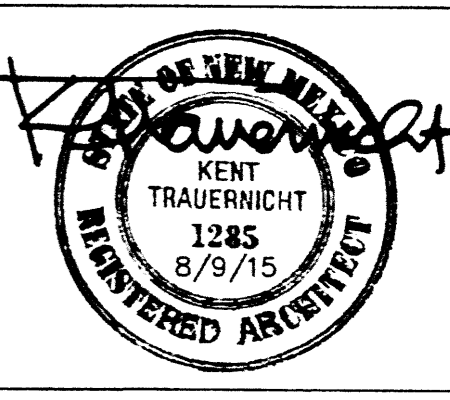


CONSULTANT



PROJECT

**WESTERN UNITED ELECTRIC CORPORATION**

**OFFICE WAREHOUSE LADERA BUSINESS PARK**

PROJECT ADDRESS

**7311 LA MARADA PL NW ALBUQUERQUE 87120**

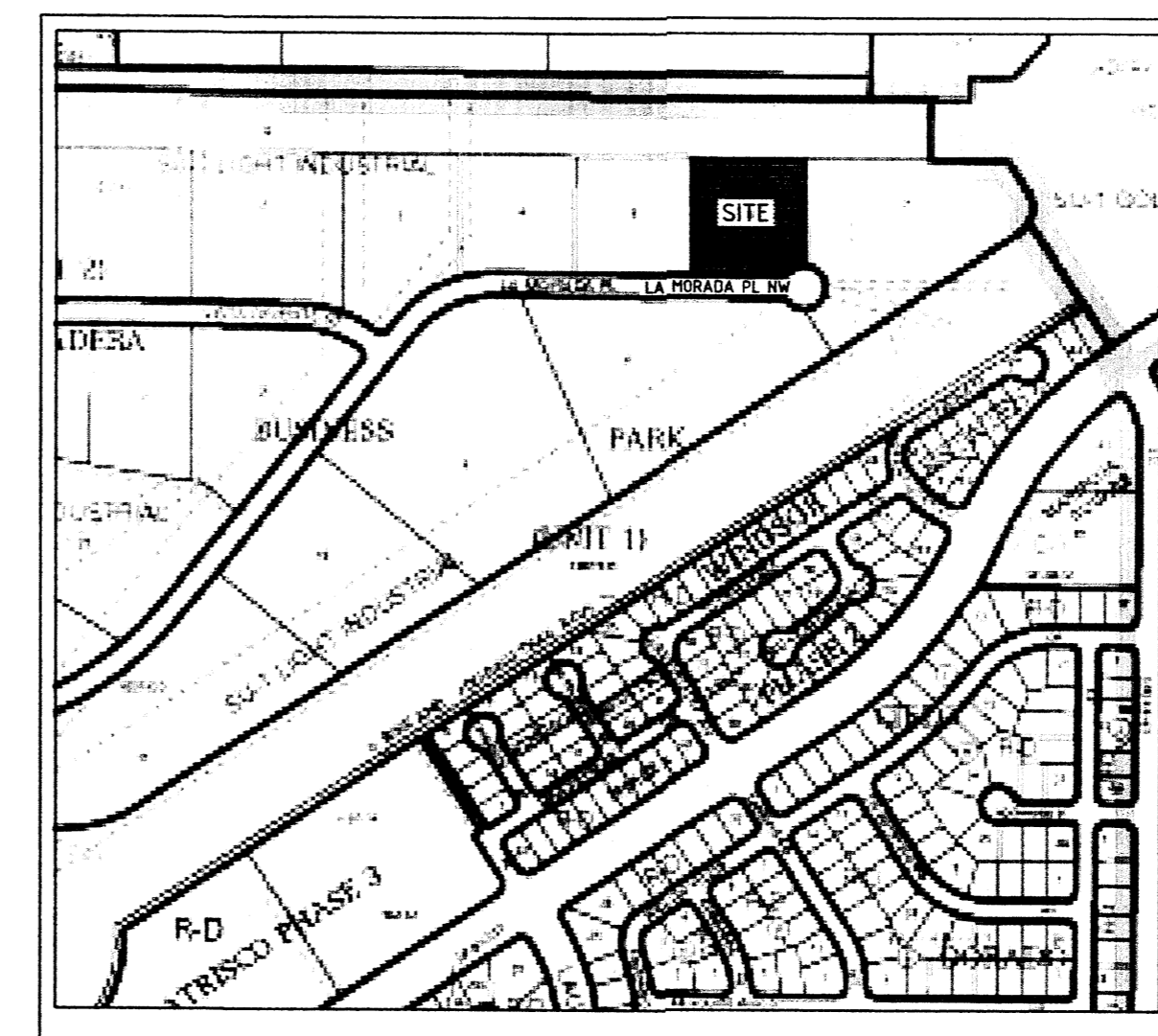
MARK	DATE	DESCRIPTION
	7/8/15	ISSUE DATE

PROJECT NO: 0635  
 COPYRIGHT AKT ARCHITECTS, LLC  
 SHEET TITLE

**SITE PLAN FOR BUILDING PERMIT**

**KEYED NOTES**

- CURB CUT AND CONCRETE DRIVEPAD, PER COABO STANDARD DETAIL 2426
- RECESSED TRUCK LOADING DOCK (CONCRETE PAVING), SEE DETAILS SHEET AS-501.
- MANUAL 20'-FT WIDE SLIDING GATE, SEE O/AS-500
- LANDSCAPE AREA, SEE LANDSCAPE PLAN.
- EXISTING RESIDENTIAL LANDSCAPE AND RETAINING WALL, VARIES 6' TO 9' HIGH ON PROJECT SIDE
- 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB, SHOWN ON PLAN AS A HEAVY LINE AT REQUIRED CURBS.
- PIPE BOLLARD, SEE DETAIL I/AS-500.
- PRECAST CONCRETE PICNIC TABLES (42"x72" OVAL, MATERIALS INC. "FIESTA") ON 16'-FT DIAMETER CONCRETE PATIO AS SHOWN.
- BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6'-FT WIDE TYPICAL.
- PROPERTY LINE.
- WHEELCHAIR RAMP, PER COABO STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF RAMP WITHIN R.O.W. SEE DETAIL K/AS-500.
- 3" PVC PIPE UNDER PAVEMENT FOR INSTALLATION OF IRRIGATION LINES, STUB UP AT IRRIGATION CONTROLLER, COORDINATE WITH LANDSCAPE CONTRACTOR.
- 4'x8" MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
- BICYCLE RACK, SEE DETAIL L/AS-500.
- CONCRETE WALK, AS SHOWN, PER COABO STANDARD DETAIL 2430, ADA ACCESSIBLE (MAX 1:12 SLOPE) PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, RAMP AS SHOWN AND AS REQUIRED, SEE DETAIL.
- NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COABO REQUIREMENTS AND WORK ORDERS.
- REFUSE CONTAINER PAD, SEE Q/AS-500.
- CONCRETE WALK AS SHOWN, PER COABO STANDARD DETAIL, SEE DETAILS A&F/AS-500.
- CONCRETE CURB, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN, SEE DETAIL SHEET B&C/AS-500.
- ACCESSIBLE PAVING SIGN FOR VAN PARKING, SEE DETAIL J/AS-500.
- TWO COATS TRAFFIC PAINT, 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
- HANDICAPPED PARKING SYMBOL PER COABO STANDARD DETAIL 2426, SEE DETAIL H/AS-500.
- ASPHALT PAVING PER GEOTECHNICAL REPORT, SEE DETAIL SHEET AS-500.
- TRAFFIC PAINTED "NO PARKING" DESIGNATION, MINIMUM 12"H AND 5-1/2"W LETTERS, PLACED AS SHOWN.
- WAREHOUSE YARD: CRUSHED ROCK BASE COURSE FINISH, SEE GEOTECHNICAL REPORT FOR SPECIFICATION, SEE E/AS-500
- 4-INCH CONCRETE PAVING WITH 6x6-W1.4xW1.4 WWF, AROUND 6-INCH DUMPSTER PAD
- 6-FT HIGH CHAINLINK FENCE ALL AROUND YARD, SEE DETAIL N/AS-500, GROUND THE FENCE ALONG EAST PROPERTY LINE WITH MINIMUM FOUR GROUNDING RODS.
- 6-FT HIGH CMU WALL, SEE DETAIL E/S-300.
- 8-FT WIDE 4-INCH CONC SKIRT ALL AROUND, SEE DETAILS A&F/AS-500.
- 10-FT WIDE PUBLIC UTILITY EASEMENT, TYPICAL AT STREET.
- 12-INCH SIDEWALK TRENCH DRAIN PER CABO STD. DWG. 2236, VERIFY LOCATION WITH C&D.
- 4-INCH CONCRETE PAD, 16'-FT DIAMETER WITH 4-FT CONCRETE ACCESS WALK AS SHOWN.
- DRAIN HOLES THROUGH WALL AS REQUIRED BY GRADING AND DRAINAGE, SEE DETAIL O/AS-500.
- ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD, SEE ELECTRICAL AND UTILITIES.
- REFRIGERATED AIR CONDENSING UNITS, SEE MECHANICAL.
- GROUND MOUNTED EVAPORATIVE COOLER, SEE MECHANICAL.
- EXISTING STORM SEWER INLETS.
- EXISTING FIRE HYDRANT.
- MONUMENT SIGN, LIGHTED, SEE DETAIL M/AS-500, COORDINATE WITH LANDSCAPE.
- CONCRETE WALK TRENCH DRAIN, SEE DETAIL G/AS-500, VERIFY DOWNSPOUT LOCATIONS.
- GATE RECESS, SEE DETAIL D/S-300.
- PIPE BOLLARD, SEE DETAIL I/AS-500. LOCATE AS REQUIRED TO PROTECT EXISTING GUY WIRE.
- 10'-FT WIDE PNM EASEMENT ALONG NORTH PROPERTY LINE.
- UTILITY COMPANIES' ACCESS GATE, 16'-FT WIDE AS SHOWN, GATE LOCK SHALL BE COMBINATION PADLOCK TYPE, WITH CODE PROVIDED TO UTILITY COMPANIES FOR ACCESS AT ANY TIME.
- ROLE OVER TYPE CONCRETE CURB FOR UTILITY COMPANIES ACCESS, LANDSCAPE SHRUBS SHALL BE LOCATED OUTSIDE THE CURBING AND GATE TO ALLOW TRUCK ACCESS IN AND OUT OF PROPERTY.
- PNM GUY WIRE EASEMENT.
- HEAVY DUTY AREA DRAIN: EPOXY COATED SIDE OUTLET WITH STEEL BODY AND TWO SECTION, EXTRA HEAVY DUTY, 24" SQ DUCTILE IRON GRATE, SUITABLE TO SET IN 6-INCH CONCRETE SLAB, SEE GRADING PLAN FOR DRAIN PIPE SIZE AND ROUTING.
- GROUND CHAINLINK FENCING WITHIN EASEMENT AS REQUIRED BY EL PASO ELECTRIC.
- DETENTION POND (24-INCH DEEP), SEE GRADING PLAN.



