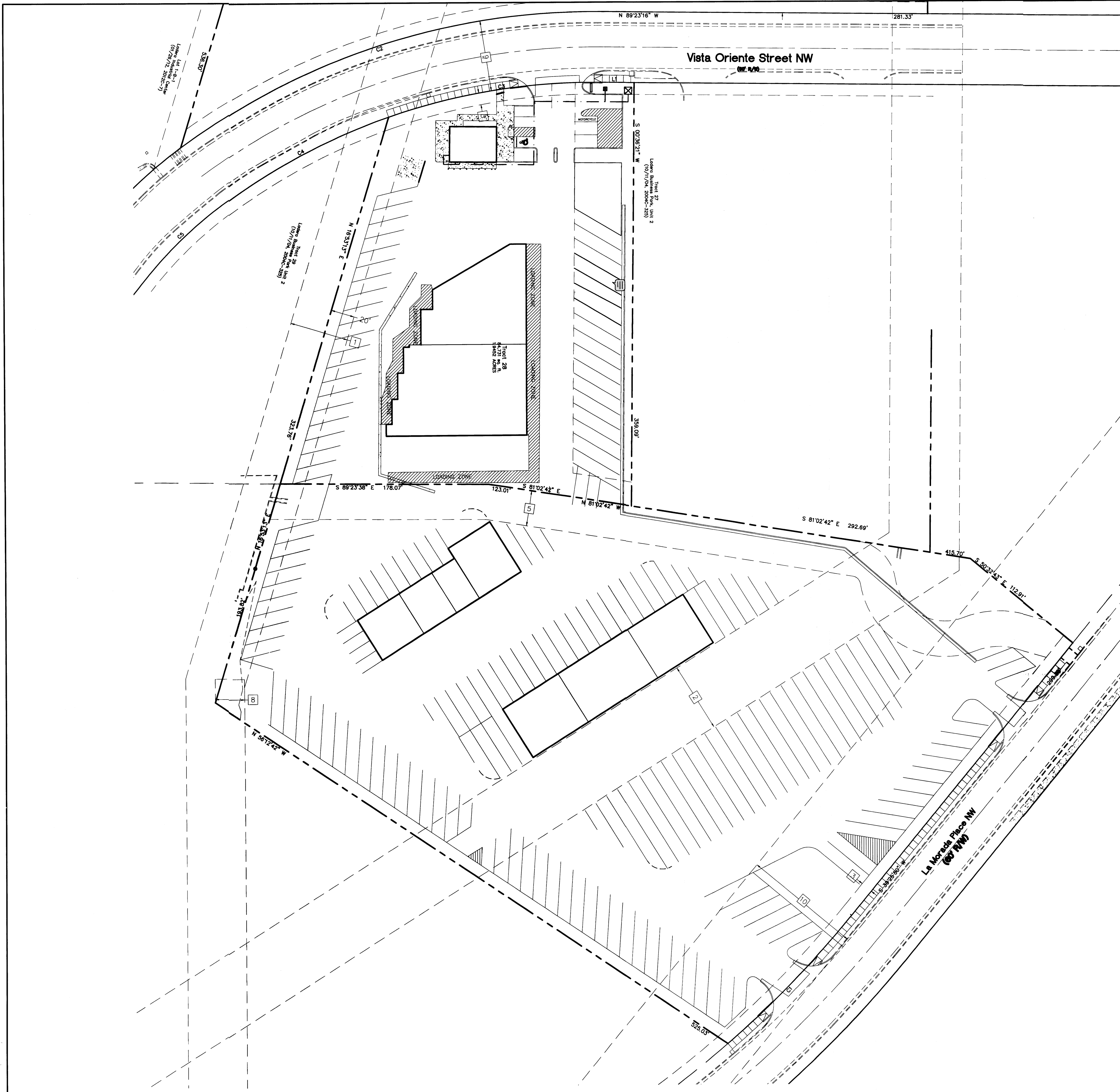
PARKING ANALYSIS:

OFFICE: 1200 SF/200	= 6
DWELLING 1 SPACE/BATH	= 2
TOTAL	= 8
10% CREDIT	= 1
TOTAL REQUIRED	= 7
ACCESSIBLE PARKING (1 REQUIRED)	= 1 (PROVIDED)
TOTAL PARKING PROVIDED	= 8

NUMBER OF SELF STORAGE UNITS: 175
NUMBER OF RV STORAGE SPACES: 221
MAXIMUM BUILDING HEIGHT: 32 FEET

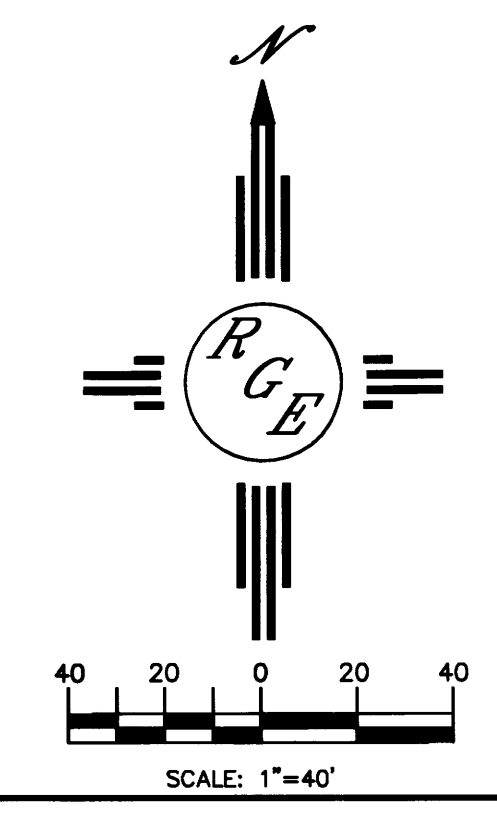
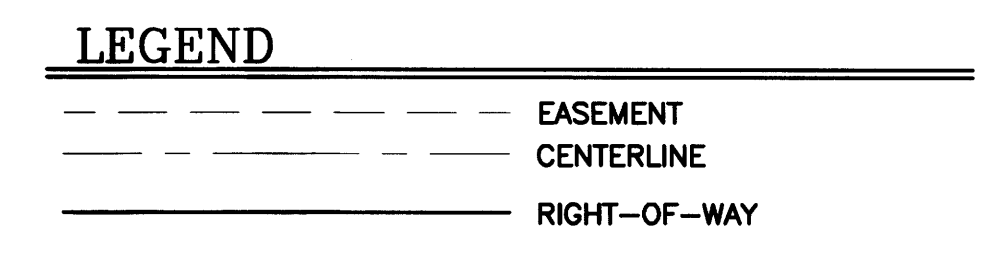
	ALBUQUERQUE RV AND BOAT STORAGE	DRAWN BY WCVJ
	SITE PLAN PLAN	DATE 4-24-14
4/24/14		21349-LAYOUT-10-31-13
DAVID SOULE P.E. #14522		SHEET # 1
	1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0999	JOB # 21349



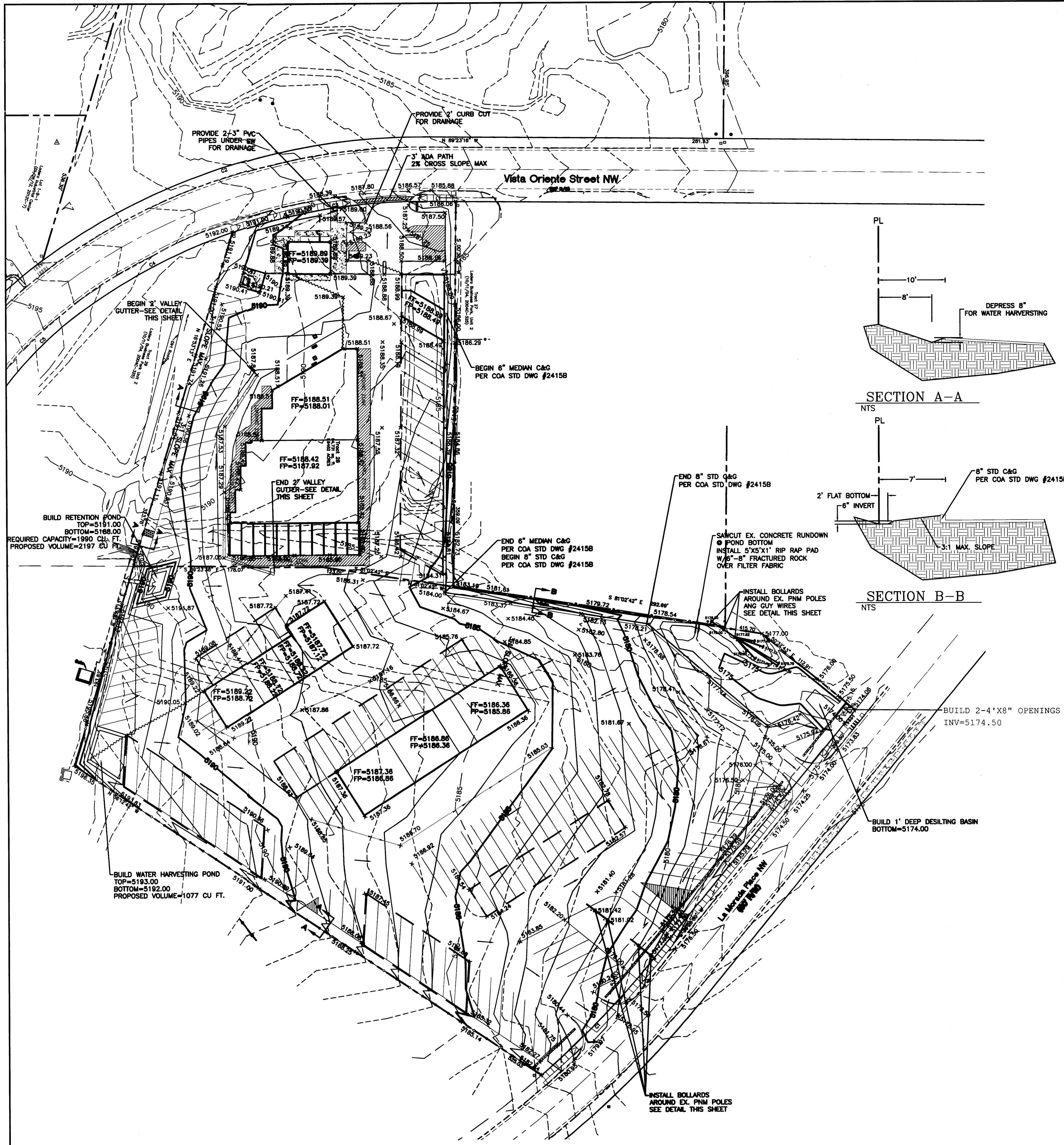


VICINITY MAP: H-09-Z
 LEGAL DESCRIPTION:
 TR. 26, 28, UNIT 2-LADERA LIGHT INDUSTRIAL

- Easement Notes**
- 1 EXISTING 50' PNM EASEMENT (01/22/04, 2004C-24)
 - 2 EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (03/16/53, BK. MISC. D 235, PG. 619-622)
 - 3 EXISTING 10' PUBLIC UTILITY EASEMENT (01/22/04, 2004C-24)
 - 5 EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04, 2004C-24)
 - 6 EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO. 7-76-03096 (08/28/76, BK. MISC. 498, PG. 648-683)
 - 9 EXISTING 60' PUBLIC ROADWAY EASEMENT (01/22/04, 04C-24)

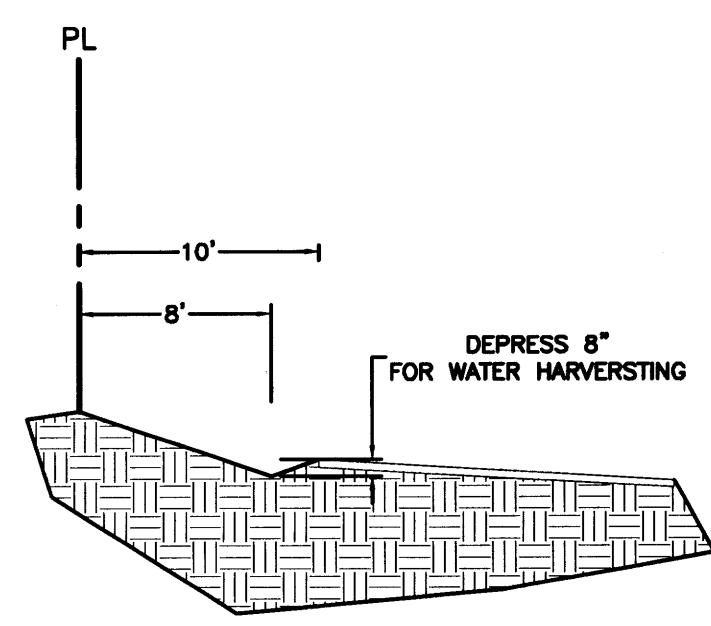
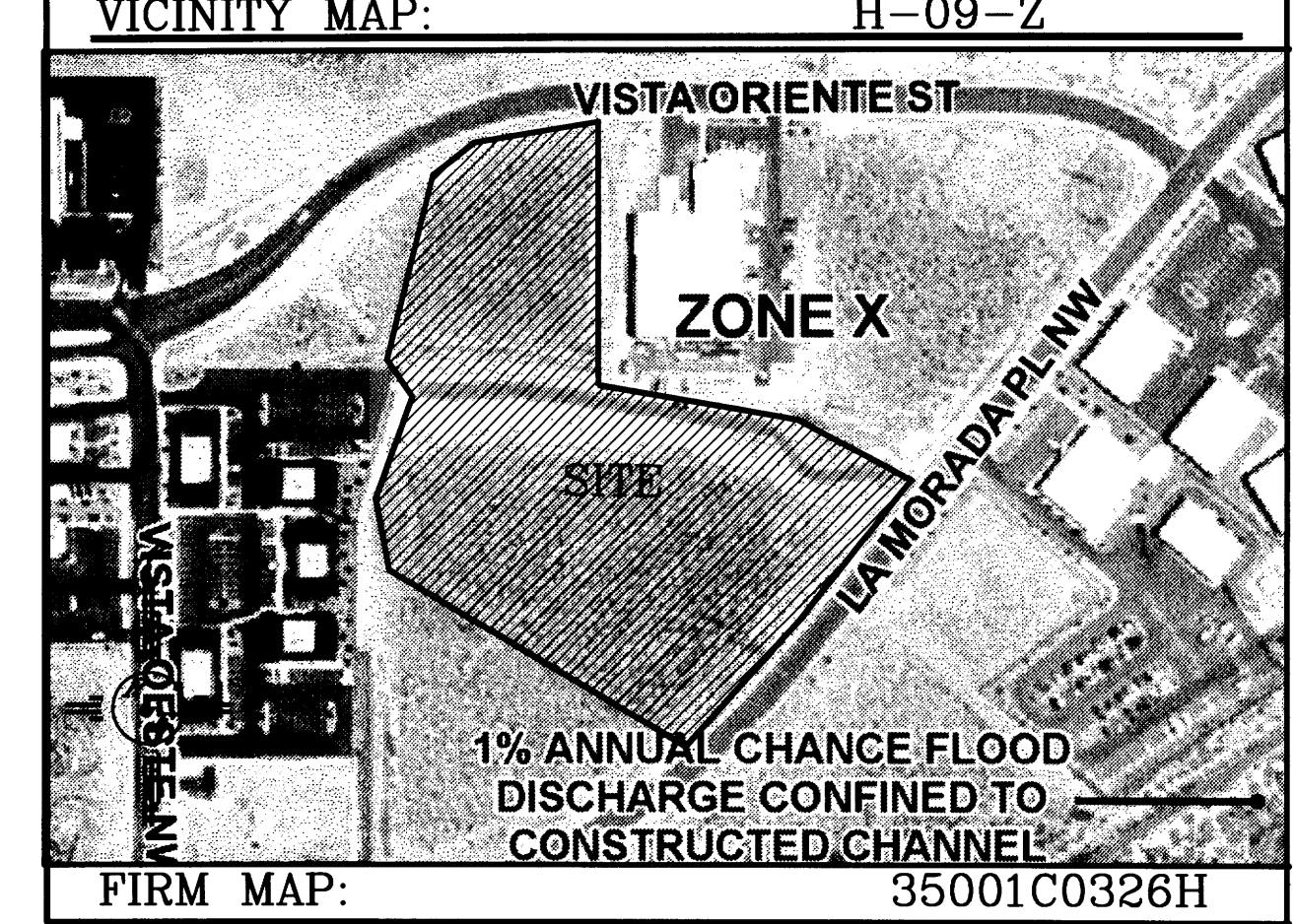
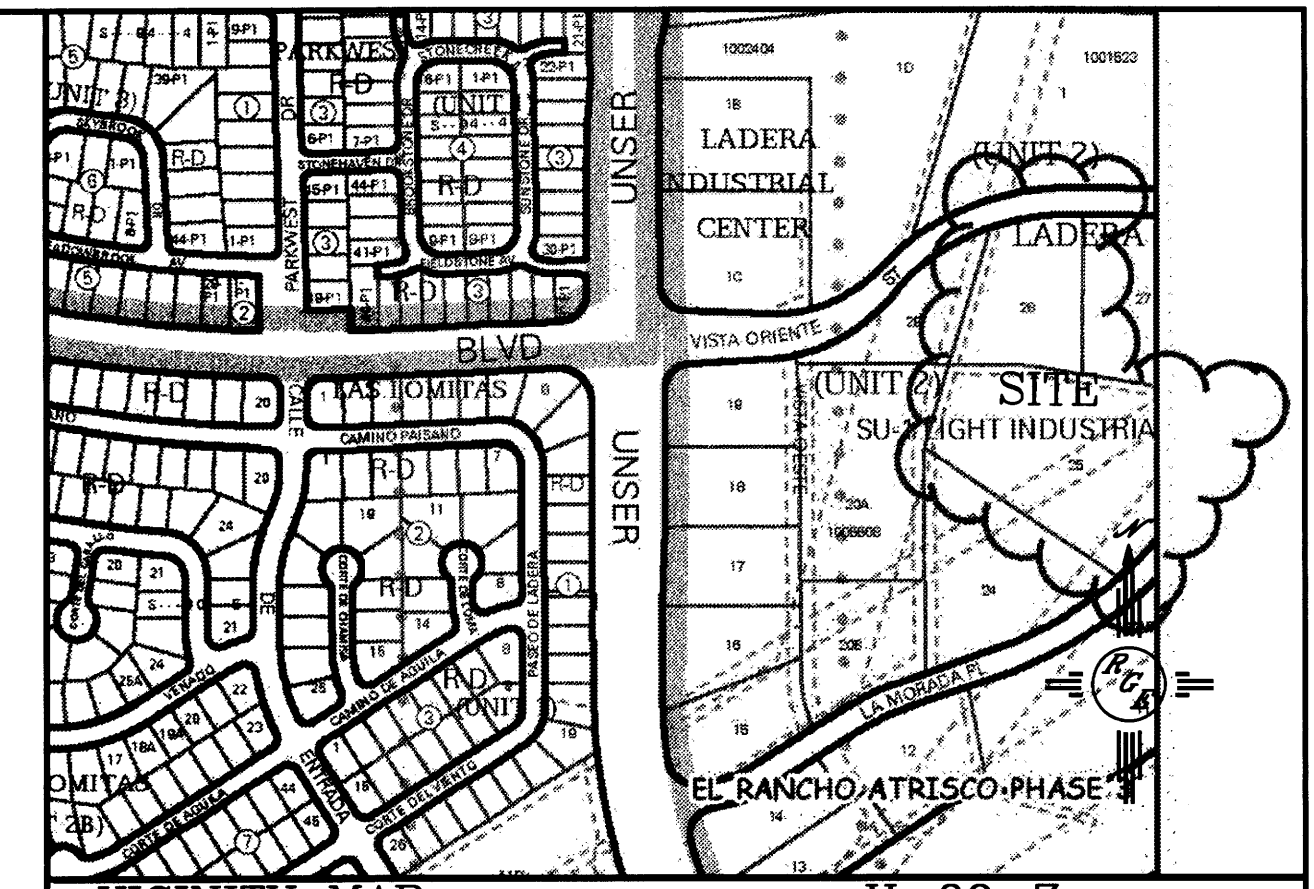


ENGINEER'S SEAL	ALBUQUERQUE RV AND BOAT STORAGE	DRAWN BY WCWJ
	EASEMENT EXHIBIT	DATE 4-21-14
DAVID SOULE P.E. #14522	 Rio Grande Engineering 1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21349-LAYOUT-10-31-13
		SHEET # 2
		JOB # 21349

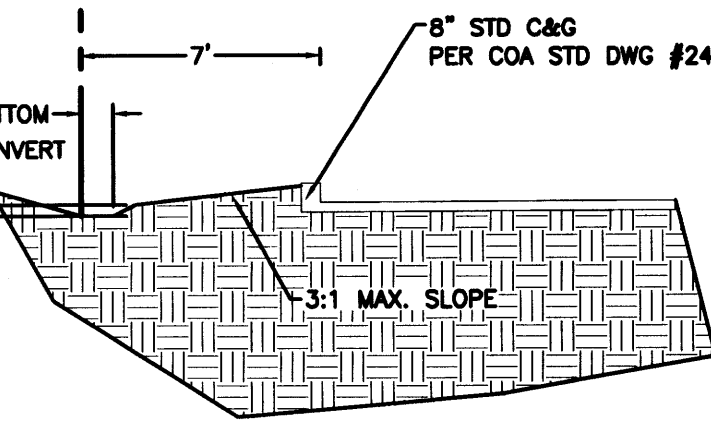


EROSION CONTROL NOTES:

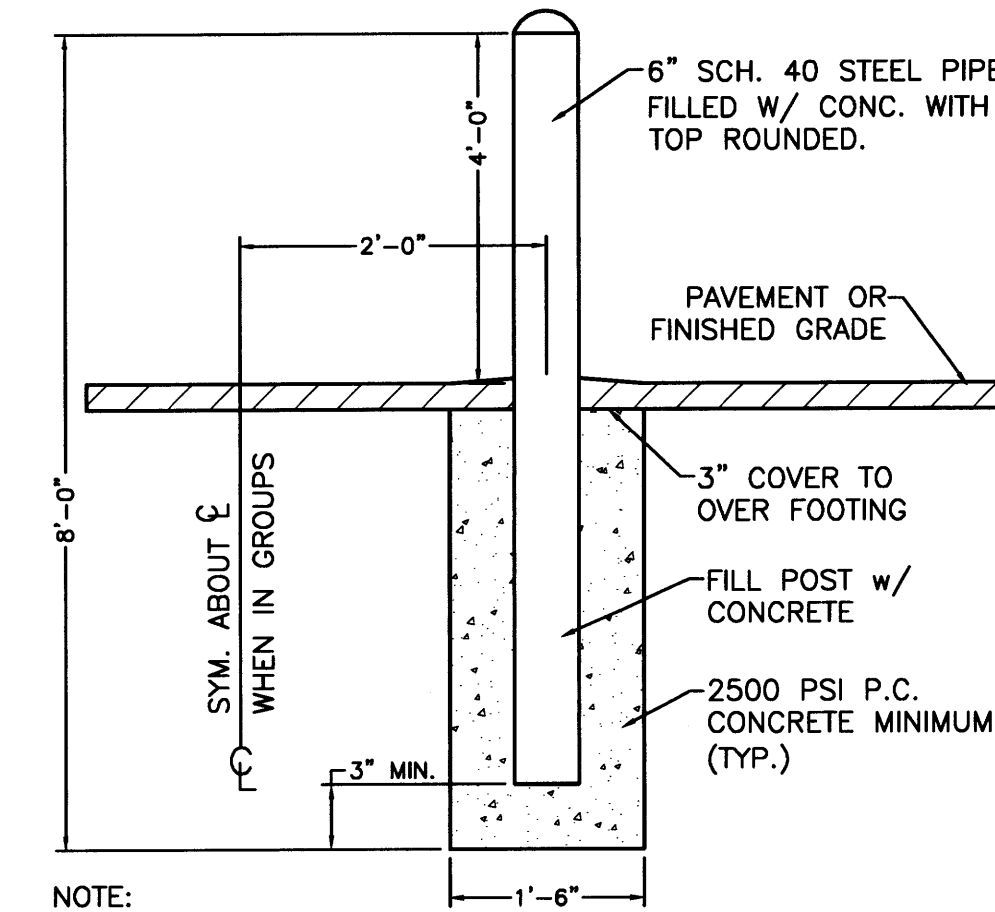
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



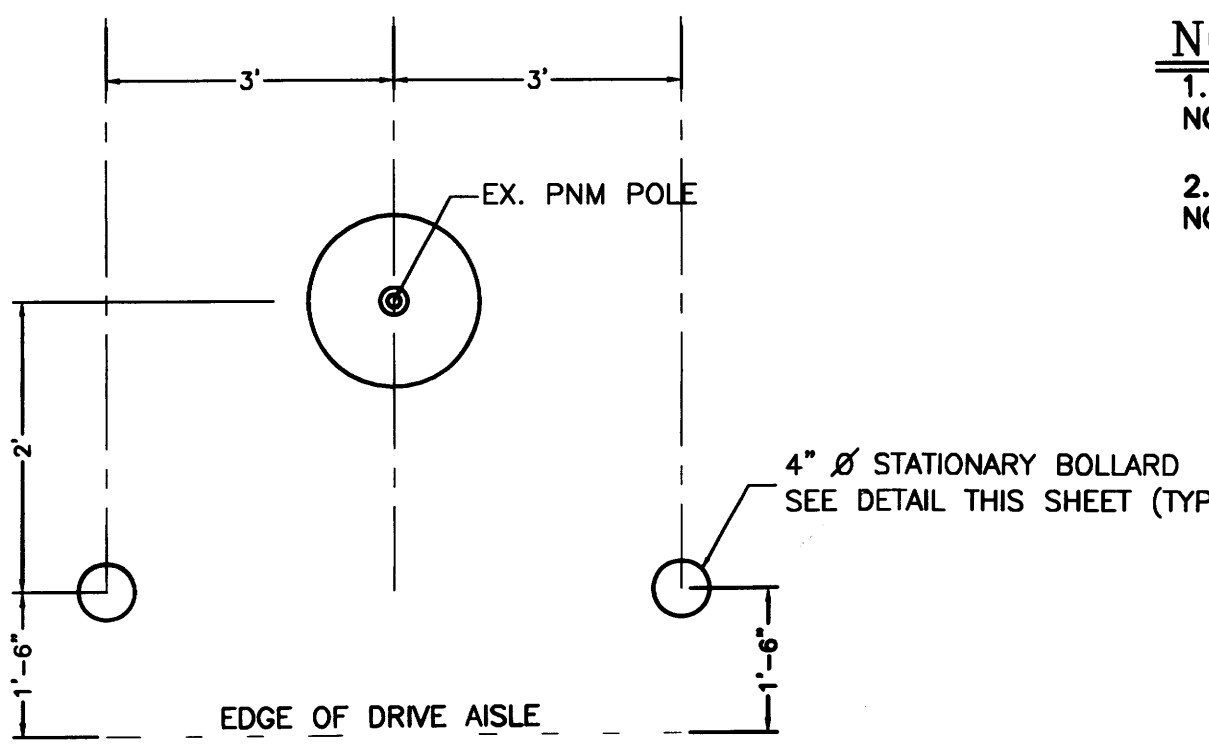
SECTION A-A
NTS



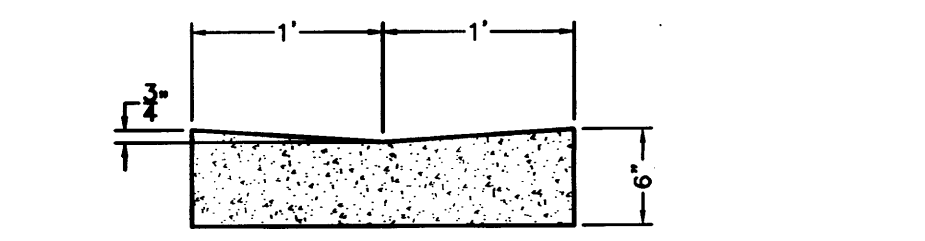
SECTION B-B
NTS



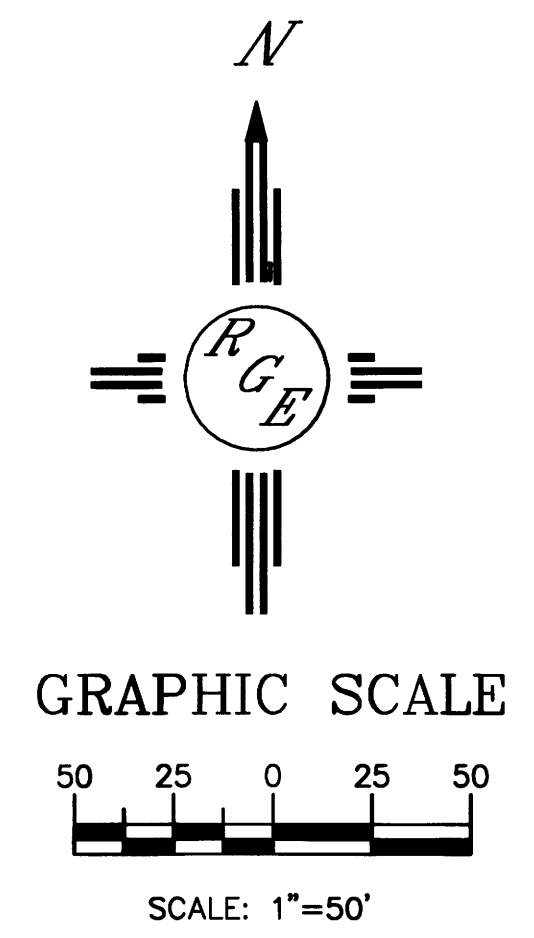
BOLLARD DETAIL
NTS



BOLLARD PLACEMENT DETAIL
NTS



CONCRETE VALLEY GUTTER DETAIL
NTS



LEGAL DESCRIPTION:

TR. 26, 28, UNIT 2-LADERA LIGHT INDUSTRIAL

NOTES:

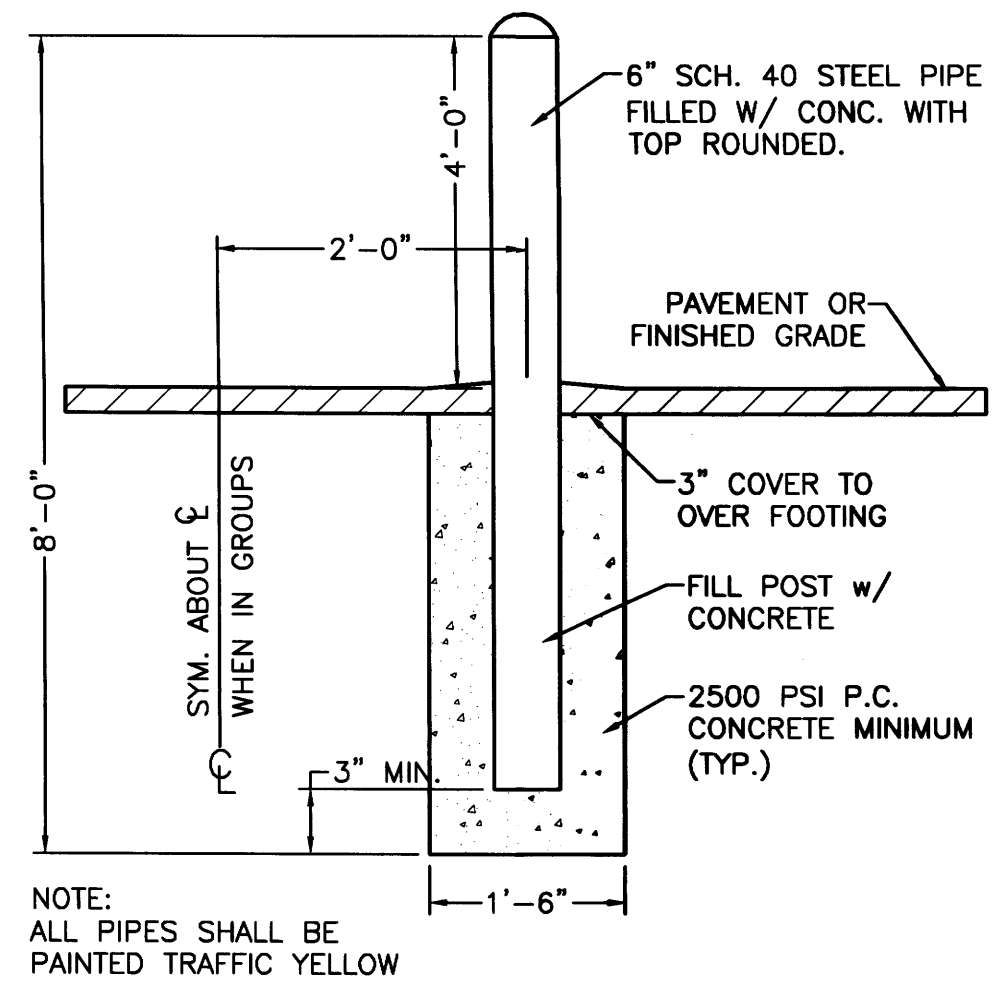
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.

LEGEND

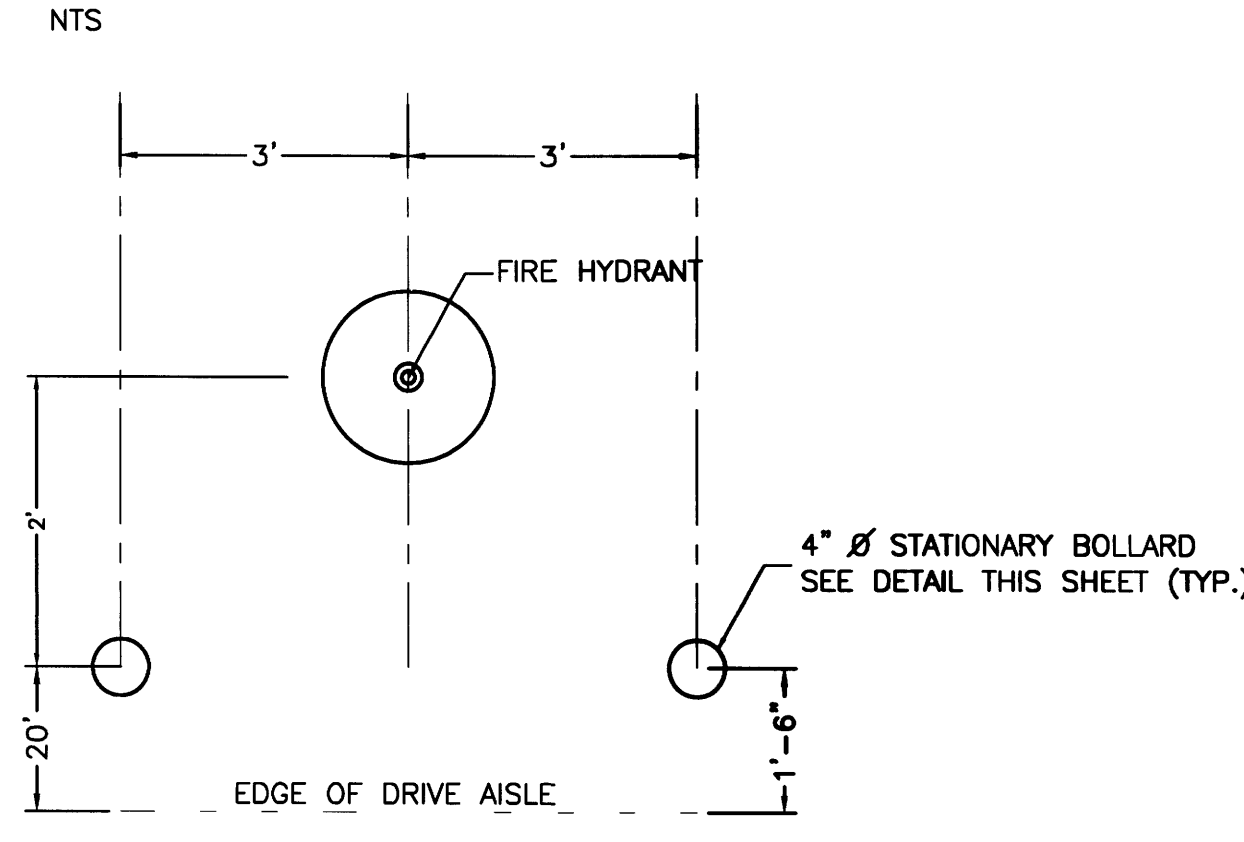
- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5416--- PROPOSED CONTOUR
- 5417--- PROPOSED INDEX CONTOUR
- ▲ 3:1 SLOPE TIE MAX.
- × 4048.25 EXISTING SPOT ELEVATION
- × 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- FLOW
- FLOW LINE
- RIGHT-OF-WAY
- PROPOSED CURB
- EXISTING CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK
- BREAK LINE

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL 	ALBUQUERQUE RV AND BOAT STORAGE GRADING AND DRAINAGE PLAN	DRAWN BY WCVJ
01/24/14		DATE 4-21-14
DAVID SOULE P.E. #14522	1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21349-LAYOUT-10-31-13
		SHEET # 3
		JOB # 21349



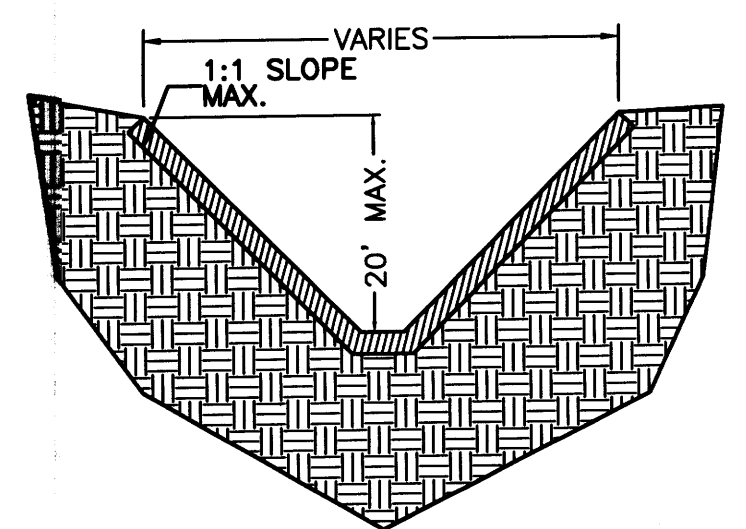
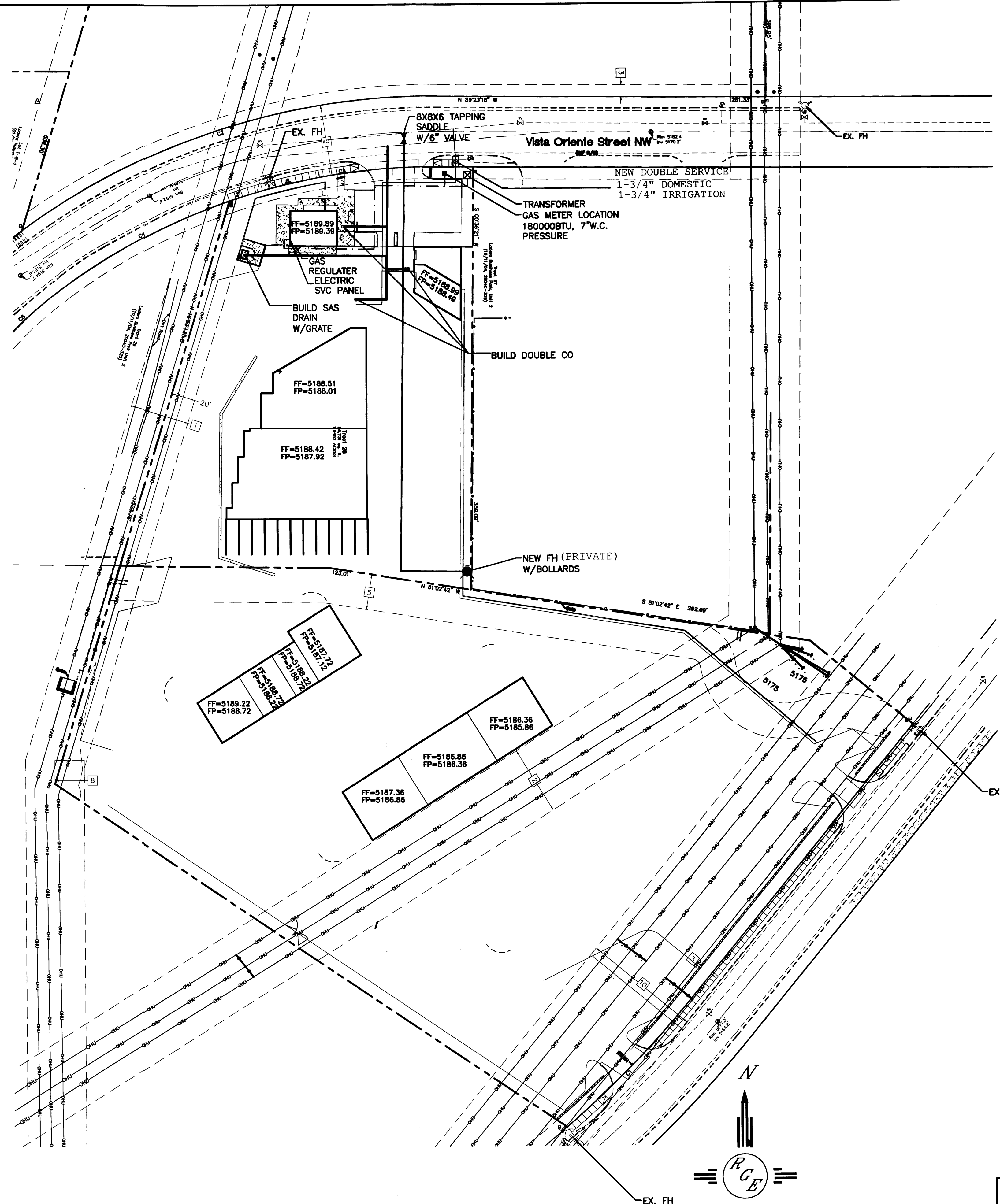
BOLLARD DETAIL



BOLLARD PLACEMENT DETAIL

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWUA.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OF POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES, REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.



SUPPLEMENTAL TRENCH DETAIL

NTS—PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.

WATER SHUTOFF NOTES:

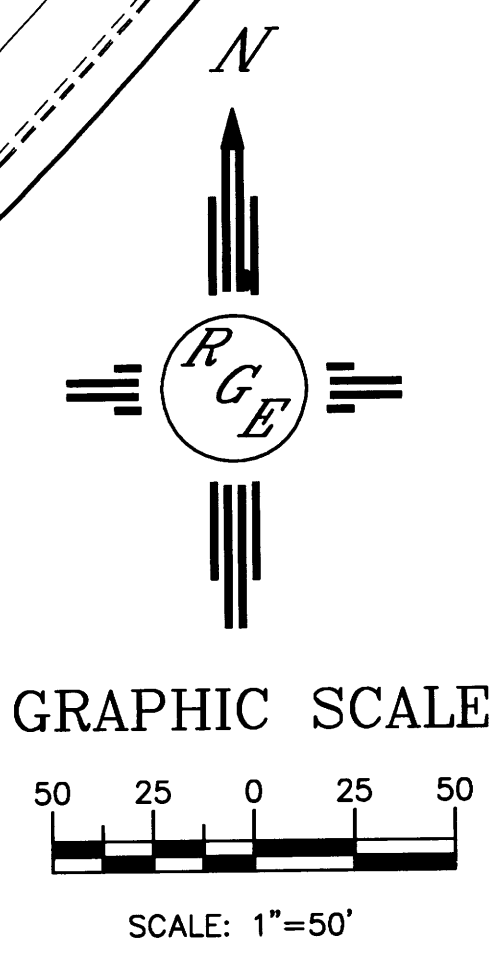
The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/full/463729/>

LEGEND

- EX. 12" SD --- EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- ⊗ EXISTING VALVE W/BOX
- EX. 6" WL --- EXISTING WATER LINE
- ⊠ PROPOSED METER
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- ⊙ STREET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).

GENERAL NOTES

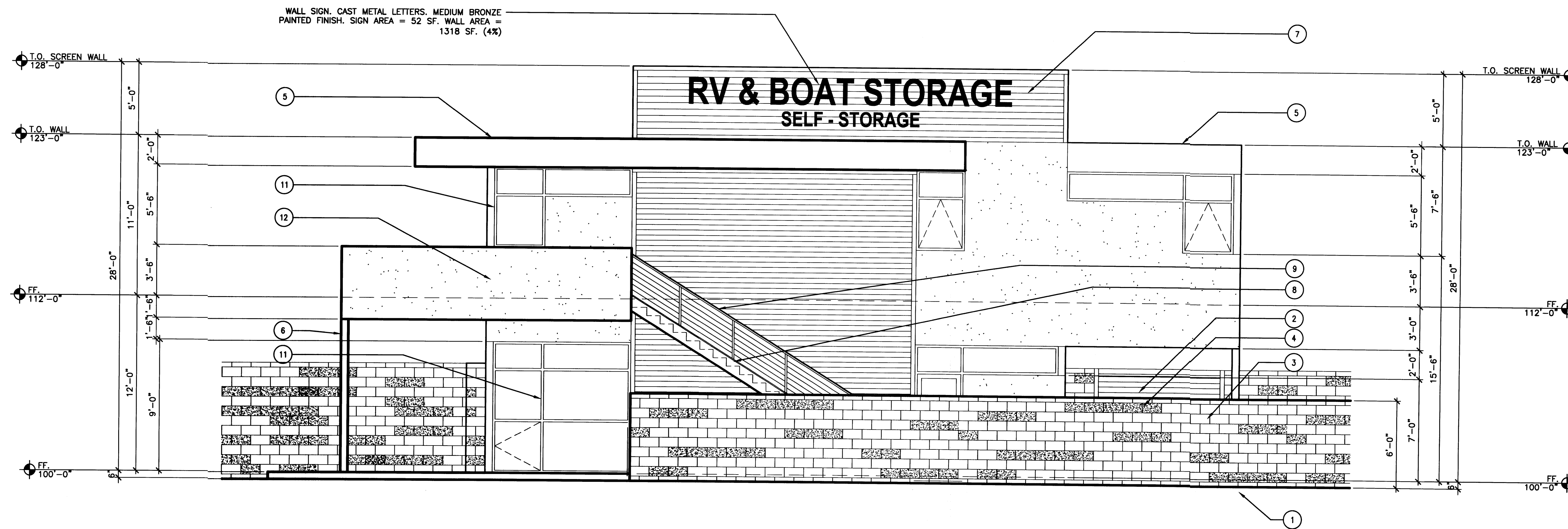
1. ALL NEW ELECTRIC DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
2. TRANSFORMERS, UTILITY PADS, AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND VEGETATION WHEN VIEWED FROM PUBLIC RIGHT-OF-WAY.