LOCATOR / ZONE ATLAS PAGE: H-10-Z

**LEGEND**

- LANDSCAPE AREA
- BUILDING ROOF
- ASPHALT PAVED AREAS
- CONCRETE

**GENERAL NOTES:**

- THE GRADE AT ALL LANDSCAPE OR PLANTED AREAS THAT ABUT CONCRETE WALKS OR CURBS SHALL BE DEPRESSED SO THAT THE LANDSCAPING SOIL AND/OR ROCK MATERIAL WILL BE FLUSH WITH THE TOP OF ADJOINING CONCRETE.
- PROVIDE CURB CUTS FOR DRAINAGE AS REQUIRED BY THE GRADING AND DRAINAGE PLAN.
- ALL EARTHWORK AND SITE PREPARATION SHALL COMPLY WITH THE GRADING AND DRAINAGE PLAN AND GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING SITE IMPROVEMENTS, UTILITIES, AND PLANT MATERIALS AND SHALL DISPOSE OF THEM AS REQUIRED.
- SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.
- PROVIDE LEVEL CONCRETE HOUSE KEEPING SLAB AT ALL OUTDOOR EQUIPMENT LOCATIONS. RAISE A MINIMUM OF 1-1/2" ABOVE THE SURROUNDING CONCRETE WALKS WHERE EQUIPMENT IS LOCATED, COORDINATE SIZE OF PAD WITH EQUIPMENT SUPPLIERS.

**SITE DATA**

ADDRESS: 7311 LA MARADA PL NW, ABQ 87120  
 PROPERTY: TRACT 6, LADERA BUSINESS PARK, UNIT 1  
 ZONING: SU-1 (LIGHT INDUSTRIAL USES)  
 LOT SIZE: 89,790 SF (2.0613 ACRES)  
 LAND USE: OFFICE WAREHOUSE

REQUIRED LANDSCAPE AREA (15% NET LOT AREA)  
 LOT AREA: 89,790 SF (2.0613 ACRE)  
 NET LOT AREA: 89,790 SF - 15,625 SF (BLDG) = 74,165 SF  
 REQUIRED LANDSCAPE (15% NET LOT AREA):  
 0.15 x 74,165 SF = 11,125 SF  
 LANDSCAPE PROVIDED: 13,220 SF

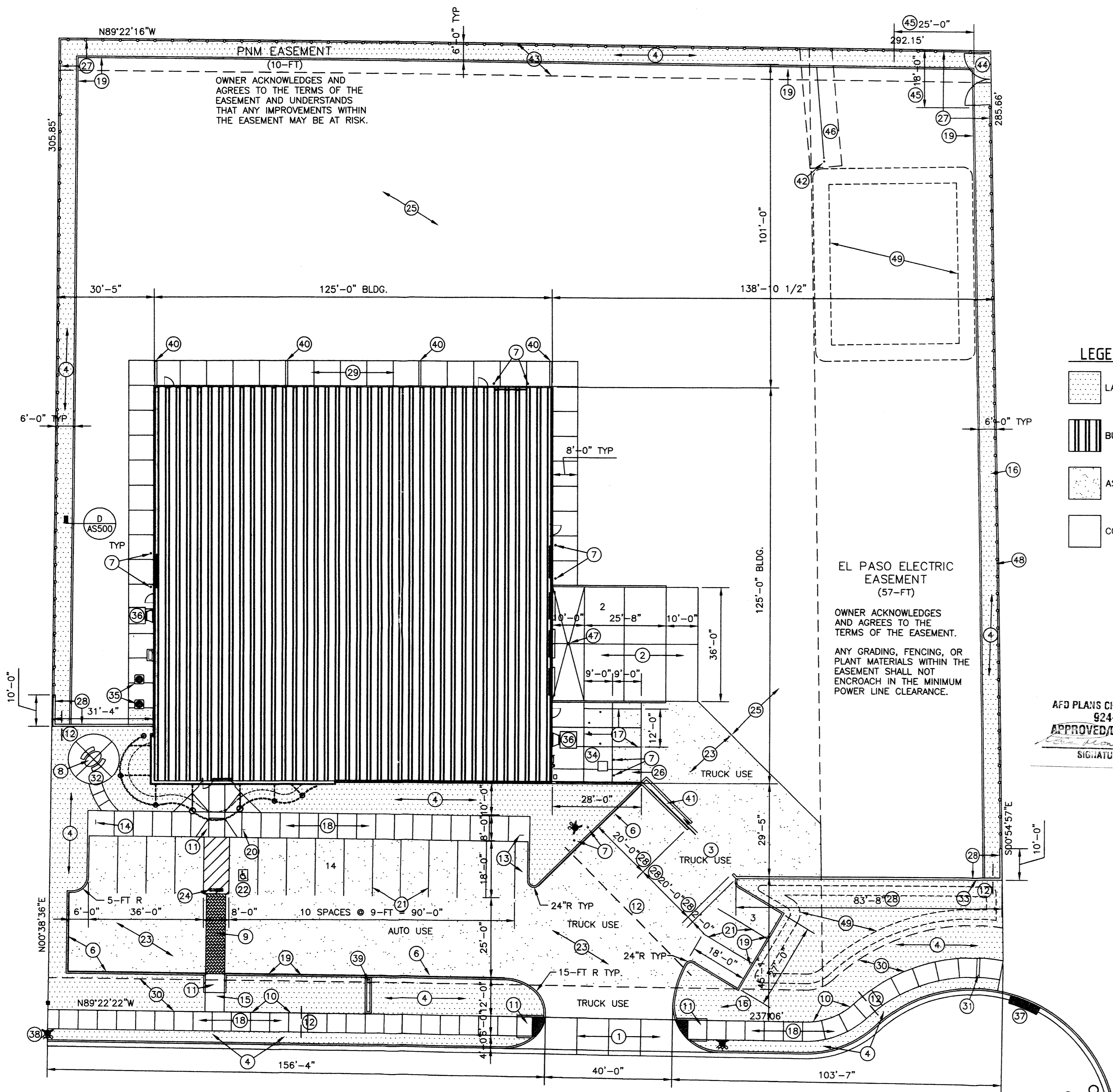
ON-SITE PARKING PROVIDED: 21 SPACES INCLUDES 1 ACCESSIBLE PARKING SPACE (VAN) PER NM BLDG CODE  
 REQUIRED PARKING:  
 OFFICES: 2100 SF / 200 = 11 SPACE  
 WAREHOUSE: 12,417 SF / 2000 = 7 SPACE  
 WAREHOUSE MEZZ: 1995 SF / 2000 = 1 SPACE  
 REQUIRED ON-SITE PARKING: 19 SPACES  
 1 BICYCLE RACK SPACE REQUIRED AND PROVIDED  
 1 MOTORCYCLE PARKING SPACE REQUIRED AND PROVIDED

AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 SIGNATURE & DATE

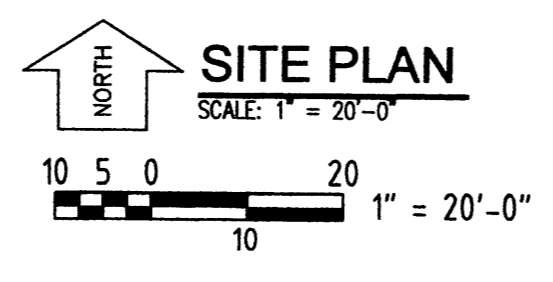
<b>PROJECT NUMBER: 1001523</b>	
<b>APPLICATION NUMBER:</b>	
<b>DRB APPROVAL: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT</b>	
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CITY ENGINEER	DATE
TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION	DATE
SOLID WASTE MANAGEMENT	DATE