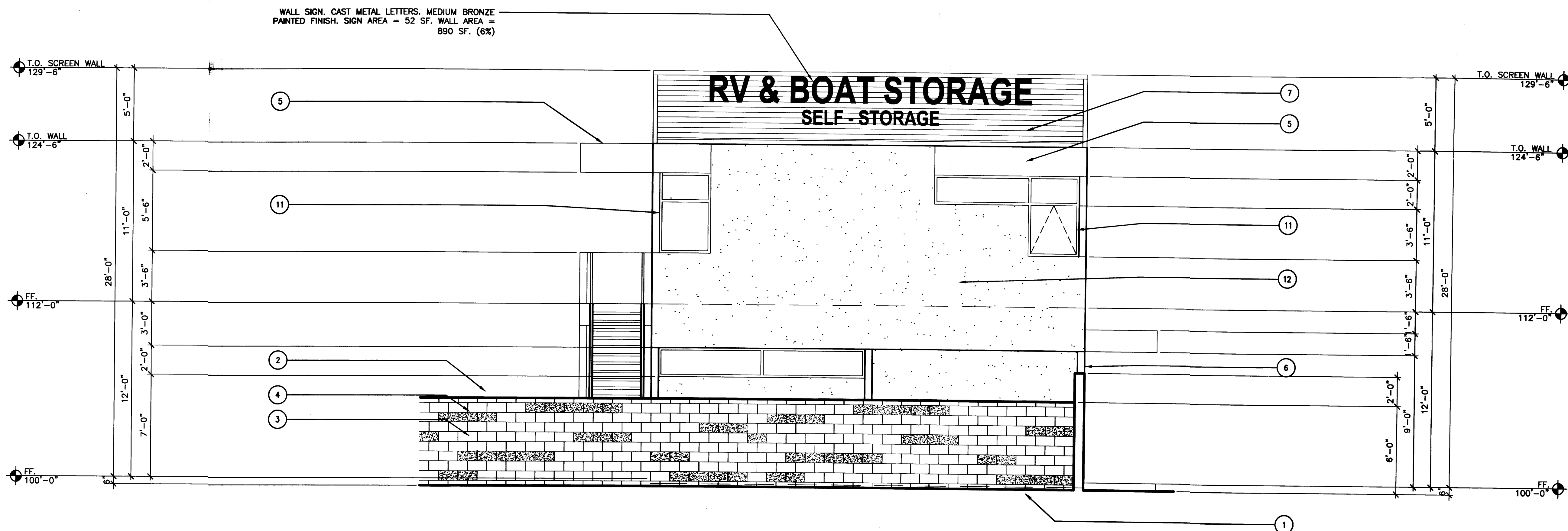
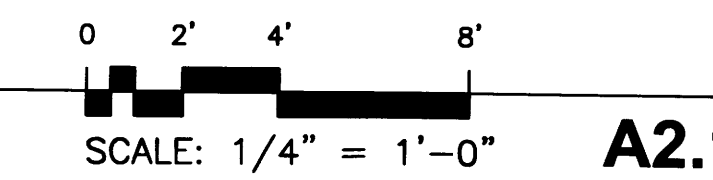
ENGINEER'S SEAL	ALBUQUERQUE RV AND BOAT STORAGE	DRAWN BY WCW/J
	MASTER UTILITY PLAN	DATE 4-21-14
	<i>Rio Grande Engineering</i>	21348-LAYOUT-10-31-13
	1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0889	SHEET # 4
DAVID SOULE P.E. #14522		JOB # 21349

KEYED NOTES

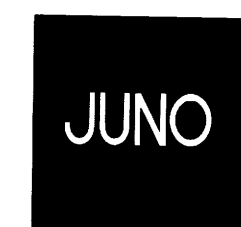
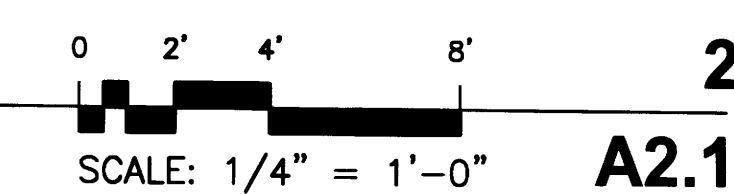
- 1 GRADE.
- 2 8"x4"x16" SOLID CMU CAP BLOCK. GRAY COLOR.
- 3 8"x8"x16" SPLIT FACE CMU. YELLOW SAGE COLOR.
- 4 8"x8"x16" SPLIT FACE CMU. MESA SUNSET COLOR W/ RANDOM LINE PATTERN (20%).
- 5 ALUMINUM FASCIA & FLASHING. WHITE COLOR.
- 6 STEEL TUBE COLUMN. PAINT GRAY COLOR.
- 7 GALVANIZED RIBBED METAL PANELS AND TRIM.
- 8 STEEL STAR. PAINT GRAY COLOR.
- 9 STEEL CABLE RAILING SYSTEM.
- 10 NOT USED.
- 11 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/INSULATED GRAY GLASS.
- 12 STUCCO. NAVAJO WHITE COLOR.



NORTH ELEVATION - OFFICE/ APARTMENT BUILDING



WEST ELEVATION - OFFICE/ APARTMENT BUILDING



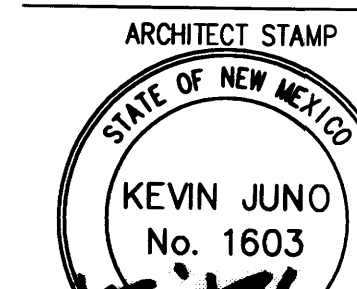
ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
EXTERIOR ELEVATIONS OFF/ APT. BLDG.

NO.	REVISION	DATE



CONSULTANT STAMP

DATE:

1-1-14

PROJECT NO.

1304

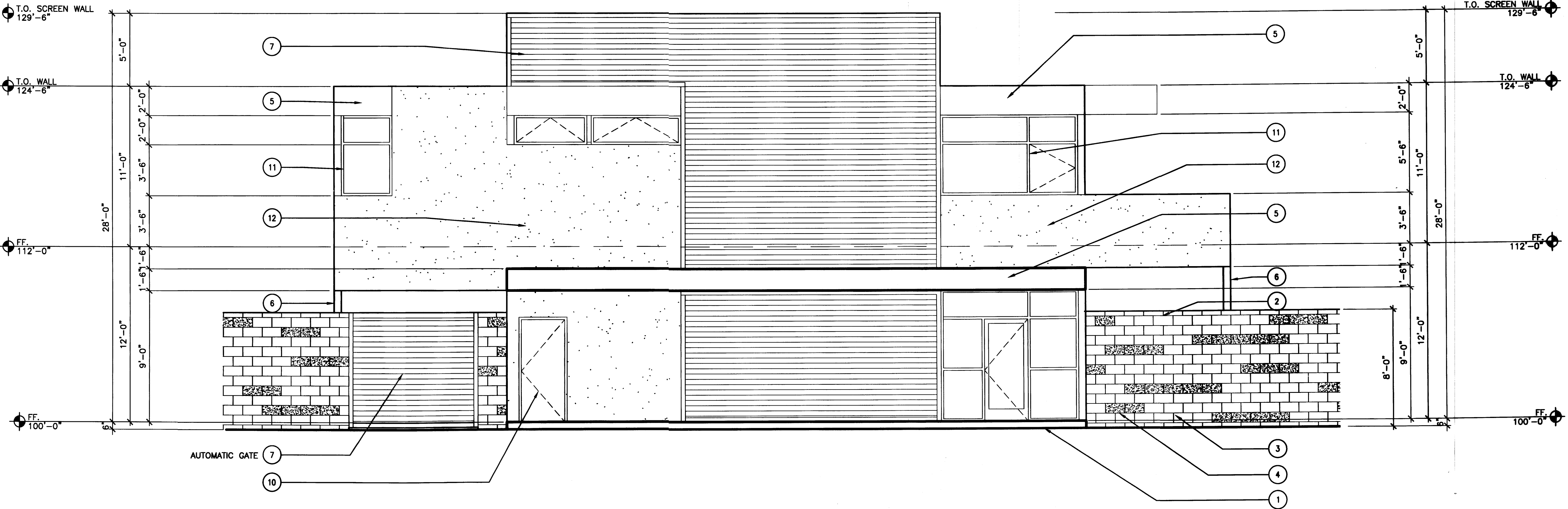
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A2.1

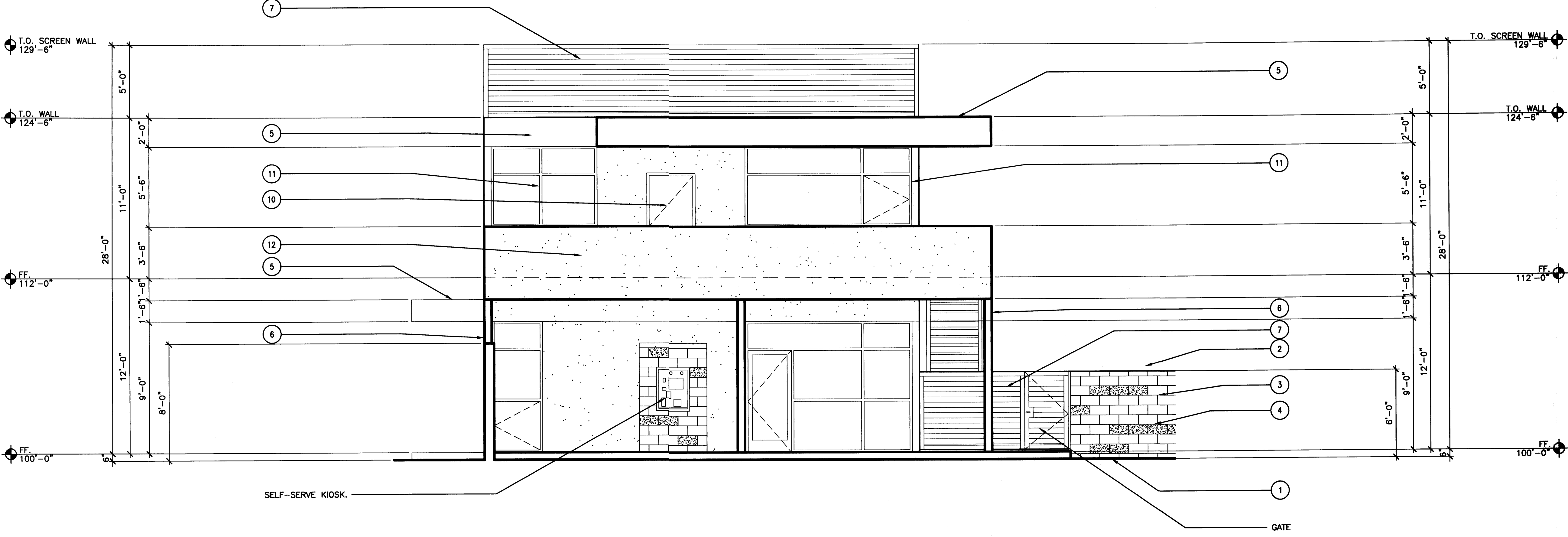
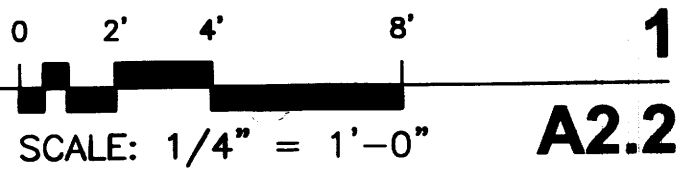
1-8-14

KEYED NOTES

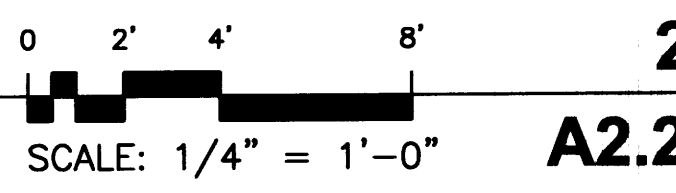
- 1 GRADE.
- 2 8"x4"x16" SOLID CMU CAP BLOCK, GRAY COLOR.
- 3 8"x8"x16" SPLIT FACE CMU, YELLOW SAGE COLOR.
- 4 8"x8"x16" SPLIT FACE CMU, MESA SUNSET COLOR W/ RANDOM LINE PATTERN (20%)
- 5 ALUMINUM FASCIA & FLASHING, WHITE COLOR
- 6 STEEL TUBE COLUMN, PAINT GRAY COLOR.
- 7 GALVANIZED RIBBED METAL PANELS AND TRIM.
- 8 NOT USED.
- 9 NOT USED.
- 10 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH NAVAJO WHITE STUCCO COLOR.
- 11 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/INSULATED GRAY GLASS.
- 12 STUCCO, NAVAJO WHITE COLOR.



SOUTH ELEVATION - OFFICE/ APARTMENT BUILDING



EAST ELEVATION - OFFICE/ APARTMENT BUILDING



ARCHITECTS

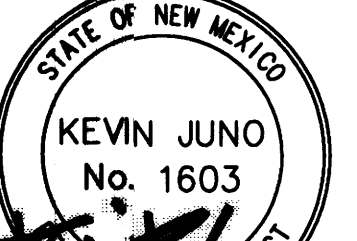
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
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EXTERIOR ELEVATIONS OFF/ APT BLDG.

NO.	REVISION	DATE

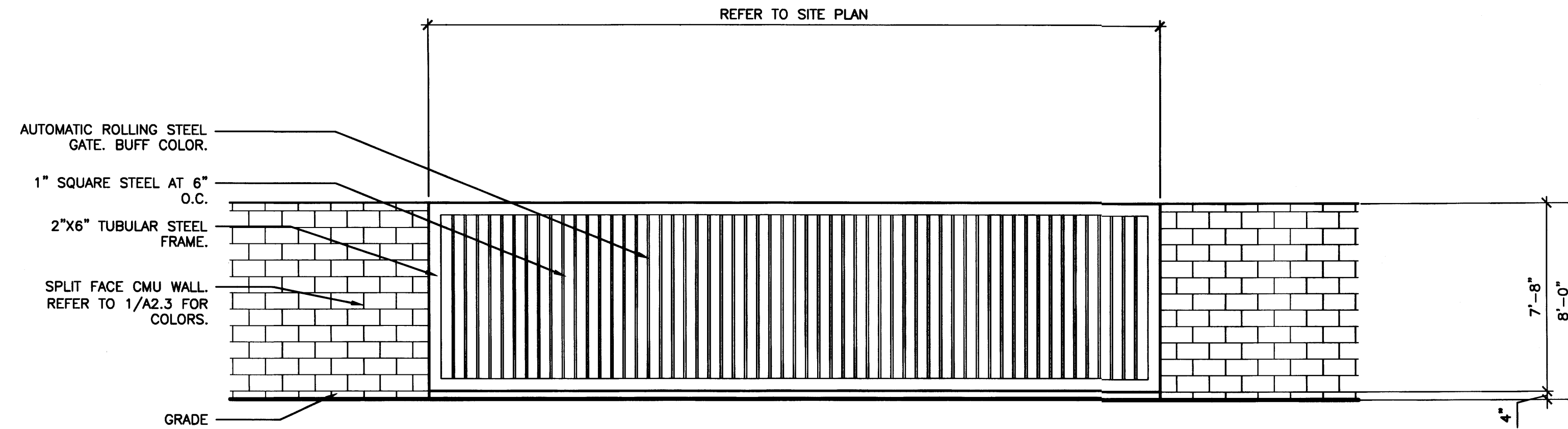
ARCHITECT STAMP CONSULTANT STAMP DATE:



DATE:
 1-1-14
 PROJECT NO.
 1304
 SHEET NO.

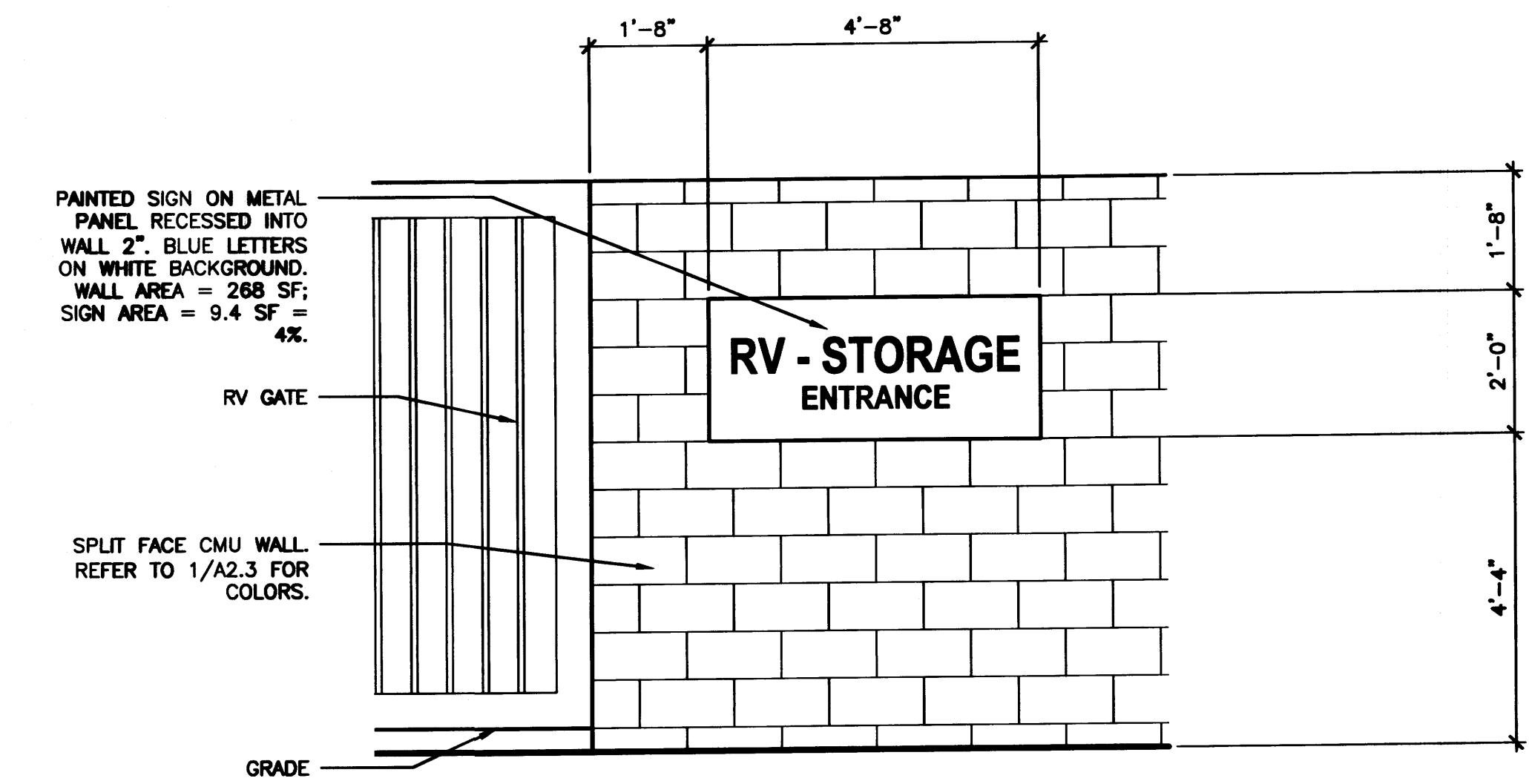
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A2.2



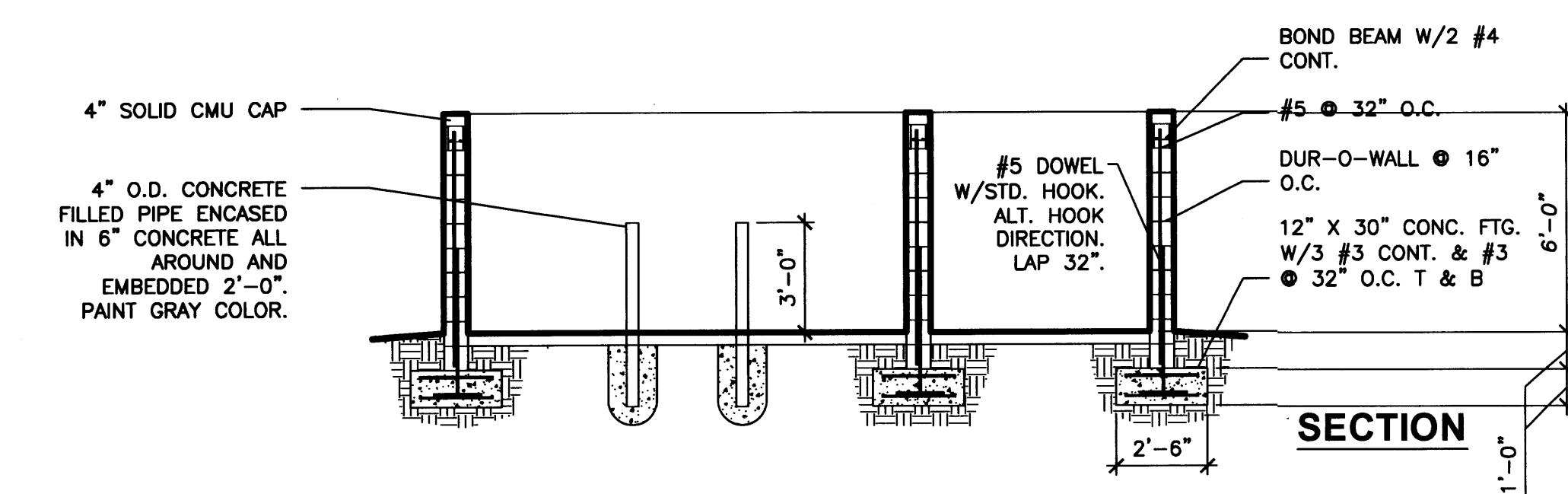
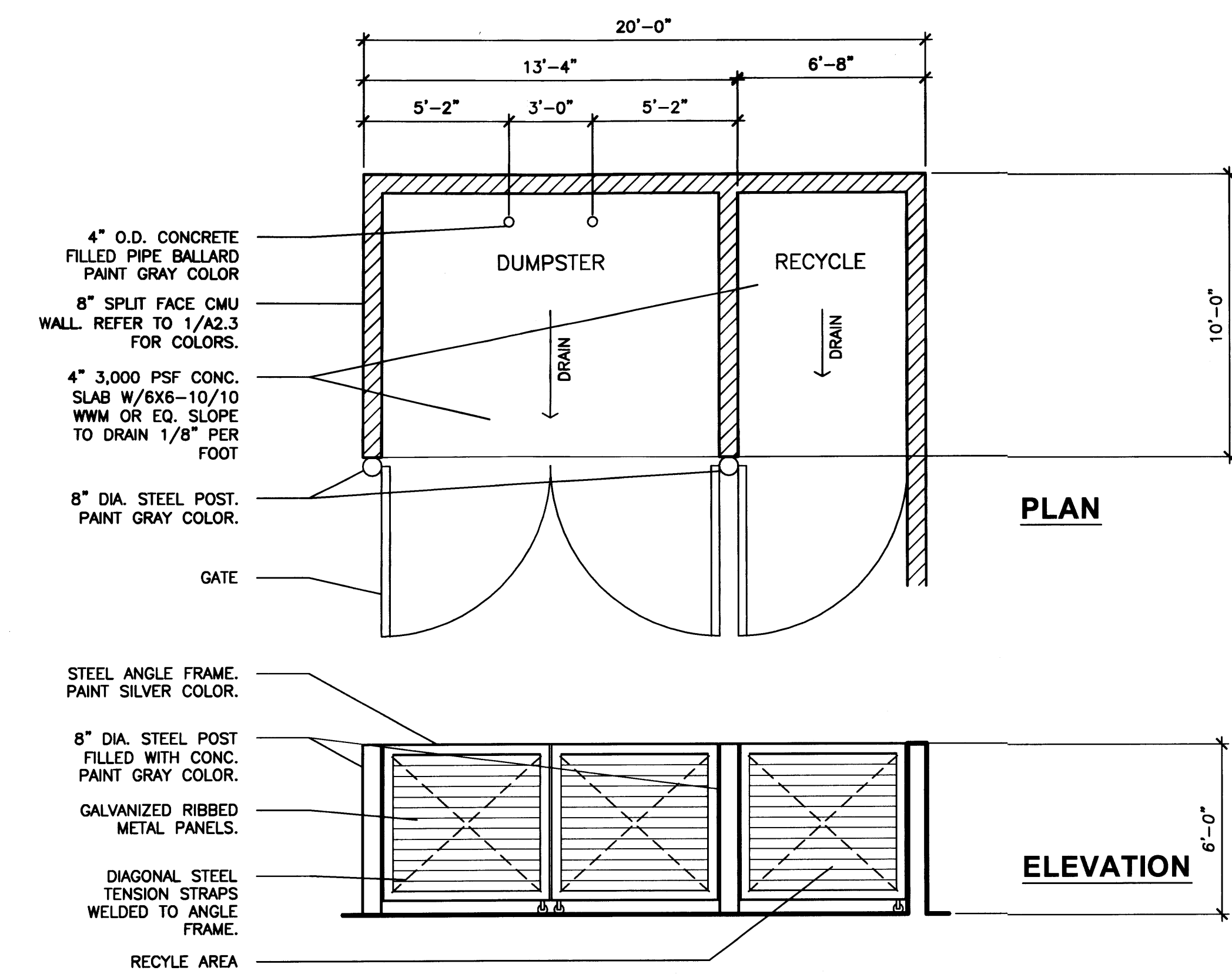
STORAGE ENTRANCE GATE (3 TYPICAL)

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **5**
A2.3



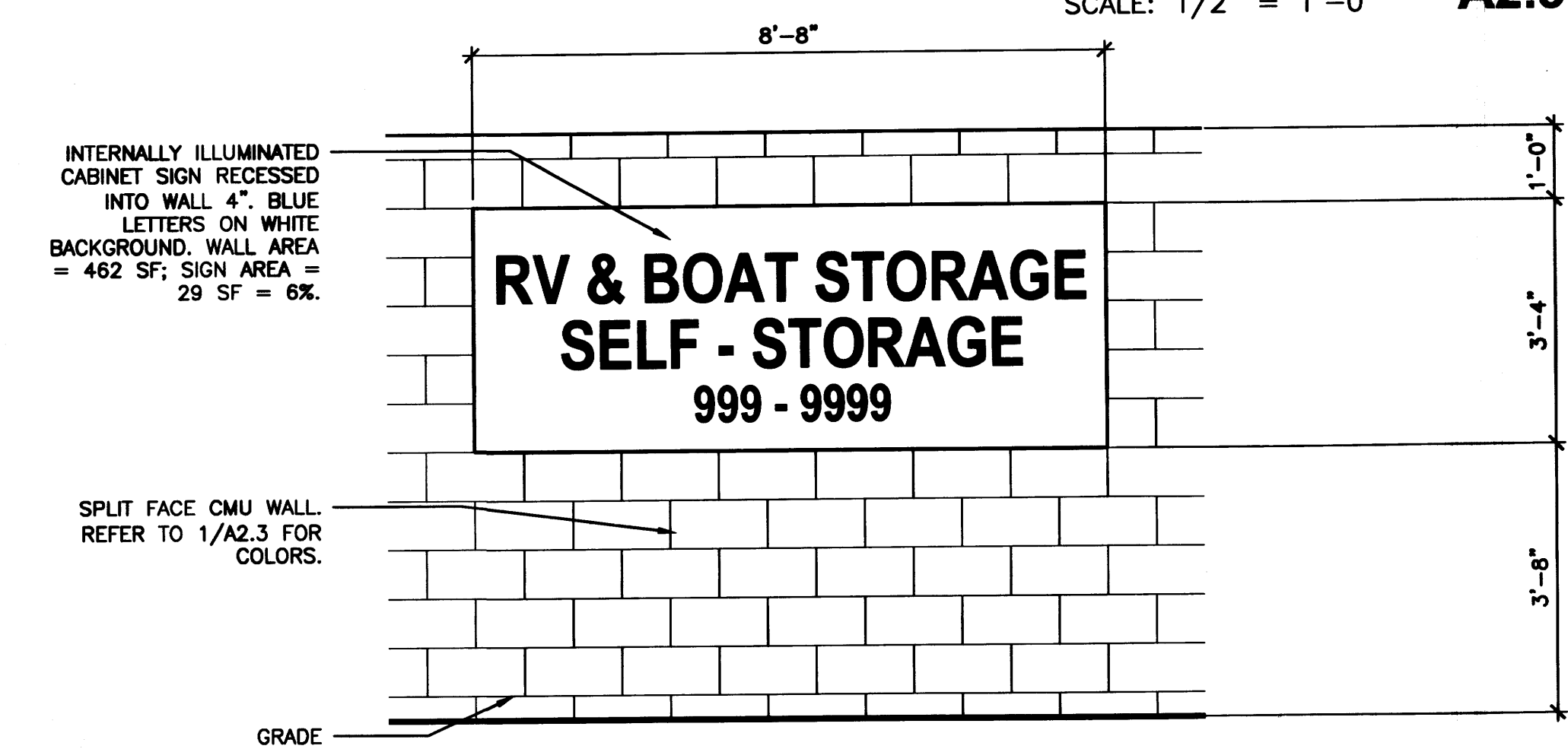
LA MORADA PL. RV ENTRY SIGN (2 TYP.)

0 1' 2' 4'
SCALE: 1/2" = 1'-0" **4**
A2.3



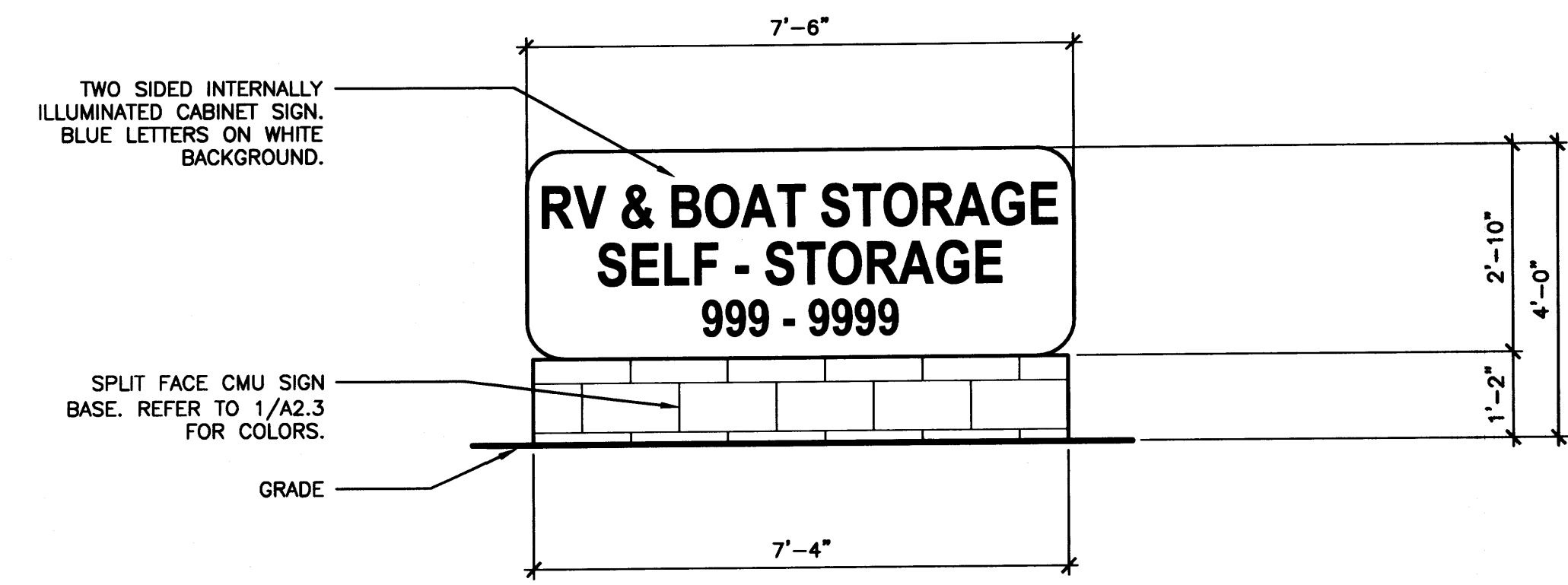
TRASH ENCLOSURE DETAIL

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **6**
A2.3



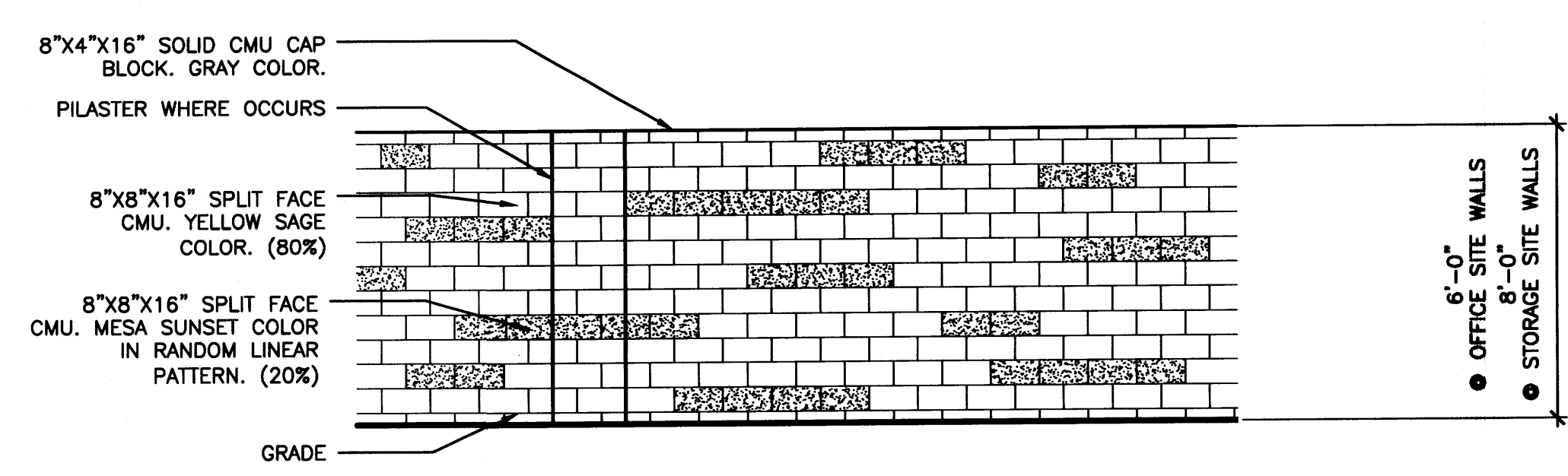
LA MORADA PL. WALL SIGN

0 1' 2' 4'
SCALE: 1/2" = 1'-0" **3**
A2.3



MONUMENT SIGN

0 1' 2' 4'
SCALE: 1/2" = 1'-0" **2**
A2.3



CMU WALL PATTERN (TYPICAL)

0 2' 4' 8'
SCALE: 1/4" = 1'-0" **1**
A2.3

KEYED NOTES



ARCHITECTS
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

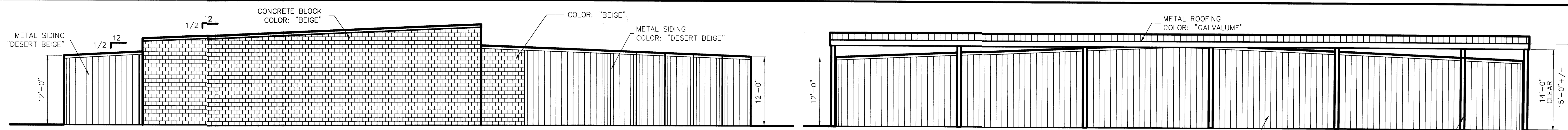
PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE, NW, ALBUQUERQUE, NM

SHEET TITLE:
DETAILS

NO.	REVISION	DATE

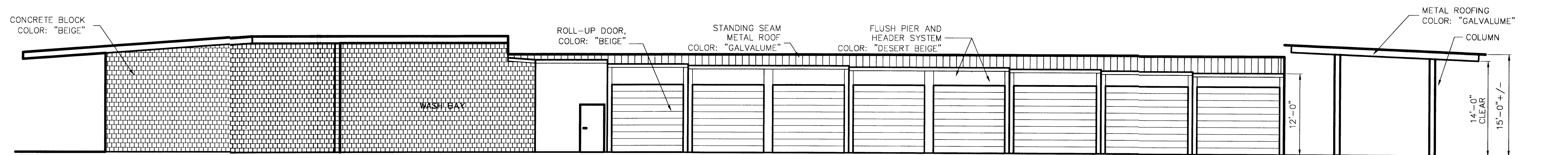
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CONSULTANT STAMP: [Blank]
DATE: 1-1-14
PROJECT NO. 1304
SHEET NO.

A2.3
1-8-14

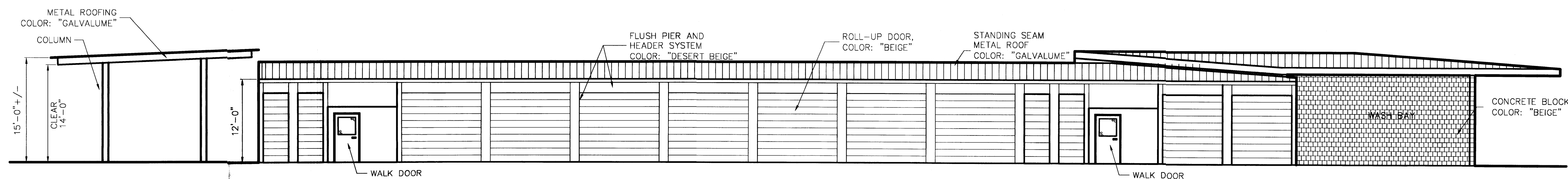


BLDG. A – NORTH ELEVATION

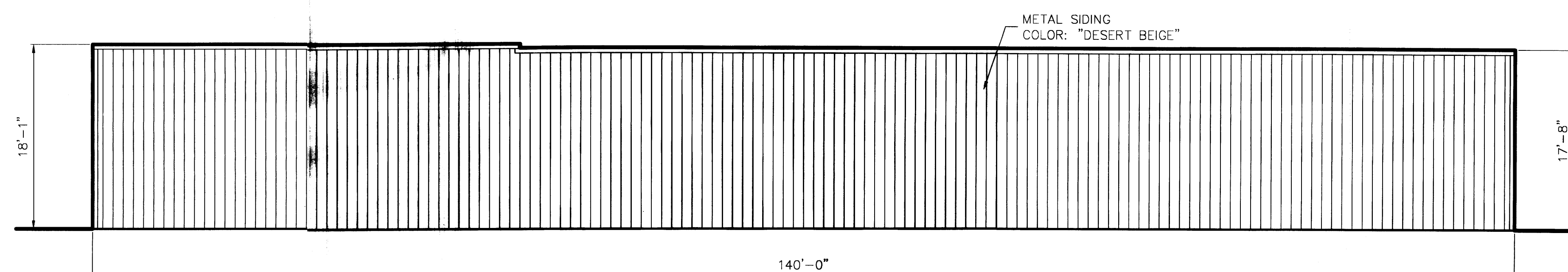
BLDG. A / CANOPY C6 – SOUTH ELEVATION



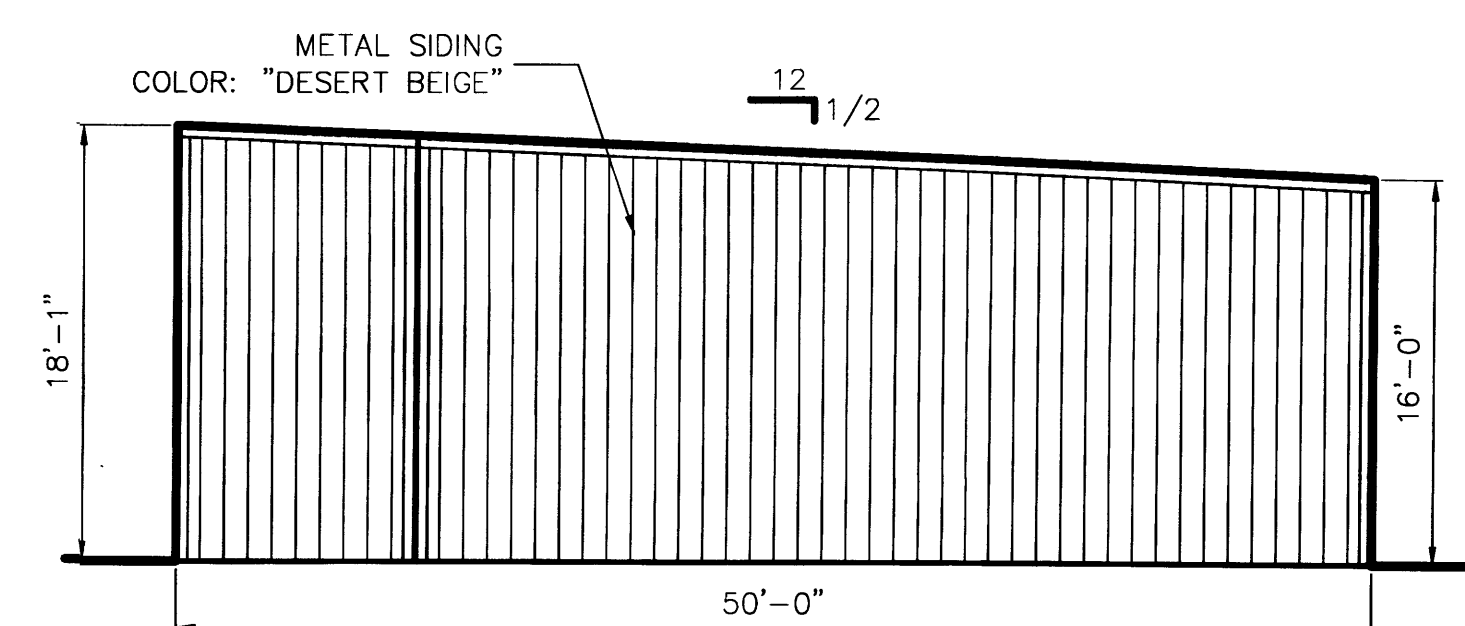
BLDG. A / CANOPY C.2 – WEST ELEVATION



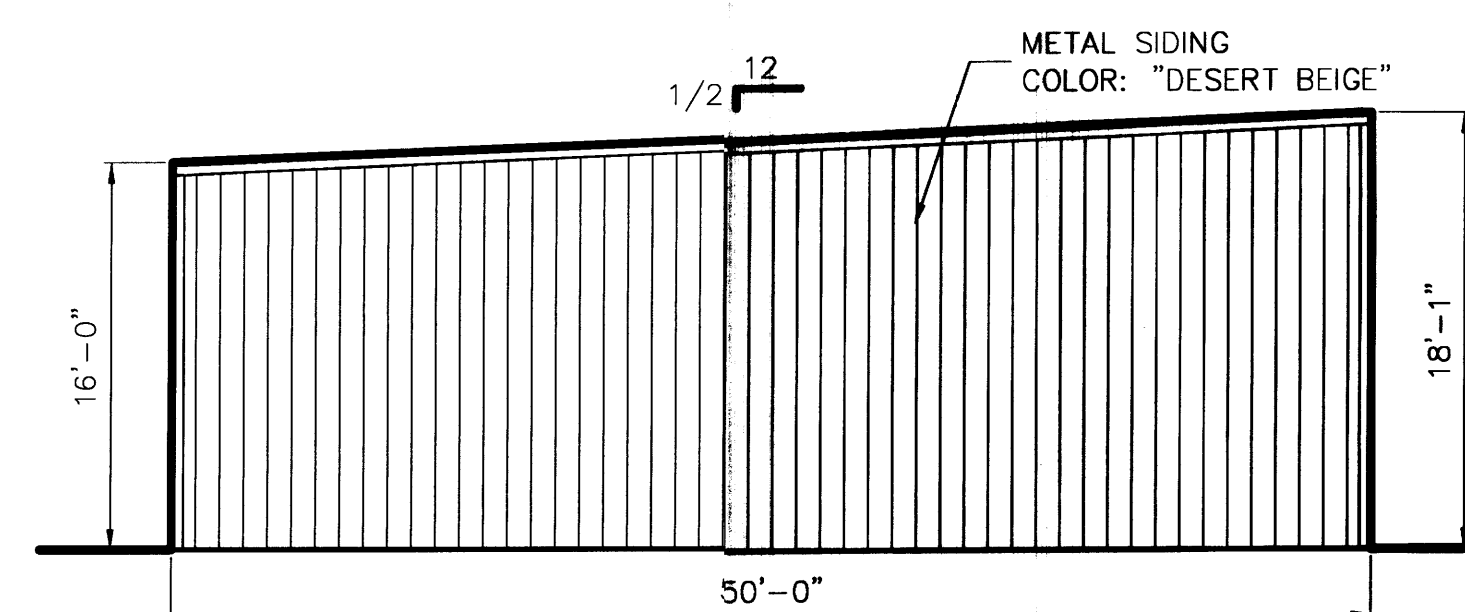
BLDG. A / CANOPY C.2 – EAST ELEVATION



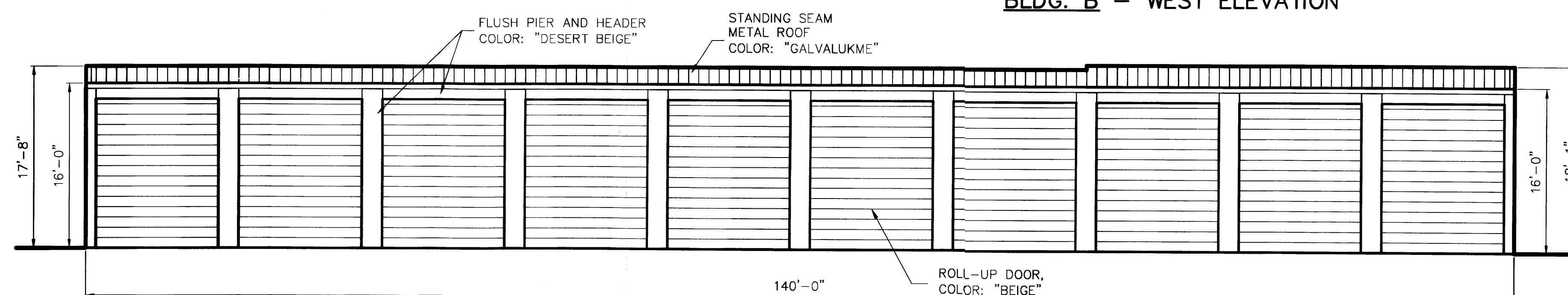
BLDG. B – NORTH ELEVATION



BLDG. B – WEST ELEVATION



BLDG. B – EAST ELEVATION



BLDG. B – SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
2210 Vista Oriente NW., Albuquerque, NM
Dan Rich

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REVISIONS:

△ - Wash bay - 1/6/14 - RRH
△ - Reconfig - 3/19/14 - RRH
△ - Bldg. A, Colors - 4/2/14
△
△
△
△

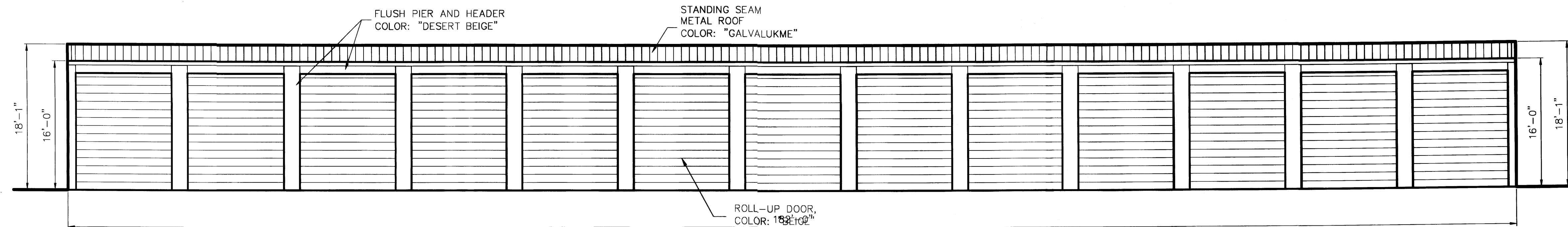
DRAWN BY: RRH

DATE: 11/5/13

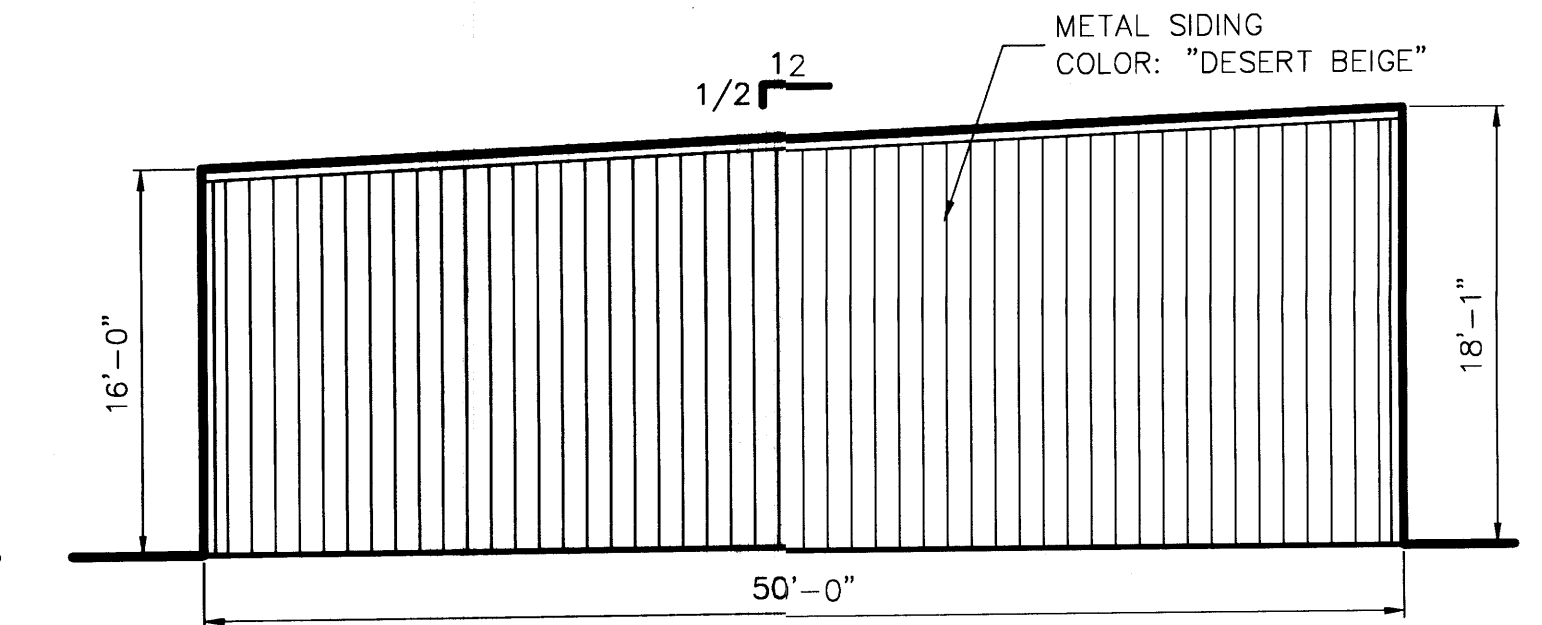
DWG. NO.:

E1 OF 5

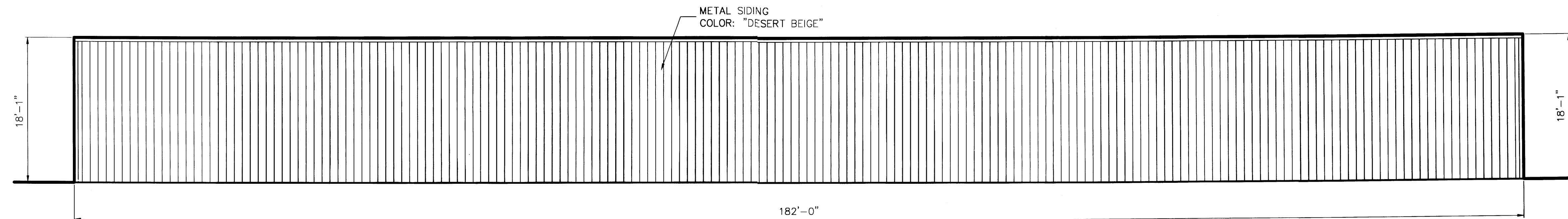
REVISION: 03



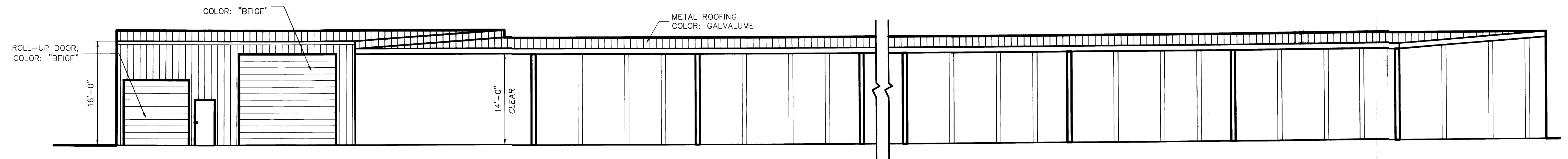
BLDG. C - SOUTH ELEVATION



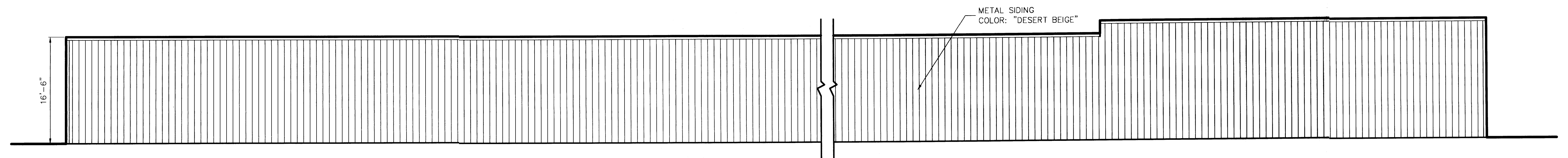
BLDG. C - EAST ELEVATION (WEST, SIM.)



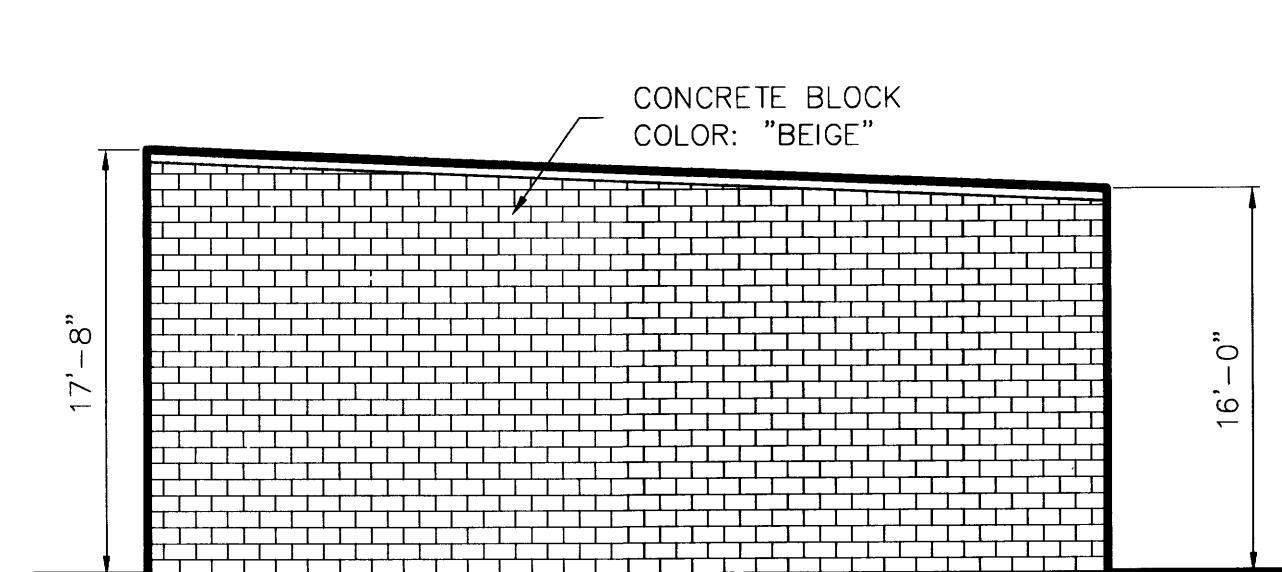
BLDG. C - NORTH ELEVATION



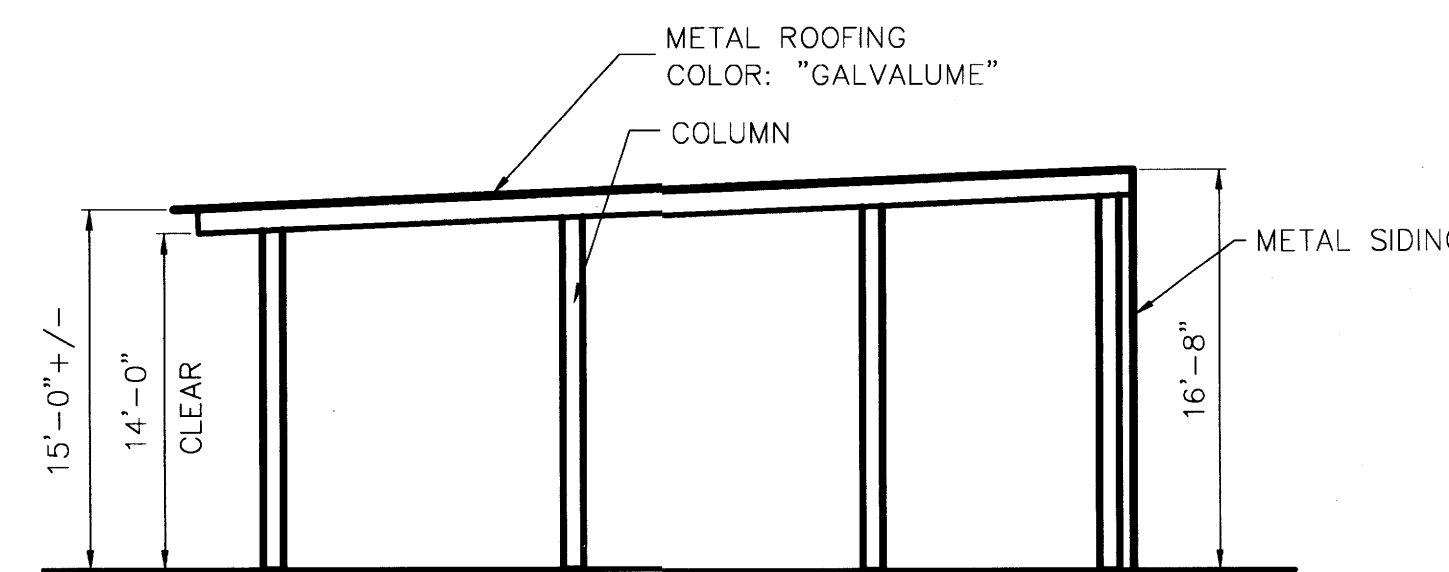
CANOPY C1 - WEST ELEVATION



CANOPY C1 - EAST ELEVATION



CANOPY C1 - NORTH ELEVATION



CANOPY C1 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
 2210 Vista Oriente NW., Albuquerque, NM
 Dan Rich

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REVISIONS:

- △ - Wash bay - 1/6/14 - RRH
- △ - Reconfig - 3/19/14 - RRH
- △ - Colors - 4/2/14 - RRH
- △ -
- △ -
- △ -
- △ -

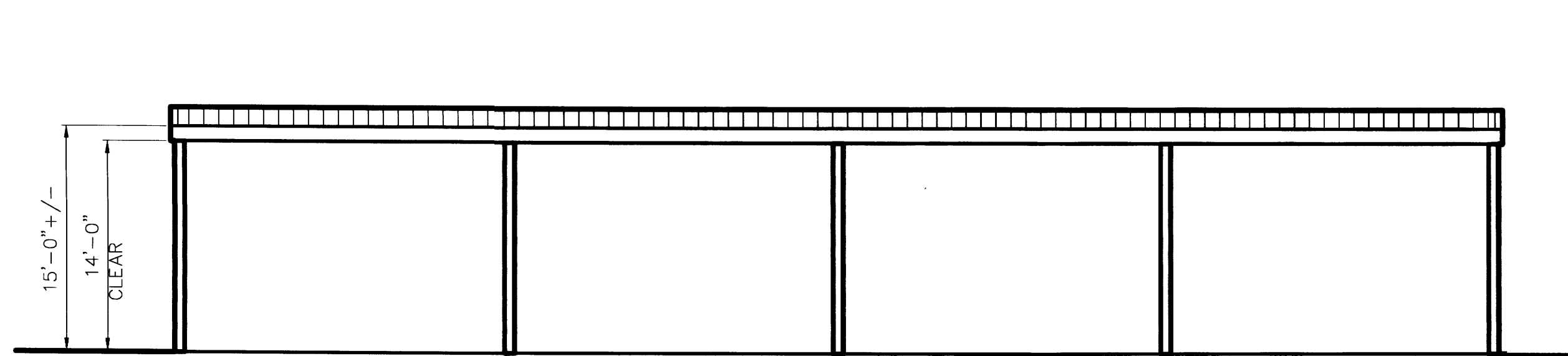
DRAWN BY: RRH

DATE: 11/5/13

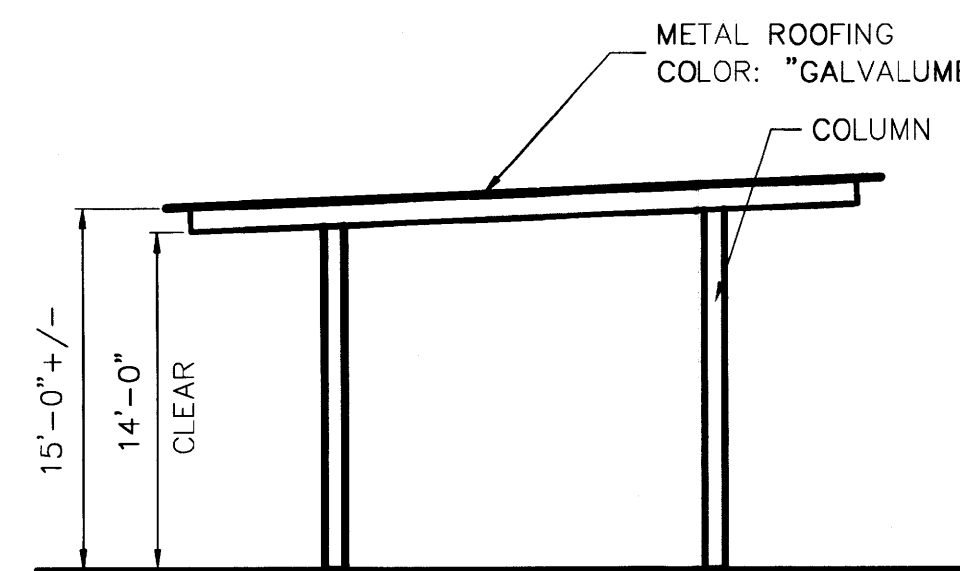
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E2 OF 5

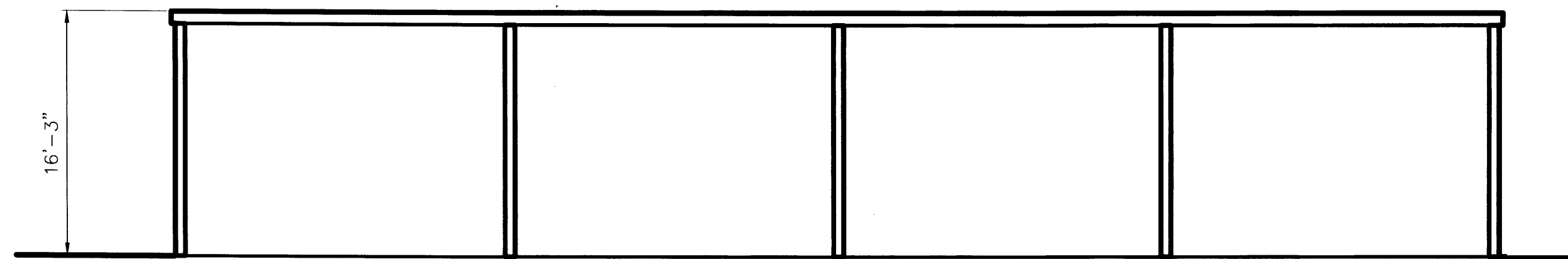
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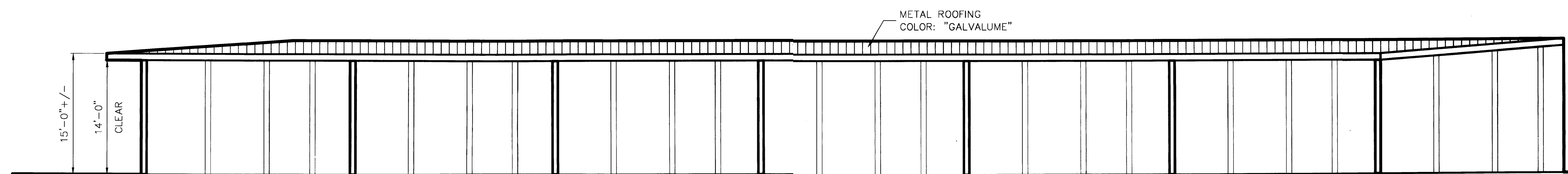
CANOPY C3 – NORTH ELEVATION



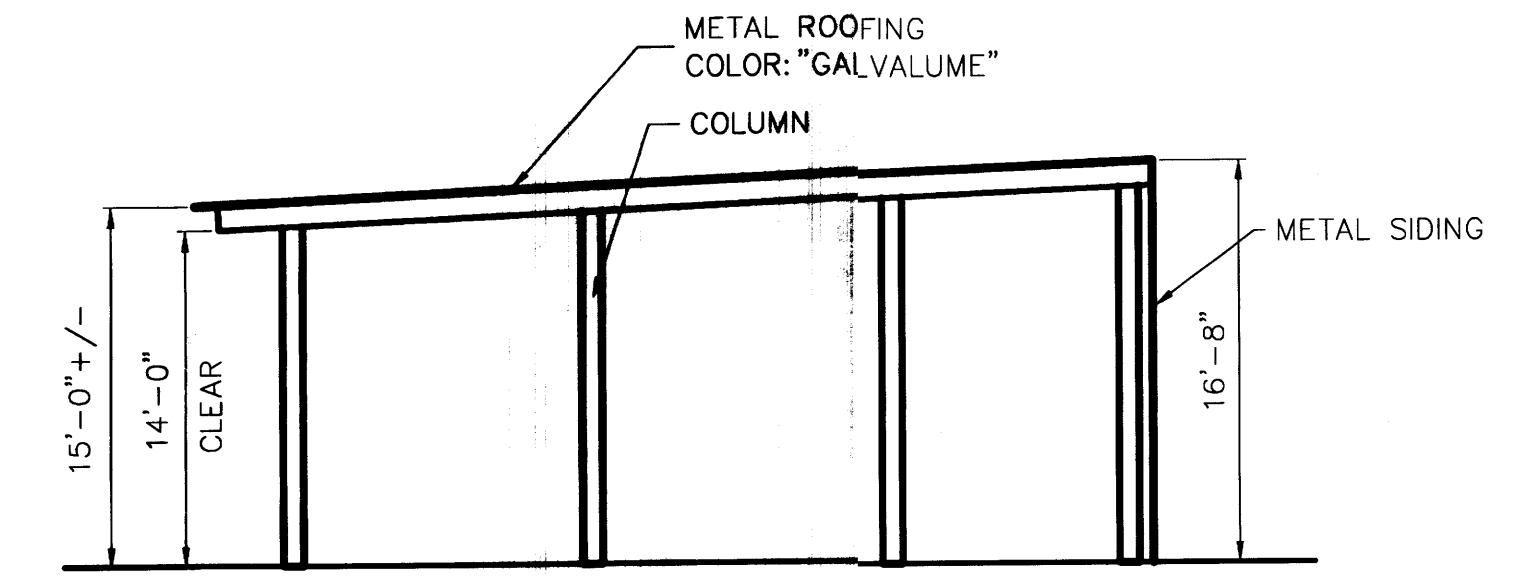
CANOPY C3 – WEST ELEVATION
(EAST, SIM.)



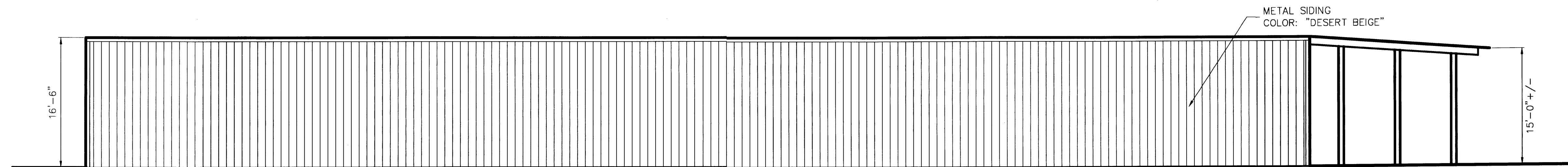
CANOPY C3 – SOUTH ELEVATION



CANOPY C4 – EAST ELEVATION



CANOPY C4 – NORTH ELEVATION
(SOUTH, SIM.)



CANOPY C4 – WEST ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
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Dan Rich

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REVISIONS:

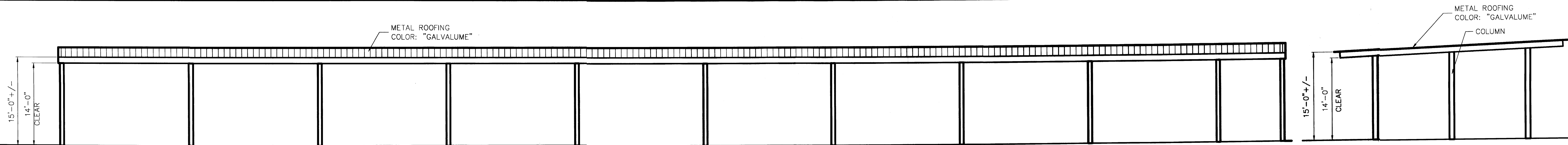
- △ Wash Bay - 1/6/14 - RRH
- △ Reconfig - 3/19/14 - RRH
- △ Colors - 4/2/14 - RRH
- △
- △
- △
- △
- △

DRAWN BY: RRH

DATE: 11/5/13

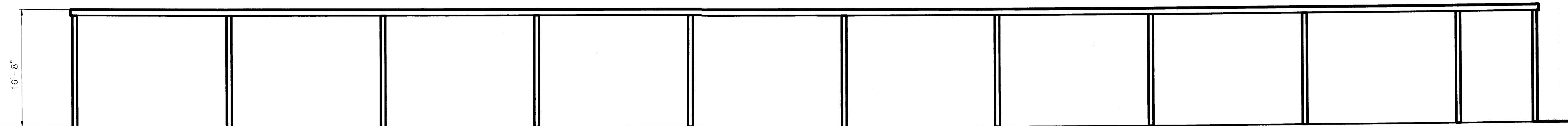
DWG. NO.:
E3 OF 5

REVISION: 03

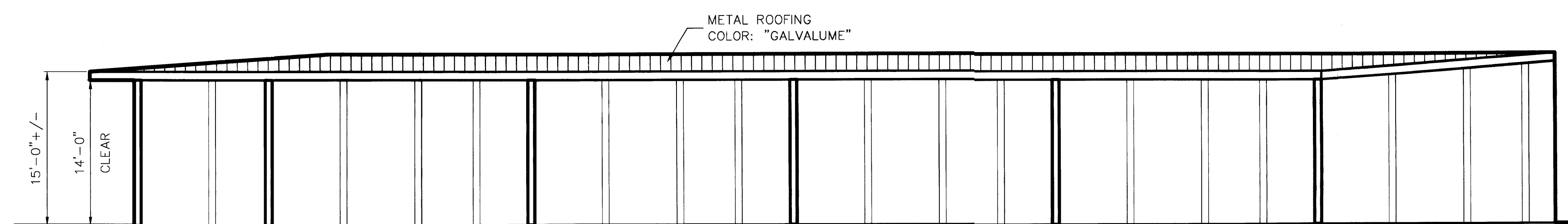


CANOPY C5 - NORTH ELEVATION

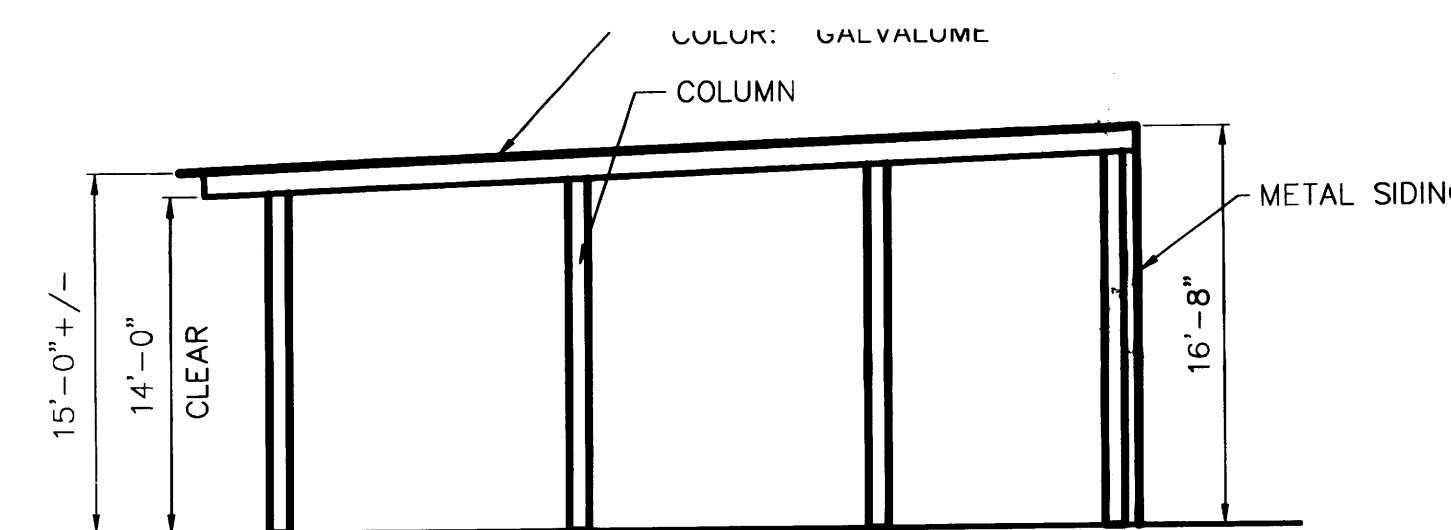
CANOPY C5 - WEST ELEVATION (EAST, SIM.)



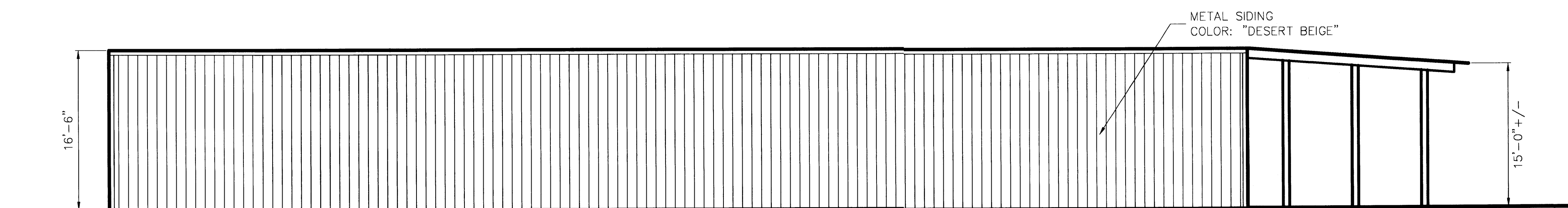
CANOPY C5 - SOUTH ELEVATION



CANOPY C6 - EAST ELEVATION



CANOPY C6 - NORTH ELEVATION (SOUTH, SIM.)



CANOPY C6 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
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 Dan Rich

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REVISIONS:

- △ - Wash Bay - 1/6/14 - RRH
- △ - Reconfig - 3/19/14 - RRH
- △ - Colors - 4/1/14 - RRH
- △ -
- △ -
- △ -
- △ -

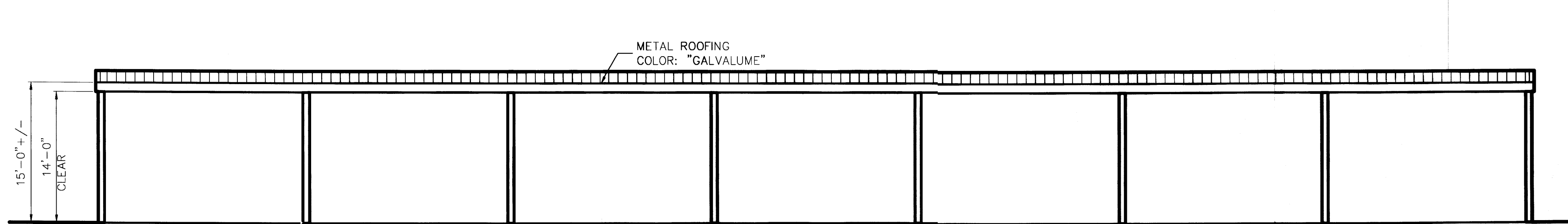
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DATE: 11/5/13

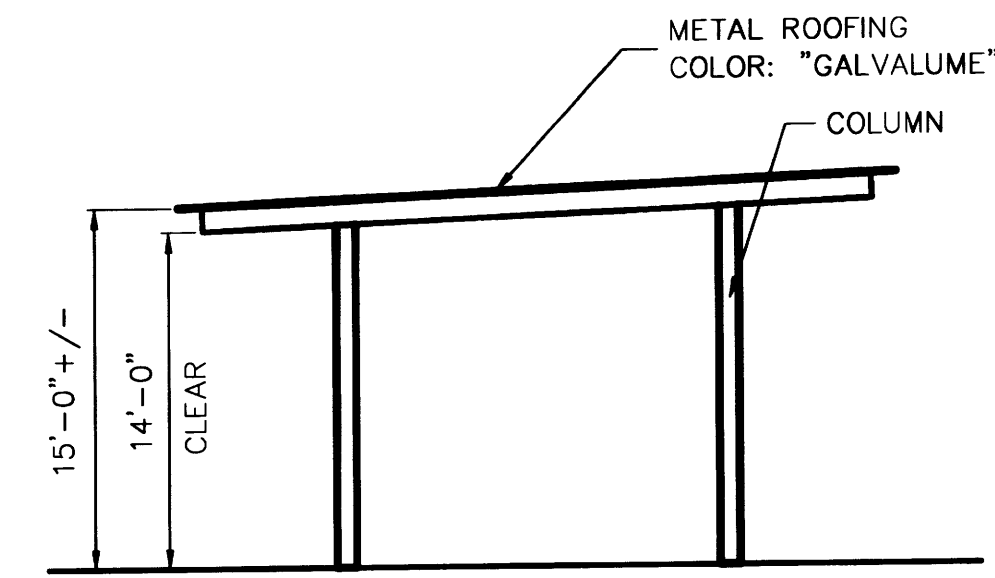
DWG. NO.:

E4 of 5

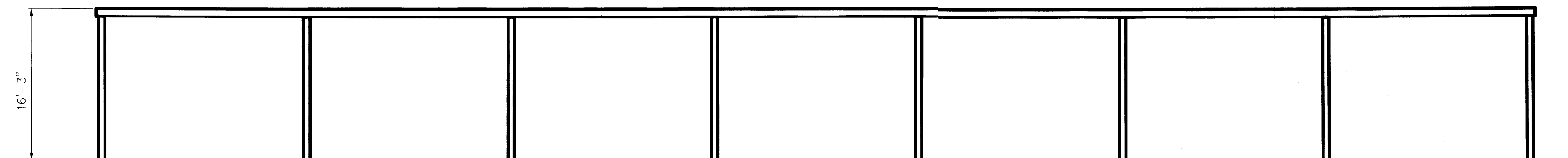
REVISION: 03



CANOPY C7 - SOUTH ELEVATION



CANOPY C7 - EAST ELEVATION
(WEST, SIM.)



CANOPY C7 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE

2210 Vista Oriente NW, Albuquerque, NM

Dan Rich

NOTES & CONDITIONS

- THIS DRAWING IS TO BE USED FOR PRELIMINARY PLANNING PURPOSES ONLY. DETERMINATION OF THE SUITABILITY OF THE LAYOUT AND UNIT MIX SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER.
 - ALL DIMENSIONS, ELEVATIONS, EASEMENTS AND SETBACKS SHOWN ARE BASED UPON THE BEST INFORMATION PROVIDED TO THE DESIGNER. THE OWNER/DEVELOPER IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION.
 - DESIGNER DOES NOT INSURE REQUIRED EXISTENT TYPE OR LOCATION OF ANY FIREWALLS, EITHER SHOWN OR NOT SHOWN. OWNER/DEVELOPER TO VERIFY.
 - LOCAL REQUIREMENTS MAY TAKE PRECEDENCE. OWNER/DEVELOPER TO CONFIRM DESIGN IS IN COMPLIANCE WITH ALL APPLICABLE LOCAL CODES AND LAWS (ZONING, ENVIRONMENTAL, BUILDING, FIRE, ETC.).
 - THIS DOCUMENT AND ITS CONTENTS ARE THE PROPERTY OF MAKO STEEL, INC. AND ANY UNAUTHORIZED USE IS STRICTLY PROHIBITED.

REVISIONS:

- △ Wash Bay - 1/6/14 - RRH
- △ Reconfig - 3/19/14 - RRH
- △ Colors - 4/2/14 - RRH
- △
- △
- △
- △
- △

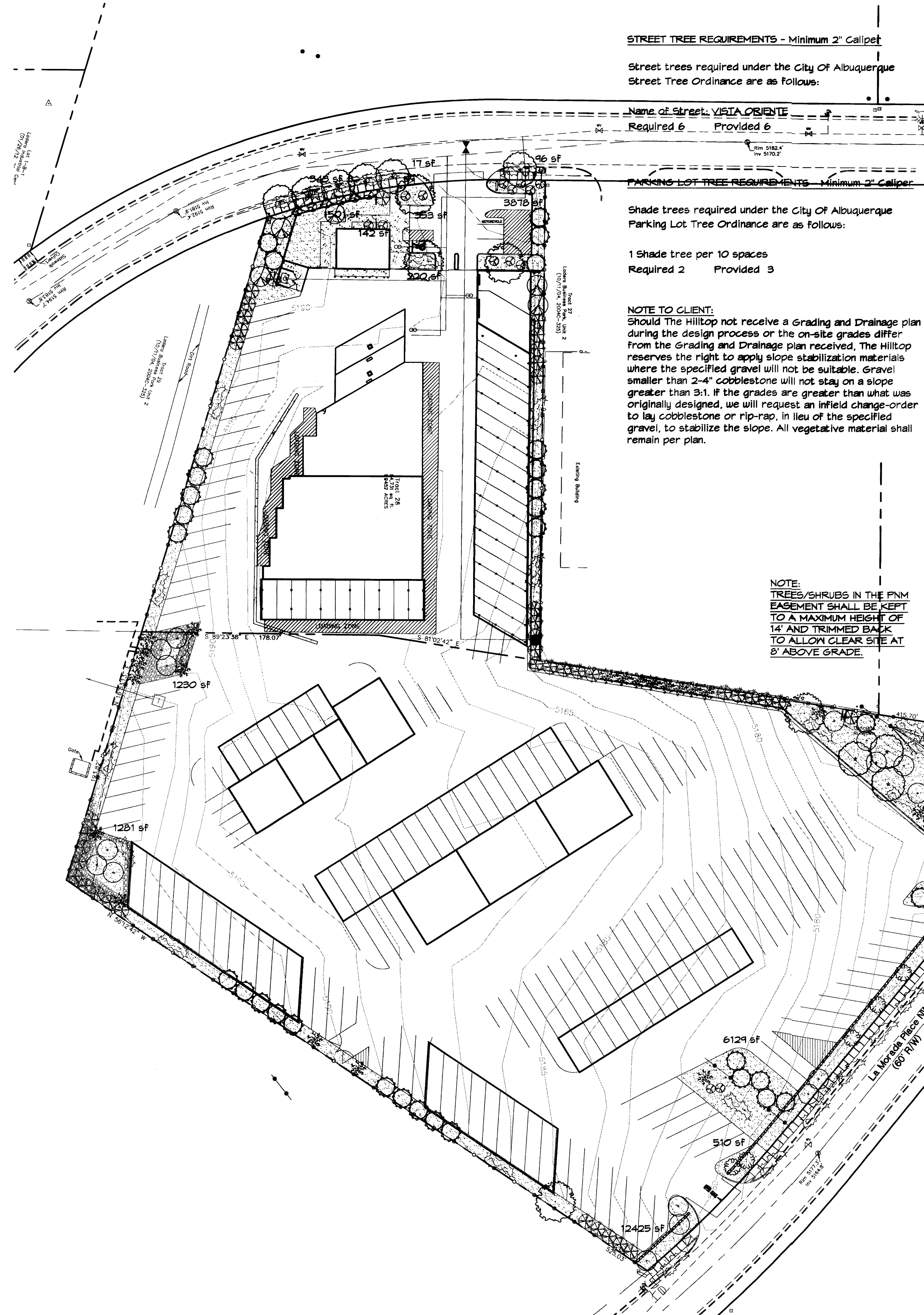
DRAWN BY: RRH

DATE: 11/5/13

DWG. NO.:

E5 OF 5

REVISION: 03



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pallet Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
 Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

ALL LANDSCAPING WITHIN CITY RIGHT OF WAY SUBJECT TO EXECUTED STREET SCAPE AGREEMENT

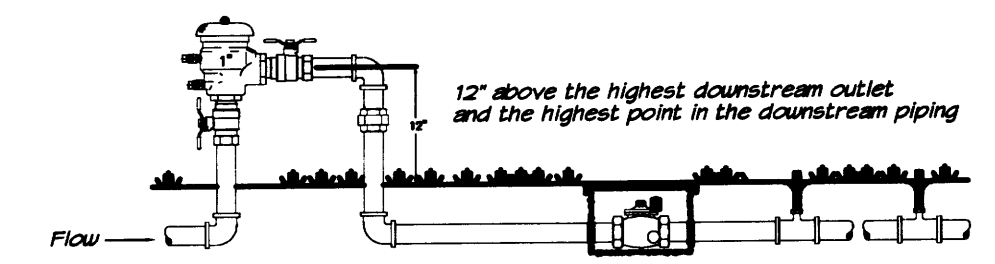
NOTE:
 TREES/SHRUBS IN THE PNM EASEMENT SHALL BE KEPT TO A MAXIMUM HEIGHT OF 14' AND TRIMMED BACK TO ALLOW CLEAR SITE AT 8' ABOVE GRADE.

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

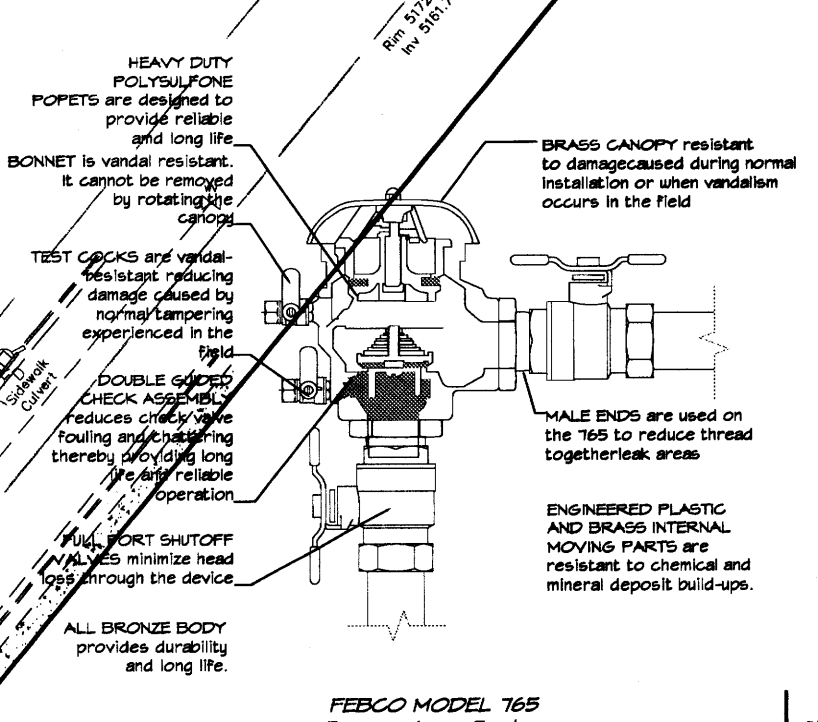
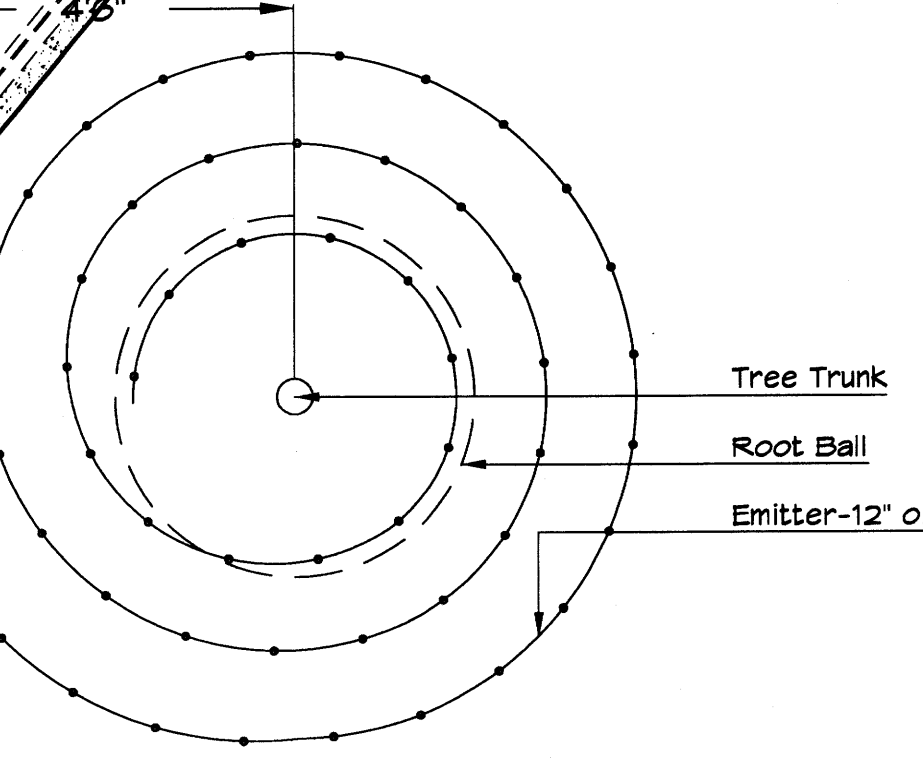
- SHADE TREES**
- AUTUMN PURPLE ASH 5
Fraxinus americana
2" Cal., 12-14" Inst./60' x 60' maturity
Water (M) Allergy (H) 0sf
 - EASTERN REDBUD 9
Cercis canadensis
2" Cal., 8-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- SHRUBS/ORNAMENTAL TREES**
- WESTERN RED CEDAR 5
Thuja plicata 'Green Giant'
15 Gal., 4-10" Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
 - VITEX 8
Vitex agnus-castus
15 Gal., 4-10" Inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
 - NEW MEXICO OLIVE 23
Forsythia neomexicana
15 Gal., 4-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
 - DESERT WILLOW 34
Chilopsis linearis
5 Gal., 4-10" Inst./20' x 25' maturity
Water (L-) Allergy (L) 225sf
- GROUNDCOVERS**
- LADY BANKS ROSE 27
Rosa banksiae
5 Gal., 24-4" Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
 - HONEYSUCKLE 20
Lonicera japonica 'Halliana'
1 Gal., 6-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
 - GREEN MOUND JUNIPER 42
Juniperus procumbens 'Green Mound'
5 Gal., 6-15" Inst./8' x 8' maturity
Water (L-) Allergy (H) 64sf
 - BUFFALO JUNIPER 29
Juniperus sabina 'Buffalo'
1 Gal., 24-4" Inst./2' x 8' maturity
Water (L-) Allergy (L) 64sf

- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - RIPRAP OR COBBLESTONE
- * DENOTES EVERGREEN PLANT MATERIAL



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	244353	square feet
TOTAL BUILDINGS AREA	75875	square feet
NET LOT AREA	218478	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32771	square feet
TOTAL BED PROVIDED	39196	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	24397	square feet
TOTAL GROUNDCOVER PROVIDED	32624	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	39196	square feet



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9600
 Fax (505) 898-7737
 cm@hilltoplandscaping.com



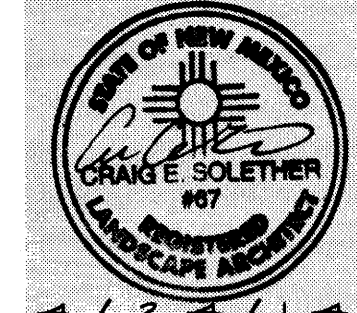
7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)890-1736

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE

SHEET TITLE:
LANDSCAPE PLAN

NO.	REVISION	DATE
1	ADD LS TO SOUTH ENTRY	1/2/14
2	COMMENTS	1/10/14
3	ADD LS TO ALL INTERIOR BEDS	4/4/14
4	REVISED SITE PLAN	4/24/14

ARCHITECT STAMP CONSULTANT STAMP DATE:



12-18-13
 PROJECT NO.
 1304
 SHEET NO.