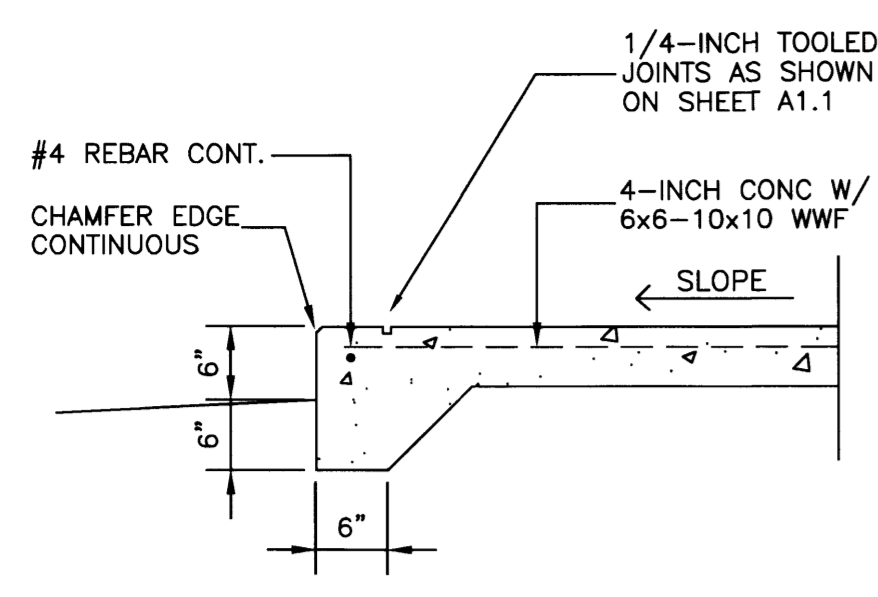
**SCHEDULE OF DRAWINGS**

1 OF 6	SITE PLAN
2 OF 6	SITE DETAILS
3 OF 6	LANDSCAPE PLAN
4 OF 6	CONCEPTUAL DRAINAGE PLAN
5 OF 6	SITE UTILITIES PLAN
6 OF 6	BUILDING ELEVATIONS

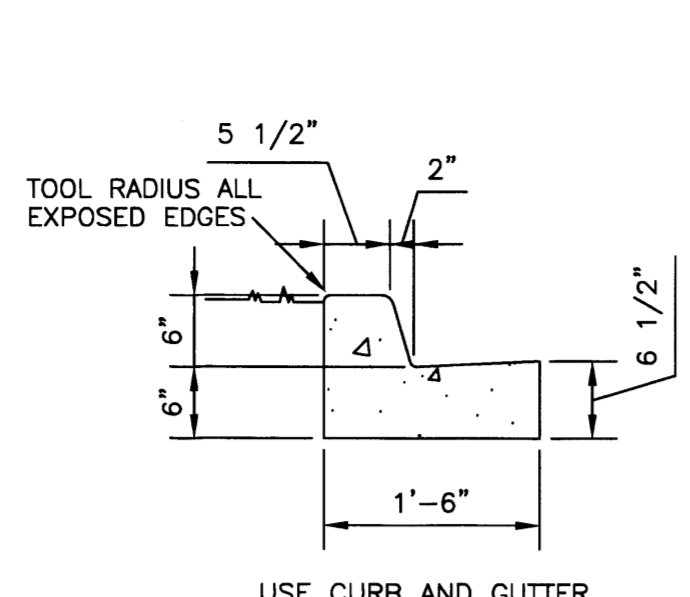


7311  
**LA MORADA PL NW**  
 (68' R/W)



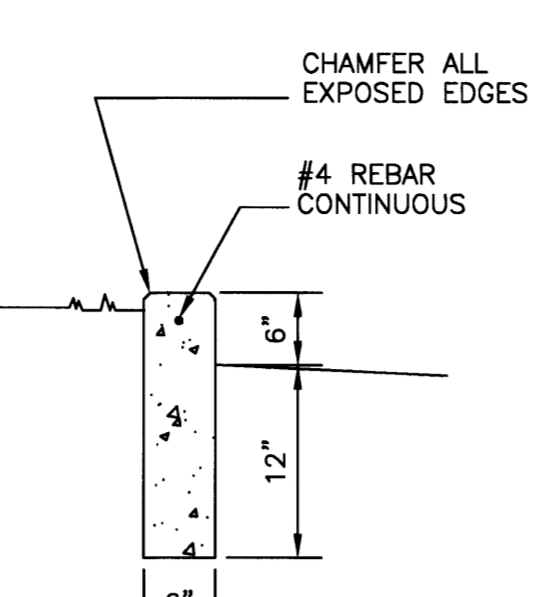


**(A) CURB AT WALK**

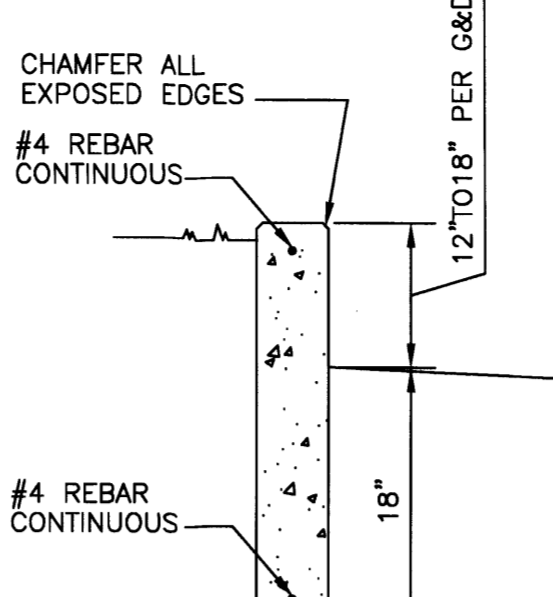


**(B) STAND-UP CURB**

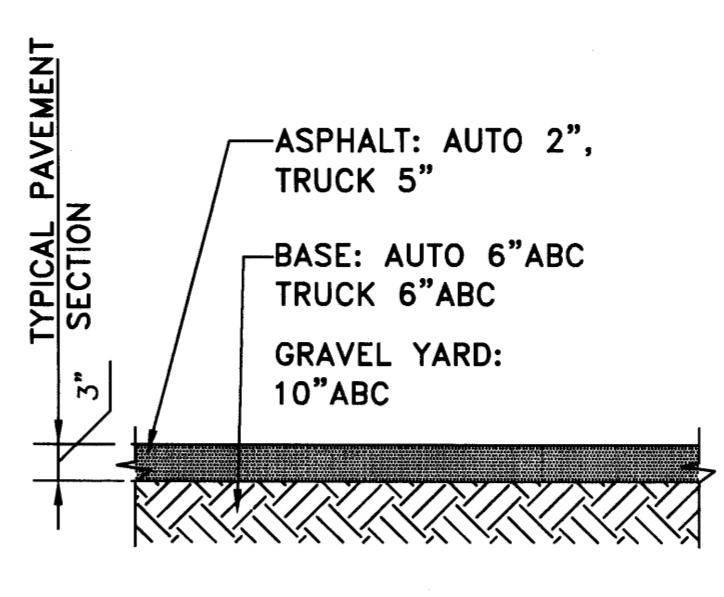
NOTE: LEAVE 6-INCH WIDE CUTS IN STAND-UP CURBING AS REQUIRED FOR SITE DRAINAGE, COORDINATE WITH GRADING AND DRAINAGE PLAN.



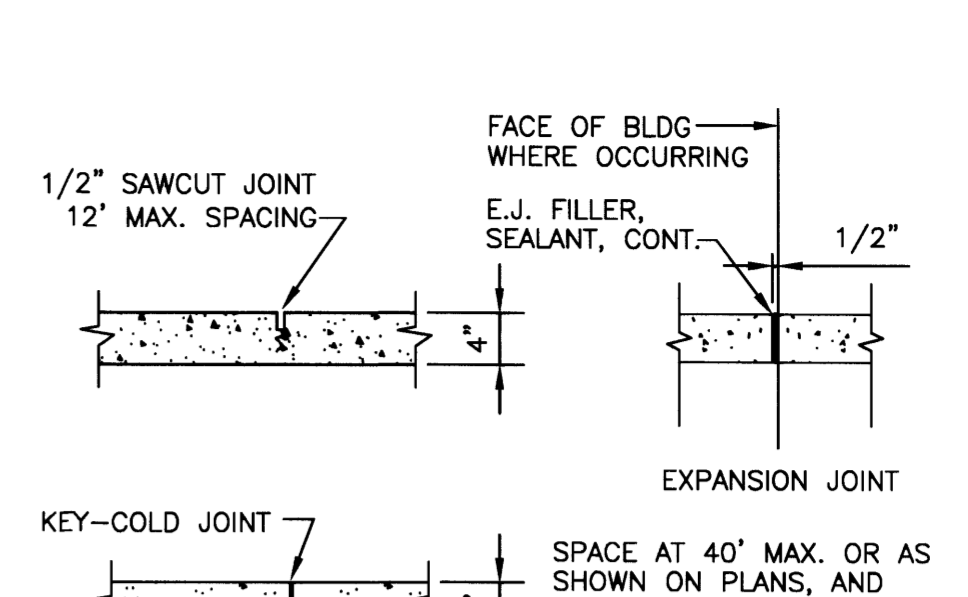
**(C) TYPICAL STAND-UP CURB**



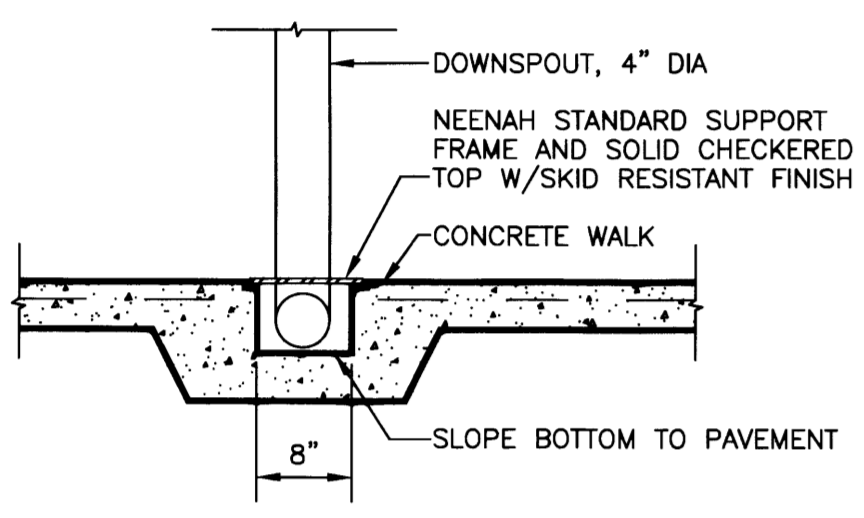
**(D) RETAINING CURB**



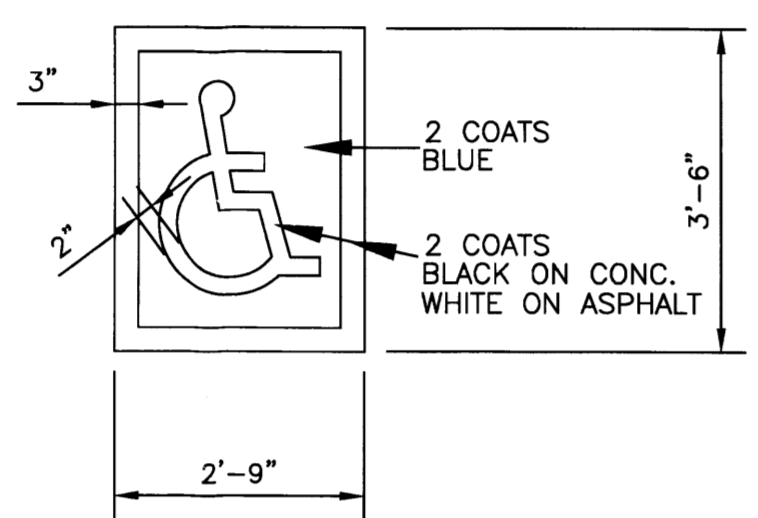
**(E) ALL ASPHALT PAVEMENT AREAS**



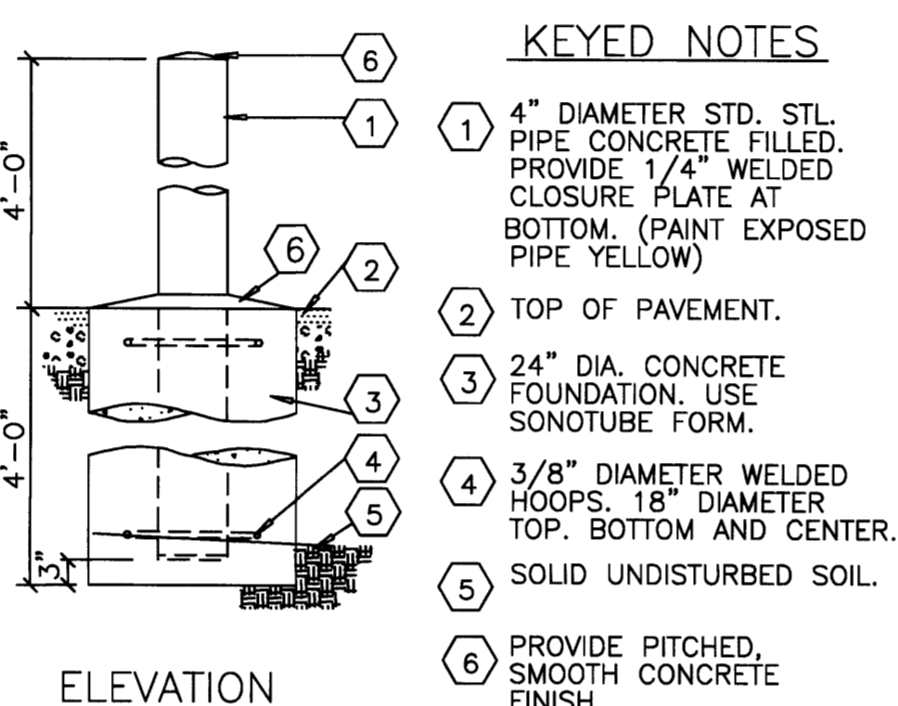
**(F) CONCRETE JOINT DETAILS**



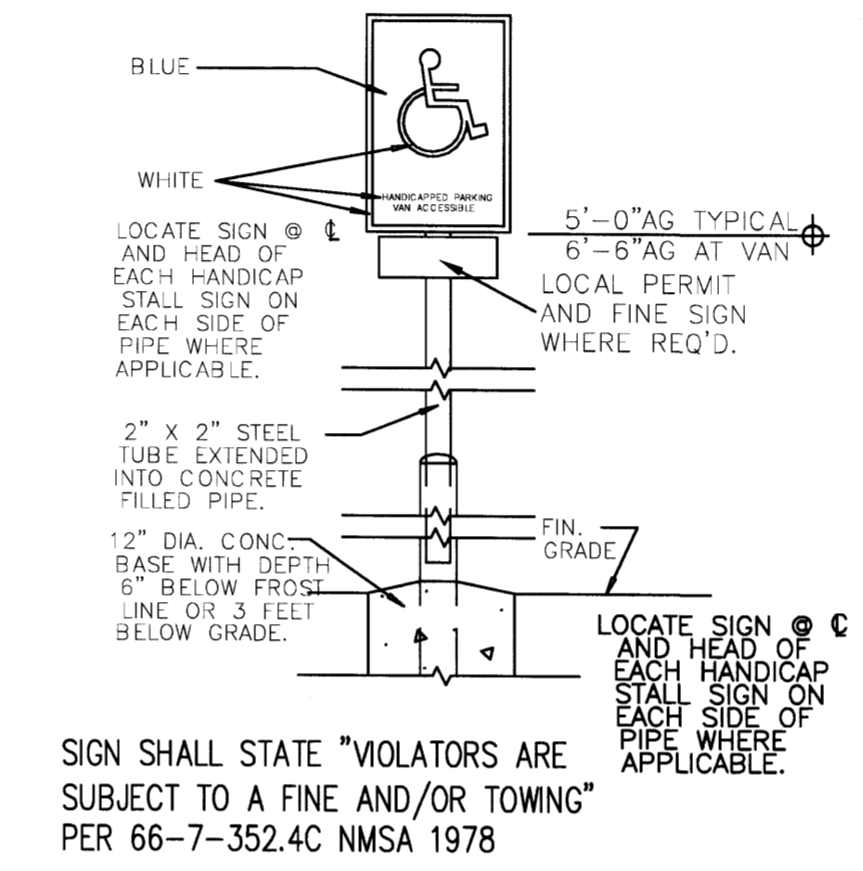
**(G) SIDEWALK TRENCH DRAIN**  
3/4" = 1'-0"