LS1.1

LANDSCAPE PLAN

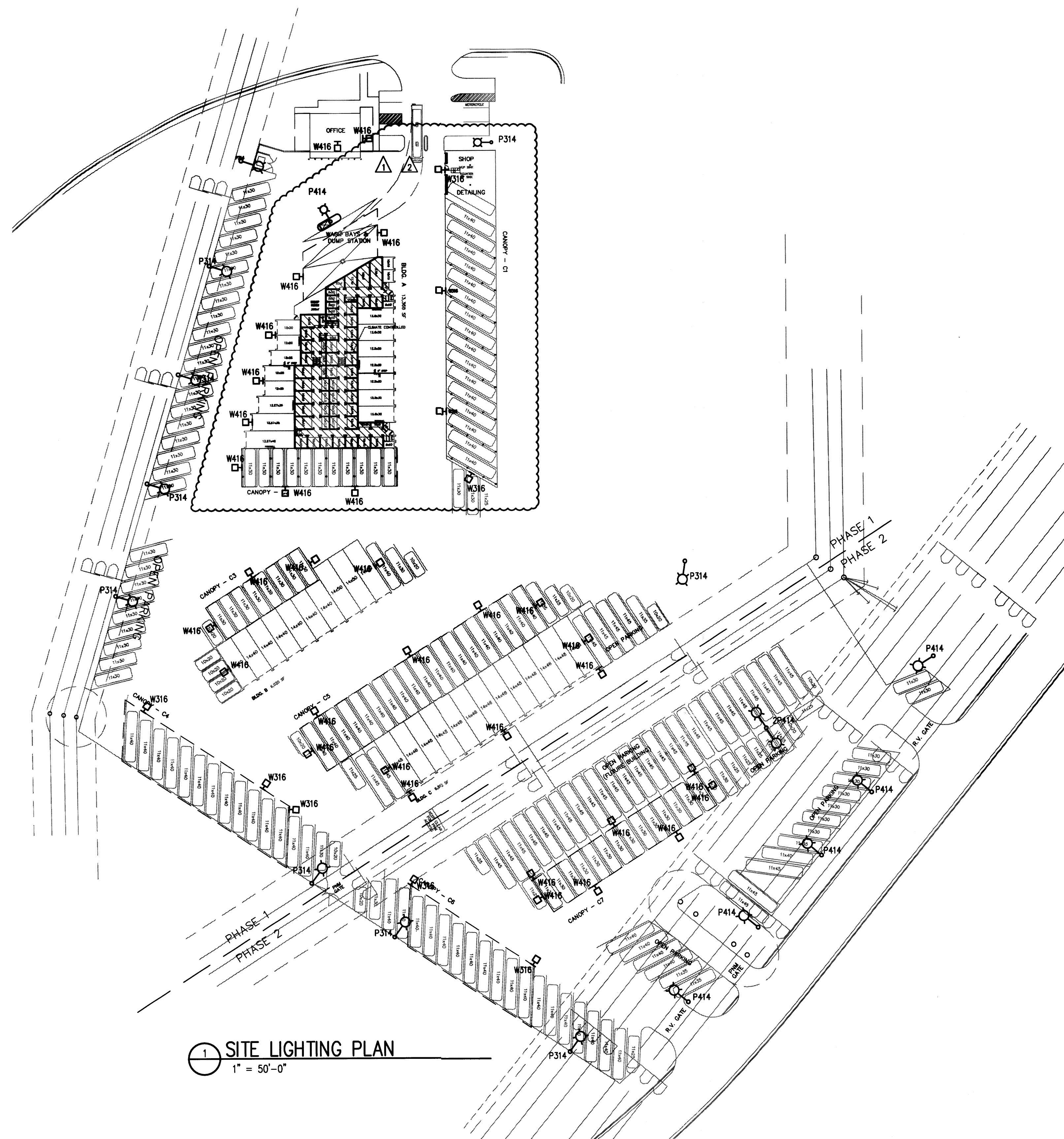
SCALE: 1" = 50'

1
LS1.1

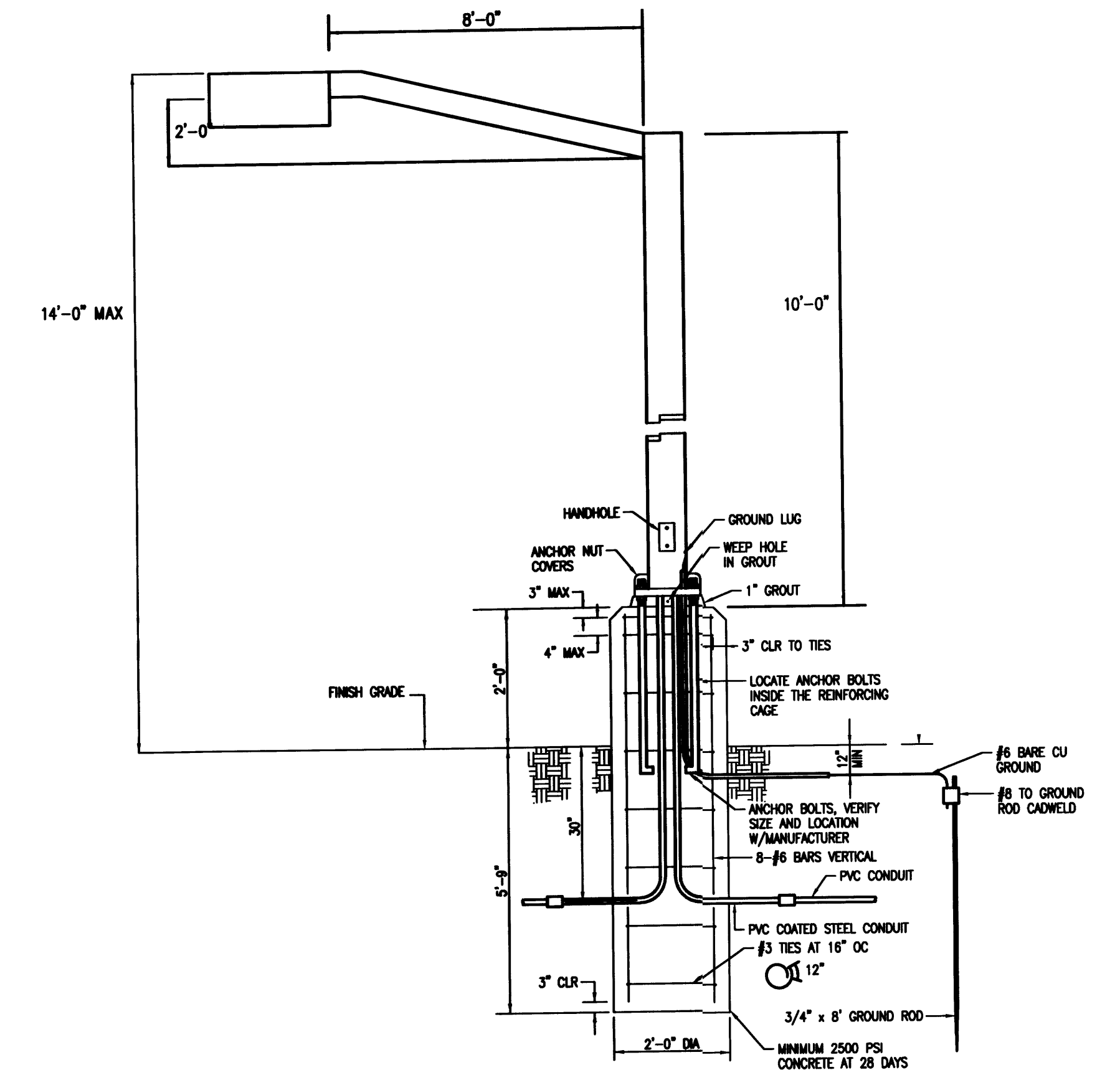


SITE DEVELOPMENT REQUIREMENTS

MAXIMUM HEIGHT FOR LIGHTING FIXTURES SHALL BE:
 16 FEET FOR WALKWAYS AND ENTRY PLAZAS.
 20 FEET FOR STREET LIGHTS AND PARKING AREA LIGHTS (RESTRICTED TO 16FEET WITHIN 150 FEET OF RESIDENTIAL). THE HEIGHT OF STREET LIGHTS AND PARKING AREA LIGHTS SHALL BE KEPT TO A MINIMUM NECESSARY TO MEET SAFETY REQUIREMENTS.
 EXTERIOR ELEVATIONS OF ANY BUILDING FRONTING A STREET ARE ENCOURAGED TO BE FEATURE LIGHT TO ENHANCE THE IDENTITY OF THE BUILDING AND THE APPEALING AMBIANCE OF THE TOTAL COMMUNITY.
 THE USE OF SPREAD LIGHTING FIXTURES ARE REQUIRED TO ACCENT LANDSCAPES AND AND WALKWAYS. UP-LIGHTING FIXTURES ARE NOT PERMITTED.
 REQUIRED STREET LIGHT SPECIFICATIONS; G.E. 100 WALL BRONZE, LUMEN SHOE-BOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
 ALL SITE LIGHTING FIXTURES SHALL BE FULLY SHIELDED OF A FULL OUT TYPE. THE COLOR OF FIXTURES MUST COMPLIMENT THE ARCHITECTURE.
 ALL LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.
 PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
 ALL LIGHT FIXTURES SHALL BE SHOWN AS FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE FULL CUTOFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
 ALL LIGHT FIXTURES FOR POLE AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED IN ORDER TO PREVENT LIGHT SPILLAGE, WITH NO LIGHT LENS OR BULB PROTRUDING BELOW THE FIXTURE.
 A DESIGN OBJECTIVE OF THE SITE LIGHTING SYSTEM MUST BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE OF REFLECTION.



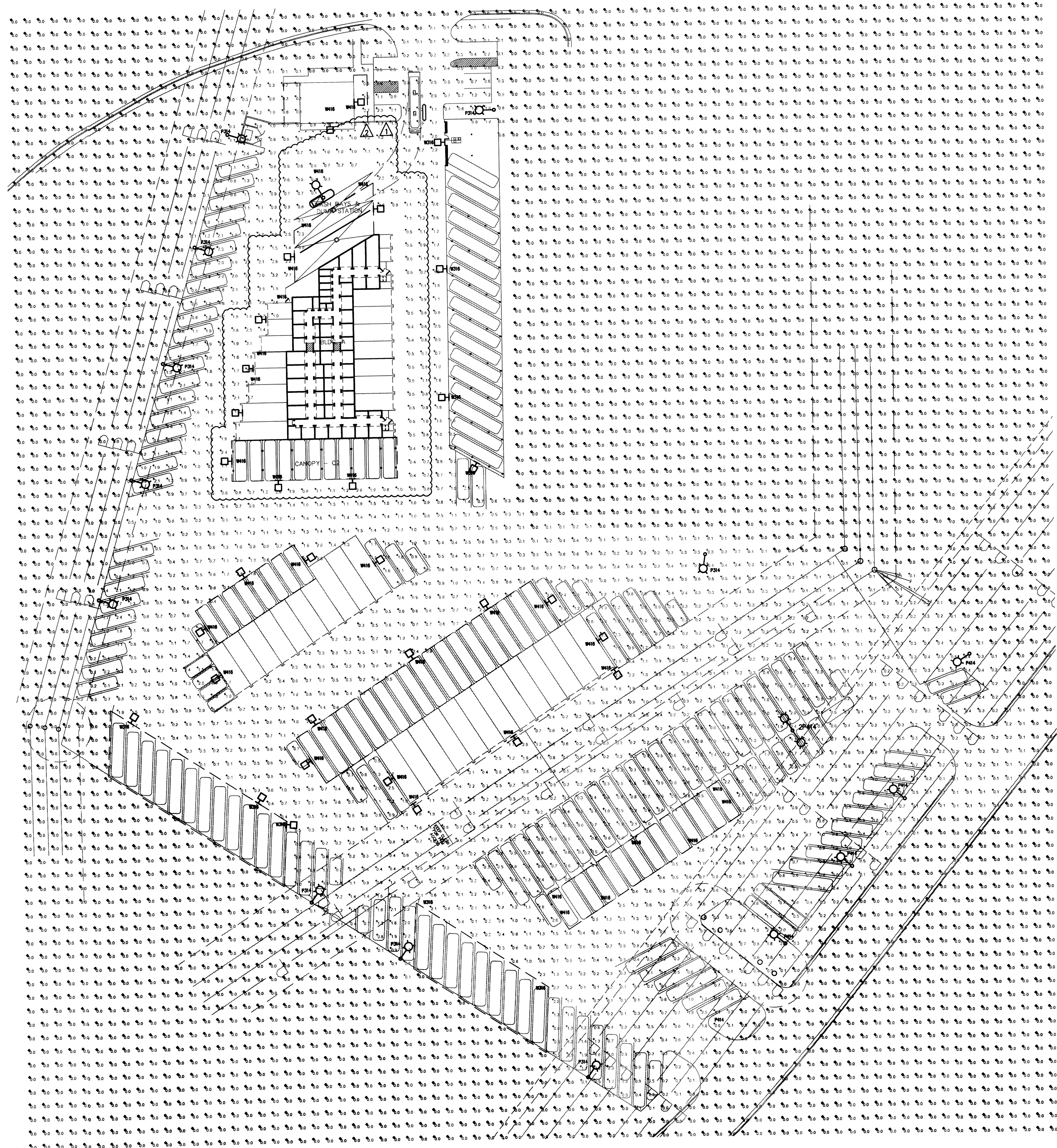
1 SITE LIGHTING PLAN
 1" = 50'-0"



1 POLE MOUNT LIGHT FIXTURE DETAIL
 NOT TO SCALE

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS NUMBER	BALLASTS TYPE	INPUT VOLTAGE WATTS
P314	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
P414	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
2P414	LUMARK OR EQUAL SELECTED BY OWNER	(2) LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE (2) 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT (2) FIXTURES (1) POLE	4	21 LED LIGHT BARS	120 102
W316	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-E-WM-BZ WALL MOUNT AT 16' ABOVE FINISH GRADE	WALL MOUNT AT 16'	2	21 LED LIGHT BARS	120 51
W416	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL4-B02-E-WM-BZ WALL MOUNT AT 16' ABOVE FINISH GRADE	WALL MOUNT AT 16'	2	21 LED LIGHT BARS	120 51

1 REPLACE BUILDING A, WASH BAYS, DUMP STATION AND CANOPY C2 BASE PLANS 2 REVISE BUILDING A AND CANOPY C1		2/11/14 4/3/14
REVISIONS Δ		
ALBUQUERQUE RV AND BOAT STORAGE		
GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO
		12/29/13 DATE
SITE LIGHTING PLAN		
L-2		
ARCHITECT		



SITE DEVELOPMENT REQUIREMENTS

MAXIMUM HEIGHT FOR LIGHTING FIXTURES SHALL BE:
 16 FEET FOR WALKWAYS AND ENTRY PLAZAS.
 20 FEET FOR STREET LIGHTS AND PARKING AREA LIGHTS (RESTRICTED TO 16 FEET WITHIN 150 FEET OF RESIDENTIAL). THE HEIGHT OF STREET LIGHTS AND PARKING AREA LIGHTS SHALL BE KEPT TO A MINIMUM NECESSARY TO MEET SAFETY REQUIREMENTS.
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 A DESIGN OBJECTIVE OF THE SITE LIGHTING SYSTEM MUST BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION.

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS		INPUT
				NUMBER	VOLTAGE	
P314	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
P414	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
2P414	LUMARK OR EQUAL SELECTED BY OWNER	(2) LDRV-SL3-B02-SSS4A10SF-UB1-8-2 10' STRAIGHT STEEL POLE (2) 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT (2) FIXTURES (1) POLE	4	21 LED LIGHT BARS	120 102
W316	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-E-WM-BZ WALL MOUNT AT 16' ABOVE FINISH GRADE	WALL MOUNT AT 16'	2	21 LED LIGHT BARS	120 51
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1 SITE LIGHTING SPILL LIGHT CALCULATION NOT TO SCALE

1	REPLACE BUILDING A, WASH BAYS, DUMP STATION AND CANOPY C2 BASE PLANS	2/11/14
2	REVISE BUILDING A AND CANOPY C1	4/3/14
REVISIONS ▲		
		ALBUQUERQUE RV AND BOAT STORAGE
GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO
		12/29/13 DATE
ARCHITECT		SPILL LIGHT CALCULATION L-3

**IES RECOMMENDED MAINTAINED HORIZONTAL ILLUMINANCES
ILLUMINANCES FOR PARKING FACILITIES**

OPEN PARKING FACILITIES:
GENERAL PARKING AND PEDESTRIAN AREAS:
MAINTAIN SECURITY WITH LOW LEVEL OF NIGHT TIME ACTIVITY:
MINIMUM FOOTCANDLES ON THE PAVEMENT 0.2;
UNIFORMITY RATION AVERAGE/MINIMUM 4:1;

LIGHTING CALCULATION STATISTICS

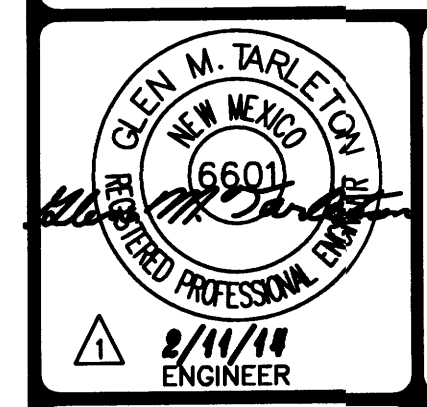
AVERAGE 9 FC
MAXIMUM 3.2 FC
MINIMUM 9 FC
MAXIMUM/MINIMUM 32.0 : 1
AVERAGE/MINIMUM 9.0 : 1

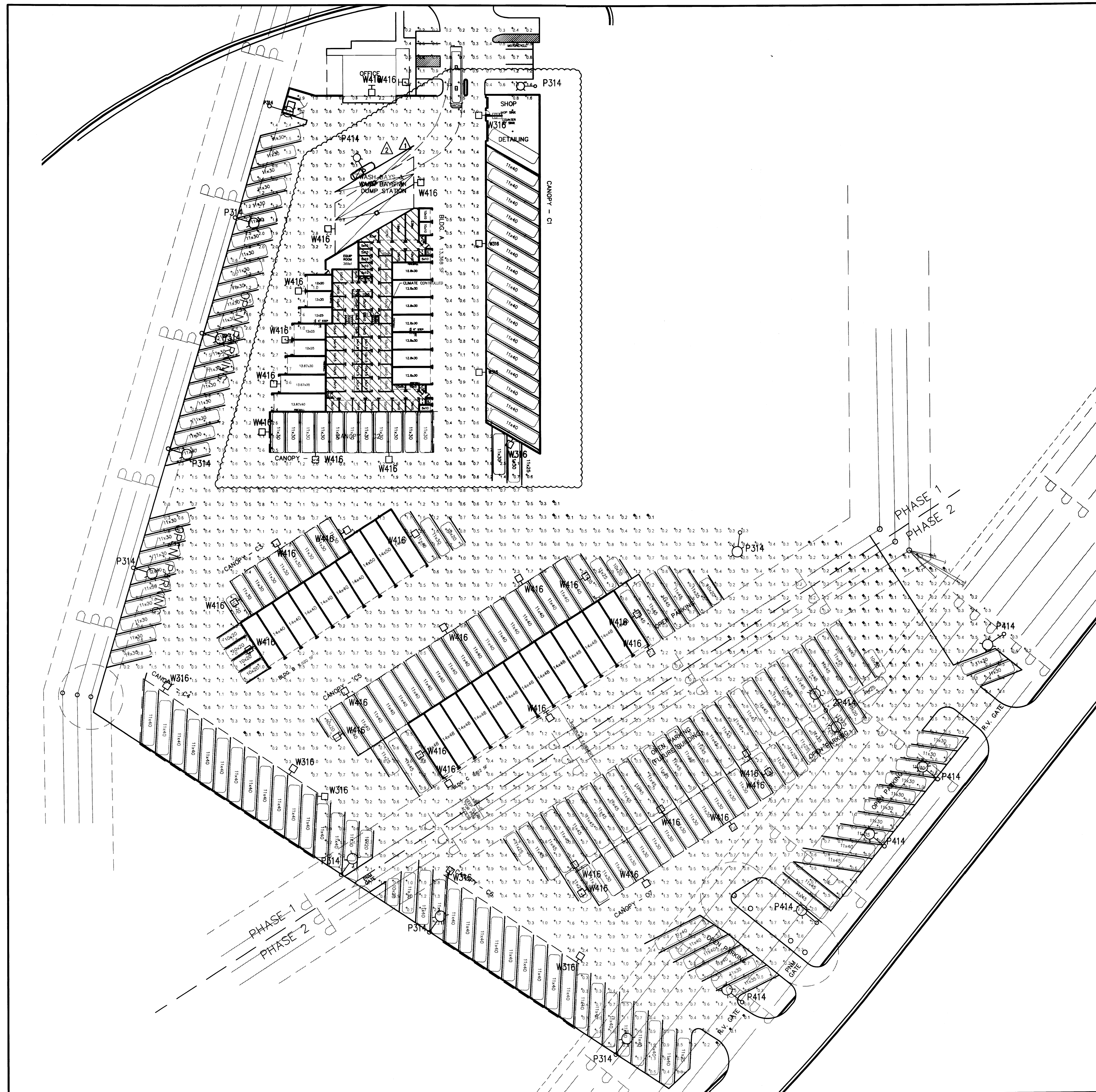
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LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS NUMBER	BALLASTS	INPUT
					VOLTAGE	WATTS
P314	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SS84A10SF-UB1-8-2	POLE MOUNT 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	2	21 LED LIGHT BARS	120 51
P414	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SS84A10SF-UB1-8-2	POLE MOUNT 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	2	21 LED LIGHT BARS	120 51
2P414	LUMARK OR EQUAL SELECTED BY OWNER	(2) LDRV-SL3-B02-SS84A10SF-UB1-8-2	POLE MOUNT (2) FIXTURES (1) POLE BASE 2' ABOVE FINISH GRADE	4	21 LED LIGHT BARS	120 102
W316	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-E-WM-BZ	WALL MOUNT AT 16' WALL MOUNT AT 16' ABOVE FINISH GRADE	2	21 LED LIGHT BARS	120 51
W416	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL4-B02-E-WM-BZ	WALL MOUNT AT 16' WALL MOUNT AT 16' ABOVE FINISH GRADE	2	21 LED LIGHT BARS	120 51

Ⓢ SITE LIGHTING POINT BY POINT LIGHTING CALCULATION
NOT TO SCALE

1 REPLACE BUILDING A, WASH BAYS, DUMP STATION AND CANOPY C2 BASE PLANS 2/11/14		2/11/14	
2 REVISE BUILDING A AND CANOPY C1		4/3/14	
REVISIONS Δ			
	ALBUQUERQUE RV AND BOAT STORAGE		
	GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO
ARCHITECT		POINT BY POINT LIGHTING CALCULATION	
		L-4	



DESCRIPTION

The Ridgeview™ LED area roadway luminaire is the compact, efficient, economical approach to LED area lighting. A pure blend of traditional form and LED efficiency, Ridgeview provides functional, low-profile design with excellent operating performance. Patented modular LightBAR™ technology delivers uniform and energy-conscious illumination to parking lots and perimeter security lighting applications.

Catalog # _____ **Type** _____
Project _____ **Date** _____
Comments _____
Prepared by _____

SPECIFICATION FEATURES

Construction
 Rugged one-piece, die-cast aluminum housing secures the thermally conductive LED panel and electrical chamber. Low profile, 36 vibration rated compact design minimizes wind load requirements. Extruded aluminum frame secures with stainless steel hardware conforms the LightBAR panel to the thermally conductive housing. The unique glide bracket LightBAR panel allows for easy access to the electrical chamber.

Optics
 Choices of twelve (12) patented, high efficiency AcouLED Optics™ manufactured from injection-molded acrylic. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AcouLED optics create consistent distributions with the scalability.

Electrical
 LED drivers are hard-mounted to die-cast aluminum back casing for optimal heat sinking and operation efficiency. 120-277V/50/60HZ, 347V 60HZ, 480V/50/60 HZ operation. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surges. 80,000 hours of life with >70% lumen maintenance. The Ridgeview LED luminaire is suitable for operating temperatures from -30°C to 40°C. LightBARs feature IP68 enclosure rating.

Mounting
 Cast aluminum 8" arm includes bolt guides allowing for easy position of the fixture during installation. Standard single carton packaging of housing, square pole arm and round pole adapter provide contractor-friendly installation. Wall mount models feature a cast aluminum arm that is directly mounted to a 4" supplied wall plate secured with set screws.

Finish
 Components finished in a 5-stage Super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty
 Ridgeview features a five-year limited warranty.

RV RIDGEVIEW AREA/ROADWAY
 1 - 4 LightBARs
 Solid State LED
 AREA LUMINAIRE

DESIGNSIGHTS CONSULTING

CERTIFICATIONS
 IANAS Listed
 147V UL94-Compliant
 3G Vibration Rated
 IP68 Fixture Rating, IP68 LightBARs
 ABA Compliant
 ISO 9001

ENERGY DATA
 Electronic LED Driver
 >0.9 Power Factor
 <20% Total Harmonic Distortion
 120-277V/60 Hz, 347V/60Hz;
 480V/60Hz
 30°C Minimum Temperature
 40°C Ambient Temperature Rating
 50°C (Optional) Ambient Temperature Rating

EPA
 Effective Projected Area: (5x Ft.)
 With Area: 0.67

SHIPPING DATA
 Approximate Net Weight:
 12.2 lbs (5.6 kgs)

ADH902075
 2013.05.09 17:24.05

COOPER Lighting
 www.cooperlighting.com

POWER AND LUMENS BY BAR COUNT

Number of Lightbars	Power (Watts)		DISTRIBUTION													
	120V (A)	277V (A)	T2	T3	T3S	T4	SL2	SL3	SL4	SMO	SMO	SMO	SMO	SMO	SMO	SMO
CM	27	0.23	0.13	1,806	1,850	1,790	1,952	1,889	1,895	1,842	1,859	1,829	1,865	1,896	1,842	
CM2	54	0.46	0.21	3,743	3,857	3,581	3,904	3,778	3,690	3,627	3,699	3,702	3,689	3,702	3,687	
CM3	77	0.65	0.29	5,614	5,814	5,351	5,852	5,463	5,540	5,384	5,725	5,638	5,744	5,654	5,599	
CM4	101	0.88	0.37	7,534	7,734	7,271	7,964	7,575	7,652	7,496	7,837	7,750	7,856	7,766	7,711	

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.04
15°C	1.03
20°C	1.00
25°C	0.96
30°C	0.92

OPTIC ORIENTATION

MOUNTING CONFIGURATIONS

ADH902075
 2013.05.09 17:24.05

COOPER Lighting
 www.cooperlighting.com

NOTE: Specifications and dimensions subject to change without notice. Visit our web site at www.cooperlighting.com

Customer First Center 1121 Highway 74 South, Puchette City, GA 30286 770.486.8800 FAX: 770.486.4801

ORDERING INFORMATION

Sample Number: LDRV-3-B02-SSS4A-10SF-UB1-8-2

Lamp Type	Identification *	Number of Lamps	Options *	Accessories **
LED - Solid State Light Emitting Diode (LED)	T2 - Type II T3 - Type III T4 - Type IV SL2 - Type II w/Spill Control SL3 - Type III w/Spill Control SL4 - Type IV w/Spill Control SMO - Rectangular Wide T3S - Type III Short SMO - Type V Square Medium SMO - Type V Square Wide SMO - Type V Square Extra Wide SMO - Rectangular Wide SMO - 90 Degree Spotlight SMO - 90 Degree Spotlight SMO - 90 Degree Spotlight	801-1) 21 LED LightBARs 802-2) 21 LED LightBARs 803-3) 21 LED LightBARs 804-4) 21 LED LightBARs 805-5) 21 LED LightBARs 806-6) 21 LED LightBARs 807-7) 21 LED LightBARs 808-8) 21 LED LightBARs	NA-50 Degree C/H Ambient Temperature Rating WB-Wall Mount Arm and Mounting Plate L90-Optics Rotated Left 90 Degree R90-Optics Rotated Right 90 Degree IP68 Fixture Protection (Optional 120V, 208V, 240V, or 277V) PSP-IP68 Feedback Photocell RC-Recastable SL-True Circuitry Z90-90 Degree CCT B030-90 Degree CCT LCP-LightBAR Cover Plate Matches Fixing Finish MS-LXK Motion Sensor for wall/1" mounting BLEEDCLD-LED LED Cool Down (Back-up (Specify Voltage))	NA1178-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1177-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1179-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1180-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1181-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1182-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1183-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1184-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1185-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1186-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron NA1187-2X-120 120 Degree Taron Adapter for 3'10" O.D. Taron DA88-10-10 Professional Shoring Cap DA88-10-10 Professional Wire Cap NA1188-2X-120 Miniature Pole Adapter NA1189-2X-120 Miniature Pole Adapter NA1190-2X-120 Miniature Pole Adapter DA88-10-10 Professional Shoring Cap DA88-10-10 Professional Wire Cap DA88-10-10 Professional Wire Cap DA88-10-10 Professional Wire Cap

Notes:

- Design Light - Customization Available. Refer to www.designlights.org. Qualified Products for order family models for details.
- 8' Inch Arm and round pole adapter included with fixture.
- 21 LED LightBAR powered by 300W, 71 LED LightBAR powered by 1A.
- Lumen values based upon 4000K CCT, 350mA drive current, 30°C ambient operating temperature.
- Add optics.
- Not available with BLEEDCLD options.
- Wall mount arm and mounting plate shown with fixture.
- Standard voltage. Available in 120, 277, 208, 240V. Not available with NA option.
- 120V voltage. Not available with NA option.
- Low load input value for best circuit board factory. Not available with 347V or 480V.
- Consult factory for load limits and lumen multiplier.
- Mounting hardware for best results. Refer to factory literature. Pole arm with mounting height 10 feet for square base applications (NA, MS L90, not available with NA option). Consult factory for additional information.
- Motion sensor for 12' level switching. Sensor housed in system box mounted to the luminaire. Available in 90, 180 and 300 degree configurations. Pole arm with number of beam centers at low load input and square NA with factory mounting height for proper beam collection. MS-LXK. Not available with NA option. Consult factory for additional information.
- Specify 120 or 277V. Available with 801 or 802 configurations only. 30°C ambient operating temperature.
- Standard finishing color is bronze.
- Order separately, replace XX with color designation.

Standard Color *
 902 - Standard Color is Bronze
 WP-White
 BK-Black
 AP-Grey
 DP-Dark Platinum
 (See "Options" section)

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LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS	BALLASTS	INPUT
				NUMBER	VOLTAGE	WATTS
P314	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	2 21 LED LIGHT BARS	120	51
P414	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	2 21 LED LIGHT BARS	120	51
2P414	LUMARK OR EQUAL SELECTED BY OWNER	(2) LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT 10' STRAIGHT STEEL POLE (2) 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	4 21 LED LIGHT BARS	120	102
W316	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-E-WM-BZ	WALL MOUNT AT 16' WALL MOUNT AT 16' ABOVE FINISH GRADE	2 21 LED LIGHT BARS	120	51
W416	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL4-B02-E-WM-BZ	WALL MOUNT AT 16' WALL MOUNT AT 16' ABOVE FINISH GRADE	2 21 LED LIGHT BARS	120	51

REVISIONS

GLEN M. TARLETON
 NEW MEXICO
 6501
 REGISTERED PROFESSIONAL ENGINEER
 2/11/10
 ENGINEER

ALBUQUERQUE
 RV AND BOAT
 STORAGE

GMT
 CHECKED BY

CAH
 DRAFTED BY

014-001
 PROJECT NO

12/29/13
 DATE

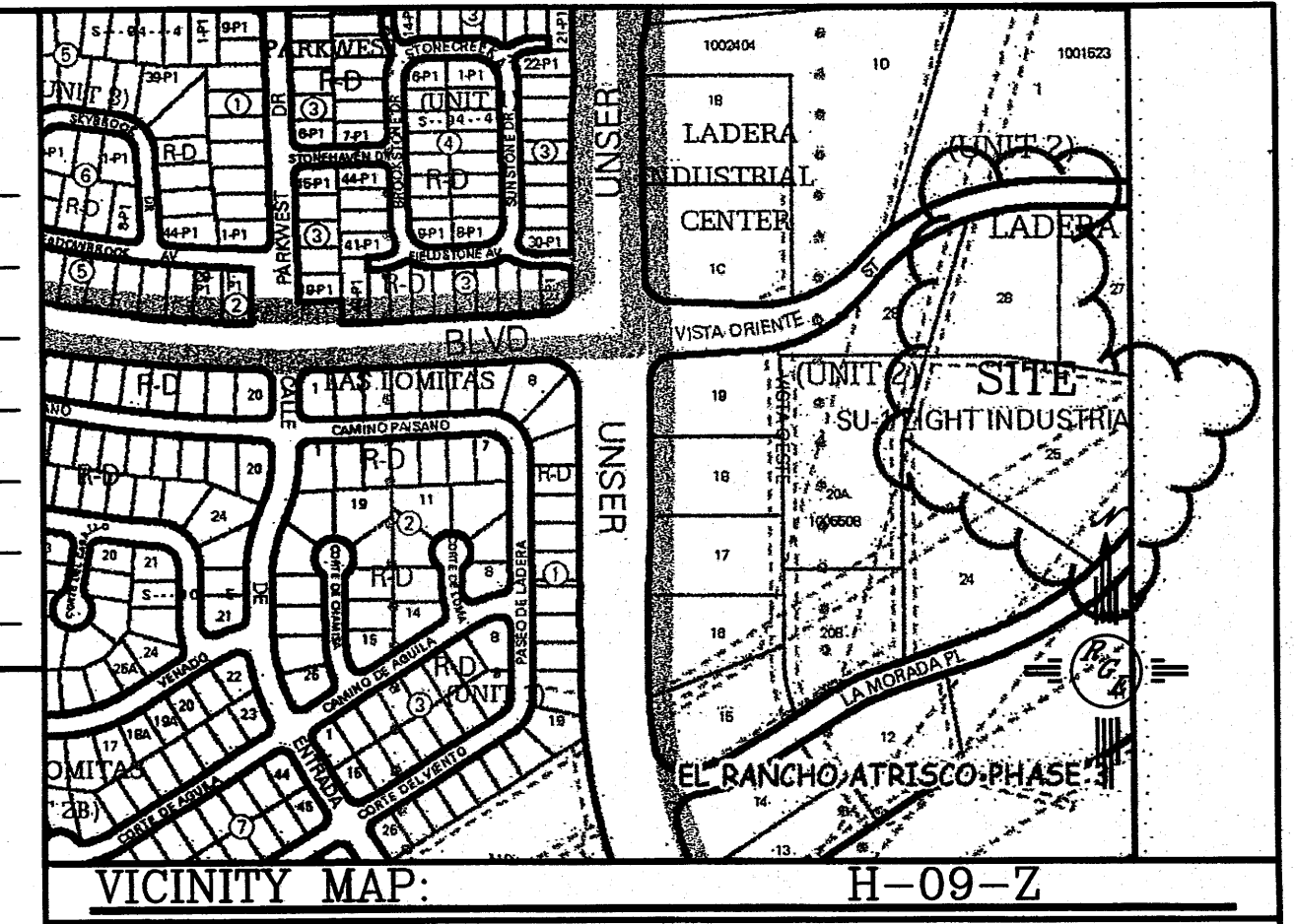
LIGHTING FIXTURE DETAILS

L-5

ARCHITECT

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



VICINITY MAP: H-09-Z
 LEGAL DESCRIPTION:
 TR. 26, 28, UNIT 2-LADERA LIGHT INDUSTRIAL

- GENERAL NOTES:**
1. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER DETAIL THIS SHEET.
 2. ALL PRIVATE CURBS SHALL BE 6" TALL UNLESS OTHERWISE NOTED SEE DETAIL SHEET. ALL COA ROW CURBS SHALL BE STD 8" PER COA STD DWG #2415A.
 3. ALL HANDICAP RAMPS SHALL BE ADA COMPLIANT.
 4. ALL DRIVABLE SURFACES SHALL BE 3" THICK ASPHALT PAVING/4" ASPHALT MILLINGS

SITE CRITERIA

PROJECT: ALBUQUERQUE RV AND BOAT STORAGE
 LOCATION: 2210 VISTA ORIENTE NW
 OWNER: DAN RICH
 ARCHITECT: JUNO ARCHITECTS
 LEGAL DESCRIPTION: TRACTS 26 AND 27 UNIT 2 LADERA INDUSTRIAL CENTER.
 ZONING ATLAS MAP: H-9-Z
 CURRENT ZONING CLASSIFICATION: SU-1 LIGHT INDUSTRIAL
 BUILDING TYPE: II-B, NON-SPRINKLERED
 TOTAL BUILDING AREA:

OFFICE	=	1200 SF
DWELLING	=	1560 SF
SELF-STORAGE	=	19707 SF
RV-STORAGE	=	14832 SF
TOTAL	=	37299 SF

TOTAL LOT AREA: 6,7575 AC.

PARKING ANALYSIS:

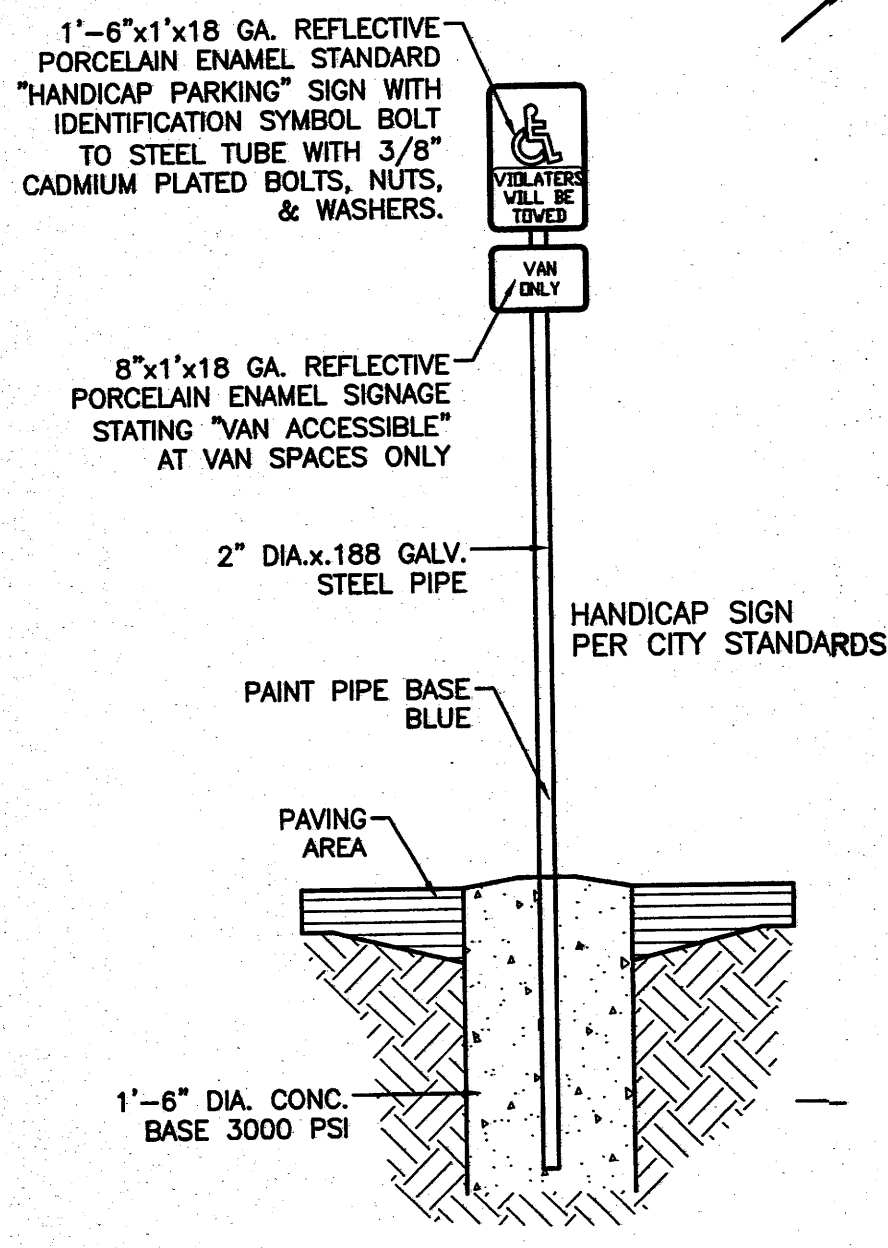
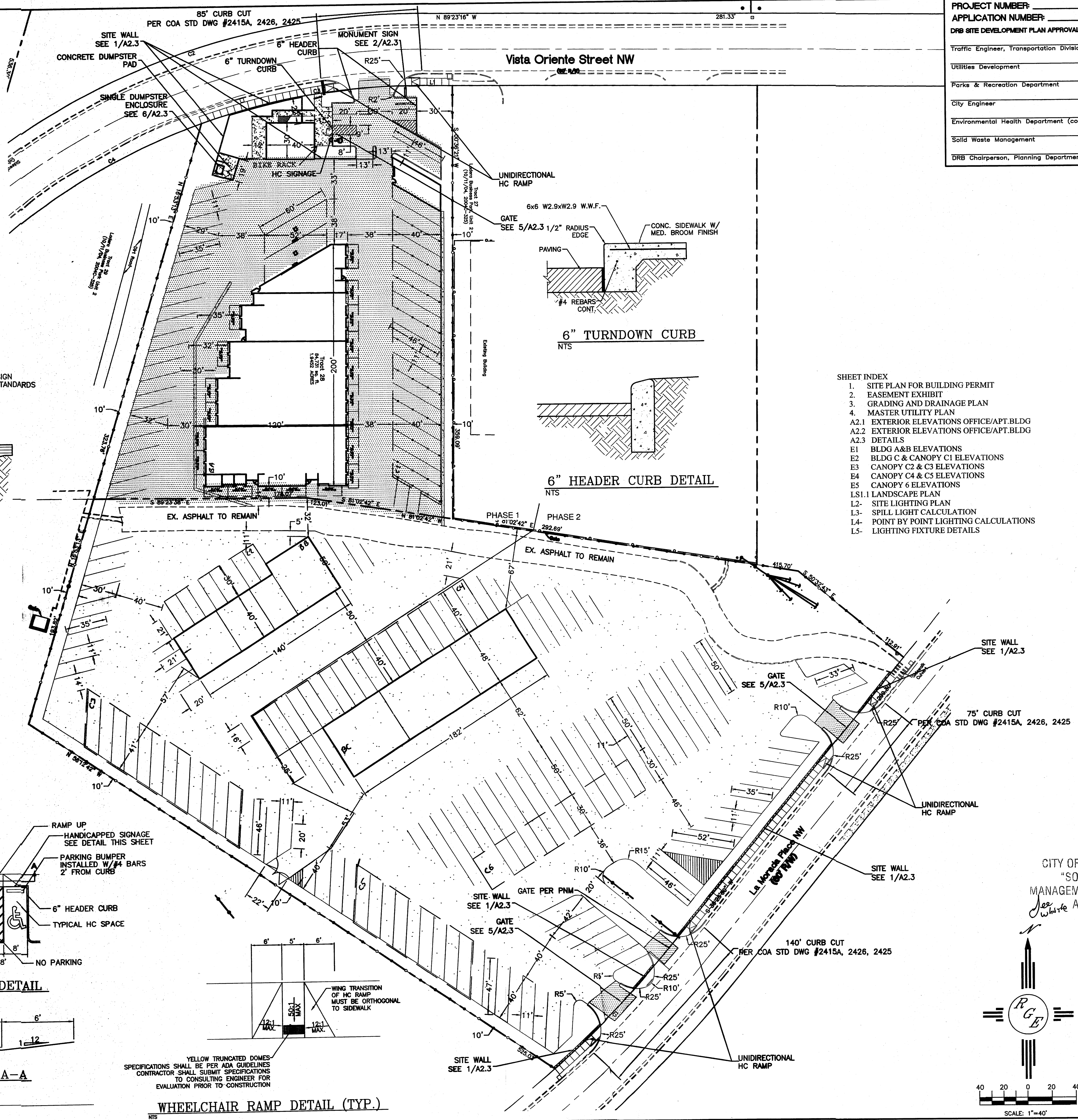
OFFICE	1200 SF/200	=	6
DWELLING	1 SPACE/BATH	=	2
SELF-STORAGE	1 SPACE/2000SF	=	10
RV-STORAGE		=	N/A
TOTAL		=	18
10% CREDIT		=	2
TOTAL REQUIRED		=	20
ACCESSIBLE PARKING (1 REQUIRED):		=	1 (PROVIDED)
MOTORCYCLE PARKING (1 REQUIRED):		=	1 (PROVIDED)
TOTAL PARKING PROVIDED		=	28

PARKING SPACE SIZES:

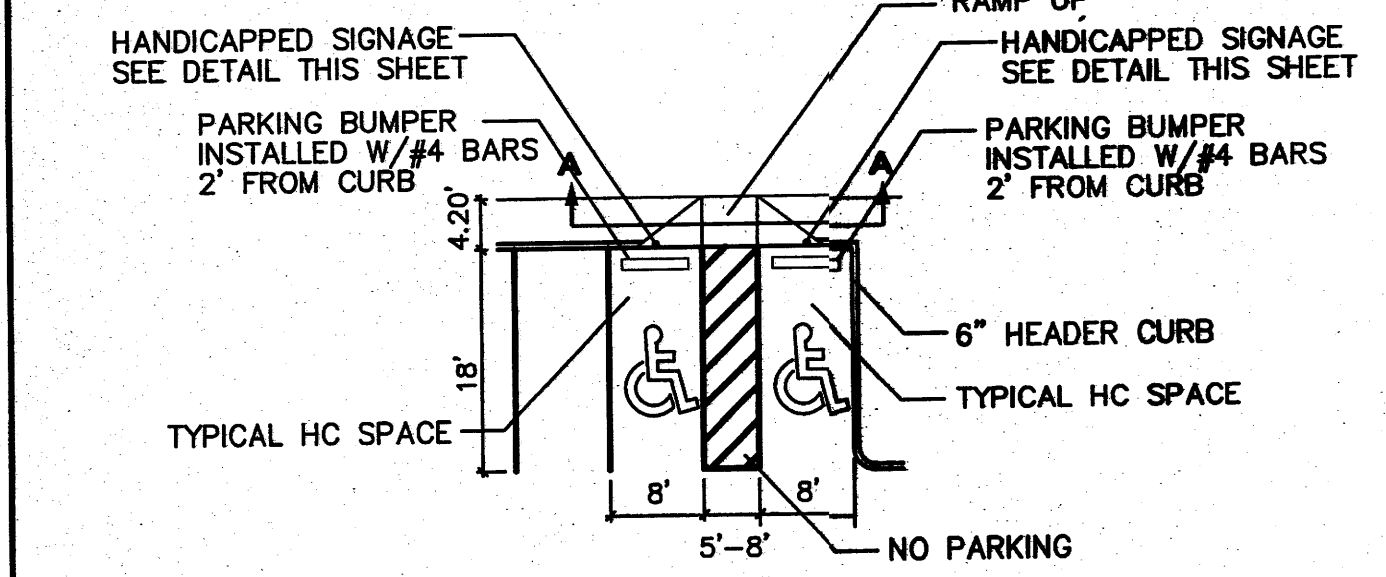
REGULAR 8'-6" x 20'-0" MIN.
 ACCESSIBLE 8'-6" x 20'-0" + 8" ISLE MIN.
 MOTORCYCLE 4' x 8' MIN.
 REQUIRED BICYCLE SPACES: 1 SPACE/20 PARKING SP. = 1

NUMBER OF SELF-STORAGE UNITS: 175
 NUMBER OF RV STORAGE SPACES: 221
 MAXIMUM BUILDING HEIGHT: 35 FEET
 MINIMUM BUILDING SETBACK: 10' FROM ROAD R.O.W.
 10' FROM PROPERTY LINES
 MAXIMUM TOTAL DWELLING UNITS: 1
 BIKE RACK - 2 SPACES

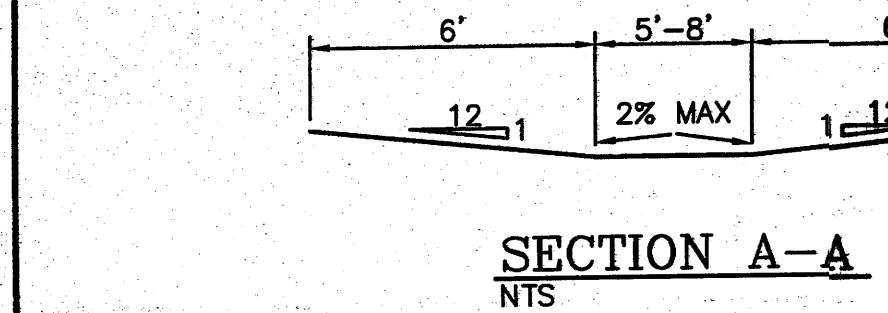
- SHEET INDEX**
1. SITE PLAN FOR BUILDING PERMIT
 2. EASEMENT EXHIBIT
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN
 - A2.1 EXTERIOR ELEVATIONS OFFICE/APT.BLDG
 - A2.2 EXTERIOR ELEVATIONS OFFICE/APT.BLDG
 - A2.3 DETAILS
 - E1 BLDG A&B ELEVATIONS
 - E2 BLDG C & CANOPY C1 ELEVATIONS
 - E3 CANOPY C2 & C3 ELEVATIONS
 - E4 CANOPY C4 & C5 ELEVATIONS
 - E5 CANOPY 6 ELEVATIONS
 - LS.1 LANDSCAPE PLAN
 - L2- SITE LIGHTING PLAN
 - L3- SPILL LIGHT CALCULATION
 - L4- POINT BY POINT LIGHTING CALCULATIONS
 - L5- LIGHTING FIXTURE DETAILS