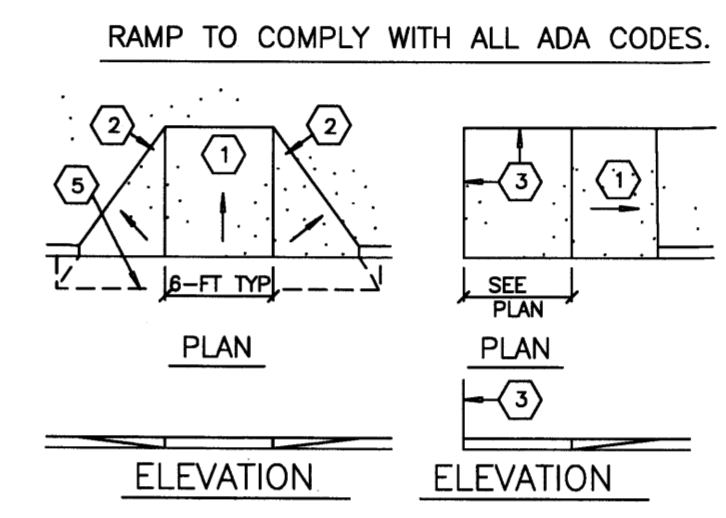
**(H) HANDICAP PAINT STRIPING**



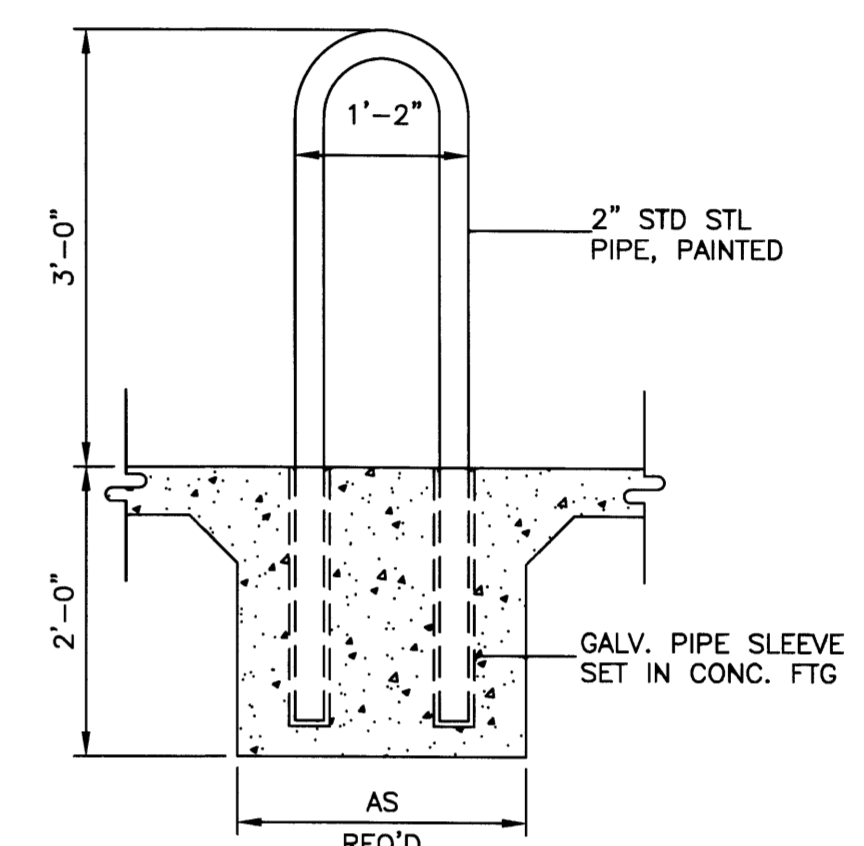
**(I) TYPICAL PIPE BOLLARD**



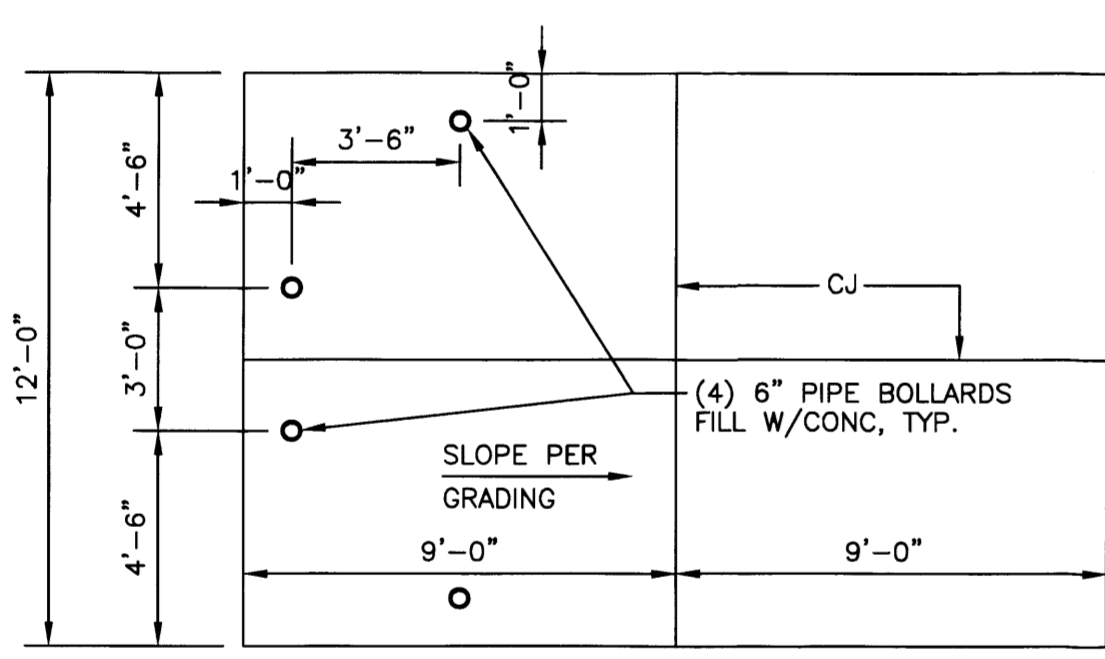
**(J) HANDICAP PARKING SIGN**



**(K) HANDICAPPED RAMP**

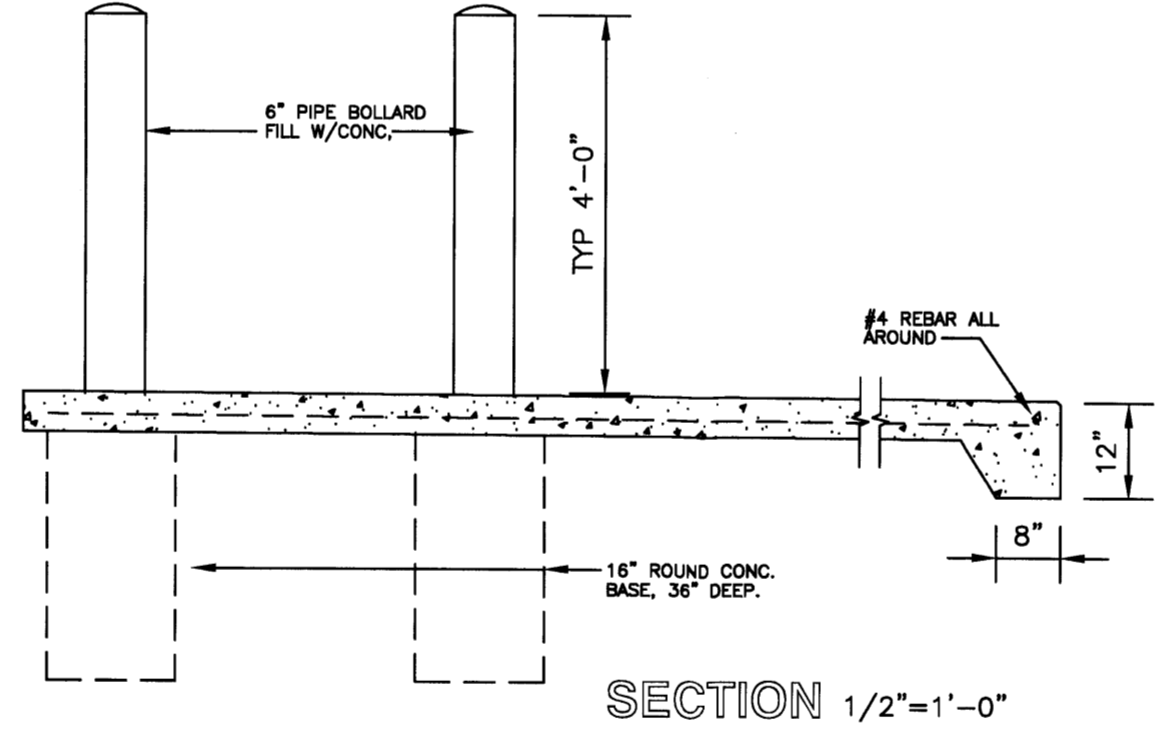


**(L) BIKE RACK DETAIL**  
3/4" = 1'-0"

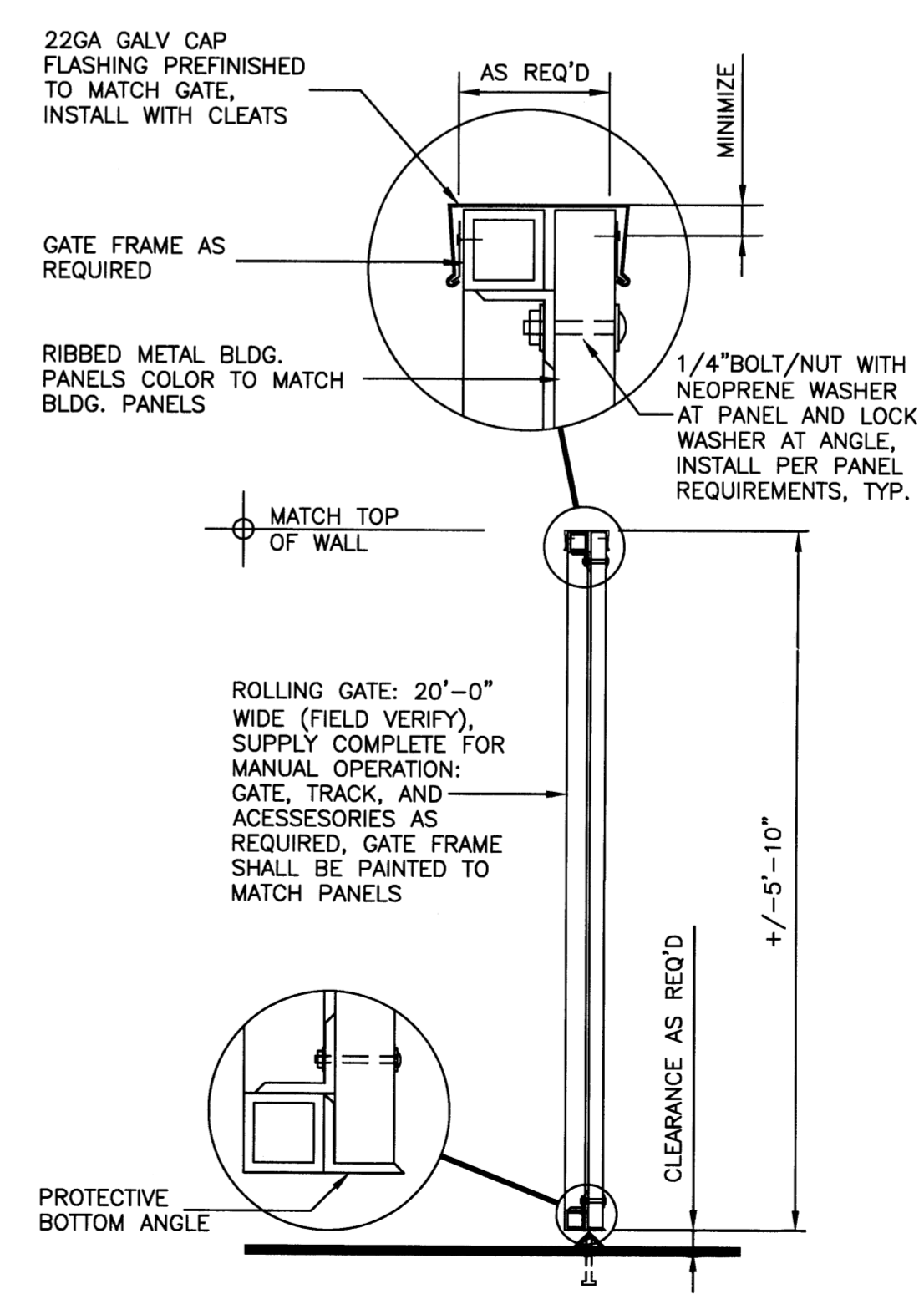


**(M) MONUMENT SIGN**  
N.I.C. SHALL BE BY SEPARATE PERMIT  
3/4" = 1'-0"

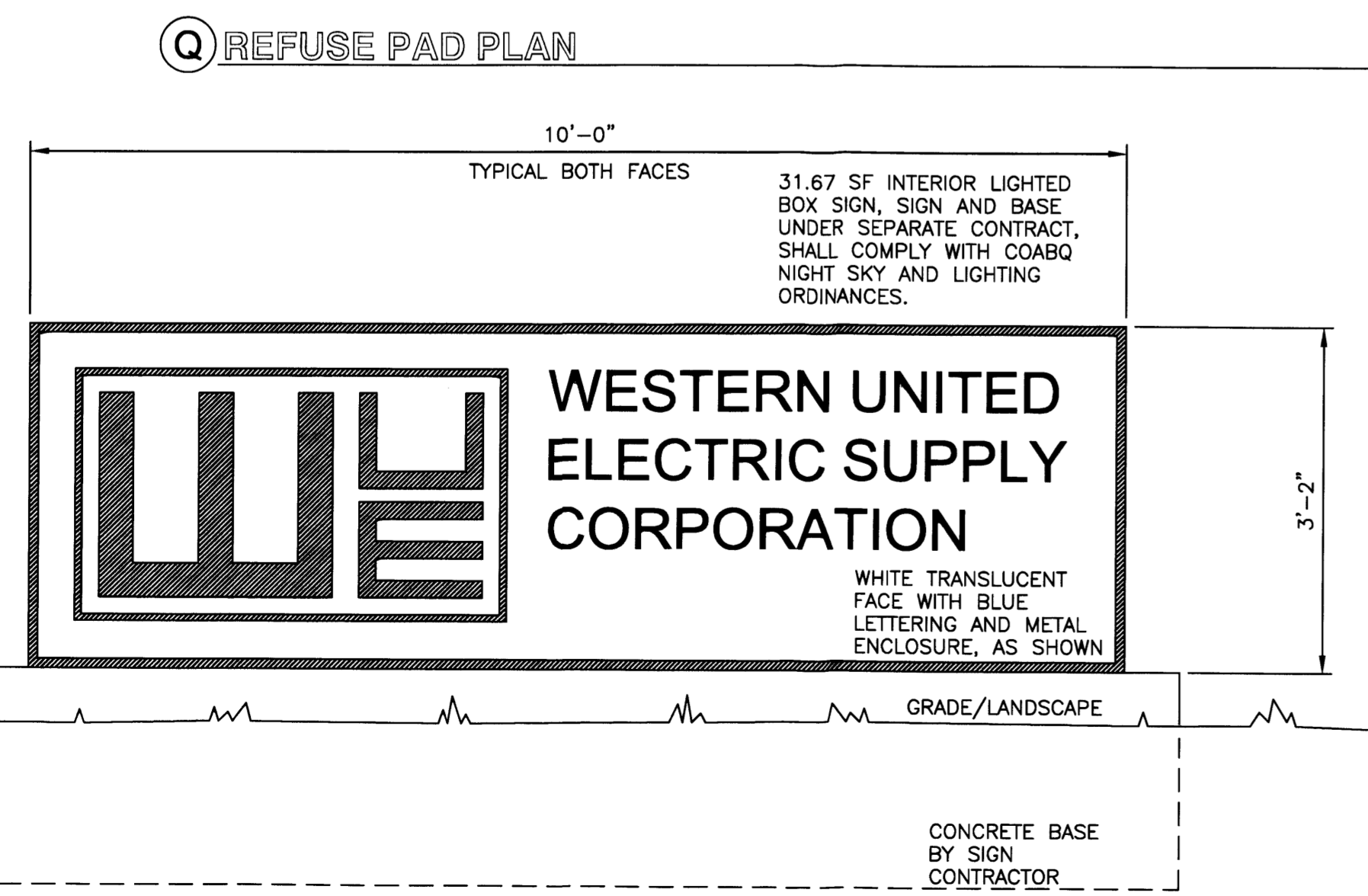
**GENERAL NOTES:**  
PAINT ON STEEL:  
TWO COATS DTM ACRYLIC SEMI GLOSS, OVER ONE COAT SELF PRIMER. COLOR: DARK BRONZE  
CONCRETE:  
PAD SHALL BE A MIN. OF 3,000 P.S.I., AIR ENTRAINED CONCRETE 6" THICK WITH #3 BARS @ 16" O.C. EACH WAY. SURFACE TO RECEIVE BROOM FINISH, ONE SEAL COAT AND SHALL BE LEVEL EXCEPT FOR WASH (1.5 PERCENT MAX).



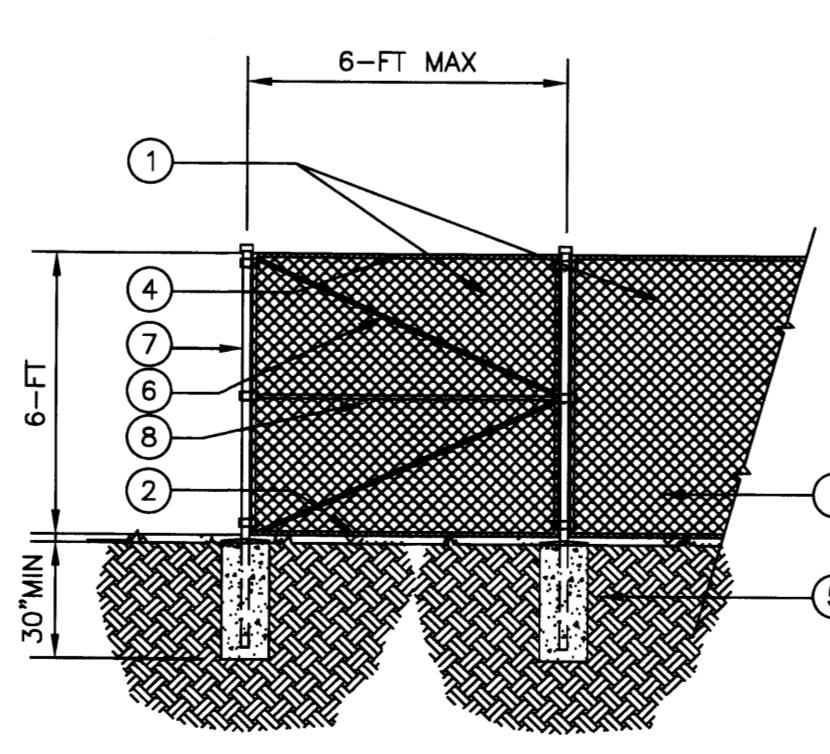
**(N) YARD FENCE DETAIL**  
FENCING WITHIN EL PASO ELECTRIC EASEMENT SHALL BE GROUNDED PER EPE SPECIFICATIONS  