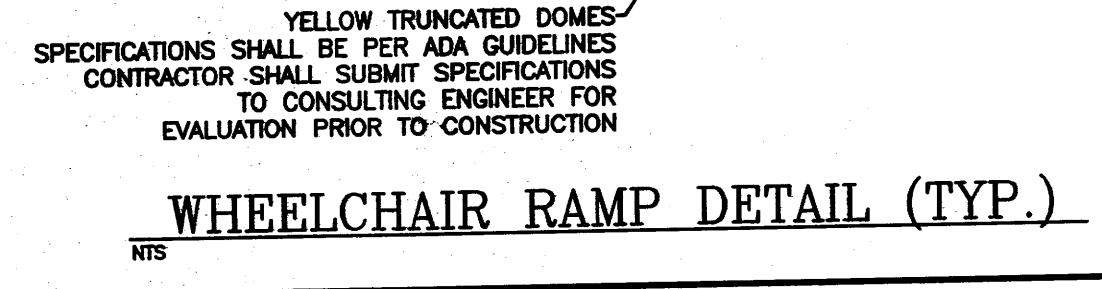
HANDICAP SIGN
 NTS



HC PARKING DETAIL
 NTS



SECTION A-A
 NTS

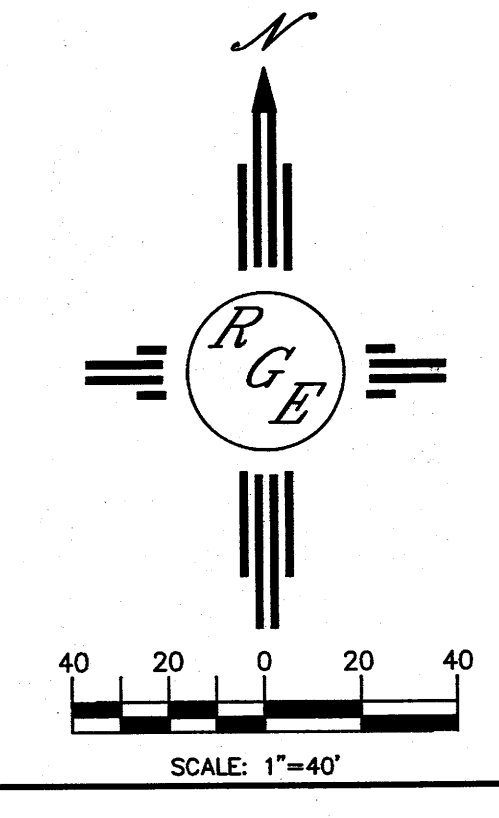


WHEELCHAIR RAMP DETAIL (TYP.)
 NTS

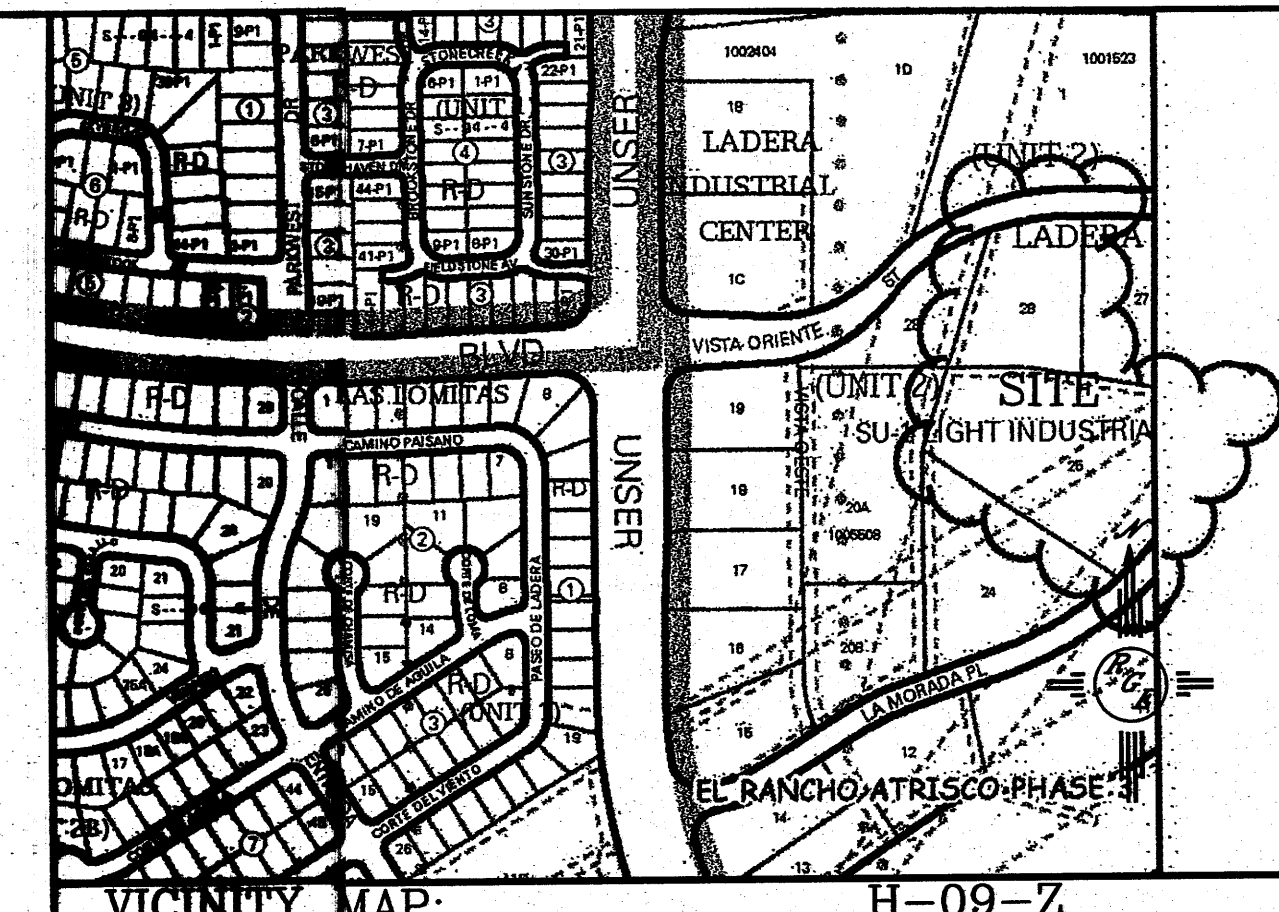
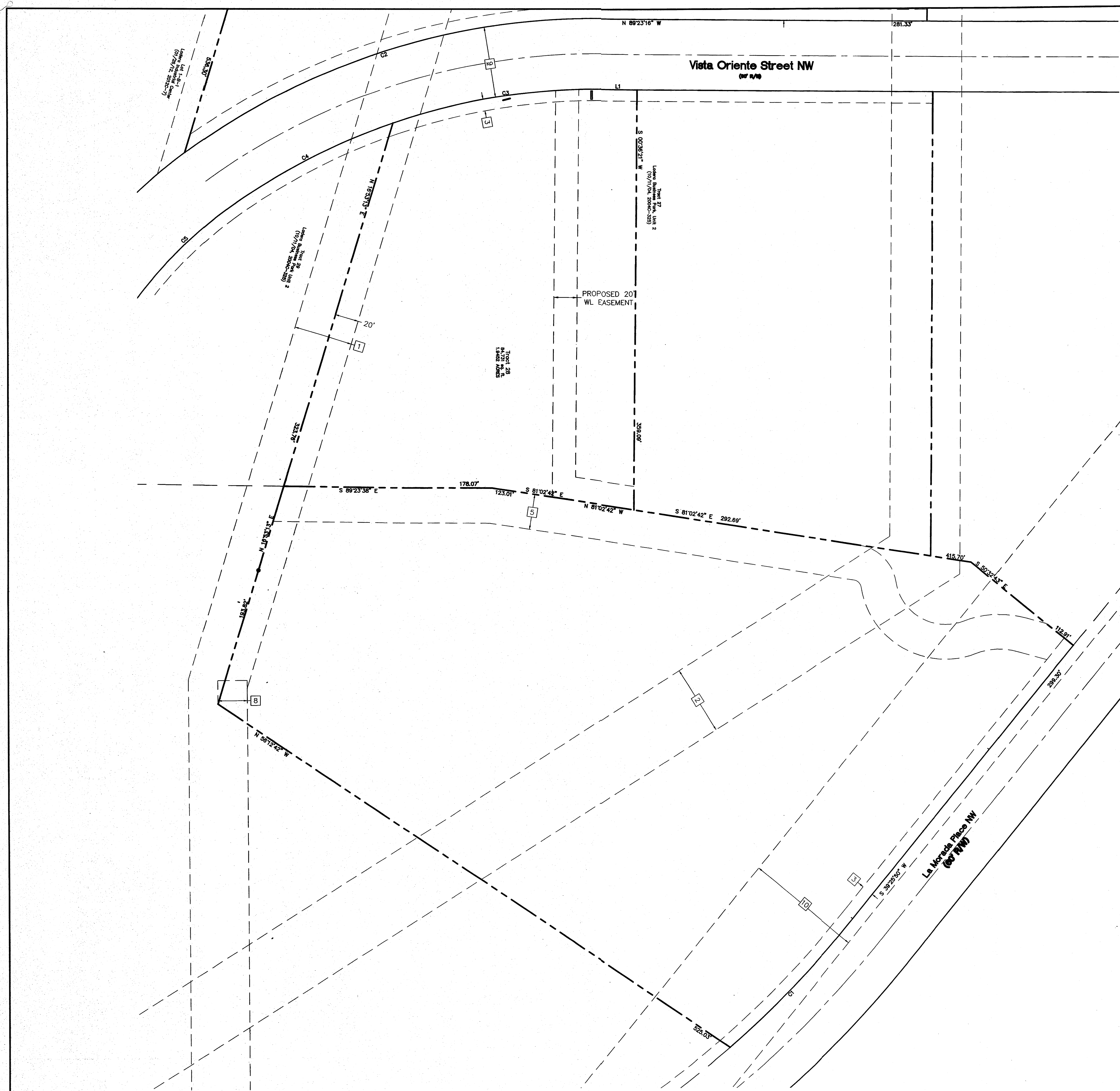
LEGEND

	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED 6" HEADER CURB
	BOUNDARY LINE
	LOT LINE
	PROPOSED SIDEWALK
	PROPOSED 3" ASPHALT PAVING
	PROPOSED 4" ASPHALT MILLINGS
	PROPOSED BUILDING
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED 6" CHAIN LINK FENCE
	PROPOSED CMU BLOCK WALL
	HC SIGNAGE

CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 See White APPROVED

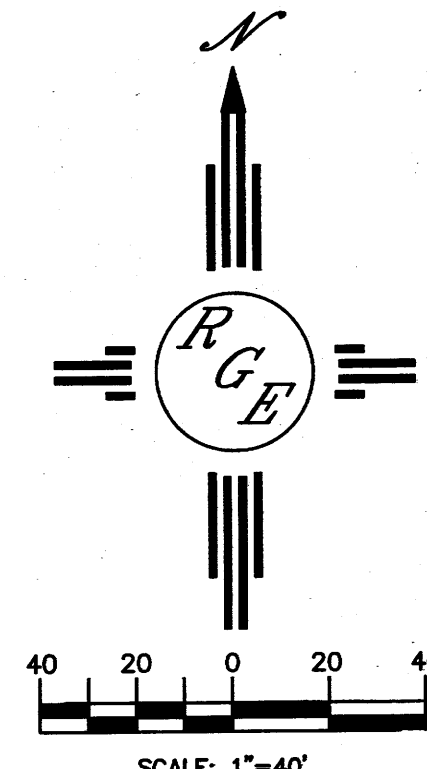
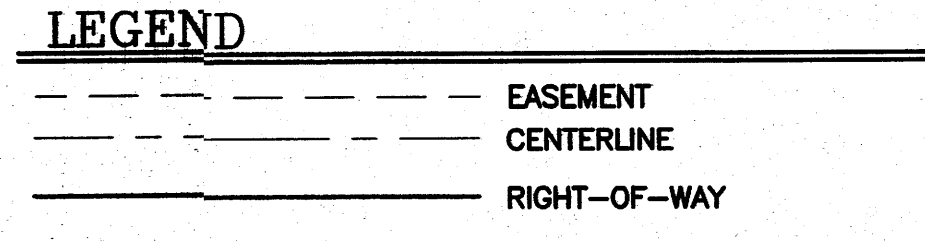


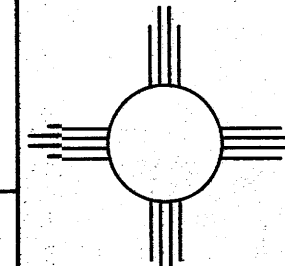
ENGINEER'S SEAL	ALBUQUERQUE RV AND BOAT STORAGE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	DRAWN BY WCWJ
		DATE 12-27-13
	 Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0000	21227-LAYOUT-7-13-12
		SHEET # 1
DAVID SOULE P.E. #14522		JOB # 21227

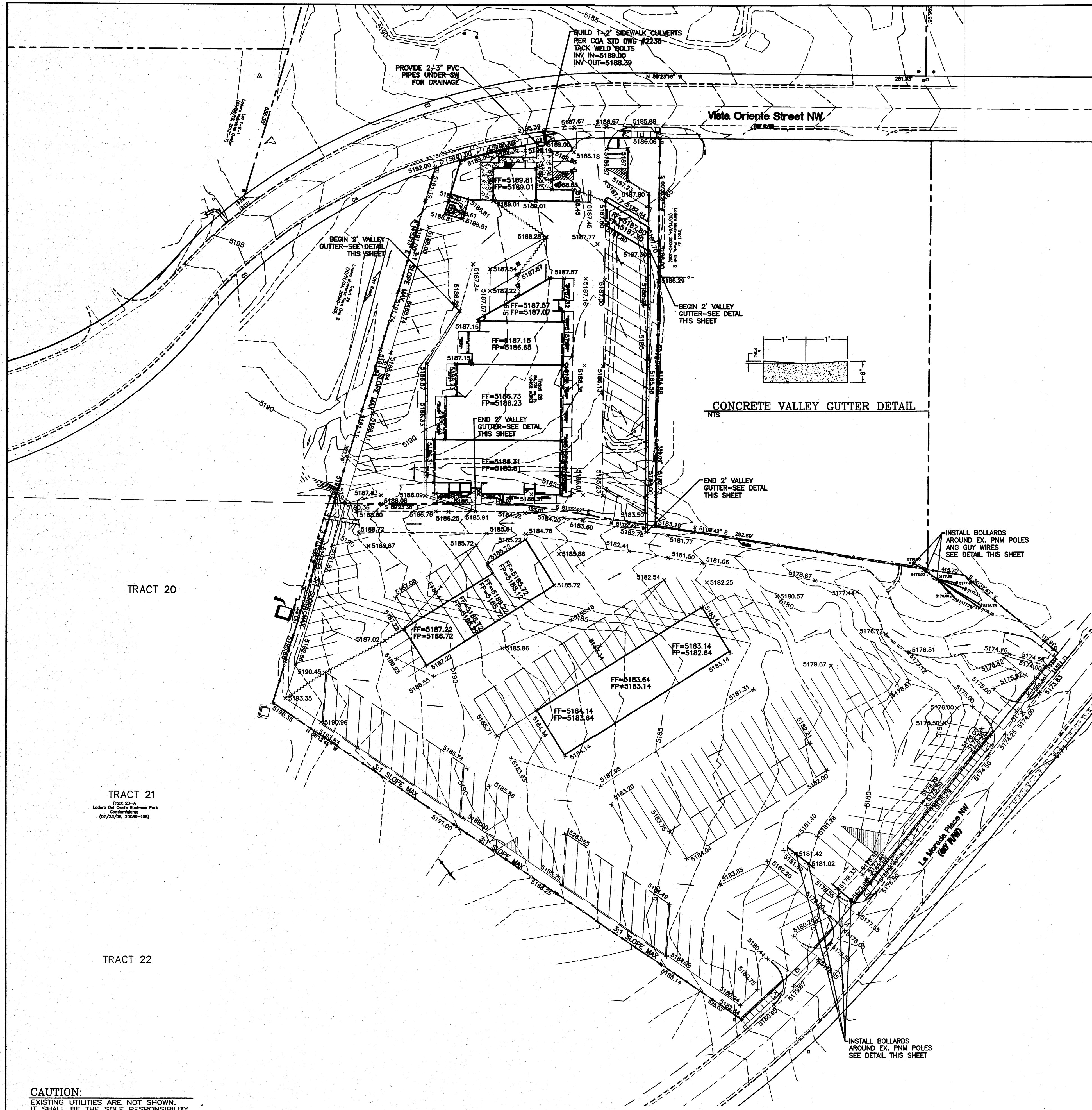


VICINITY MAP: H-09-Z
 LEGAL DESCRIPTION:
 TR. 26, 28, UNIT 2-LADERA LIGHT INDUSTRIAL

- Easement Notes**
- 1 EXISTING 50' PNM EASEMENT (01/22/04, 2004C-24)
 - 2 EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (03/16/53, BK. MISC. D 235, PG. 619-622)
 - 3 EXISTING 10' PUBLIC UTILITY EASEMENT (01/22/04, 2004C-24)
 - 4 EXISTING REMAINDER OF 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02/05/52, BK. MISC. D 197, PG. 571-572)
 - 5 EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04, 2004C-24)
 - 6 EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO. 7-76-03096 (09/28/76, BK. MISC. 498, PG. 648-683)
 - 7 EXISTING 10' PNM & MST&T EASEMENT (12/09/80, BK. MISC. 817, PG. 339-340)
 - 8 EXISTING 25' PRIVATE DRAINAGE EASEMENT (01/22/04, 04C-24)(NOT SHOWN HEREON)
 - 9 EXISTING 80' PUBLIC ROADWAY EASEMENT (01/22/04, 04C-24)
 - 10 EXISTING 100' PNM EASEMENT (04/12/56, BK. MISC. D348, PG. 193)(NOT SHOWN HEREON)

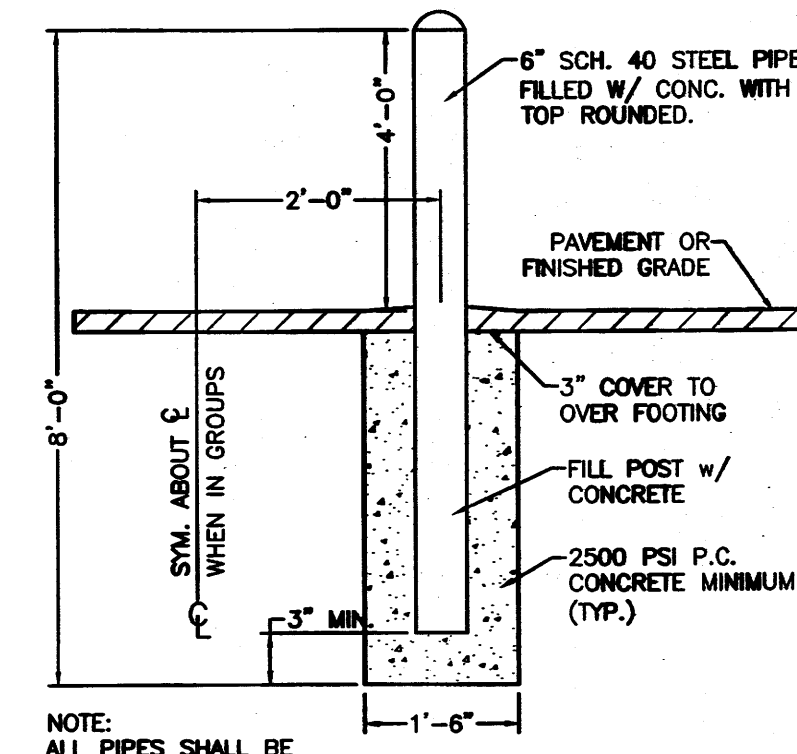


ENGINEER'S SEAL	EASEMENT EXHIBIT SITE PLAN PLAN	DRAWN BY WCVJ
		DATE 12-27-13
DAVID SOULE P.E. #14522	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	21227-LAYOUT-7-13-12
		SHEET # 2
		JOB # 21227



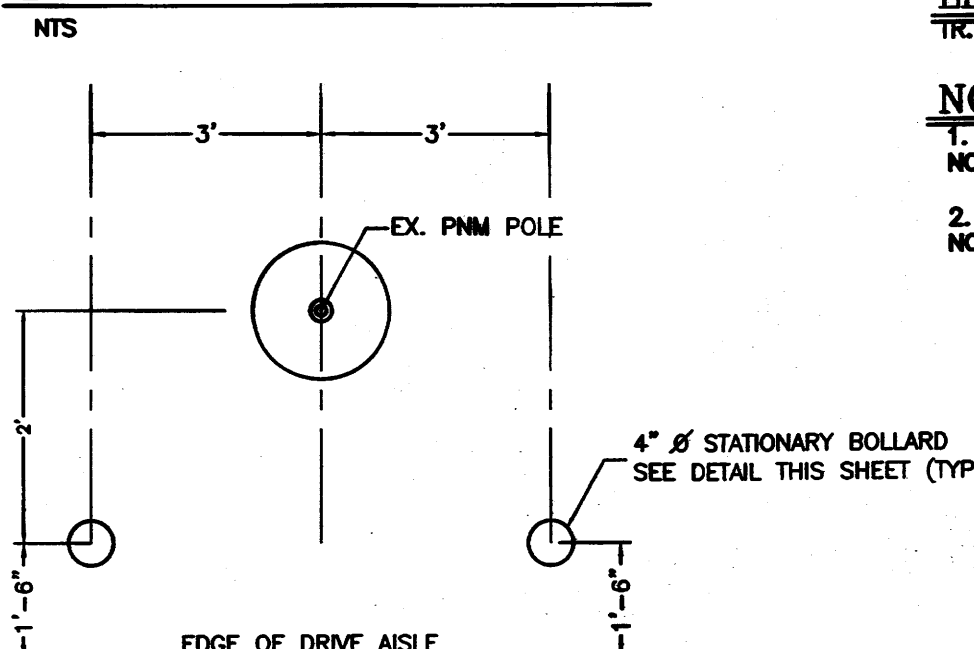
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

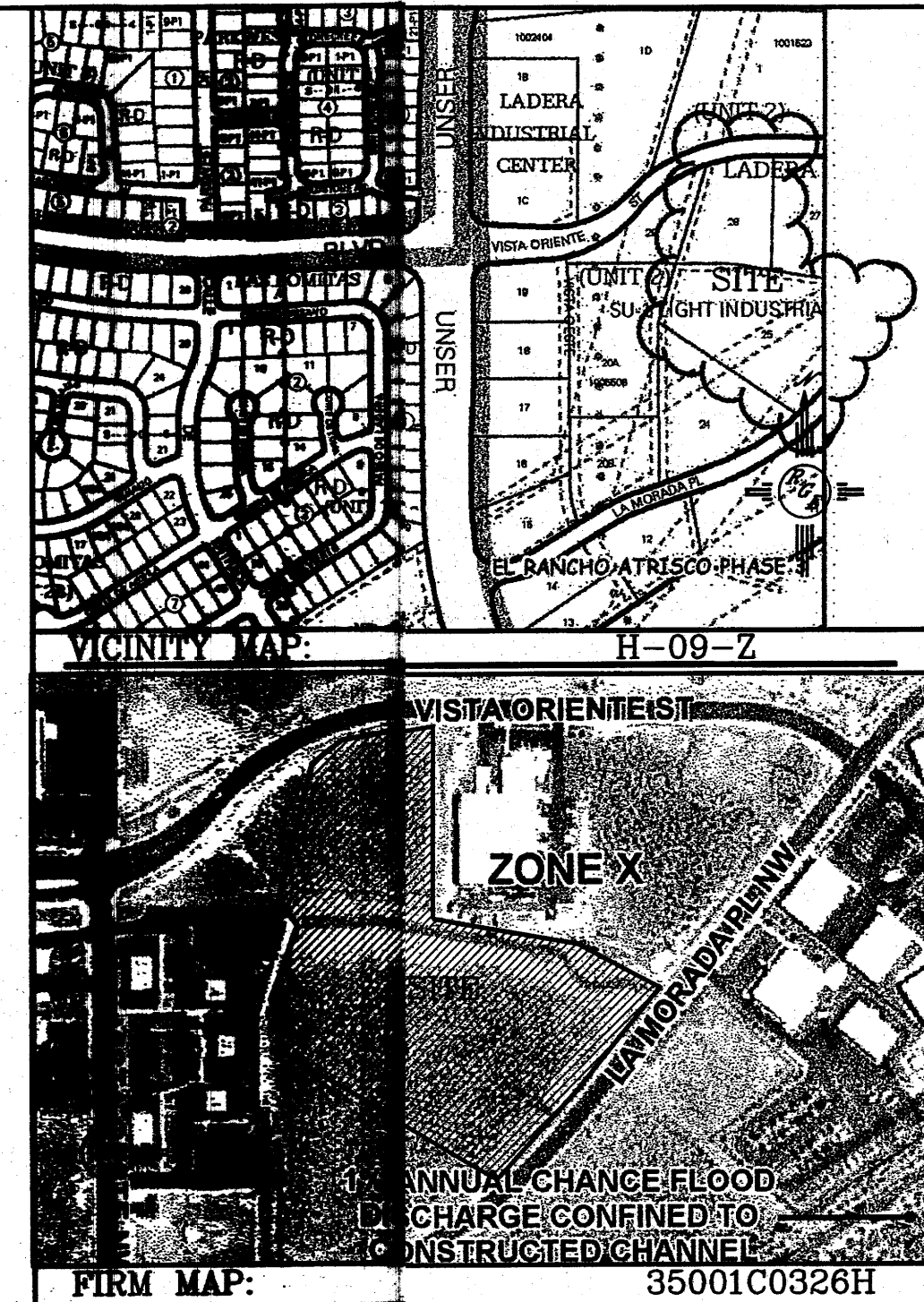


CONCRETE VALLEY GUTTER DETAIL

BOLLARD DETAIL



BOLLARD PLACEMENT DETAIL



LEGAL DESCRIPTION:

TR. 20, 21, UNIT 2, LADERA CREST INDUSTRIAL

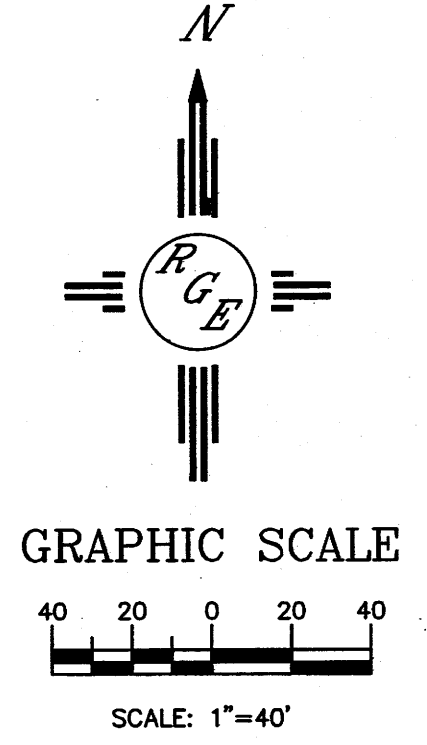
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.

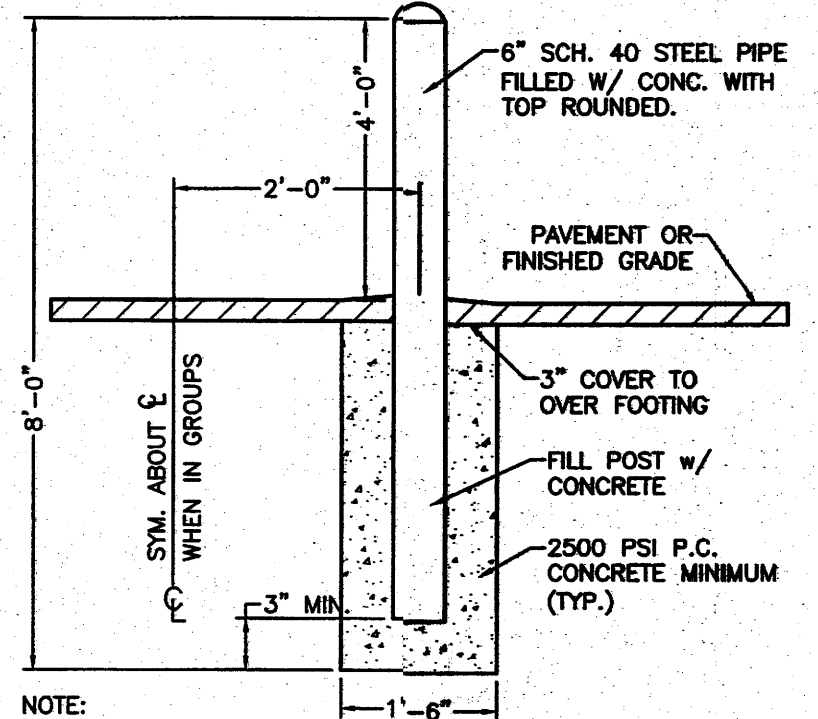
LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - - -	PROPOSED INDEX CONTOUR
---	3:1 SLOPE TIE MAX.
X 4048.25	EXISTING SPOT ELEVATION
X 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	FLOW
---	FLOW LINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED CONCRETE SIDEWALK
---	BREAK LINE

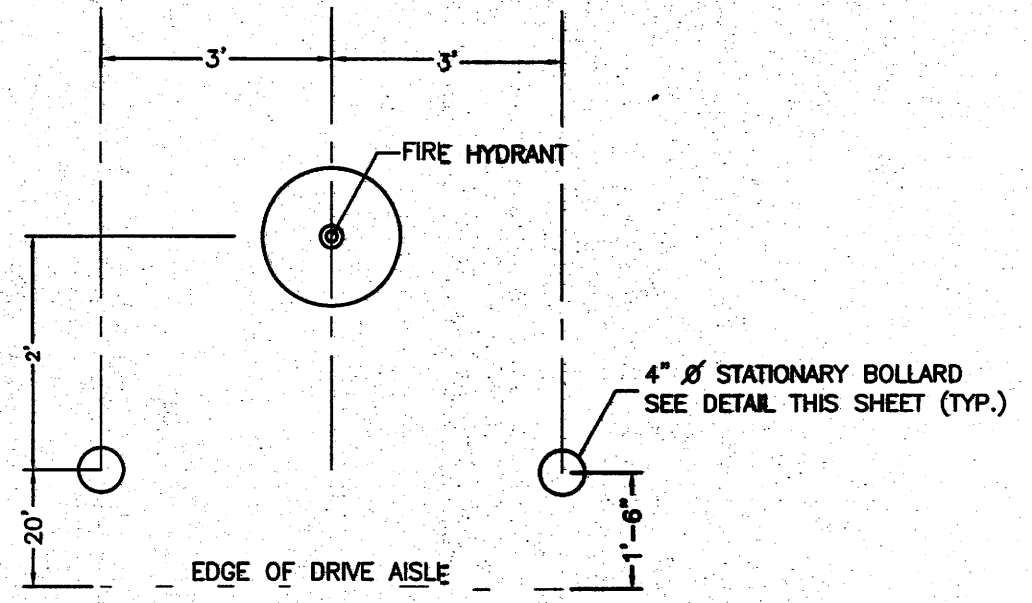
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	ALBUQUERQUE RV AND BOAT STORAGE GRADING AND DRAINAGE PLAN	DRAWN BY WCKJ DATE 12-26-13 21340-14000-10-31-13
	<i>Rio Grande Engineering</i>	SHEET # 3
DAVID SOULE P.E. #14522	1406 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0599	JOB # 2134498



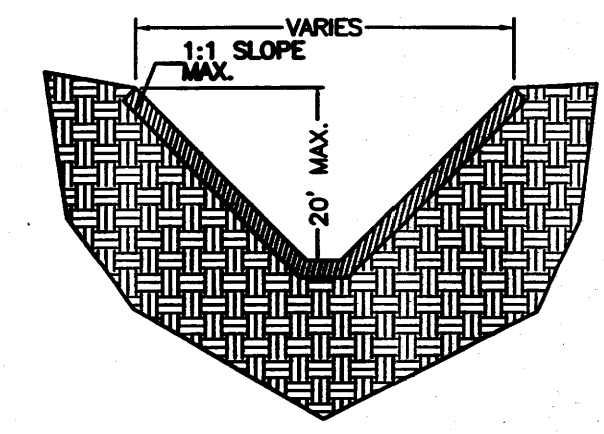
BOLLARD DETAIL
NTS



BOLLARD PLACEMENT DETAIL
NTS

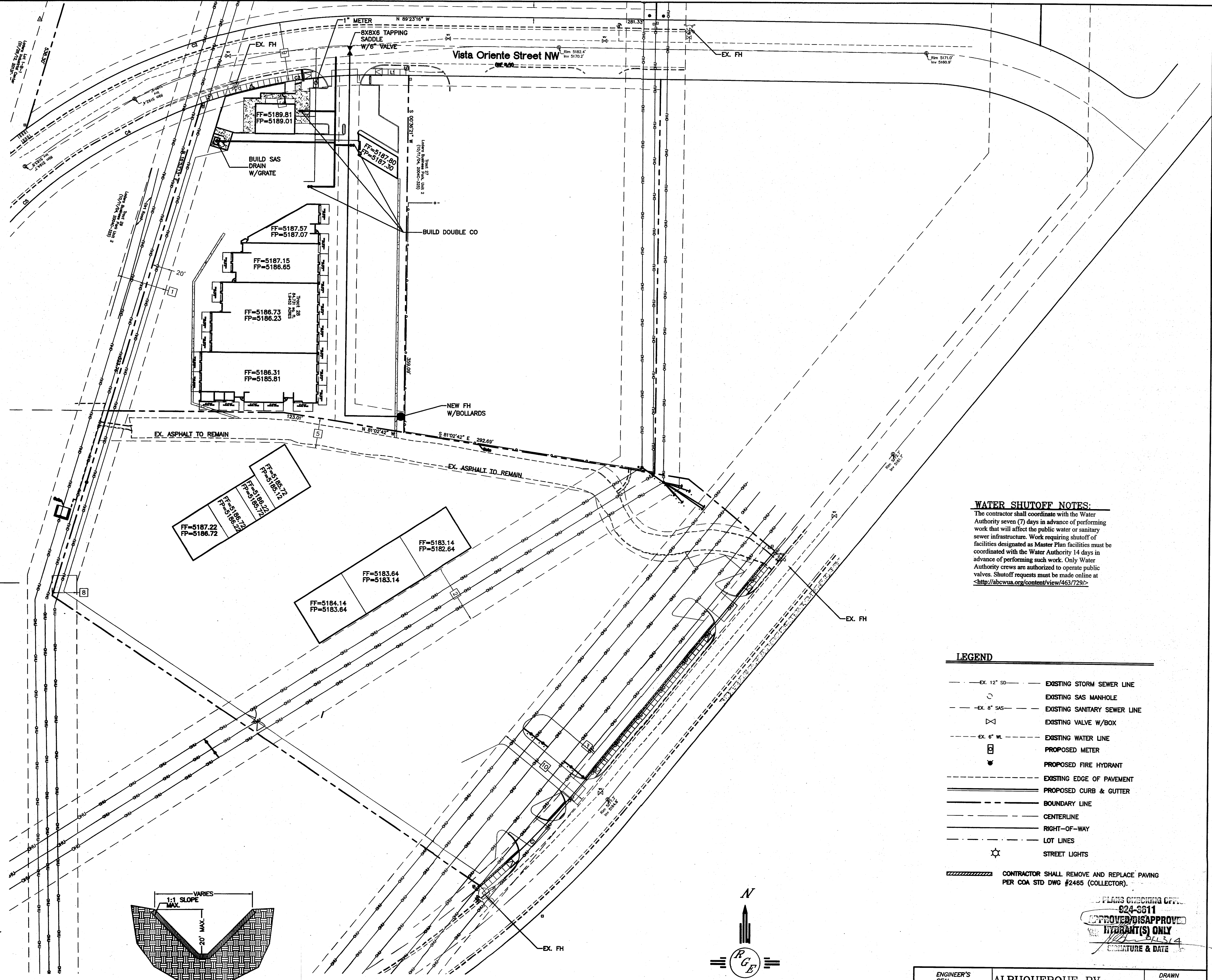
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #4.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWA.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK, CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #4.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.



SUPPLEMENTAL TRENCH DETAIL

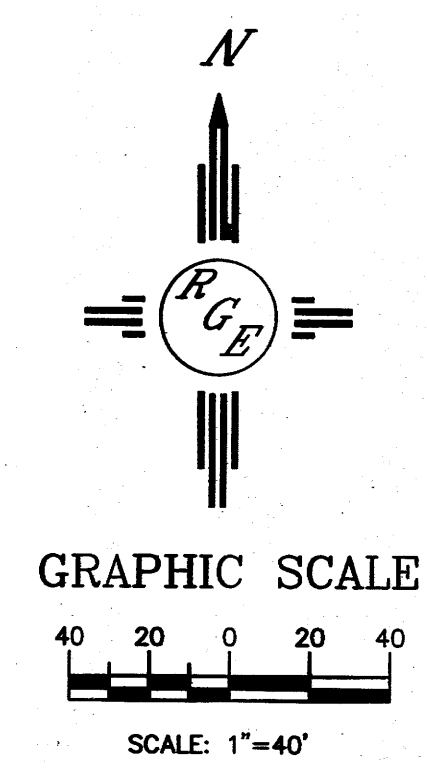
NTS-PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



WATER SHUTOFF NOTES:
The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwa.org/content/view/full/7729/>.

LEGEND

- EX. 12" SD — EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- ◇ EXISTING VALVE W/BOX
- EX. 6" WL — EXISTING WATER LINE
- ⊠ PROPOSED METER
- ⊡ PROPOSED FIRE HYDRANT
- — — EXISTING EDGE OF PAVEMENT
- — — PROPOSED CURB & GUTTER
- — — BOUNDARY LINE
- — — CENTERLINE
- — — RIGHT-OF-WAY
- — — LOT LINES
- ☆ STREET LIGHTS
- ▨ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).

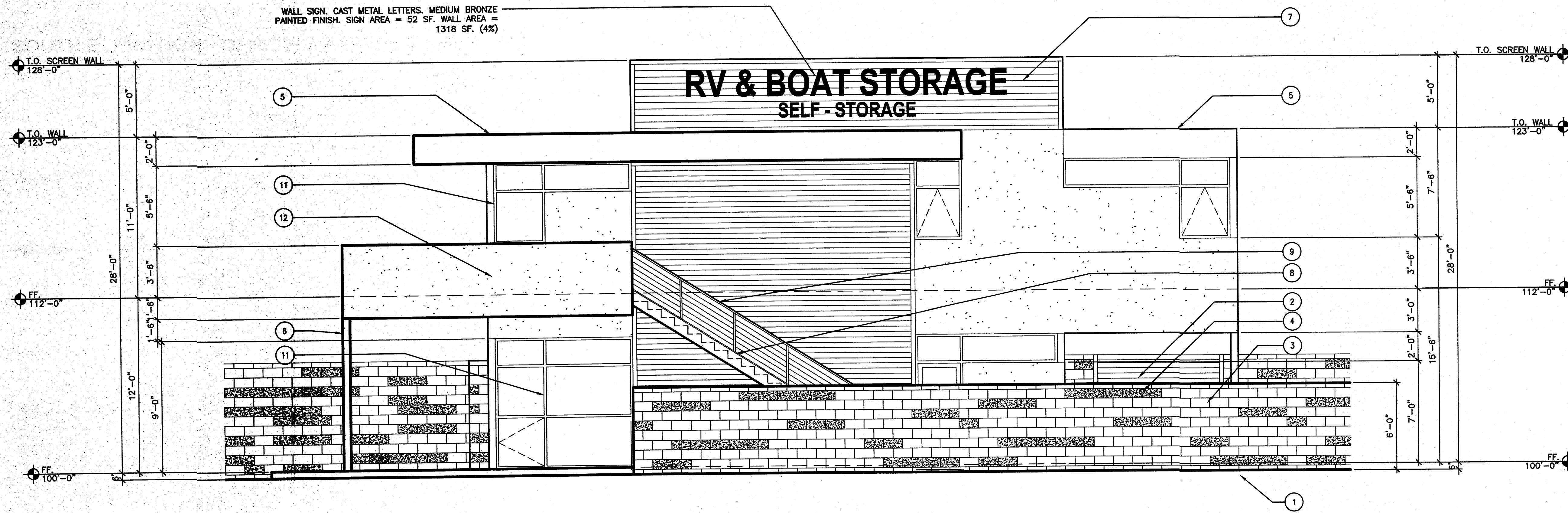


PLANS CHECKING OFFICER
824-6611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

ENGINEER'S SEAL	ALBUQUERQUE RV AND BOAT STORAGE MASTER UTILITY PLAN	DRAWN BY WCUJ
		DATE 12-28-13
		1308-LADDP-10-01-13
		SHEET # 4
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 876-0069	JOB # 21349

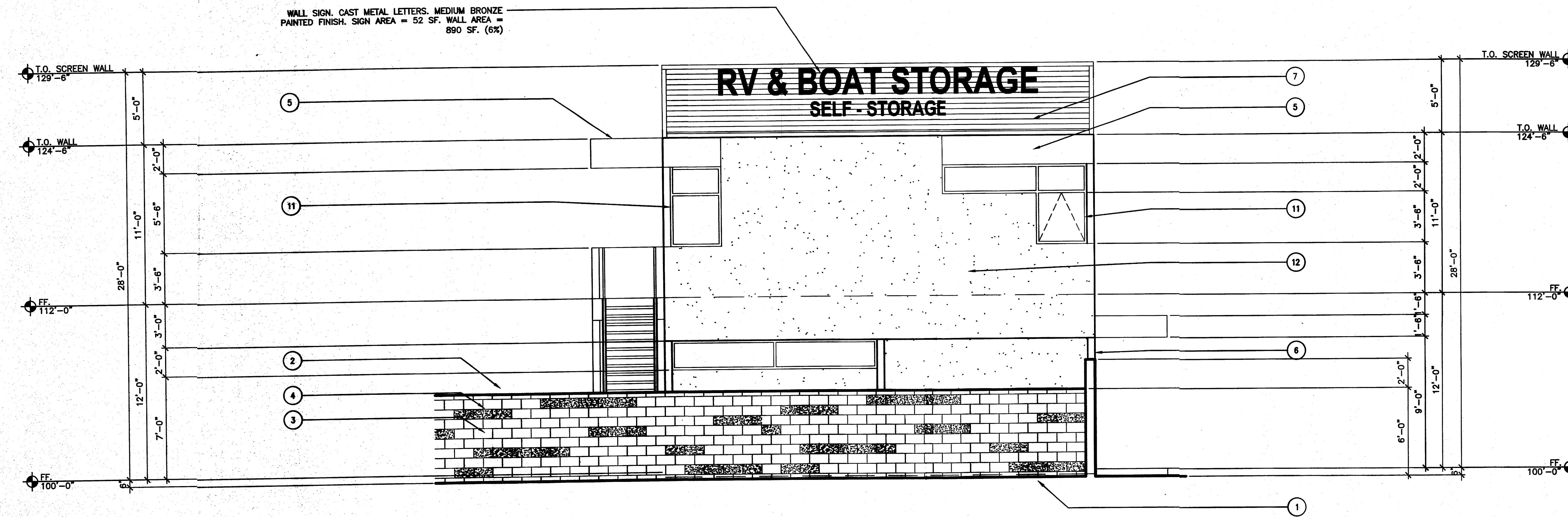
KEYED NOTES

- 1 GRADE.
- 2 8"x4"x16" SOLID CMU CAP BLOCK. GRAY COLOR.
- 3 8"x8"x16" SPLIT FACE CMU. YELLOW SAGE COLOR.
- 4 8"x8"x16" SPLIT FACE CMU. MESA SUNSET COLOR W/ RANDOM LINE PATTERN (20%).
- 5 ALUMINUM FASCIA & FLASHING. WHITE COLOR.
- 6 STEEL TUBE COLUMN. PAINT GRAY COLOR.
- 7 GALVANIZED RIBBED METAL PANELS AND TRIM.
- 8 STEEL STAR. PAINT GRAY COLOR.
- 9 STEEL CABLE RAILING SYSTEM.
- 10 NOT USED.
- 11 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/INSULATED GRAY GLASS.
- 12 STUCCO. NAVAJO WHITE COLOR.



NORTH ELEVATION - OFFICE/ APARTMENT BUILDING

0 2' 4' 8' 1
SCALE: 1/4" = 1'-0" A2.1



WEST ELEVATION - OFFICE/ APARTMENT BUILDING

0 2' 4' 8' 2
SCALE: 1/4" = 1'-0" A2.1



ARCHITECTS

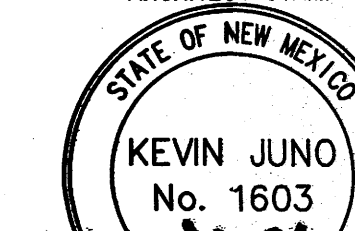
7925 Bosque St. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 896-3438

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE NW, ALBUQUERQUE, NM

SHEET TITLE:
EXTERIOR ELEVATIONS OFF/ APT. BLDG.

NO.	REVISION	DATE

ARCHITECT STAMP CONSULTANT STAMP DATE:

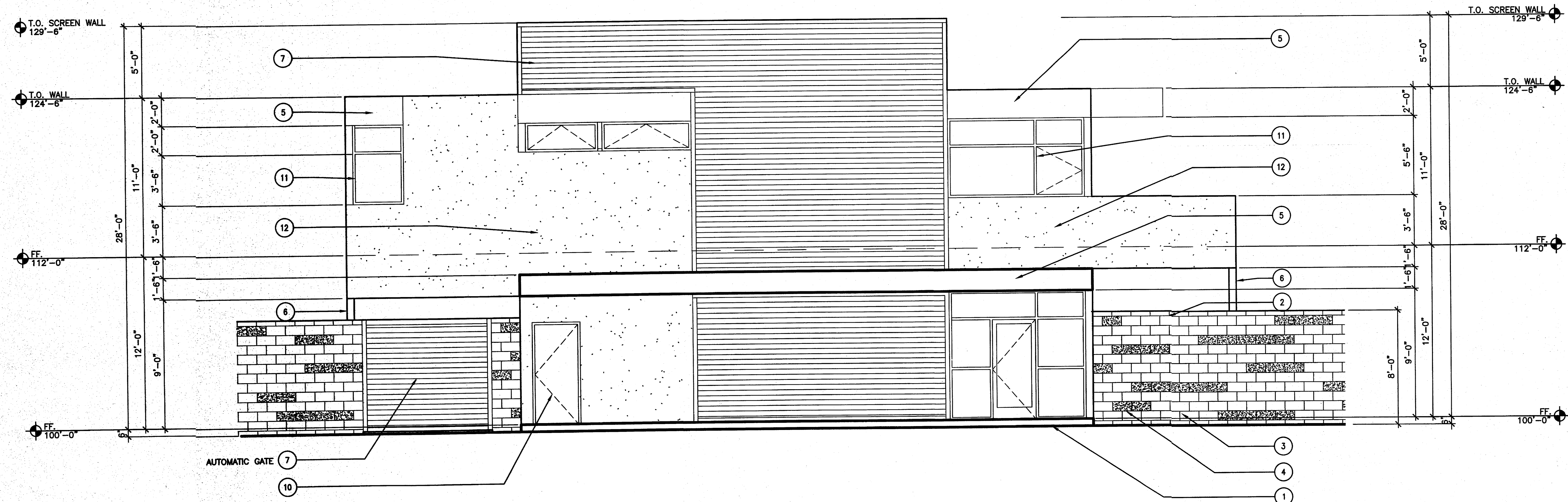


1-1-14
PROJECT NO.
1304
SHEET NO.