N.T.S.



**(O) ROLLING GATE DETAIL**  
3/4" = 1'-0"



**(P) REFUSE PAD PLAN**  
1/4" = 1'-0"

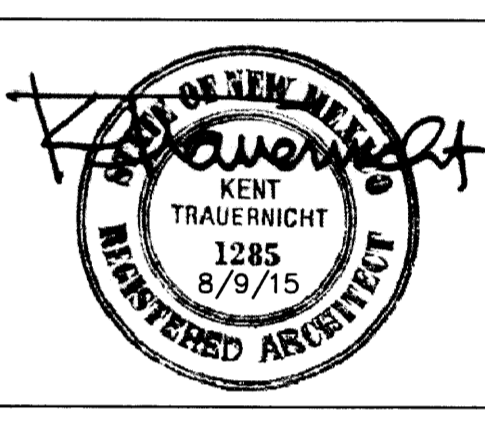


**(Q) MONUMENT SIGN**  
N.I.C. SHALL BE BY SEPARATE PERMIT  
3/4" = 1'-0"

**GENERAL NOTES**  
FABRIC (#4) SHALL BE TACK WELDED (2) PLACES TO EACH TENSION BAR, (3) PLACES TO EACH TOP AND BOTTOM BRACE (#6), AND (3) PLACES TO EACH GATE FRAME (#7), AT GATE ONLY. POST AND FENCE PIPE SIZES ARE FENCE INDUSTRY STANDARDS. ALL PIPE TO BE GALV.; HOT-DIP, ASTM A-153 GRADE "A" STL. CROSS BRACE ALL POSTS EXCEPT INTERMEDIATES.  
**KEYED NOTES**  
1 2-INCH x 9 GA. GALV. CHAIN LINK WIRE FABRIC, ASTM-392, 2.0 OZ PER SF.  
2 TENSION WIRE, 7 GA GALV.  
3 WIRE TIES, 9 GA GALV STL AT 18" OC MIN. ALL AROUND.  
4 TOP RAIL 1-5/8" DIA.  
5 12" DIA DRILLED HOLES, FILLED WITH PORTLAND CEMENT, (MIN 2000 PSI).  
6 1/4" x 3/4" GALV STL TENSION BAR.  
7 ALL POSTS: 2 1/2" STANDARD PIPE (0.216" THICK) GALVANIZED.  
8 POST BRACE, 1-5/8" DIA, AT EACH CORNER, EACH WAY.