A2.1

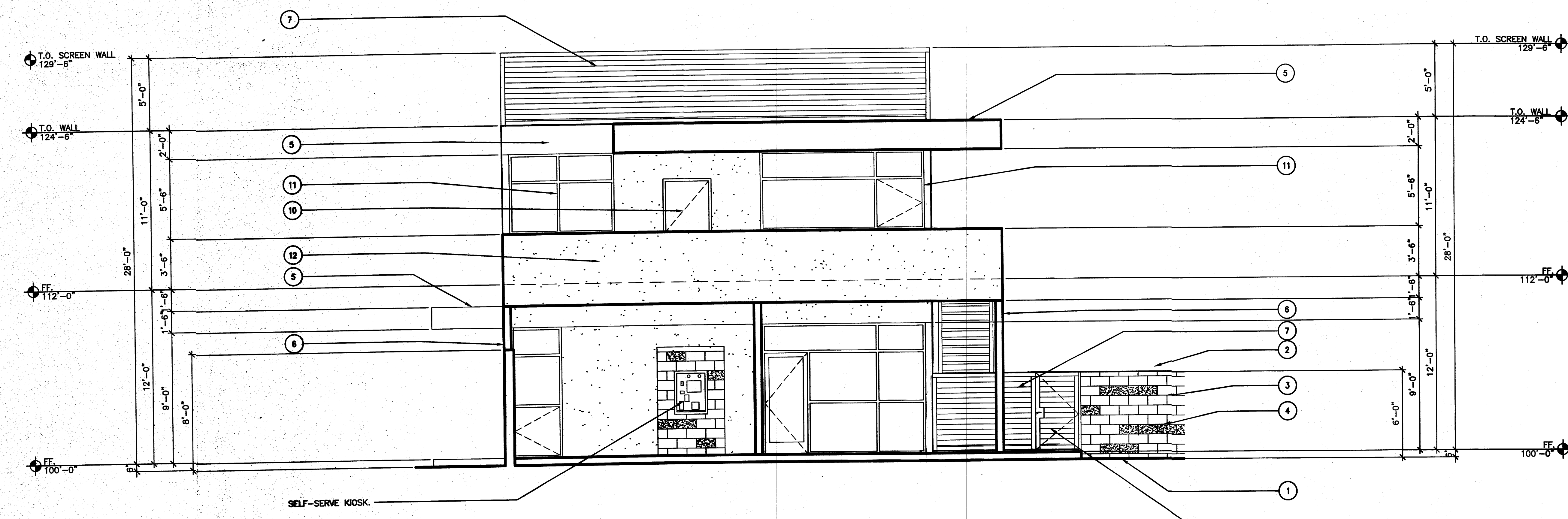
KEYED NOTES

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- 3 8"x8"x16" SPLIT FACE CMU. YELLOW SAGE COLOR.
- 4 8"x8"x16" SPLIT FACE CMU. MESA SUNSET COLOR W/ RANDOM LINE PATTERN (20%).
- 5 ALUMINUM FASCIA & FLASHING. WHITE COLOR.
- 6 STEEL TUBE COLUMN. PAINT GRAY COLOR.
- 7 GALVANIZED RIBBED METAL PANELS AND TRIM.
- 8 NOT USED.
- 9 NOT USED.
- 10 HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH NAVAJO WHITE STUCCO COLOR.
- 11 CLEAR ANODIZED ALUMINUM WINDOW FRAME W/INSULATED GRAY GLASS.
- 12 STUCCO. NAVAJO WHITE COLOR.



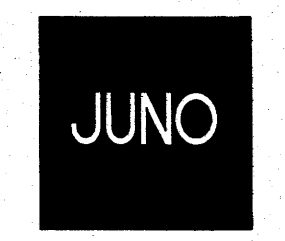
SOUTH ELEVATION - OFFICE/ APARTMENT BUILDING

0 2' 4' 8' 1
SCALE: 1/4" = 1'-0" **A2.2**



EAST ELEVATION - OFFICE/ APARTMENT BUILDING

0 2' 4' 8' 2
SCALE: 1/4" = 1'-0" **A2.2**



ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505)896-3438

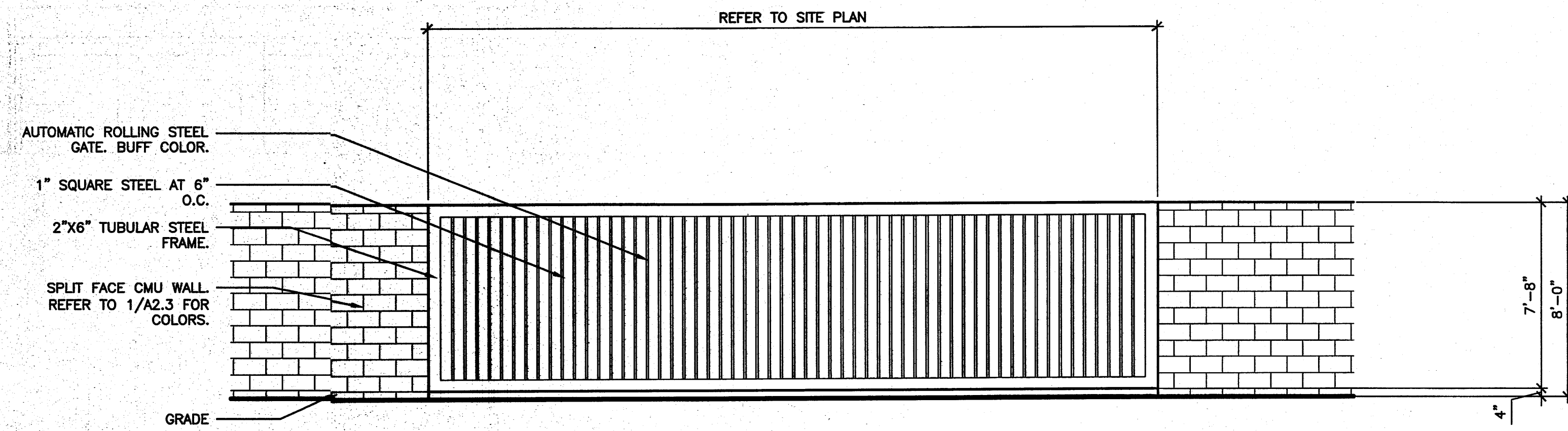
PROJECT:
**ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE NW, ALBUQUERQUE, NM**

SHEET TITLE:
EXTERIOR ELEVATIONS OFF/ APT BLDG.

NO.	REVISION	DATE

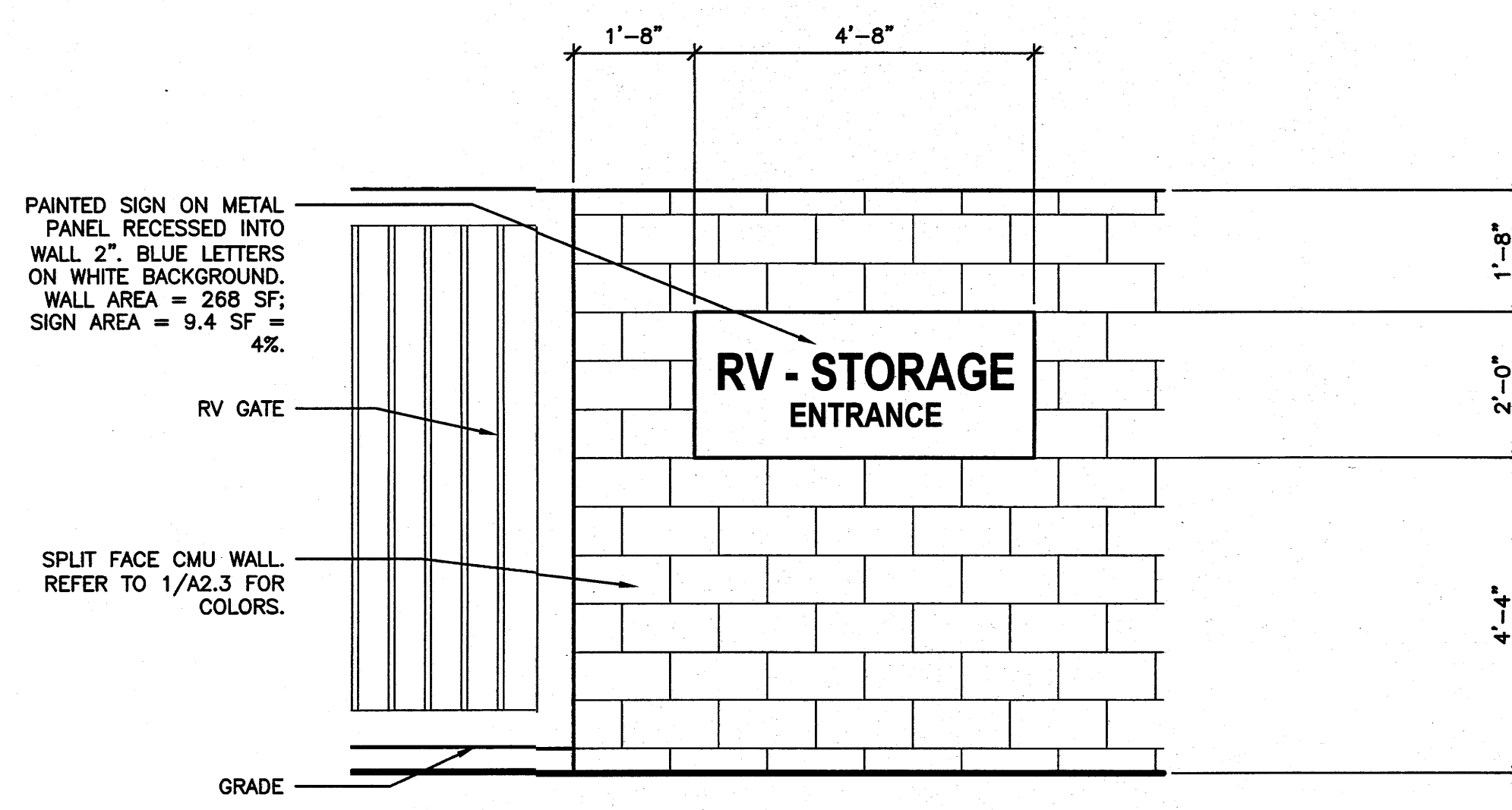
ARCHITECT STAMP CONSULTANT STAMP DATE:
STATE OF NEW MEXICO 1-1-14
KEVIN JUNO PROJECT NO.
No. 1603 1304
SHEET NO.

A2.2



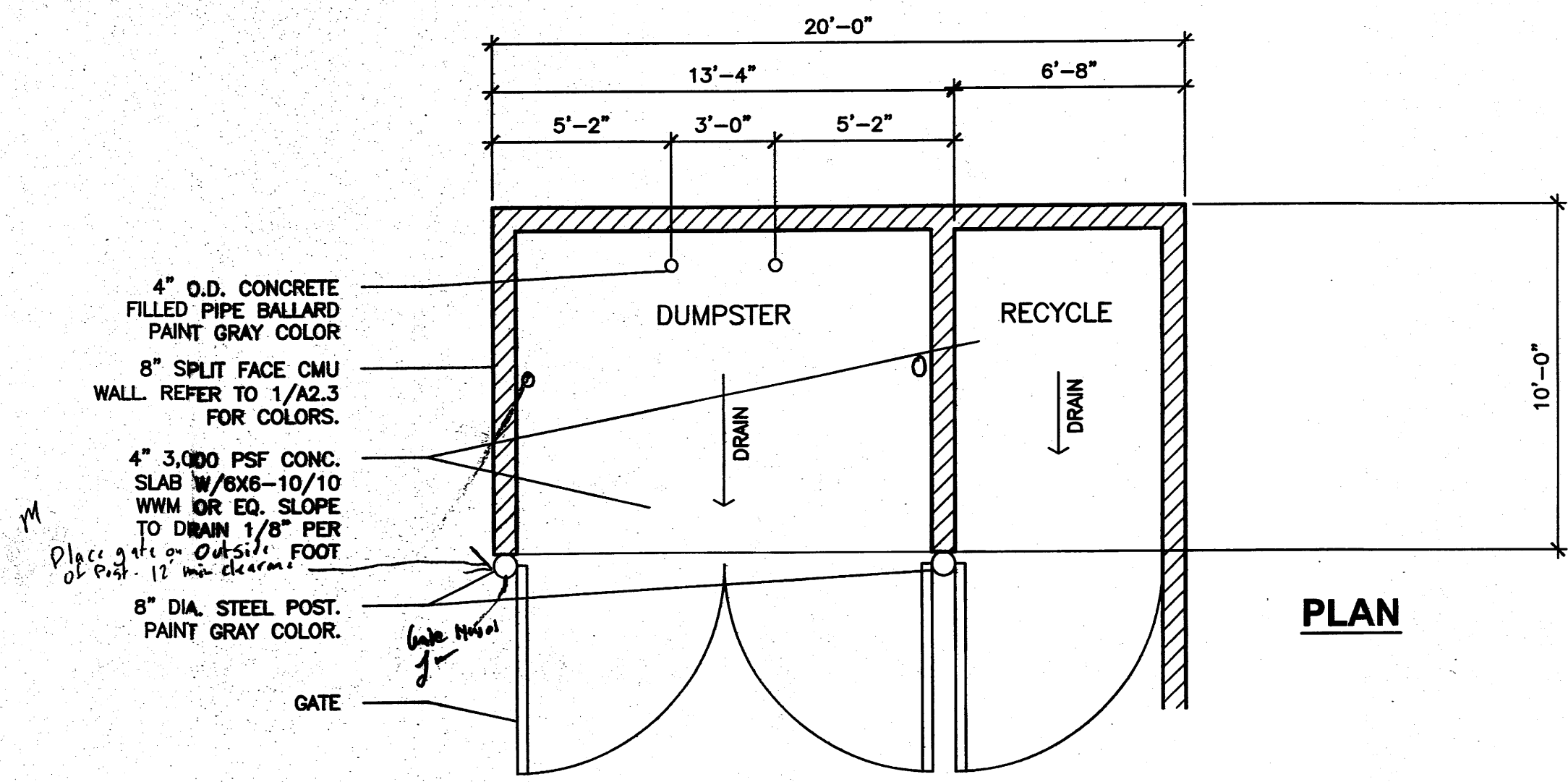
STORAGE ENTRANCE GATE (3 TYPICAL)

SCALE: 1/4" = 1'-0" **5**
A2.3

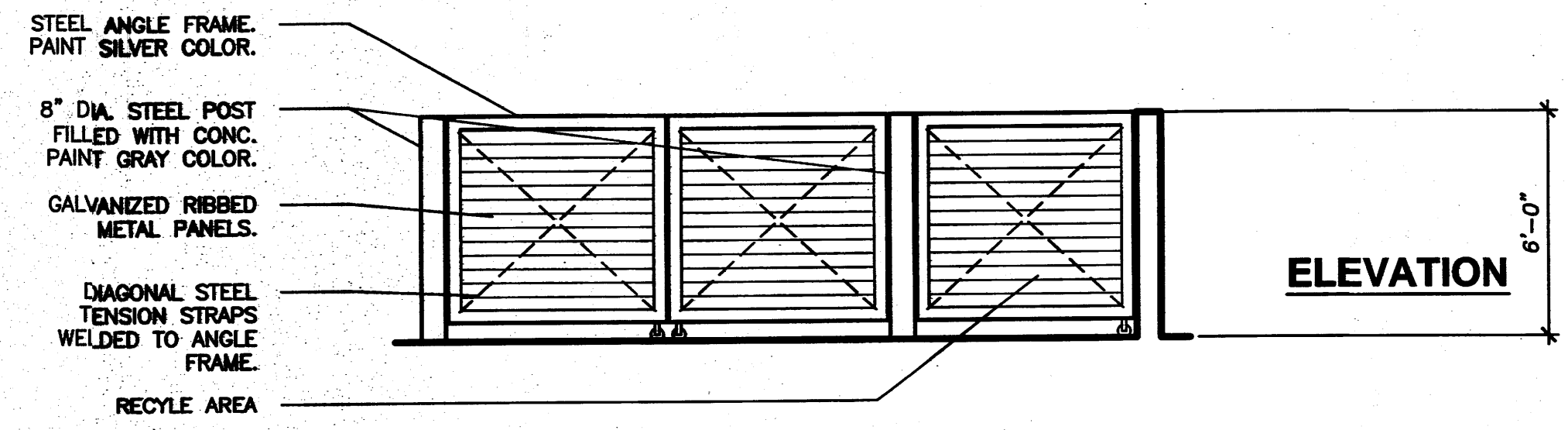


LA MORADA PL. RV ENTRY SIGN (2 TYP.)

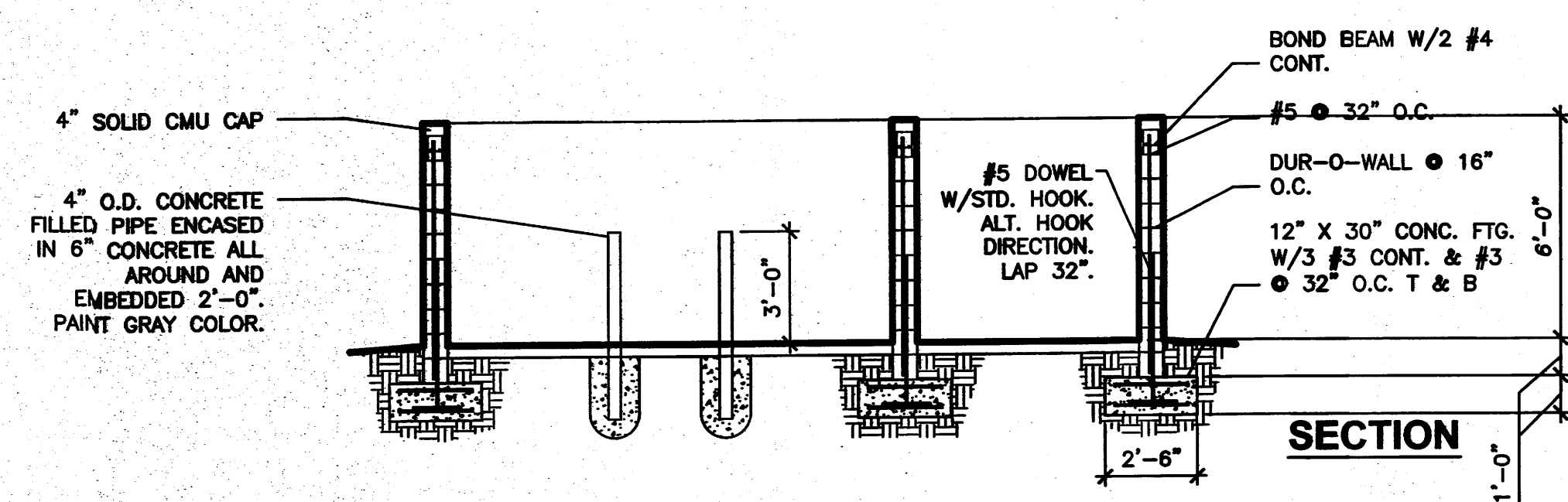
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A2.3



PLAN



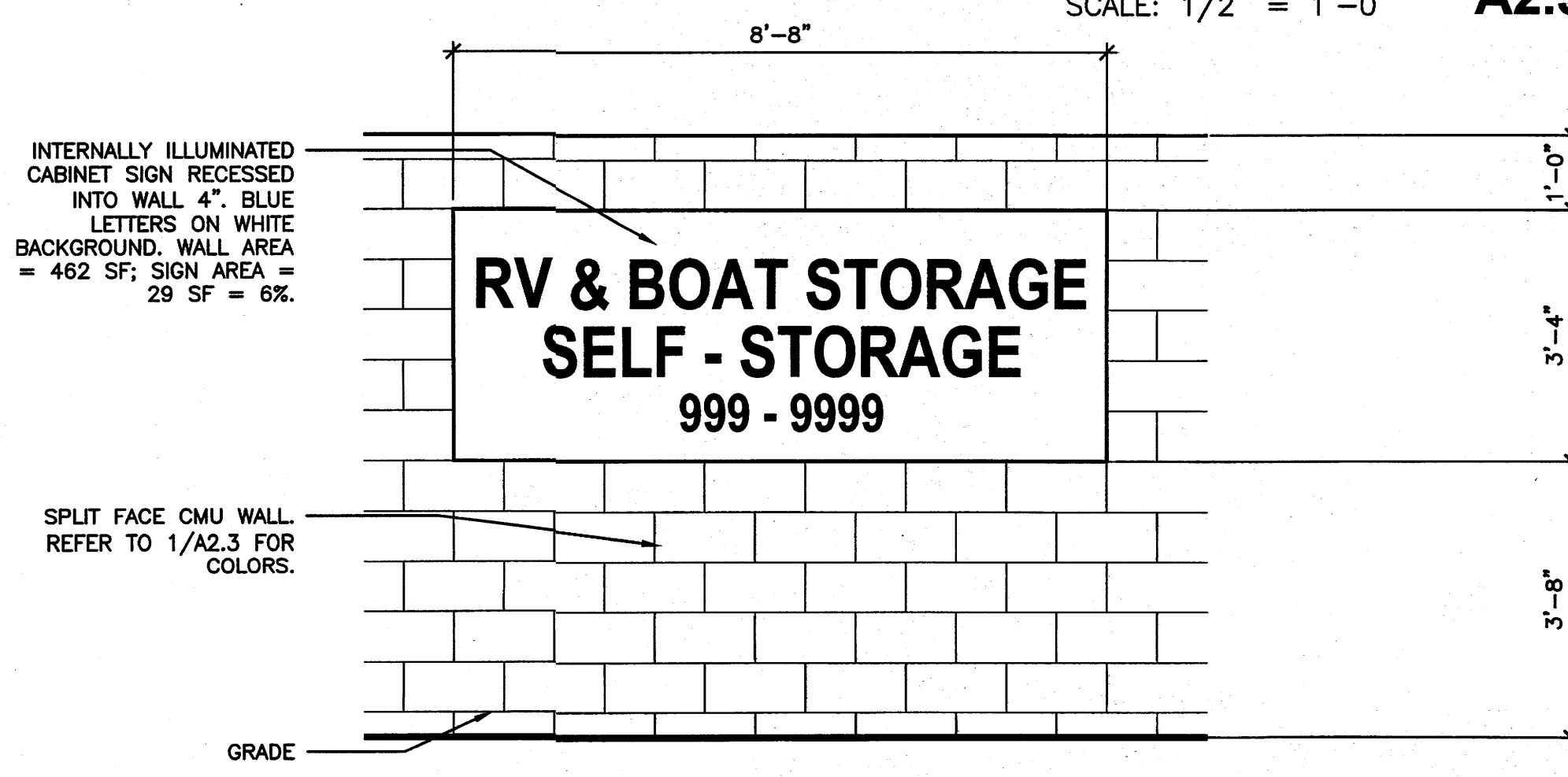
ELEVATION



SECTION

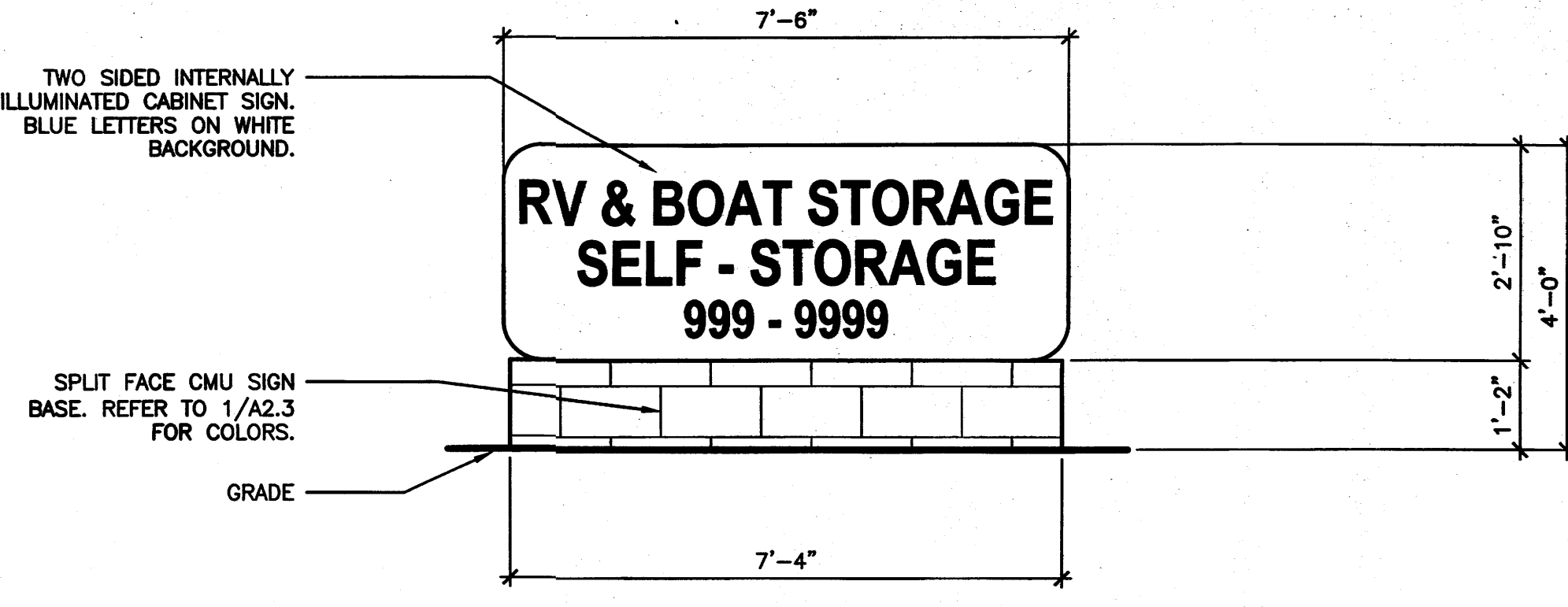
TRASH ENCLOSURE DETAIL

SCALE: 1/4" = 1'-0" **6**
A2.3



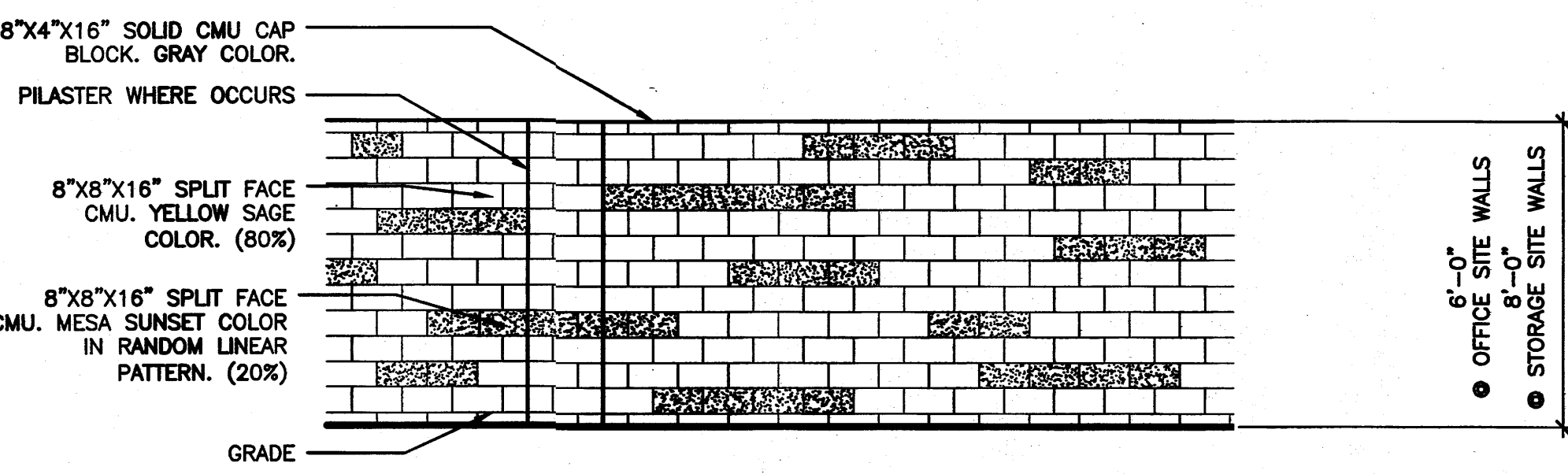
LA MORADA PL. WALL SIGN

SCALE: 1/2" = 1'-0" **3**
A2.3



MONUMENT SIGN

SCALE: 1/2" = 1'-0" **2**
A2.3



CMU WALL PATTERN (TYPICAL)

SCALE: 1/4" = 1'-0" **1**
A2.3

KEYED NOTES



ARCHITECTS
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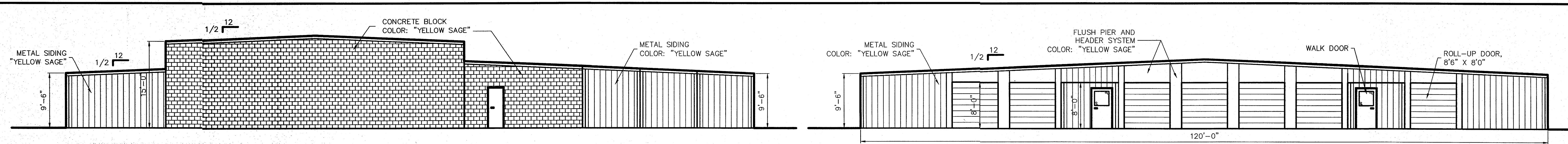
PROJECT:
ALBUQUERQUE RV & BOAT STORAGE
2210 VISTA ORIENTE, NW, ALBUQUERQUE, NM

DETAILS

NO.	REVISION	DATE

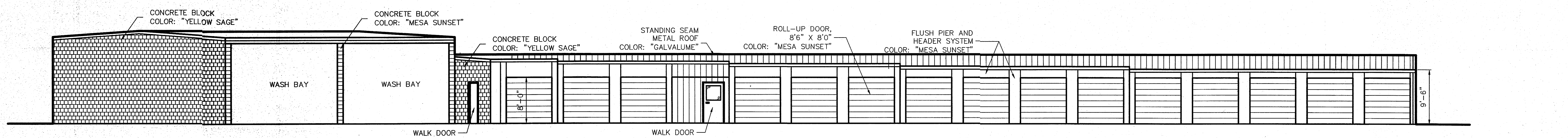
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CONSULTANT STAMP
DATE: 1-1-14
PROJECT NO. 1304
SHEET NO.

A2.3
1-2-14

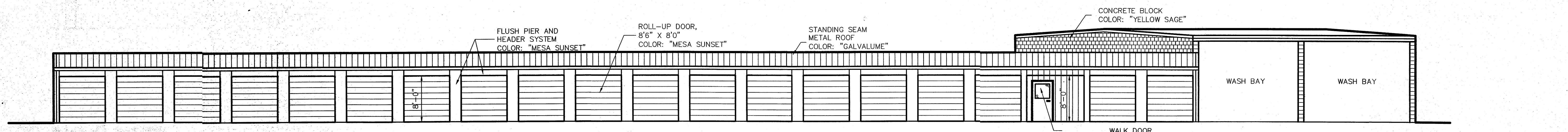


BLDG. A – NORTH ELEVATION

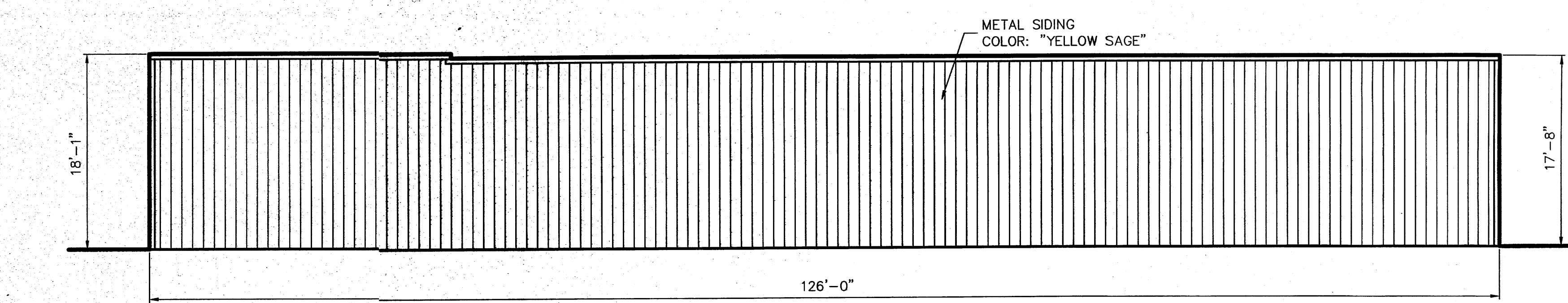
BLDG. A – SOUTH ELEVATION



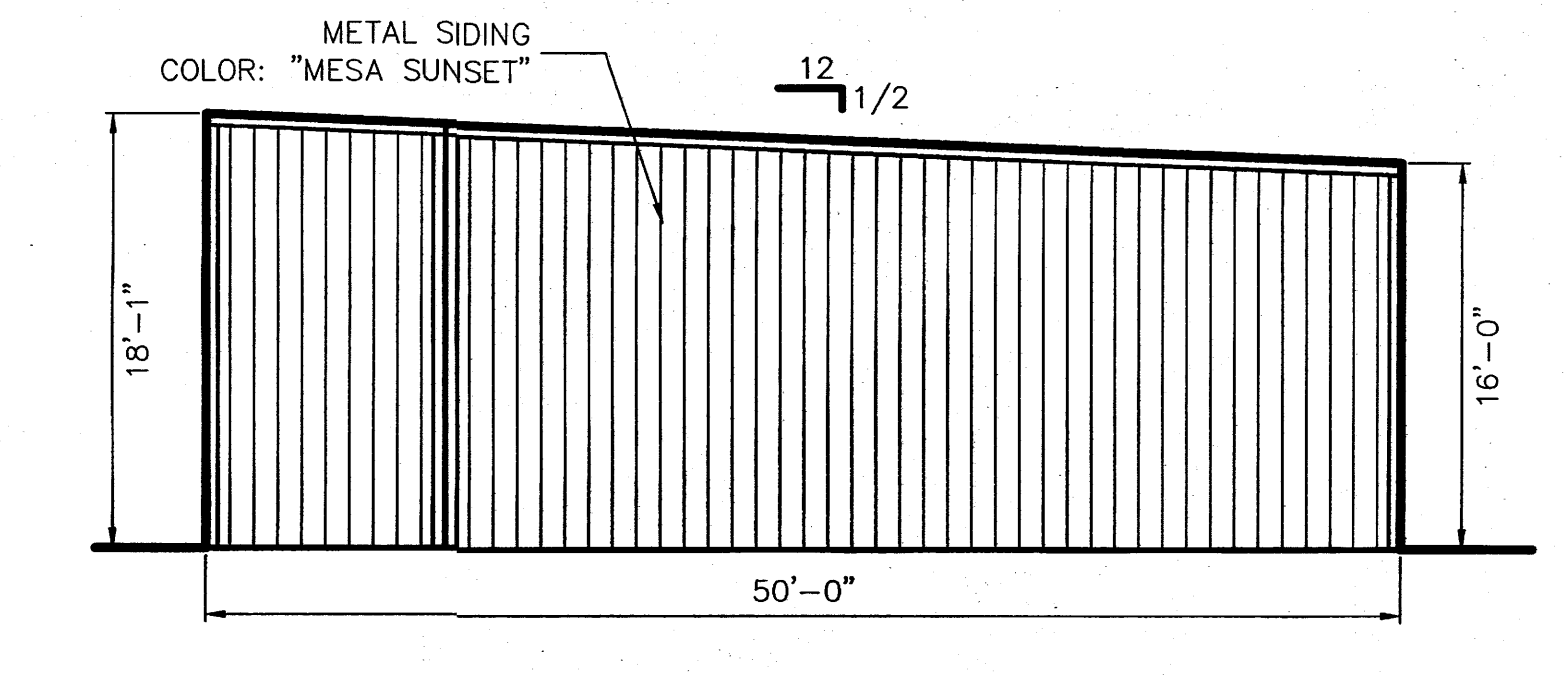
BLDG. A – WEST ELEVATION



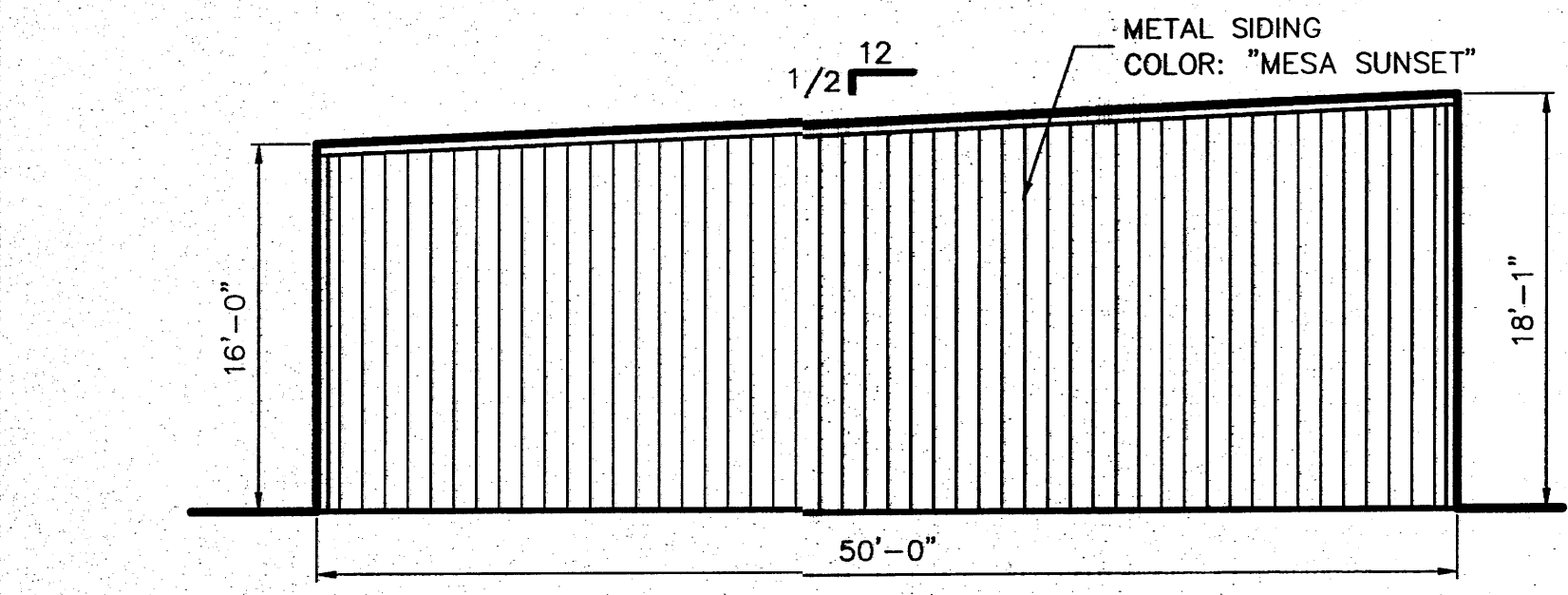
BLDG. A – EAST ELEVATION



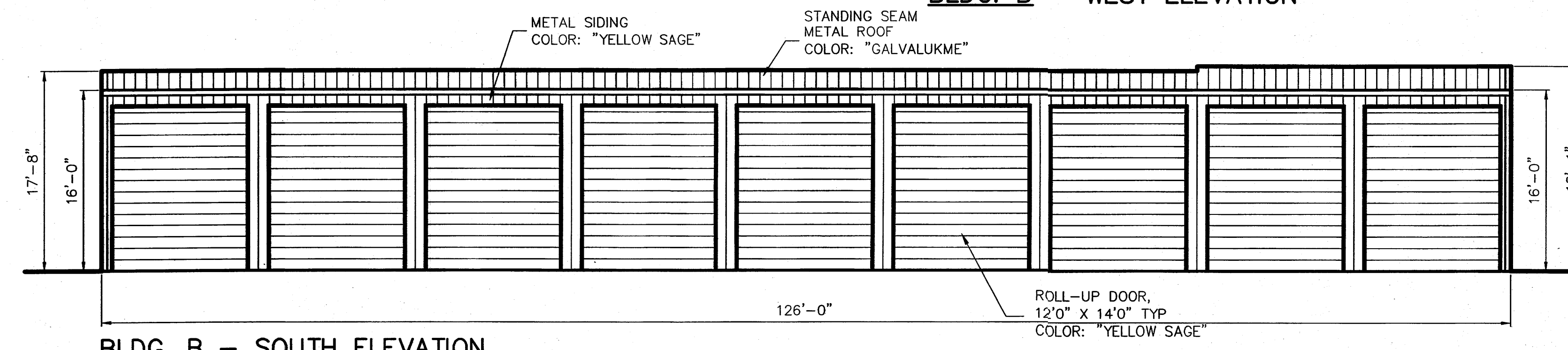
BLDG. B – NORTH ELEVATION



BLDG. B – WEST ELEVATION



BLDG. B – EAST ELEVATION



BLDG. B – SOUTH ELEVATION

ROLL-UP DOOR, 12'0" X 14'0" TYP
COLOR: "YELLOW SAGE"

SCALE: 1/8" = 1'-0"

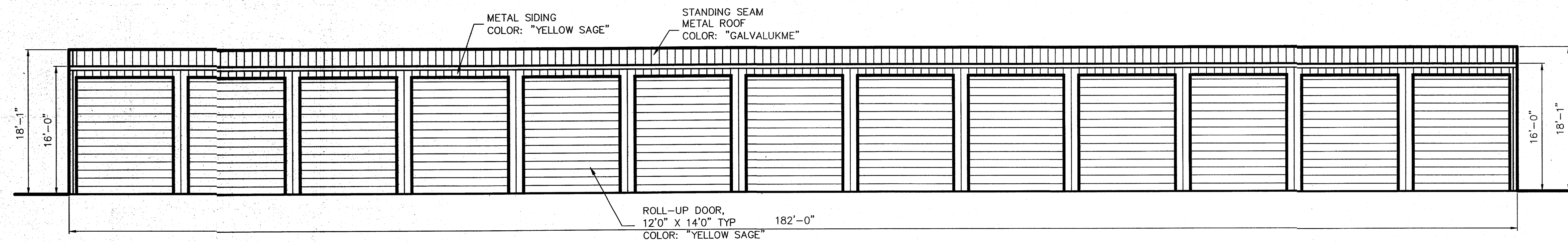


ALBUQUERQUE RV & BOAT STORAGE
2210 Vista Oriente NW., Albuquerque, NM
Dan Rich

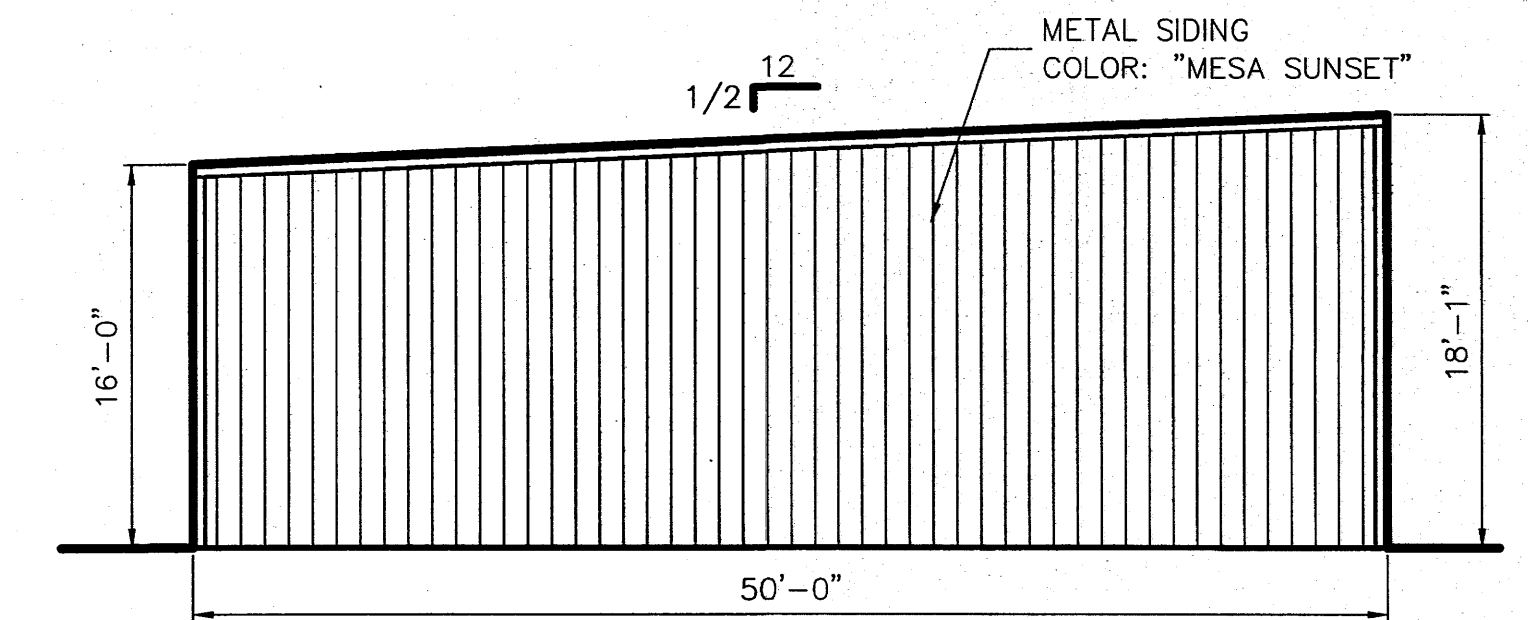
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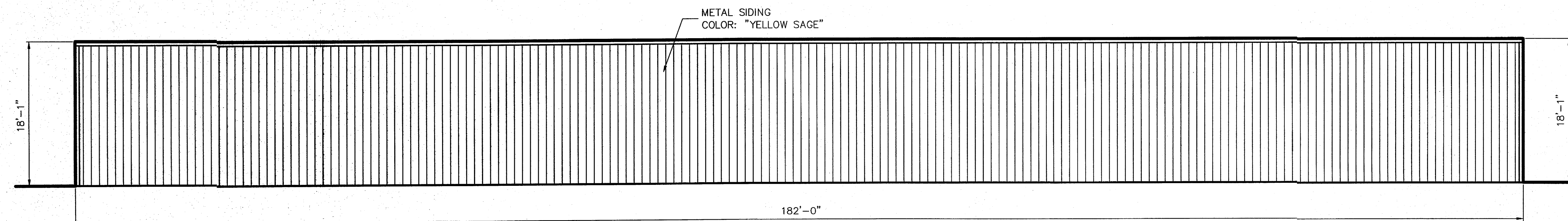
DRAWN BY: RRH
DATE: 11/5/13
DWG. NO.: E1 OF 5
REVISION: 01



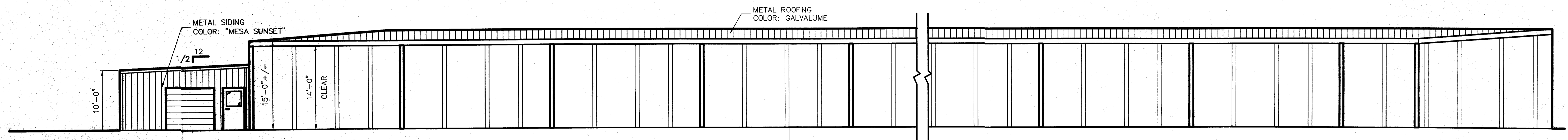
BLDG. C - SOUTH ELEVATION



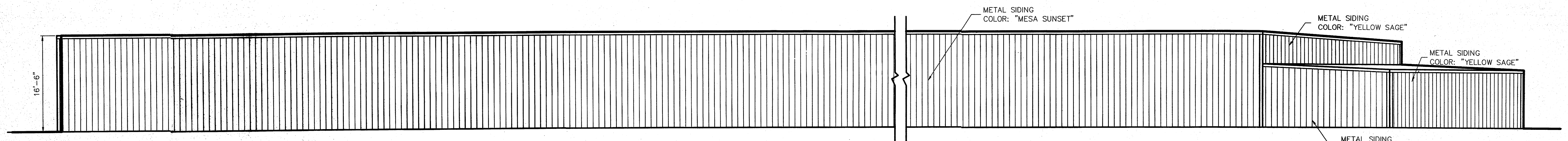
BLDG. C - EAST ELEVATION (WEST, SIM.)