**akt architects llc**  
P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT



PROJECT

**WESTERN UNITED ELECTRIC CORPORATION**

**OFFICE WAREHOUSE LADERA BUSINESS PARK**

PROJECT ADDRESS  
7311 LA MARADA PL NW  
ALBUQUERQUE 87120

MARK	DATE	DESCRIPTION
	7/8/15	ISSUE DATE

PROJECT NO: 0635  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**SITE DETAILS**

**LANDSCAPE DATA**

GROSS LOT AREA (2.0613 acres)	89,790 SF
LESS BUILDING(S)	15,625 SF
NET LOT AREA	74,165 SF
<b>REQUIRED LANDSCAPE</b>	
15% OF NET LOT AREA	11,125 SF
PROPOSED LANDSCAPE	13,220 SF
PERCENT OF NET LOT AREA	17.8 %
<b>HIGH WATER USE TURF</b>	
NONE PROPOSED	
<b>REQUIRED STREET TREES</b>	
PROVIDED AT 25' O.C. SPACING STREET (60/40 MIX DECIDUOUS/EVERGREEN TREES)	10
<b>REQUIRED PARKING LOT TREES</b>	
AT 1 PER 10 SPACES (19 SPACES/10)	2
PROVIDED PARKING LOT TREES	2
<b>REQUIRED LANDSCAPE COVERAGE</b>	
75% LIVE VEGETATIVE MATERIAL (13,220 SF x 75%)	9,915 SF MIN.
PROVIDED LANDSCAPE COVERAGE	10,067 SF (76%)

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

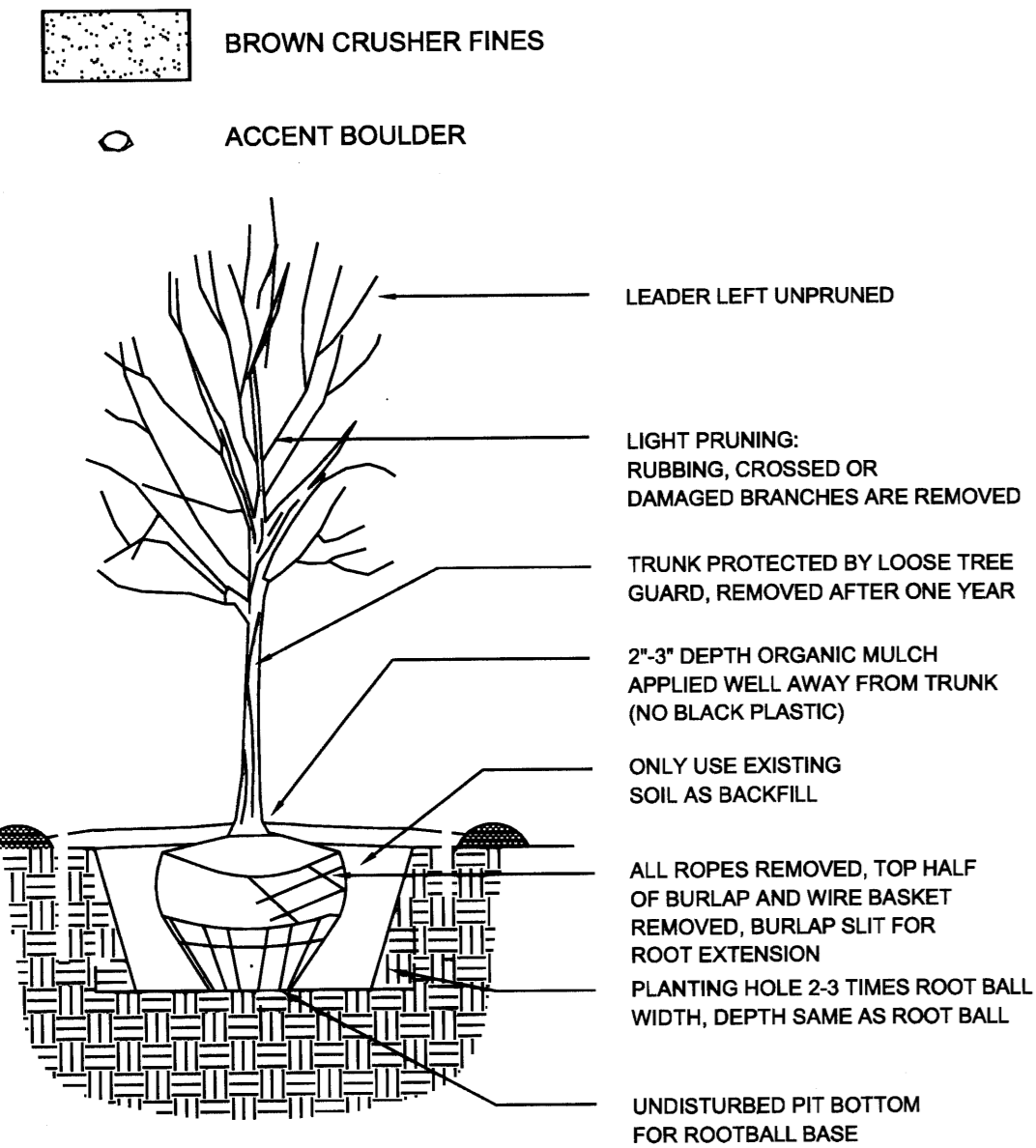
NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

**MATERIALS LEGEND**

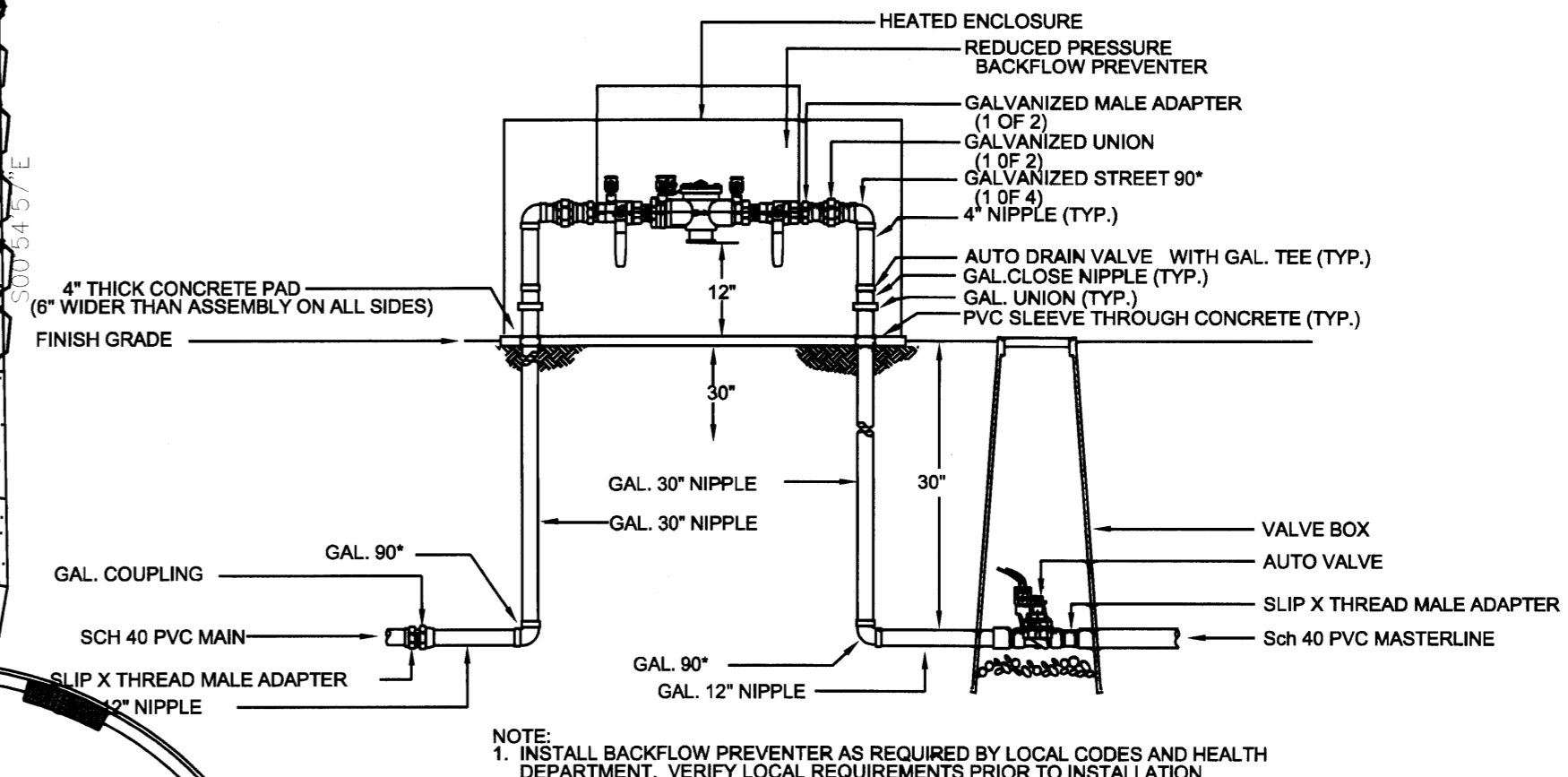
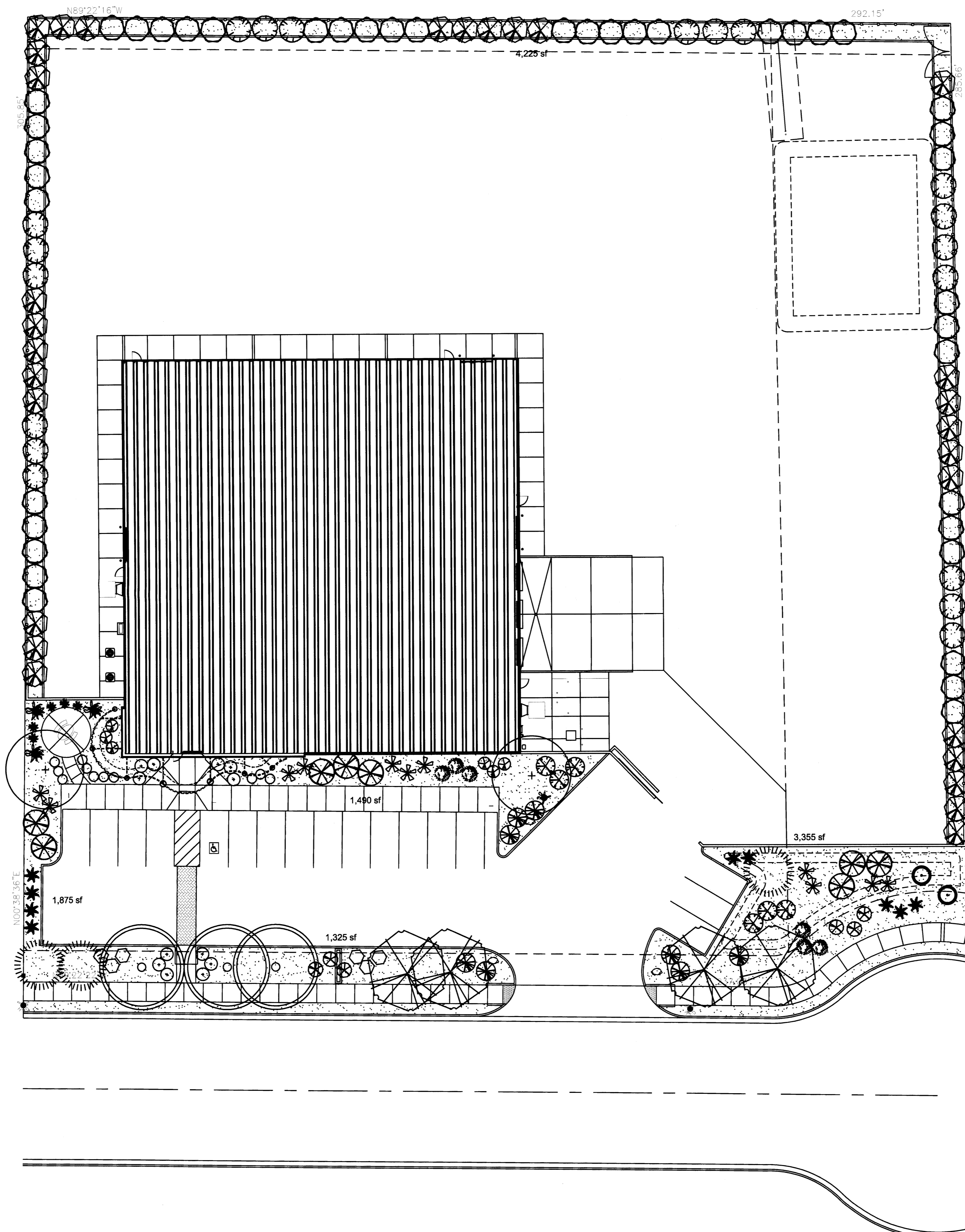