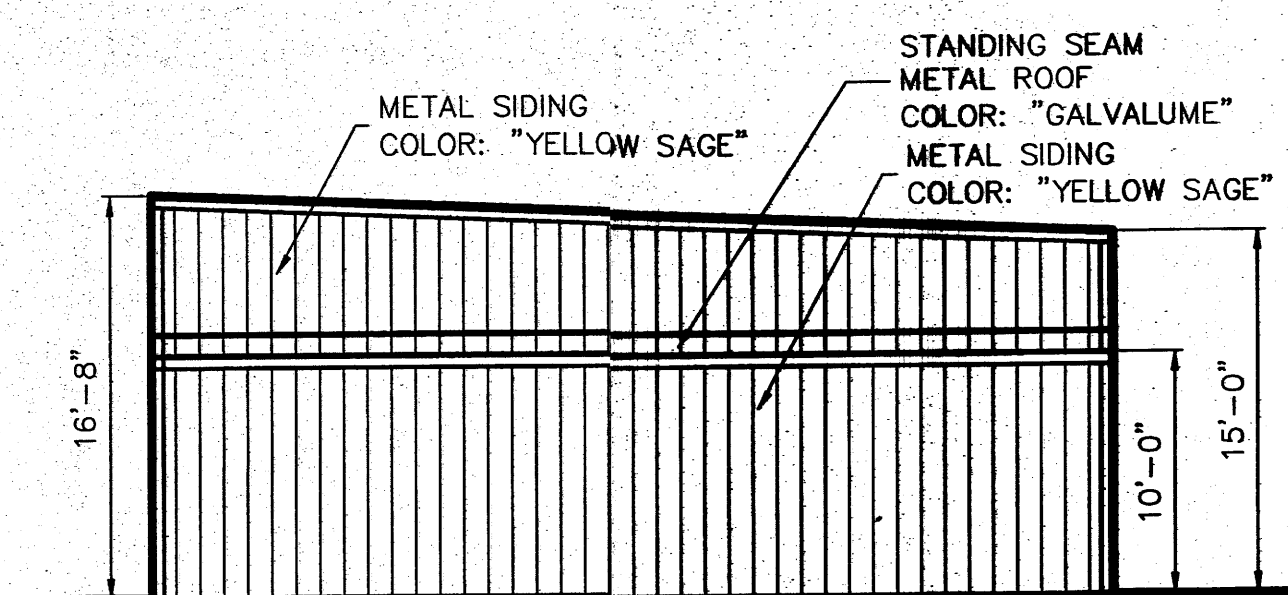
BLDG. C - NORTH ELEVATION



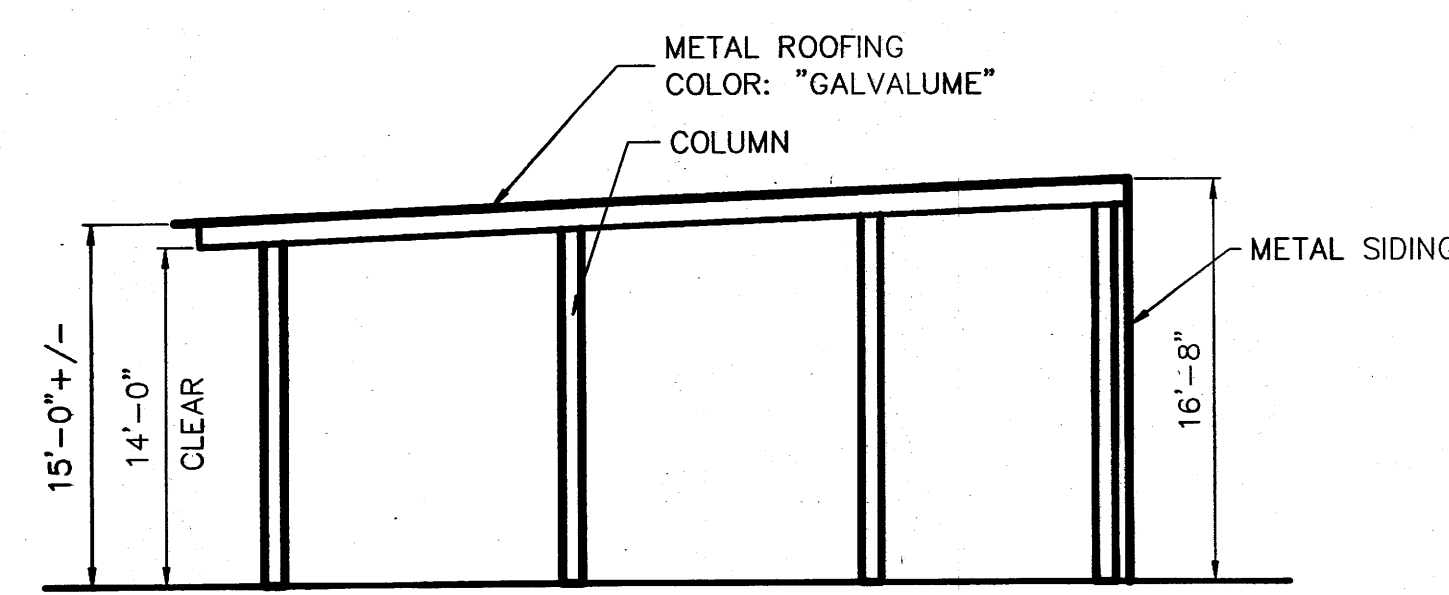
CANOPY C1 - WEST ELEVATION



CANOPY C1 - EAST ELEVATION



CANOPY C1 - NORTH ELEVATION



CANOPY C1 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE

2210 Vista Oriente NW., Albuquerque, NM

Dan Rich

NOTES & CONDITIONS

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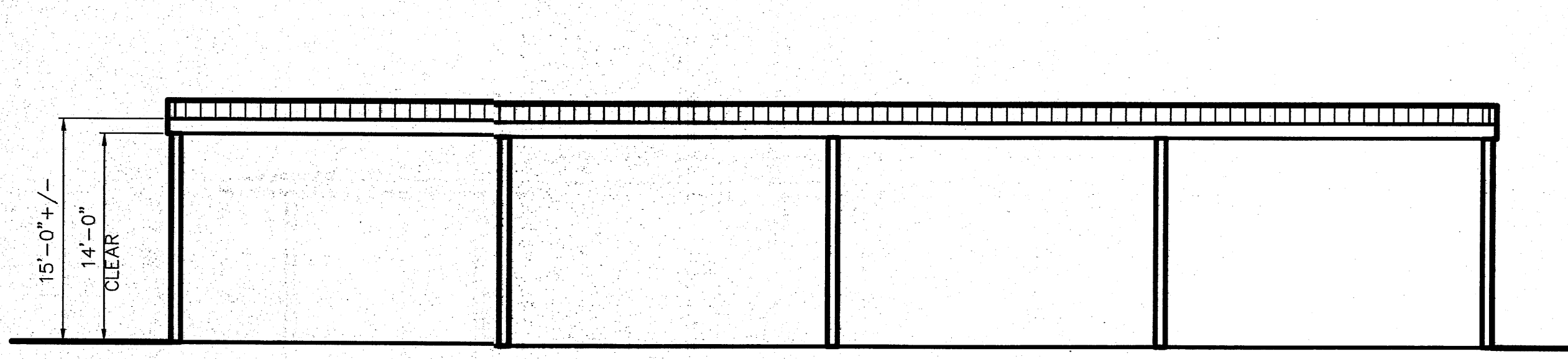
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DATE: 11/5/13

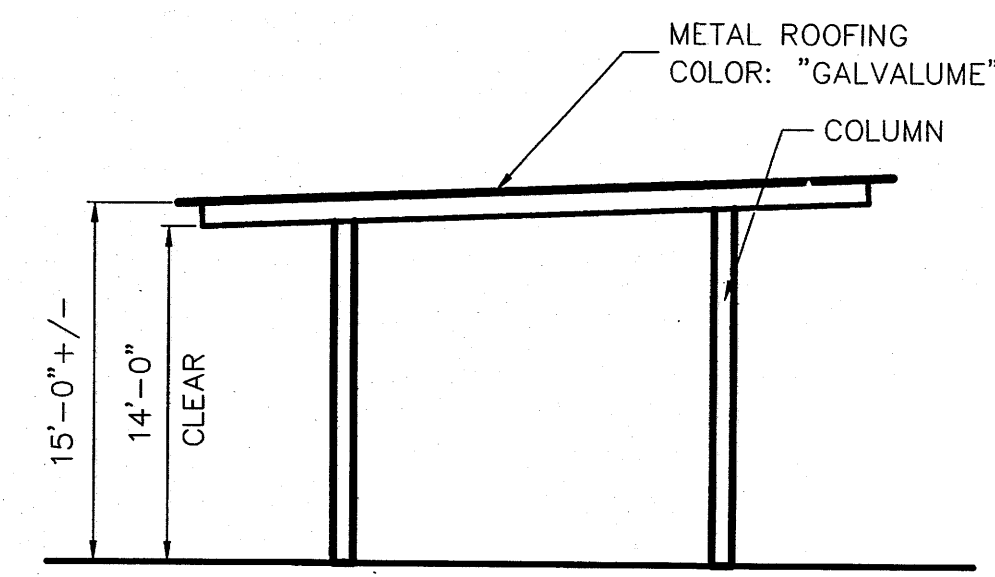
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E2 of 5

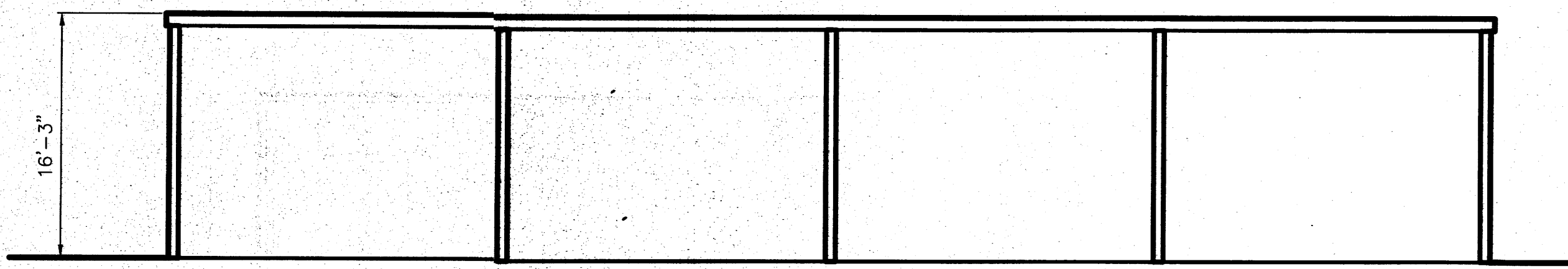
REVISION: 01



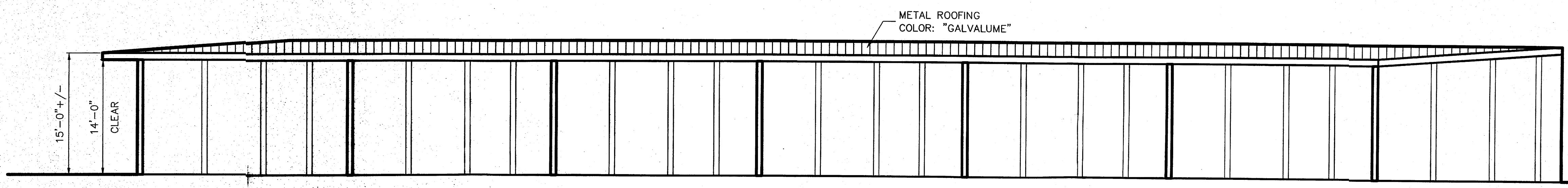
CANOPY C2 - NORTH ELEVATION



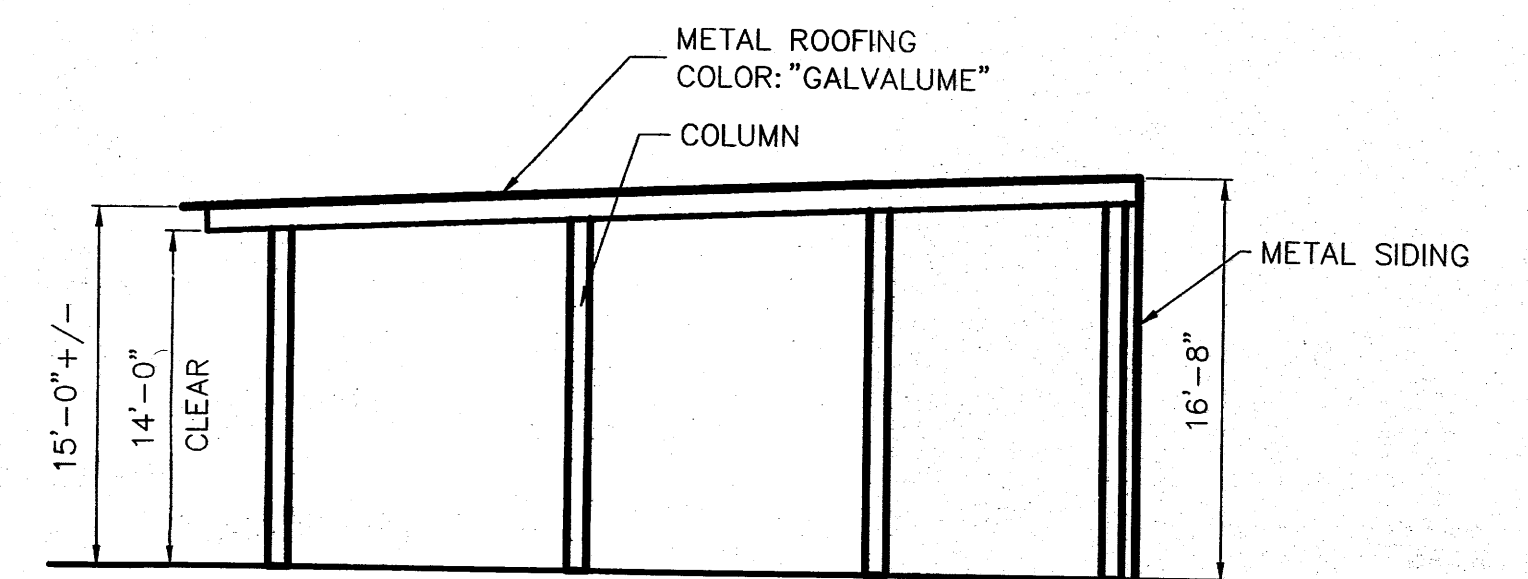
CANOPY C2 - WEST ELEVATION
(EAST, SIM.)



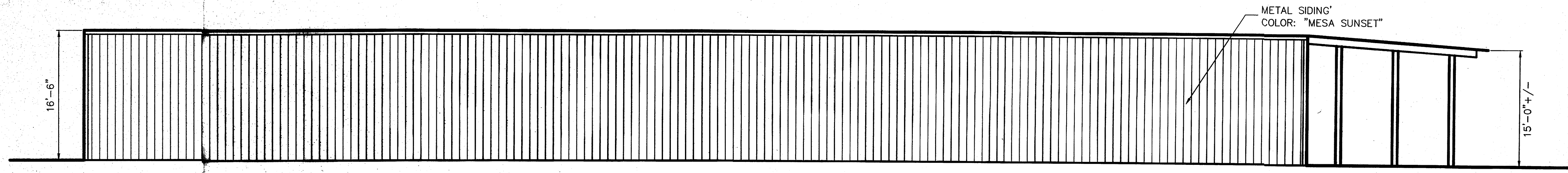
CANOPY C2 - SOUTH ELEVATION



CANOPY C3 - EAST ELEVATION



CANOPY C5 - NORTH ELEVATION
(SOUTH, SIM.)



CANOPY C3 - WEST ELEVATION

SCALE: 1/8" = 1'-0"

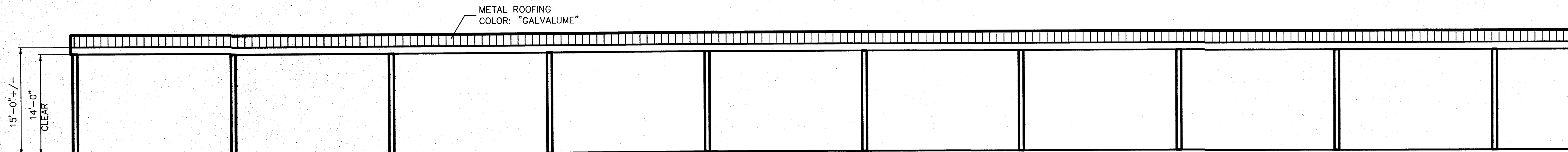


ALBUQUERQUE RV & BOAT STORAGE
2210 Vista Oriente NW, Albuquerque, NM
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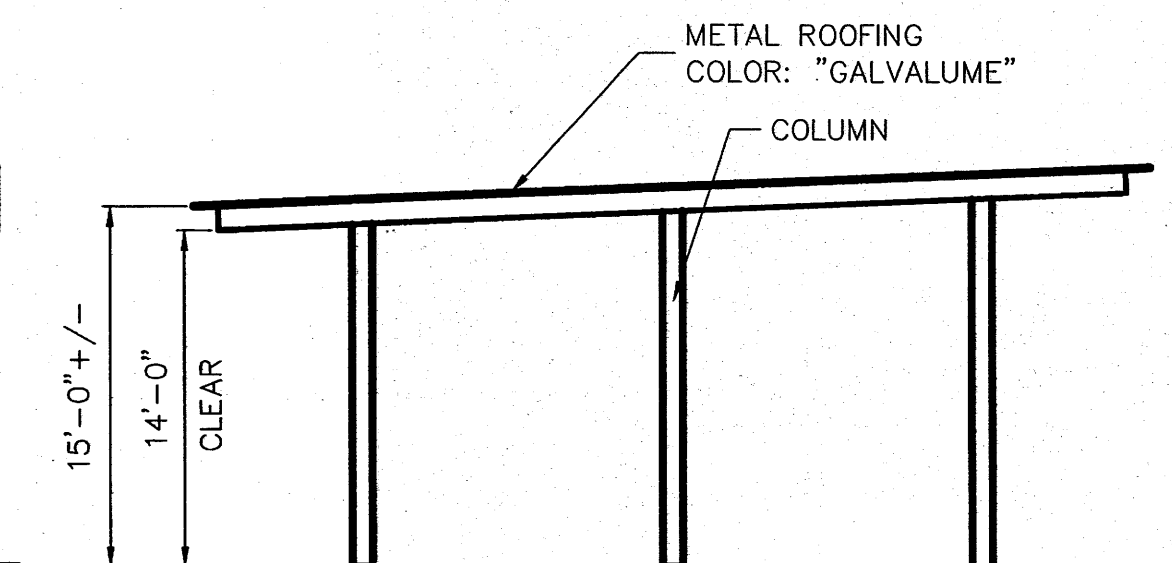
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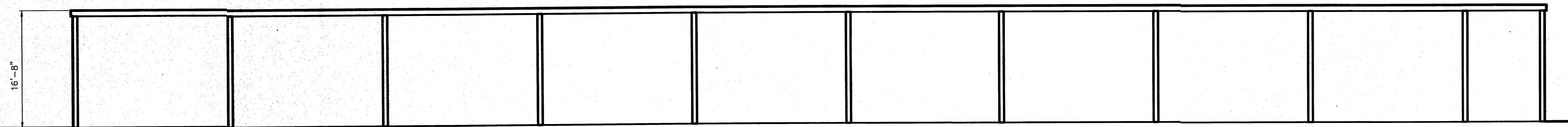
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REVISION: 01



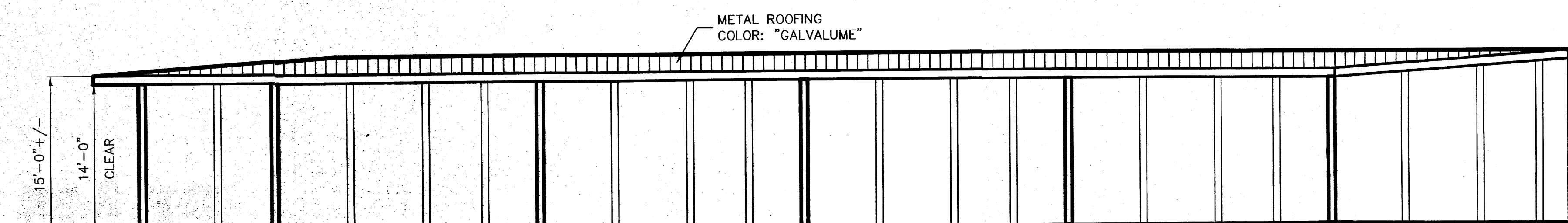
CANOPY C4 - NORTH ELEVATION



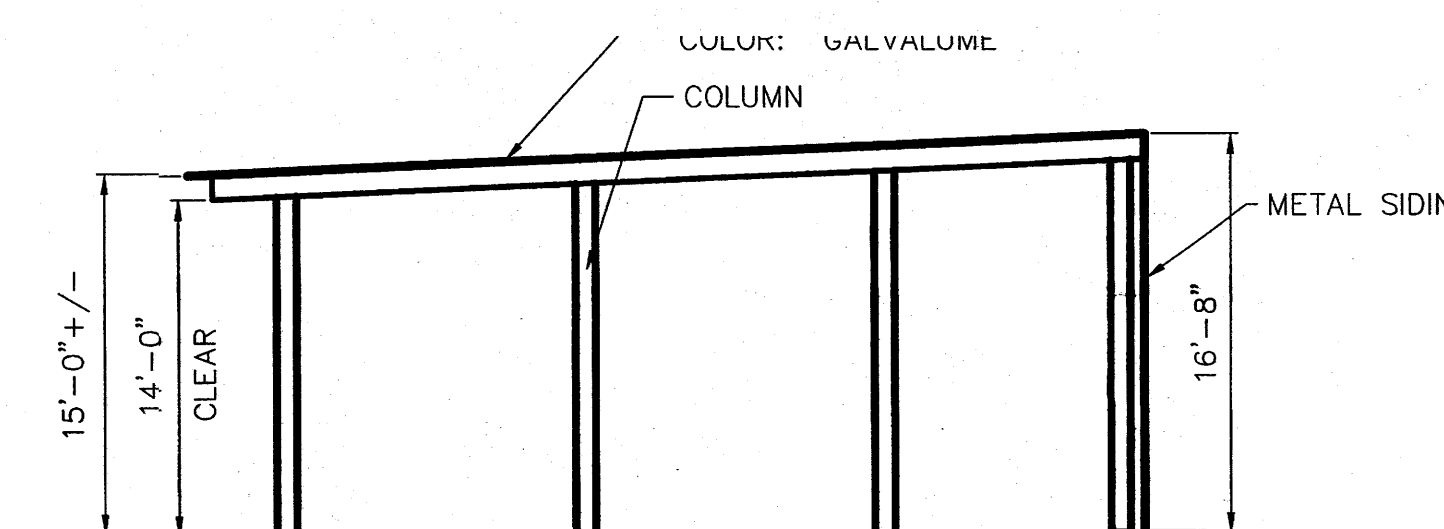
CANOPY C4 - WEST ELEVATION (EAST, SIM.)



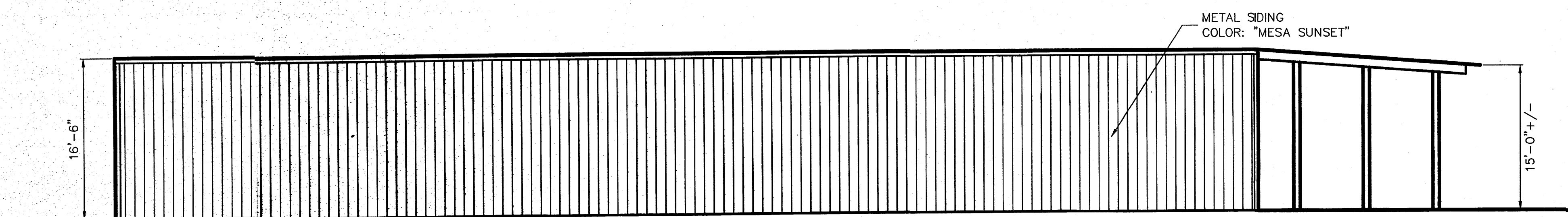
CANOPY C4 - SOUTH ELEVATION



CANOPY C5 - EAST ELEVATION



CANOPY C5 - NORTH ELEVATION (SOUTH, SIM.)



CANOPY C5 - WEST ELEVATION

SCALE: 1/8" = 1'-0"

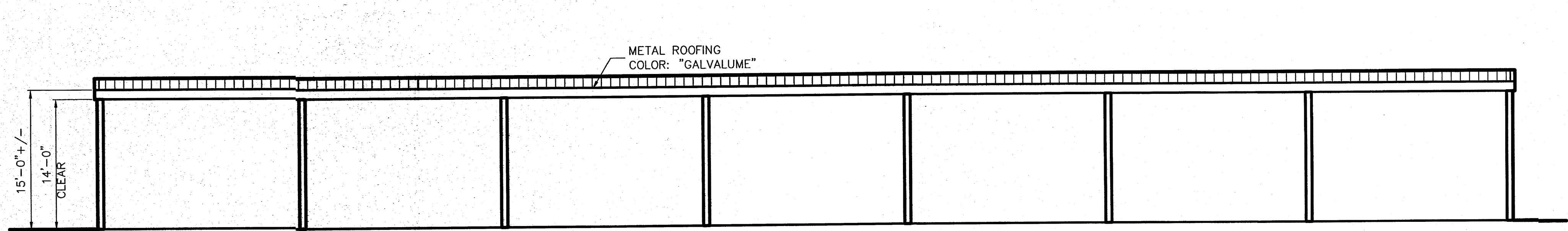


ALBUQUERQUE RV & BOAT STORAGE
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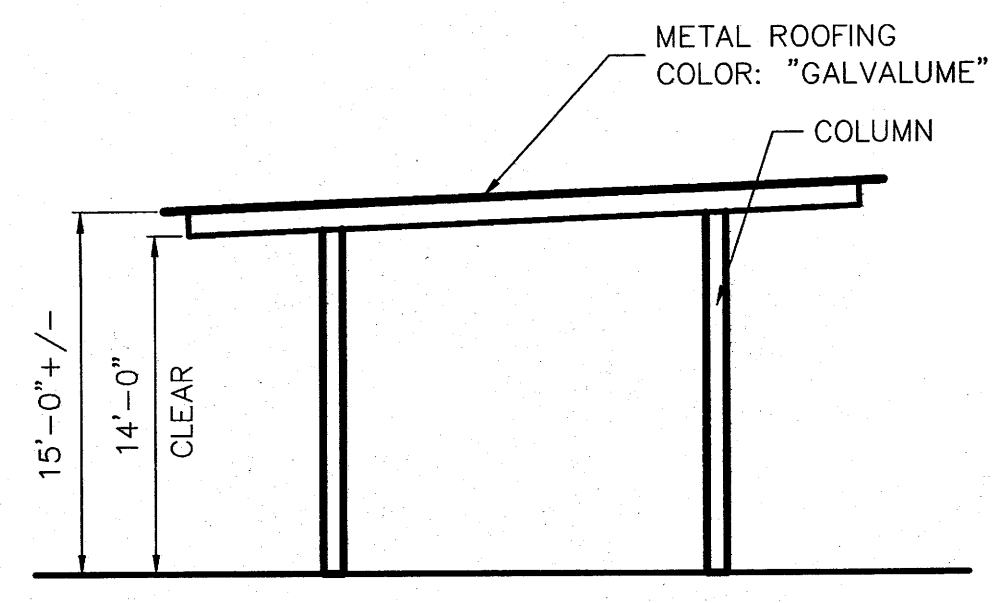
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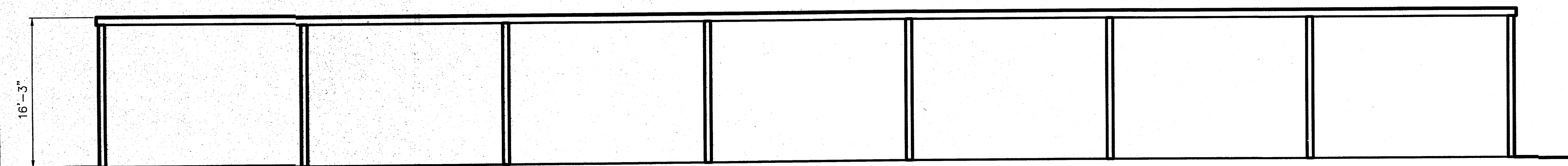
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DWG. NO.: E4 OF 5
REVISION: 01



CANOPY C6 - SOUTH ELEVATION



CANOPY C6 - EAST ELEVATION
(WEST, SIM.)



CANOPY C6 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



ALBUQUERQUE RV & BOAT STORAGE
 2210 Vista Oriente NW, Albuquerque, NM
 Dan Rich

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DATE: 11/5/13
DWG. NO.: E5 OF 5
REVISION: 01

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES

- AUTUMN PURPLE ASH 2
Fraxinus americana
2" Cal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
- EASTERN REDBUD 6
Cercis canadensis
2" Cal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf

SHRUBS/ORNAMENTAL TREES

- DESERT WILLOW 5
Chilopsis linearis
15 Gal., 4'-10" Inst./20' x 25' maturity
Water (L+) Allergy (L) 225sf
- WESTERN RED CEDAR 5
Thuja plicata 'Green Giant'
15 Gal., 4'-10" Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf

GROUNDCOVERS

- BUFFALO JUNIPER 34
Juniperus sabina 'Buffalo'
5 Gal., 24"-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
Symbol indicates plants
- HONEYSUCKLE 7
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover

HARDSCAPES

- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 5" DEPTH

* DENOTES EVERGREEN PLANT MATERIAL

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: VISTA ORIENTE
Required 6 Provided 6

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 2 Provided 2

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

NOTE:
TREES/SHRUBS IN THE PNM BASEMENT SHALL BE KEPT TO A MAXIMUM HEIGHT OF 14' AND TRIMMED BACK TO ALLOW CLEAR SITE AT 8' ABOVE GRADE.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

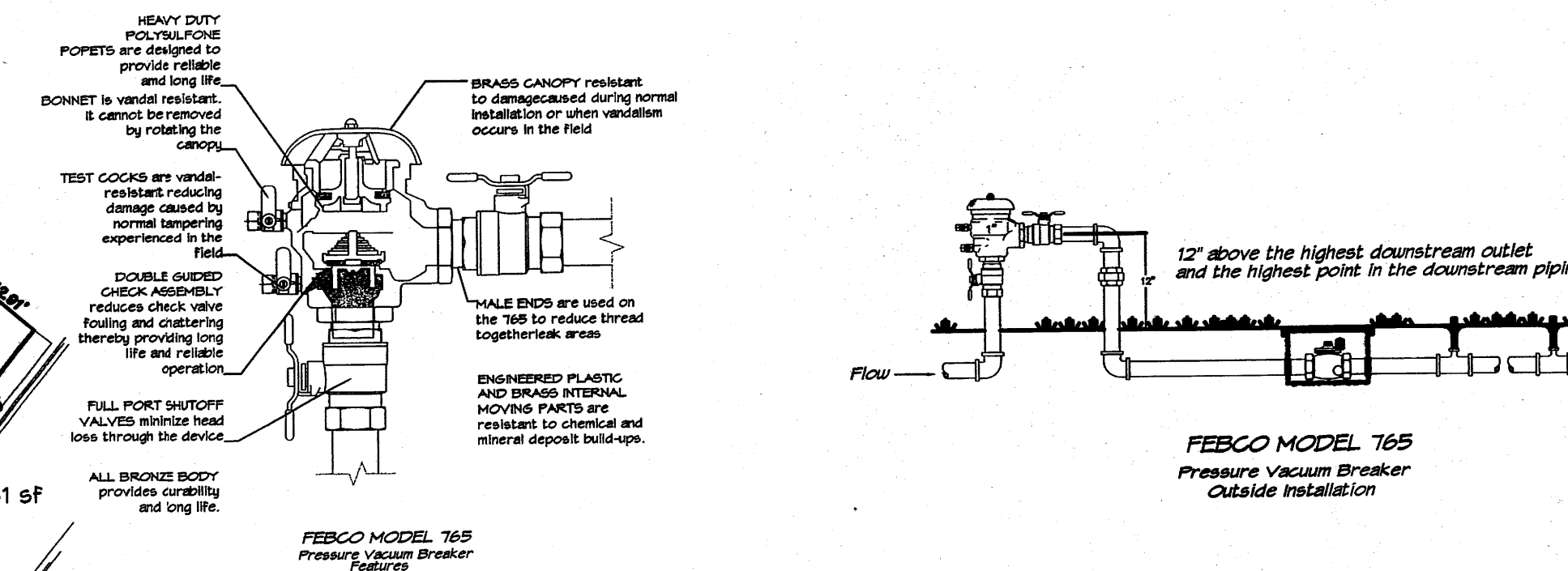
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

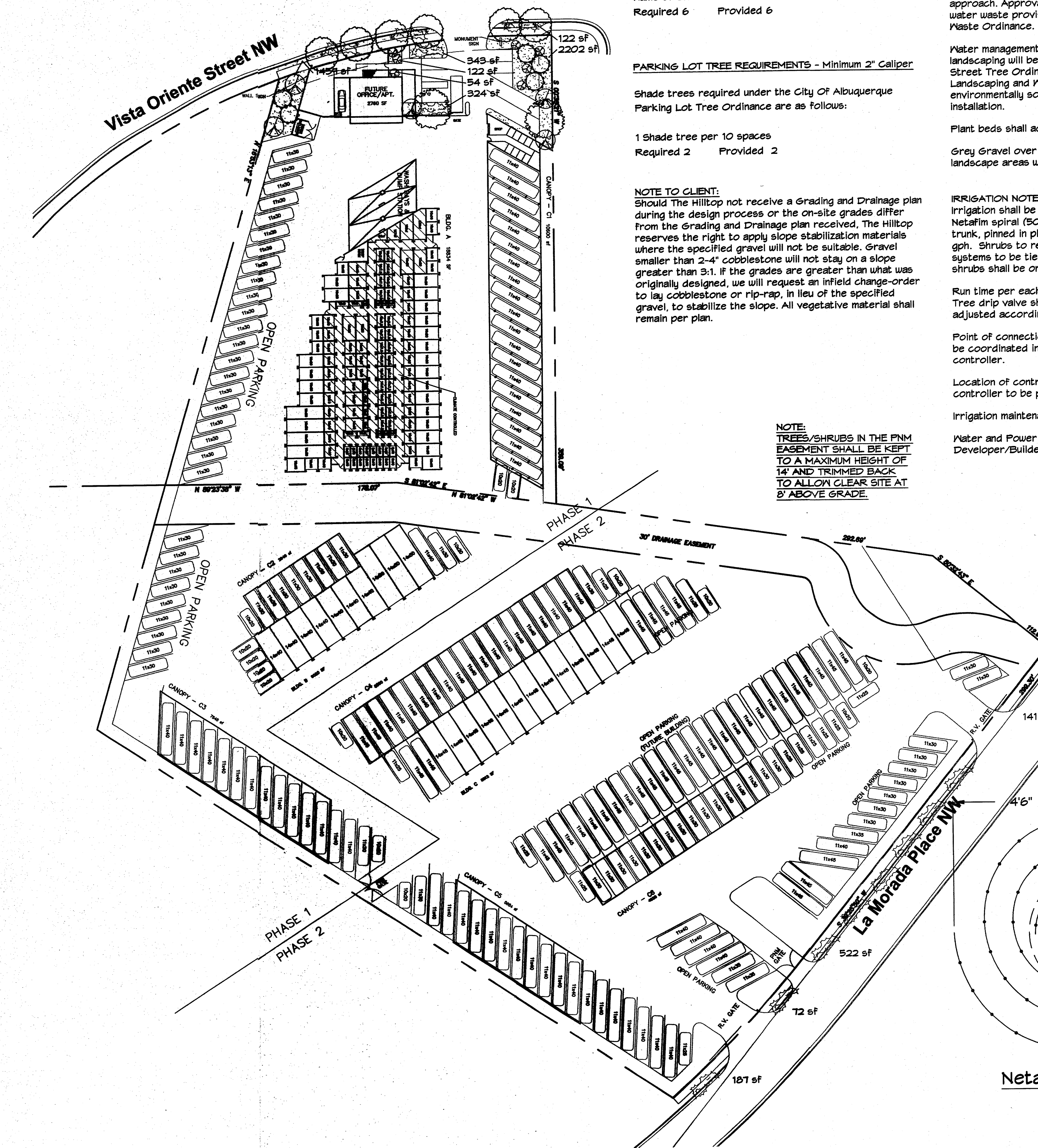
Water and Power source shall be the responsibility of the Developer/Builder.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	294353	square feet
TOTAL BUILDINGS AREA	75075	square feet
NET LOT AREA	218478	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32771	square feet
TOTAL BED PROVIDED	5548	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4161	square feet
TOTAL GROUNDCOVER PROVIDED	4316	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5548	square feet

Netafim Spiral Detail



LANDSCAPE PLAN

SCALE: 1" = 50'

1
LS1.1



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

JUNO

ARCHITECTS

7925 Bosque ST. NW, Albuquerque, NM 87114 Ph. (505) 892-8453 Fax. (505) 890-1736

PROJECT:
ALBUQUERQUE RV & BOAT STORAGE

SHEET TITLE:
LANDSCAPE PLAN

NO.	REVISION	DATE
1	ADD LS TO SOUTH ENTRY	1/2/14
2	Comments	1/10/14

ARCHITECT STAMP

CONSULTANT STAMP

DATE:

12-18-13

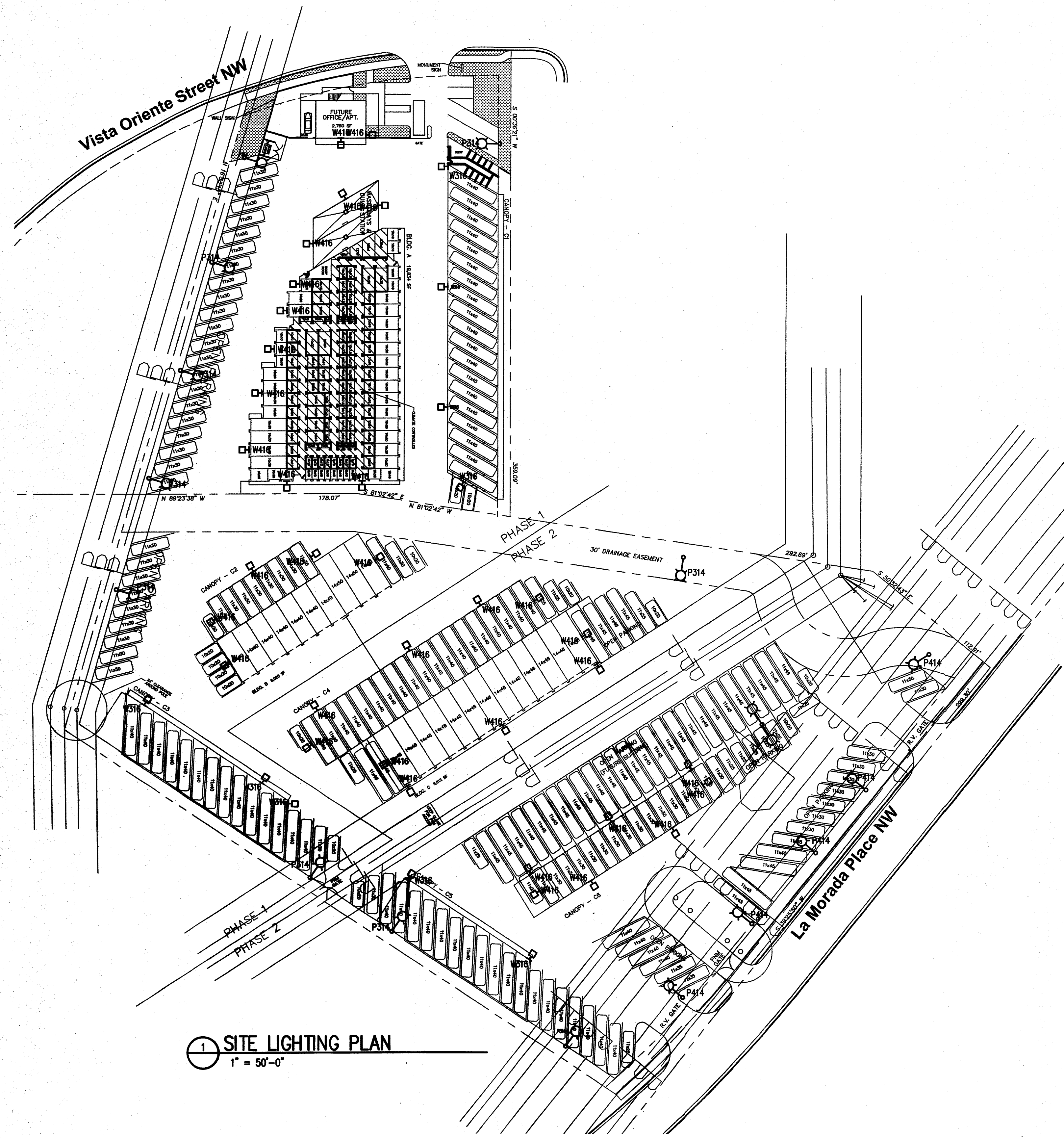
PROJECT NO.

1304

SHEET NO.



LS1.1



1 SITE LIGHTING PLAN
1" = 50'-0"

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS NUMBER	BALLASTS TYPE	INPUT VOLTAGE WATTS
P314	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-B-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
P414	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-SSS4A10SF-UB1-B-2 10' STRAIGHT STEEL POLE 8' ARM WITH 2' RISE BASE 2' ABOVE FINISH GRADE	POLE MOUNT	2	21 LED LIGHT BARS	120 51
W316	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL3-B02-E-WM-B2 WALL MOUNT AT 16' ABOVE FINISH GRADE	WALL MOUNT AT 16'	2	21 LED LIGHT BARS	120 51
W416	LUMARK OR EQUAL SELECTED BY OWNER	LDRV-SL4-B02-E-WM-B2 WALL MOUNT AT 16' ABOVE FINISH GRADE	WALL MOUNT AT 16'	2	21 LED LIGHT BARS	120 51

SITE DEVELOPMENT REQUIREMENTS

MAXIMUM HEIGHT FOR LIGHTING FIXTURES SHALL BE:
16 FEET FOR WALKWAYS AND ENTRY PLAZAS.
20 FEET FOR STREET LIGHTS AND PARKING AREA LIGHTS (RESTRICTED TO 16 FEET WITHIN 150 FEET OF RESIDENTIAL). THE HEIGHT OF STREET LIGHTS AND PARKING AREA LIGHTS SHALL BE KEPT TO A MINIMUM NECESSARY TO MEET SAFETY REQUIREMENTS.

EXTERIOR ELEVATIONS OF ANY BUILDING FRONTING A STREET ARE ENCOURAGED TO BE FEATURE LIGHT TO ENHANCE THE IDENTITY OF THE BUILDING AND THE APPEALING AMBIANCE OF THE TOTAL COMMUNITY.

THE USE OF SPREAD LIGHTING FIXTURES ARE REQUIRED TO ACCENT LANDSCAPES AND WALKWAYS. UP-LIGHTING FIXTURES ARE NOT PERMITTED.

REQUIRED STREET LIGHT SPECIFICATIONS; G.E. 100 WALL BRONZE, LUMEN SHOE-BOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.

ALL SITE LIGHTING FIXTURES SHALL BE FULLY SHIELDED OF A FULL OUT TYPE. THE COLOR OF FIXTURES MUST COMPLIMENT THE ARCHITECTURE.

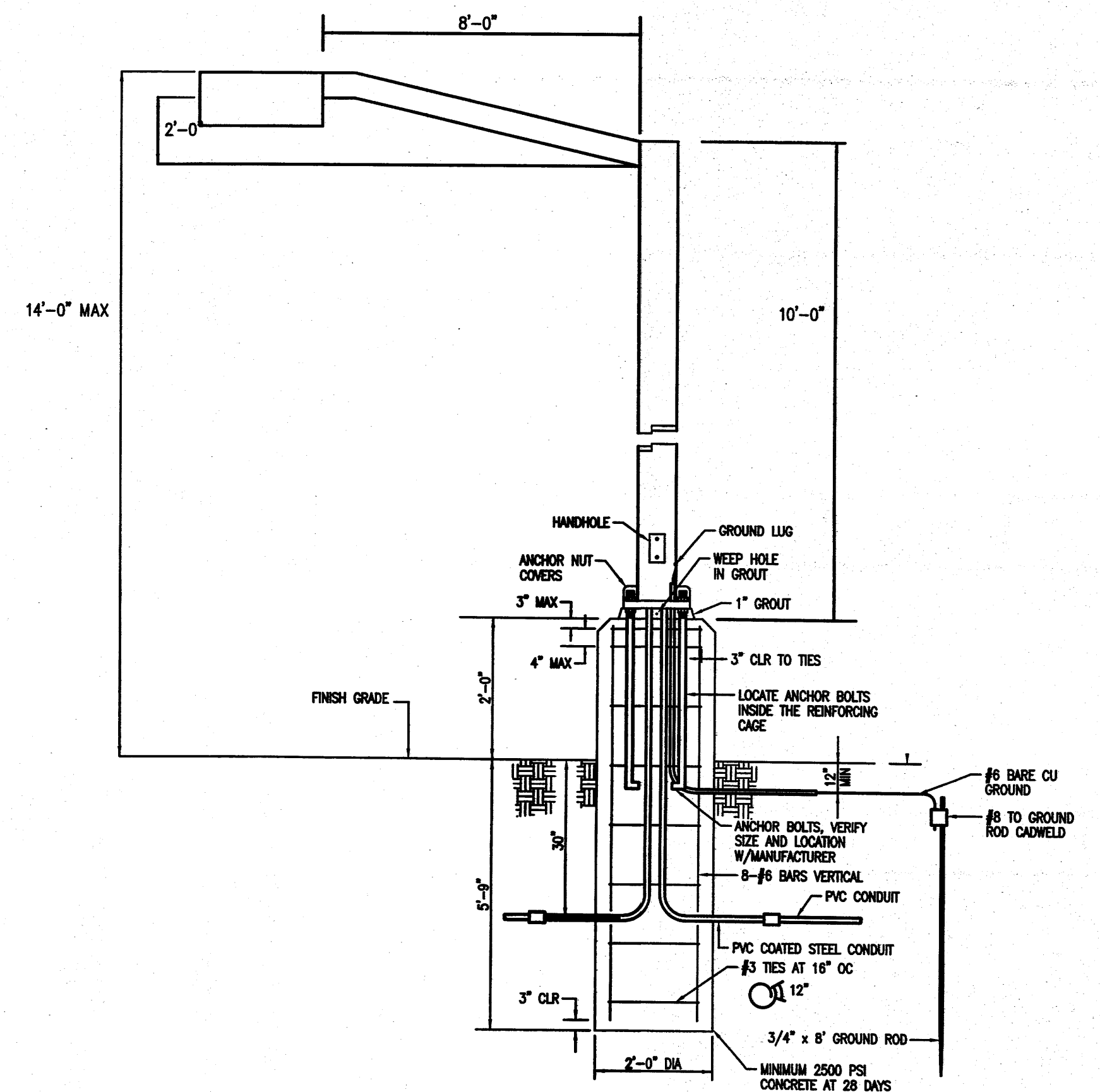
ALL LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.

PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.

ALL LIGHT FIXTURES SHALL BE SHOWN AS FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE FULL CUTOFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.

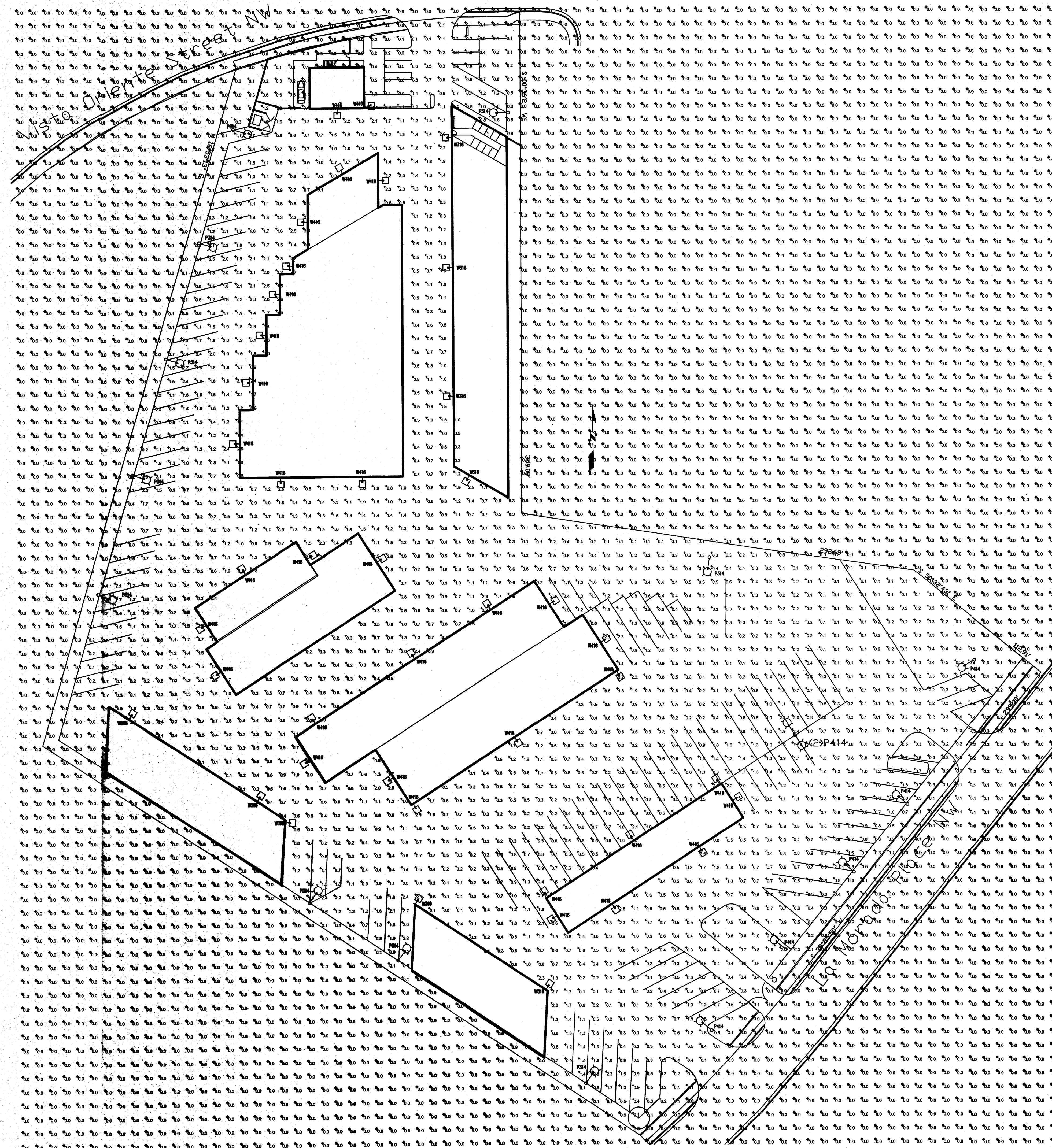
ALL LIGHT FIXTURES FOR POLE AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED IN ORDER TO PREVENT LIGHT SPILLAGE, WITH NO LIGHT LENS OR BULB PROTRUDING BELOW THE FIXTURE.

A DESIGN OBJECTIVE OF THE SITE LIGHTING SYSTEM MUST BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE OF REFLECTION.



1 POLE MOUNT LIGHT FIXTURE DETAIL
NOT TO SCALE

REVISIONS			
		ALBUQUERQUE RV AND BOAT STORAGE	
GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO	12/29/13 DATE
ARCHITECT		SITE LIGHTING PLAN L-2	



SITE DEVELOPMENT REQUIREMENTS

- MAXIMUM HEIGHT FOR LIGHTING FIXTURES SHALL BE:
16 FEET FOR WALKWAYS AND ENTRY PLAZAS.
- 20 FEET FOR STREET LIGHTS AND PARKING AREA LIGHTS (RESTRICTED TO 16FEET WITHIN 150 FEET OF RESIDENTIAL). THE HEIGHT OF STREET LIGHTS AND PARKING AREA LIGHTS SHALL BE KEPT TO A MINIMUM NECESSARY TO MEET SAFETY REQUIREMENTS.
- EXTERIOR ELEVATIONS OF ANY BUILDING FRONTING A STREET ARE ENCOURAGED TO BE FEATURE LIGHT TO ENHANCE THE IDENTITY OF THE BUILDING AND THE APPEALING AMBIANCE OF THE TOTAL COMMUNITY.
- THE USE OF SPREAD LIGHTING FIXTURES AND ACCENT LANDSCAPES AND WALKWAYS. UP-LIGHTING FIXTURES ARE NOT PERMITTED.
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- ALL LIGHT FIXTURES FOR POLE AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED IN ORDER TO PREVENT LIGHT SPILLAGE, WITH NO LIGHT LENS OR BULB PROTRUDING BELOW THE FIXTURE.
- A DESIGN OBJECTIVE OF THE SITE LIGHTING SYSTEM MUST BE TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS OR ROADWAYS WITH UNNECESSARY GLARE OF REFLECTION.

LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS NUMBER	LAMPS TYPE	BALLASTS VOLTAGE	INPUT WATTS
P314	LUMARK	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT	2	21 LED	120	51
	OR EQUAL	10' STRAIGHT STEEL POLE			LIGHT BARS		
	SELECTED BY OWNER	8' ARM WITH 2' RISE					
		BASE 2' ABOVE FINISH GRADE					
P414	LUMARK	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT	2	21 LED	120	51
	OR EQUAL	10' STRAIGHT STEEL POLE			LIGHT BARS		
	SELECTED BY OWNER	8' ARM WITH 2' RISE					
		BASE 2' ABOVE FINISH GRADE					
W316	LUMARK	LDRV-SL3-B02-E-WM-BZ	WALL MOUNT AT 16'	2	21 LED	120	51
	OR EQUAL	WALL MOUNT AT 16' ABOVE FINISH GRADE			LIGHT BARS		
	SELECTED BY OWNER						
W416	LUMARK	LDRV-SL4-B02-E-WM-BZ	WALL MOUNT AT 16'	2	21 LED	120	51
	OR EQUAL	WALL MOUNT AT 16' ABOVE FINISH GRADE			LIGHT BARS		
	SELECTED BY OWNER						

① SITE LIGHTING SPILL LIGHT CALCULATION
NOT TO SCALE

REVISIONS			
	ALBUQUERQUE RV AND BOAT STORAGE		
	GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO
ARCHITECT		12/29/13 DATE	
SPILL LIGHT CALCULATION			
L-3			

**IES RECOMMENDED MAINTAINED HORIZONTAL ILLUMINANCES
ILLUMINANCES FOR PARKING FACILITIES**

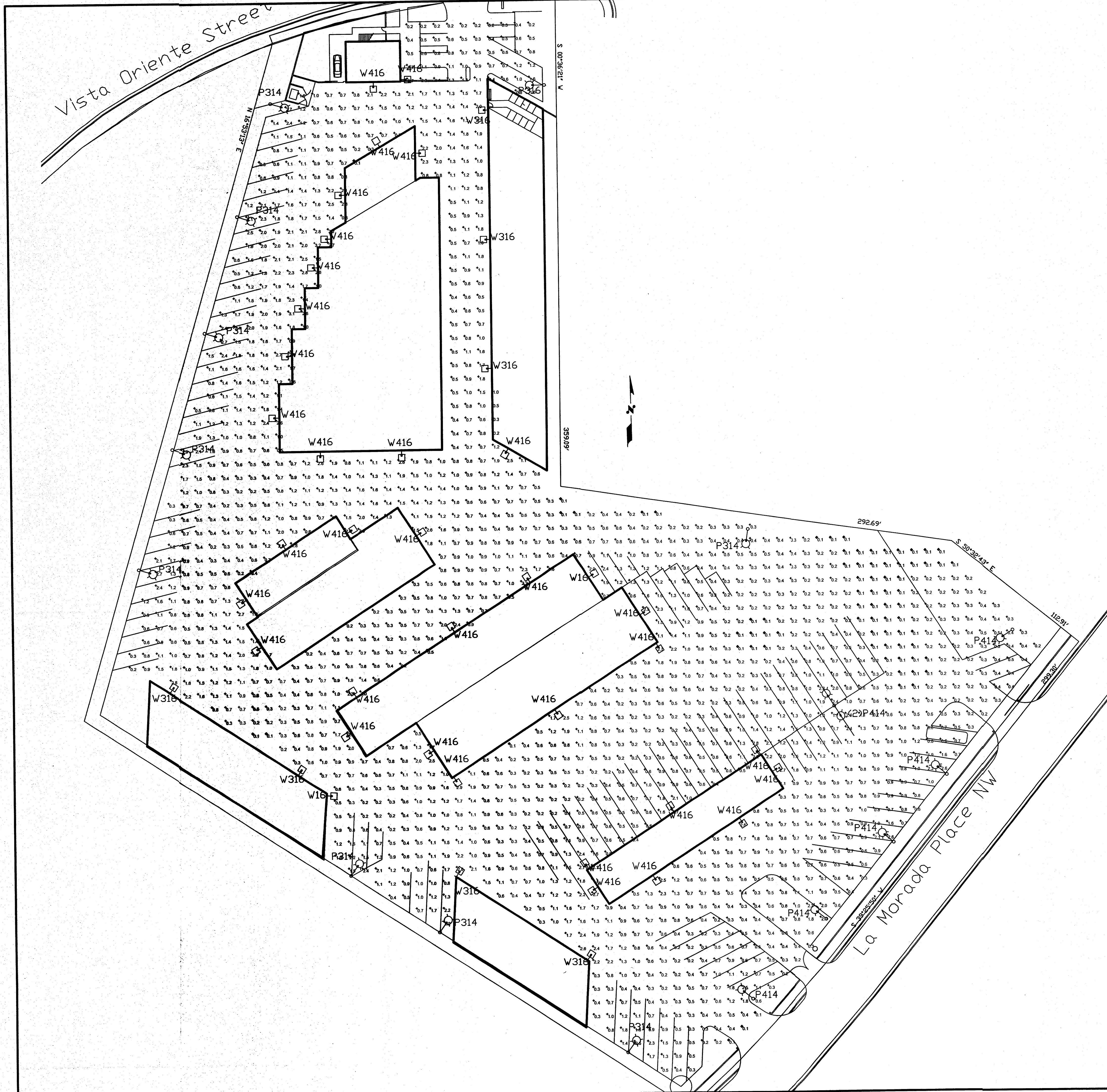
OPEN PARKING FACILITIES:
GENERAL PARKING AND PEDESTRIAN AREAS:
MAINTAIN SECURITY WITH LOW LEVEL OF NIGHT TIME ACTIVITY:
MINIMUM FOOTCANDLES ON THE PAVEMENT 0.2;
UNIFORMITY RATION AVERAGE/MINIMUM 4:1;

LIGHTING CALCULATION STATISTICS

AVERAGE .9 FC
MAXIMUM 3.2 FC
MINIMUM .9 FC
MAXIMUM/MINIMUM 32.0 : 1
AVERAGE/MINIMUM 9.0 : 1

SITE DEVELOPMENT REQUIREMENTS

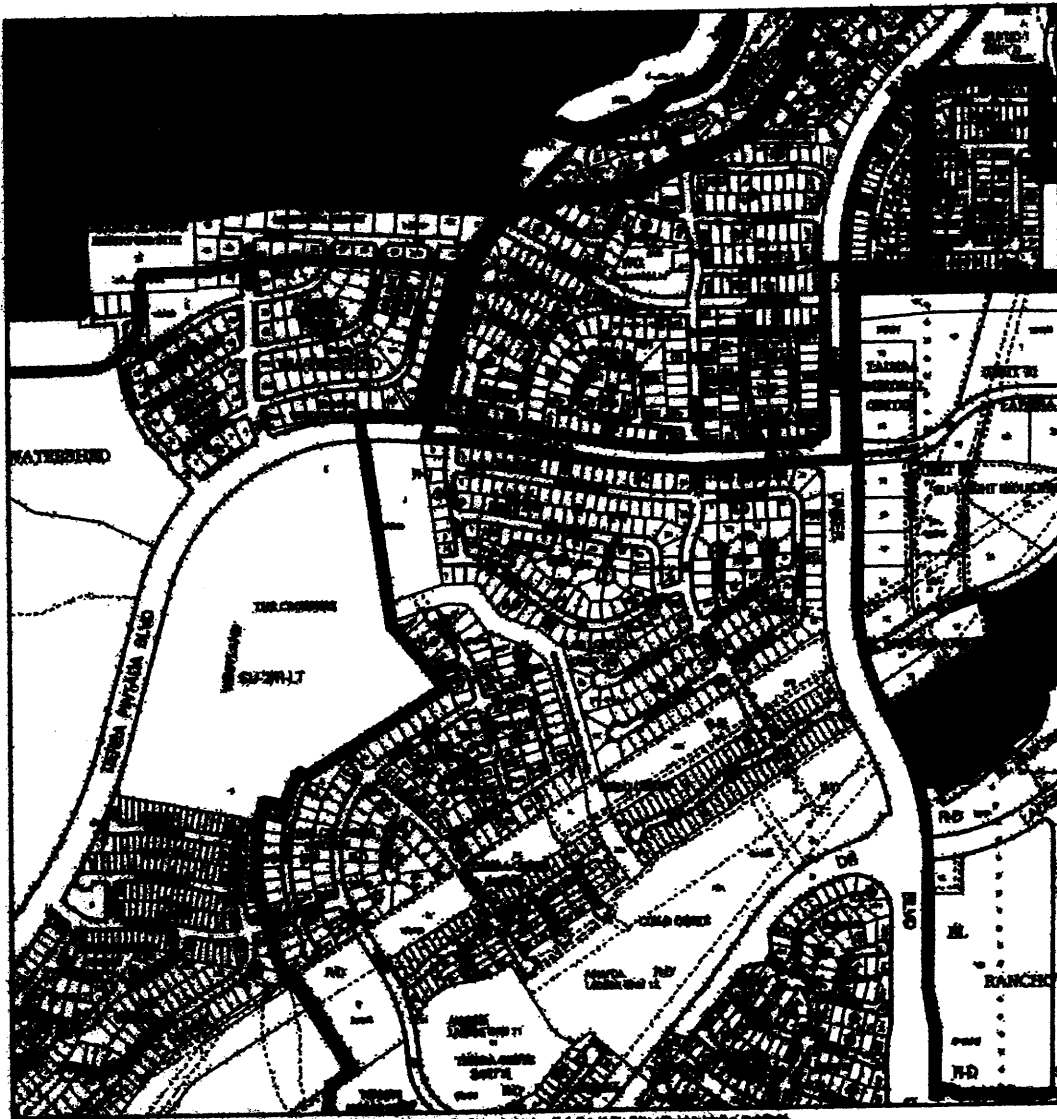
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LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS		BALLASTS INPUT
				NUMBER	TYPE	VOLTAGE WATTS
P314	LUMARK	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT	2	21 LED	120 51
	OR EQUAL	10' STRAIGHT STEEL POLE			LIGHT BARS	
	SELECTED BY OWNER	8' ARM WITH 2' RISE				
		BASE 2' ABOVE FINISH GRADE				
P414	LUMARK	LDRV-SL3-B02-SSS4A10SF-UB1-8-2	POLE MOUNT	2	21 LED	120 51
	OR EQUAL	10' STRAIGHT STEEL POLE			LIGHT BARS	
	SELECTED BY OWNER	8' ARM WITH 2' RISE				
		BASE 2' ABOVE FINISH GRADE				
W316	LUMARK	LDRV-SL3-B02-E-WM-BZ	WALL MOUNT AT 16'	2	21 LED	120 51
	OR EQUAL	WALL MOUNT AT 16' ABOVE FINISH GRADE			LIGHT BARS	
	SELECTED BY OWNER					
W416	LUMARK	LDRV-SL4-B02-E-WM-BZ	WALL MOUNT AT 16'	2	21 LED	120 51
	OR EQUAL	WALL MOUNT AT 16' ABOVE FINISH GRADE			LIGHT BARS	
	SELECTED BY OWNER					

1 SITE LIGHTING POINT BY POINT LIGHTING CALCULATION
NOT TO SCALE

REVISIONS			
	ALBUQUERQUE RV AND BOAT STORAGE		
	GMT CHECKED BY	CAH DRAFTED BY	014-001 PROJECT NO
ARCHITECT		POINT BY POINT LIGHTING CALCULATION	
		L-4	



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 3 TRACTS FROM 1 TRACT.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "P'S 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. H-8-Z & H-10-Z
 DATE OF FIELD SURVEY: NOVEMBER 2015
 TOTAL NO. OF TRACTS EXISTING 1
 TOTAL NO. OF TRACTS CREATED 3
 GROSS SUBDIVISION ACREAGE 31.19875 ACRES
 MILEAGE OF PRIVATE STREETS CREATED 0.00

DOCUMENTS USED:

PLAT BOOK 2004C, PAGE 24

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:

TRACT 11, PLAT FOR LADERA BUSINESS PARK UNIT 1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK 2004C, PAGE 24.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

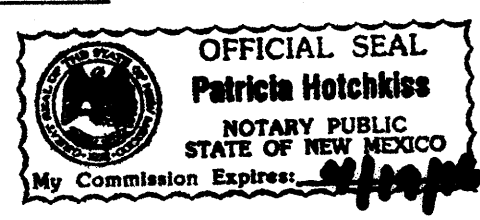
DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACT NUMBERED 11 OF PLAT FOR LADERA BUSINESS CENTER PARK UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO (BK. 2004C, PG. 24), DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY:
 OWNER/98TH STREET PARTNERSHIP LLC
 ROBERT SPARLING, MANAGING MEMBER



ACKNOWLEDGMENT
 STATE OF NM)
) SS.
 COUNTY OF Bern)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 10th DAY OF Dec, 2015, BY Robert Sparling

NOTARY PUBLIC:
 MY COMMISSION EXPIRES: 4-19-16

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UNIFORM PROPERTY CODE #:
 BERNALILLO COUNTY TREASURER'S OFFICE: _____

SHEET INDEX
 PAGE 1. COVER
 PAGE 2. SUBDIVISION PLAT
 PAGE 3. EASEMENTS

SUBDIVISION PLAT OF
TRACTS 11-A, 11-B AND 11-C
LADERA BUSINESS PARK UNIT 1
 BEING A RE-PLAT OF TRACT 11
 LADERA BUSINESS PARK UNIT 1
 PROJECTED SECTION 10, T 10 N, R 2 E, N.M.P.M.
 TOWN OF ATRISCO GRANT,
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2015

PROJECT NUMBER: _____

CITY APPROVALS:	DATE
<u>Loren H. Rinkhaver P.S.</u> CITY SURVEYOR	<u>12/19/15</u>
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
ABCWUA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS	DATE
QWEST CORPORATION D.B.A. CENTURY LINK QC	DATE
COMCAST	DATE

SURVEYOR'S CERTIFICATE:
 I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. ACOSTA, LICENSE NO. 21082
 DATE: 12-11-15



MAILING: PO BOX 65385, ALBUQUERQUE, NM 87193 805-917-8821
 OFFICE: 1806 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM

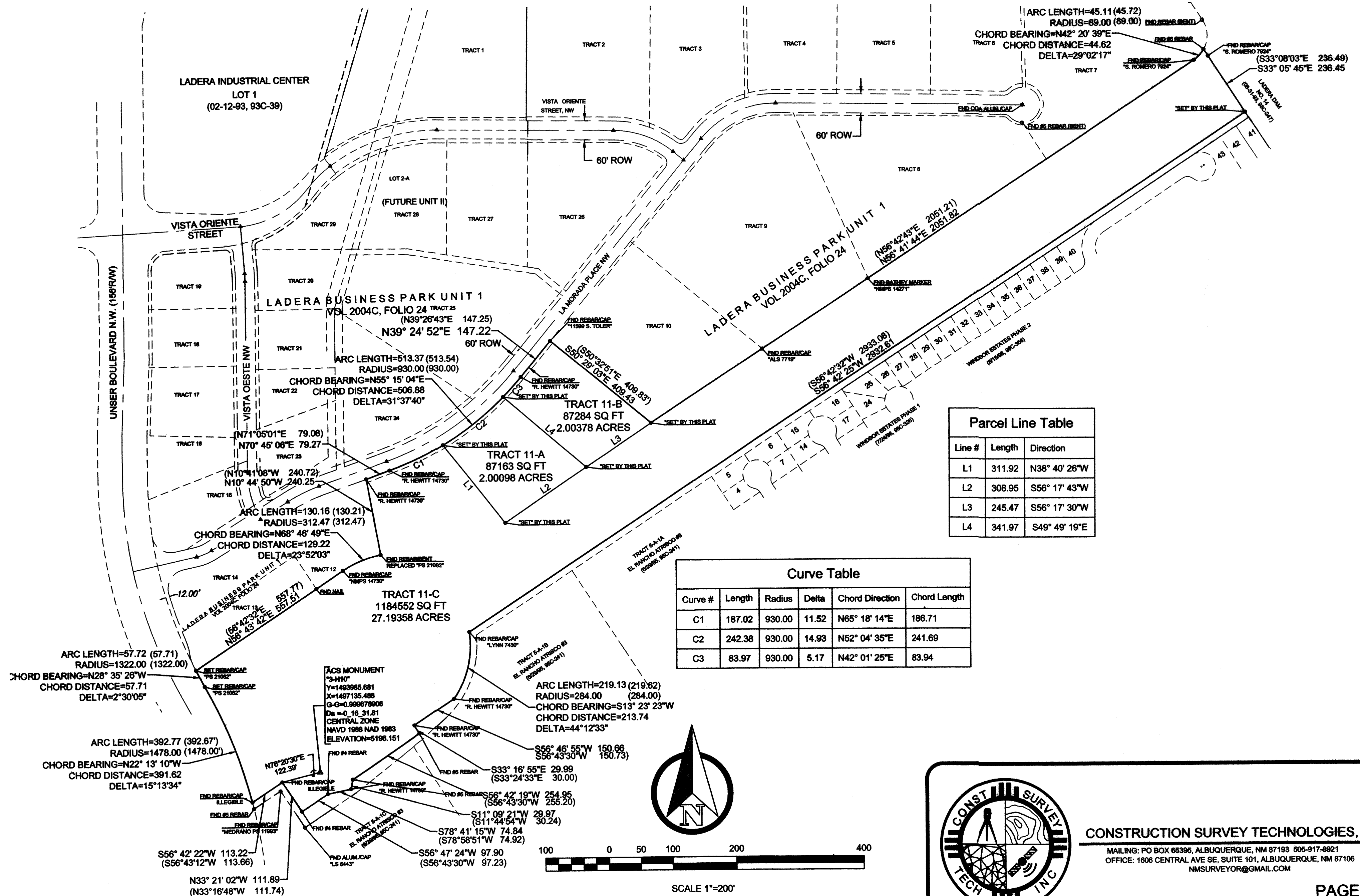
**SUBDIVISION PLAT OF
TRACTS 11-A, 11-B AND 11-C
LADERA BUSINESS PARK UNIT 1**

BEING A RE-PLAT OF TRACTS 11
LADERA BUSINESS PARK UNIT 1
PROJECTED SECTION 10, T 10 N, R 2 E, N.M.P.M.
TOWN OF ATRISCO GRANT

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

DECEMBER 2015

SUBDIVISION PLAT

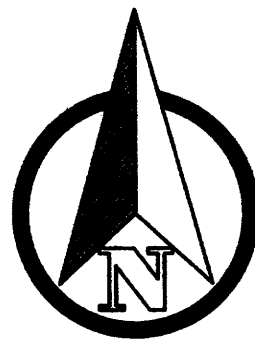


Parcel Line Table

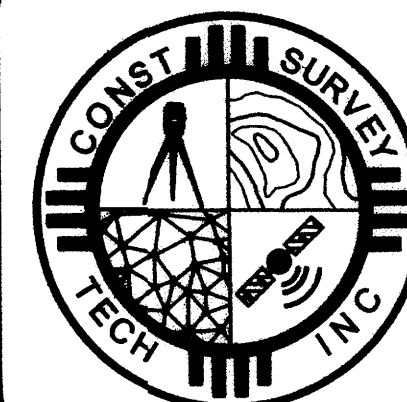
Line #	Length	Direction
L1	311.92	N38° 40' 26"W
L2	308.95	S56° 17' 43"W
L3	245.47	S56° 17' 30"W
L4	341.97	S49° 49' 19"E

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	187.02	930.00	11.52	N65° 18' 14"E	186.71
C2	242.38	930.00	14.93	N52° 04' 35"E	241.69
C3	83.97	930.00	5.17	N42° 01' 25"E	83.94



SCALE 1"=200'



CONSTRUCTION SURVEY TECHNOLOGIES, INC

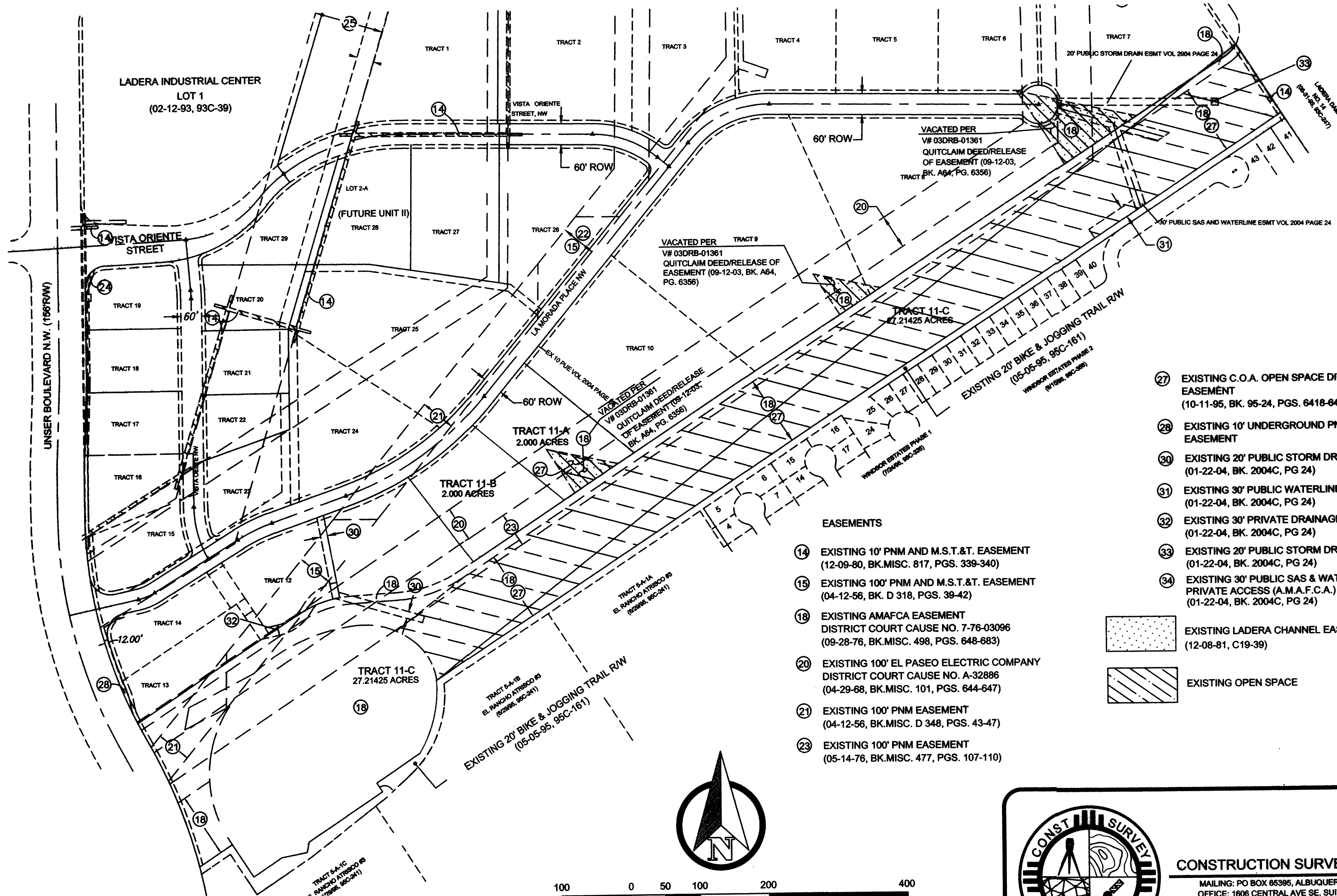
MAILING: PO BOX 66395, ALBUQUERQUE, NM 87193 505-917-8921
OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
NMSURVEYOR@GMAIL.COM

**SUBDIVISION PLAT OF
TRACTS 11-A, 11-B AND 11-C
LADERA BUSINESS PARK UNIT 1**

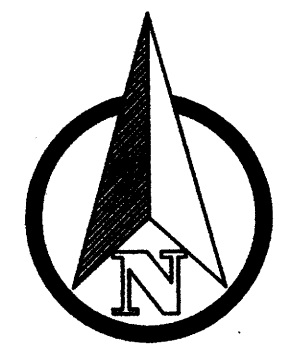
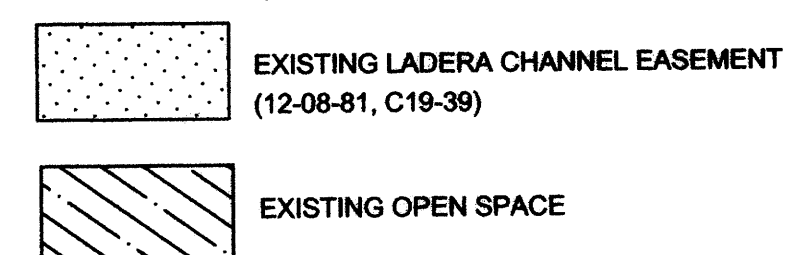
**BEING A RE-PLAT OF TRACTS 11
LADERA BUSINESS PARK UNIT 1
PROJECTED SECTION 10, T 10 N, R 2 E, N.M.P.M.**

**TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2015**

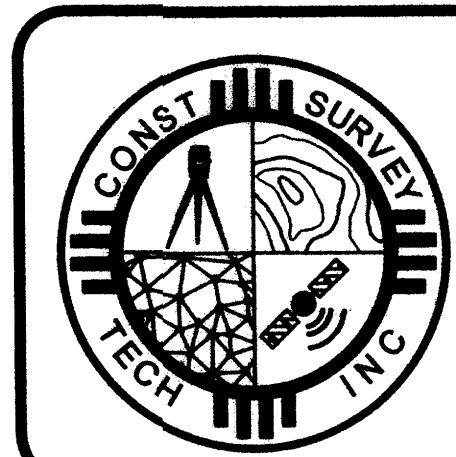
EASEMENTS



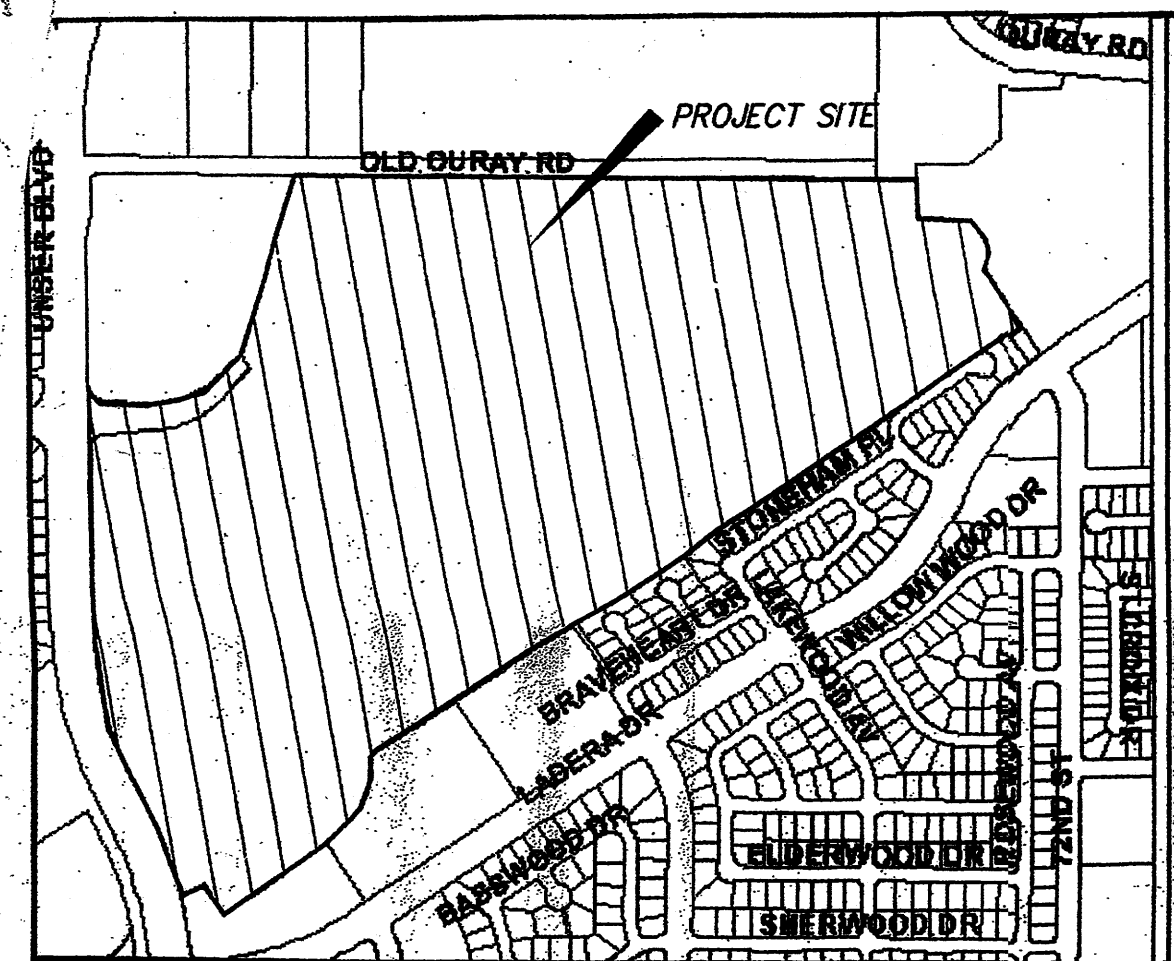
- EASEMENTS**
- 14 EXISTING 10' PNM AND M.S.T.&T. EASEMENT (12-09-80, BK.MISC. 817, PGS. 339-340)
 - 15 EXISTING 100' PNM AND M.S.T.&T. EASEMENT (04-12-56, BK. D 318, PGS. 39-42)
 - 18 EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO. 7-76-03096 (09-28-76, BK.MISC. 498, PGS. 648-683)
 - 20 EXISTING 100' EL PASEO ELECTRIC COMPANY DISTRICT COURT CAUSE NO. A-32886 (04-29-68, BK.MISC. 101, PGS. 644-647)
 - 21 EXISTING 100' PNM EASEMENT (04-12-56, BK.MISC. D 348, PGS. 43-47)
 - 23 EXISTING 100' PNM EASEMENT (05-14-76, BK.MISC. 477, PGS. 107-110)
 - 27 EXISTING C.O.A. OPEN SPACE DIVISION MANAGEMENT EASEMENT (10-11-95, BK. 95-24, PGS. 6418-6422)
 - 28 EXISTING 10' UNDERGROUND PNM & MOUNTAIN BELL EASEMENT
 - 30 EXISTING 20' PUBLIC STORM DRAIN EASEMENT (01-22-04, BK. 2004C, PG 24)
 - 31 EXISTING 30' PUBLIC WATERLINE EASEMENT (01-22-04, BK. 2004C, PG 24)
 - 32 EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04, BK. 2004C, PG 24)
 - 33 EXISTING 20' PUBLIC STORM DRAIN EASEMENT (01-22-04, BK. 2004C, PG 24)
 - 34 EXISTING 30' PUBLIC SAS & WATERLINE EASEMENT PRIVATE ACCESS (A.M.A.F.C.A.) (01-22-04, BK. 2004C, PG 24)



SCALE 1"=200'



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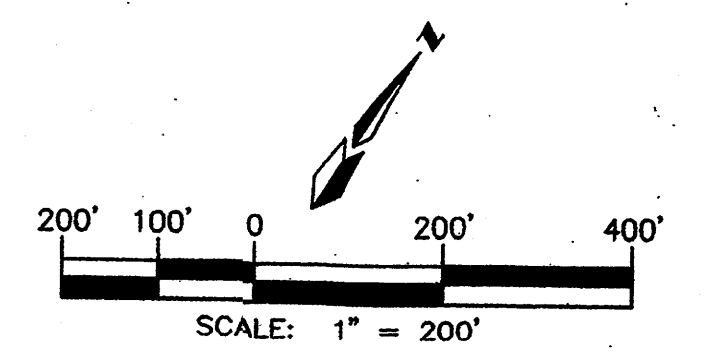
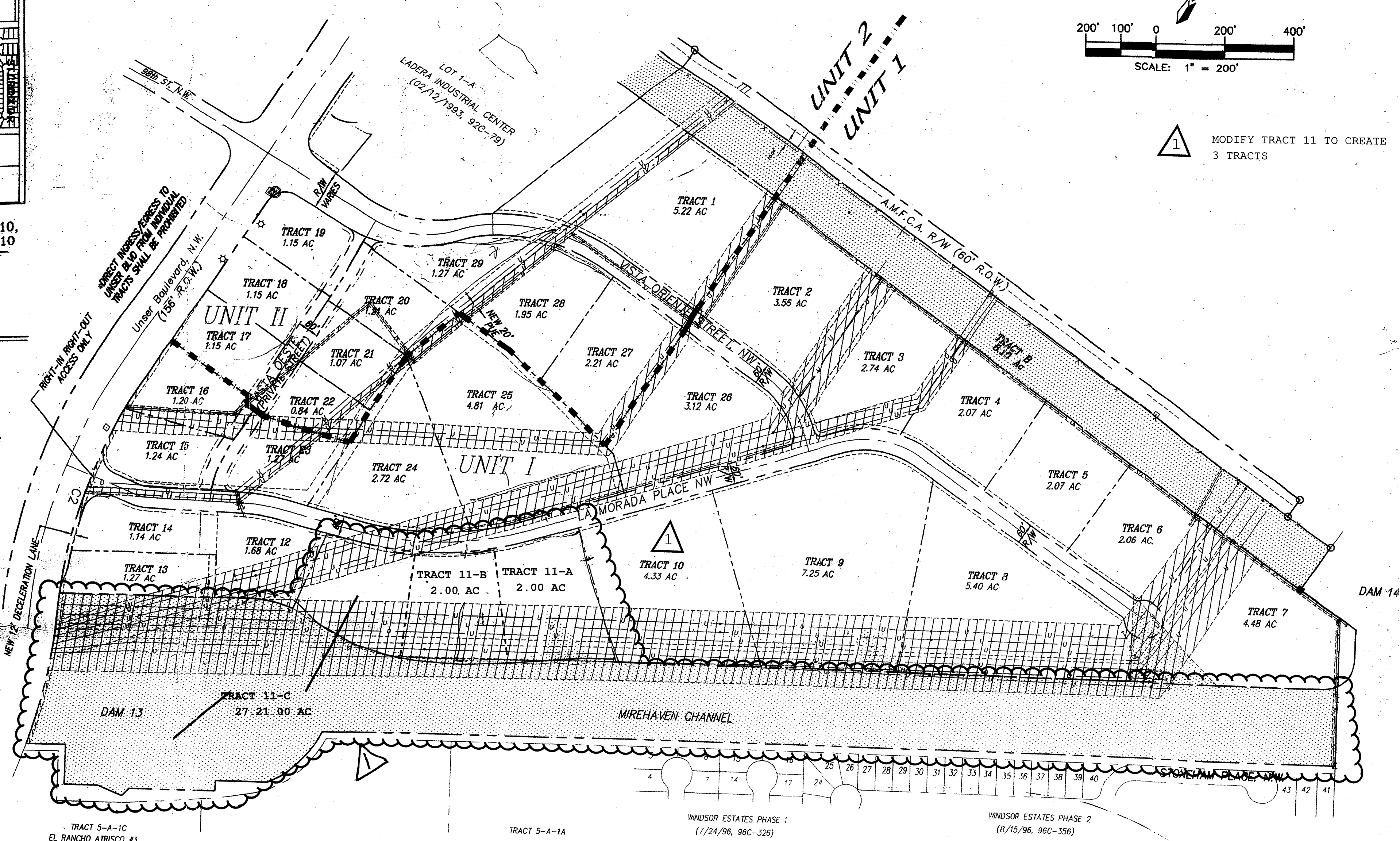


VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER
 UNSER-98th ST. PARTNERSHIP, LLC
 P.O. BOX 90548
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 821-1034

PLANNERS
 CONSENSUS PLANNING
 924 PARK AVE. S.W.
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 764-9801

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200



1 MODIFY TRACT 11 TO CREATE 3 TRACTS

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS:
 PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS:
 VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS:
 A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT:
 AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN:
 THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

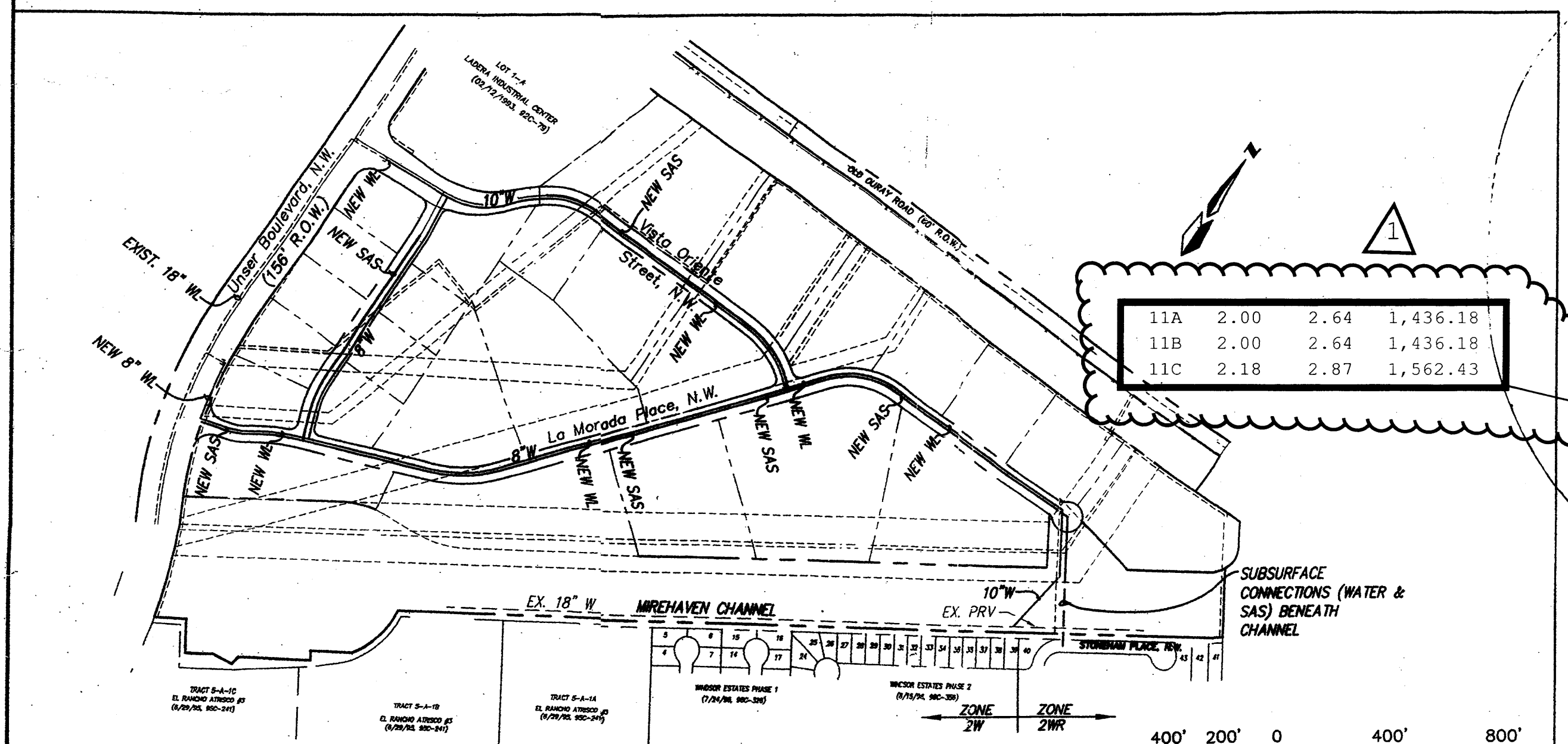
Project No. 1001523
 Application No. 28-01458
 Planning Department/DRB Chair: Sharon Nelson 1/16/04
 City Engineer: Bradley S. Byrum 10/8/03
 Transportation Development: Robt. Lee 10/6/03
 Utility Development: Robert Lee 10/8/03
 Parks and Recreation: Christine Sandoval 10/8/03

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

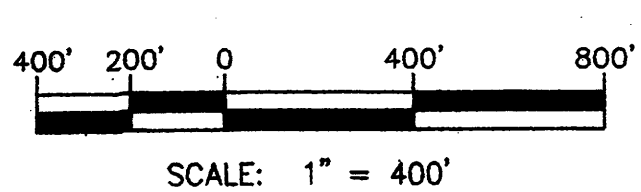
TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,747.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.34	17	1.15	1.52	827.10
3	2.74	3.61	1,984.37	18	1.15	1.52	827.10
4	2.07	2.73	1,485.52	19	1.15	1.52	827.10
5	2.07	2.73	1,485.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.58	5,202.03	24	2.72	3.60	1,953.48
10	4.33	5.71	3,102.07	25	4.81	6.34	3,448.88
11	6.18	8.16	4,547.78	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,398.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.96				
				TOTAL	75.85		\$54,414.58

AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002

*NET OF DRAINAGE EASEMENT
 OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE



SITE UTILITY PLAN



LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

ADMINISTRATIVE AMENDMENT
 FILE # 10146 PROJECT # 1001523
 SUBDIVIDE TRACT 11 INTO TRACT 11A, 11B & 11C
 UPDATE IMPROVEMENT CHART
 APPROVED BY [Signature] DATE 11-24-15

LADERA BUSINESS PARK
SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1
 Scale: 1" = 200' Date: 01-03-01 Job: A01130