**TREE PLANTING DETAIL**

**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscap Coverage	Water Use	Drip Emitters
3	○	Fraxinus velutina 'Arizona' Arizona Ash	2" B&B	40'/40'		Medium	+6-2 gph
3	○	Pinus nigra Austrian Pine	2" B&B	30'/20'		Medium	6-2 gph
2	○	Celtis Hackberry	2" B&B	40'/40'		Medium	6-2 gph
4	○	Quercus buckleyi Texas Red Oak	2" B&B	40'/35'		Medium	6-2 gph
2	○	Pinus nigra Bosnian Pine	2" B&B	15'/5'		Medium	6-2 gph
<b>Shrubs/Groundcovers</b>							
41	○	Chamaebatiaria Fernbush	5-Gal	5'/6'	64 sf=2624 sf	Low+	2-2 gph
6	○	Caryopteris clandonensis Blue Mist	1-Gal	3'/3'	15 sf=90 sf	Medium	2-2 gph
29	○	Cercocarpus ledifolius Curl Leaf Mtn. Mahogany	5-Gal	15'/15'	100 sf=3300 sf	Low +	2-2 gph
8	○	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	64 sf=512 sf	Low +	2-2 gph
6	○	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	25 sf=150 sf	Low	2-1 gph
8	○	Caesalpinia Yellow Bird of Paradise	5-Gal	10'/10'	100 sf=800 sf	RW	2-1 gph
6	○	Fallugia paradoxa Apache Plume	5-Gal	6'/7'	49 sf=294 sf	Low	2-1 gph
11	○	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	30 sf=330 sf	Low+	2-2 gph
12	○	Salvia greggii Cherry Sage	1-Gal	2'/3'	15 sf=180 sf	Low +	2-2 gph
11	○	Salvia Mexican Blue Sage	1-Gal	3'/3'	12 sf=132 sf	Medium	2-2 gph
6	○	Perovskia atriplicifolia Russian Sage	1-Gal	5'/5'	25 sf=150 sf	Medium	2-2 gph
6	○	Prunus besseyi Western Sand Cherry	5-Gal	6'/6'	36 sf=216 sf	Medium+	2-2 gph
19	○	Rhus trilobata Three-leaf Sumac	5-Gal	6'/6'	64 sf=1216 sf	Low+	2-2 gph
3	○	Rosmarinus officinalis Rosemary	5-Gal	6'/6'	36 sf=108 sf	Low +	2-2 gph
<b>Ornamental Grasses</b>							
9	○	Nolina microcarpa Beargrass	5-Gal	5'/6'	35 sf=315 sf	RW	2-1 gph
5	○	Calamagrostis Karl Foerster Grass	5-Gal	30'/2'	10 sf=50 sf	Medium	2-2 gph

Landscape Coverage=10,067 sf



**RP BACKFLOW/MASTER VALVE DETAIL**

growing better  
**Up**  
**Heads**

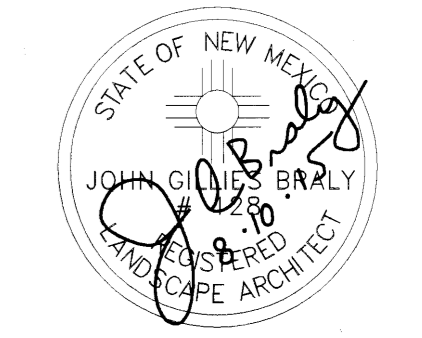
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com



P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT



PROJECT

**WESTERN UNITED ELECTRIC**

**OFFICE WAREHOUSE LADERA BUSINESS PARK**

PROJECT ADDRESS

7311 LA MARADA PL NW  
ALBUQUERQUE 87120

MARK	DATE	DESCRIPTION
	8.17.15	
	7.30.15	
ISSUE DATE: 6.17.15		

PROJECT NO: 0635  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**LANDSCAPE PLAN**

**L0-1.0**

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 4-JH9, HAVING AN ELEVATION OF 5209.315 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.

**Location**  
TRACT 6, LADERA BUSINESS PARK, UNIT 1 Tract 6, Ladera Business Park, unit 1 is located at 7311 La Morada Pl, NW, and contains +/- 2.0686 Acres. See attached portion of the Vicinity Map for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new building and improvements with this tract of land.

**Existing Drainage Conditions**  
This site falls within Master Drainage Plan for the Ladera Business Park, Area 1 (H10/D06A) prepared by Mark Goodwin and Associates. Area 1, discharging directly into streets at various locations which eventually drains directly into existing storm drain system desing for this development.

**Proposed Conditions and On-Site Drainage Management Plan**  
Since the Master Plan (File H10/D06A) is designed for complete discharge, we are proposing to pond the 90th Percentile/First Flush requirement which is 0.34 inches times the impervious area 77,390.18 (2,192.17 cf). Total retention volume provided (3,403.69 cf) far exceeds the ponding requirement for First Flush (2,192.17 cf).

**Calculations**  
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

**POND VOLUME REQUIRED**

TOTAL PONDING VOLUME REQUIRED (90TH PERCENTILE/FIRST FLUSH) = 0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 77,390.18) = 2,192.17 CF

**POND CALCULATION**

TOTAL POND AREA PROVIDED = POND A + B = 3,403.69 CF > 2,192.17 CF  
PONDING CALCULATIONS:

AREA @ 44.50 = 2,881.05, AREA @ 43.50 = 1,301.59  
POND A: POND A VOLUME = (2,881.05 + 1,301.59)/2\*1.0 = 2,091.32  
AREA @ 42.45 = 1,240.57, AREA @ 41.15 = 509.26  
POND B: POND B VOLUME = (1,240.57 + 509.26)/2\*1.50 = 1,312.37

**\* ZONE 1**

\*\*\*\*\*  
\* 100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.87 IN RAIN SIX=2.20 IN  
RAIN DAY=2.66 IN DT=0.03333 HR

\* ON-SITE COMPUTE NM HYD ID=1 HYD NO=101.0 AREA=0.003149 SQ MI  
PER A=0.00 PER B=100.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
\* 10-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.25 IN RAIN SIX=1.47 IN  
RAIN DAY=1.77 IN DT=0.03333 HR

\* ON-SITE COMPUTE NM HYD ID=1 HYD NO=111.0 AREA=0.003149 SQ MI  
PER A=100.00 PER B=100.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
\* 100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.87 IN RAIN SIX=2.20 IN  
RAIN DAY=2.66 IN DT=0.03333 HR

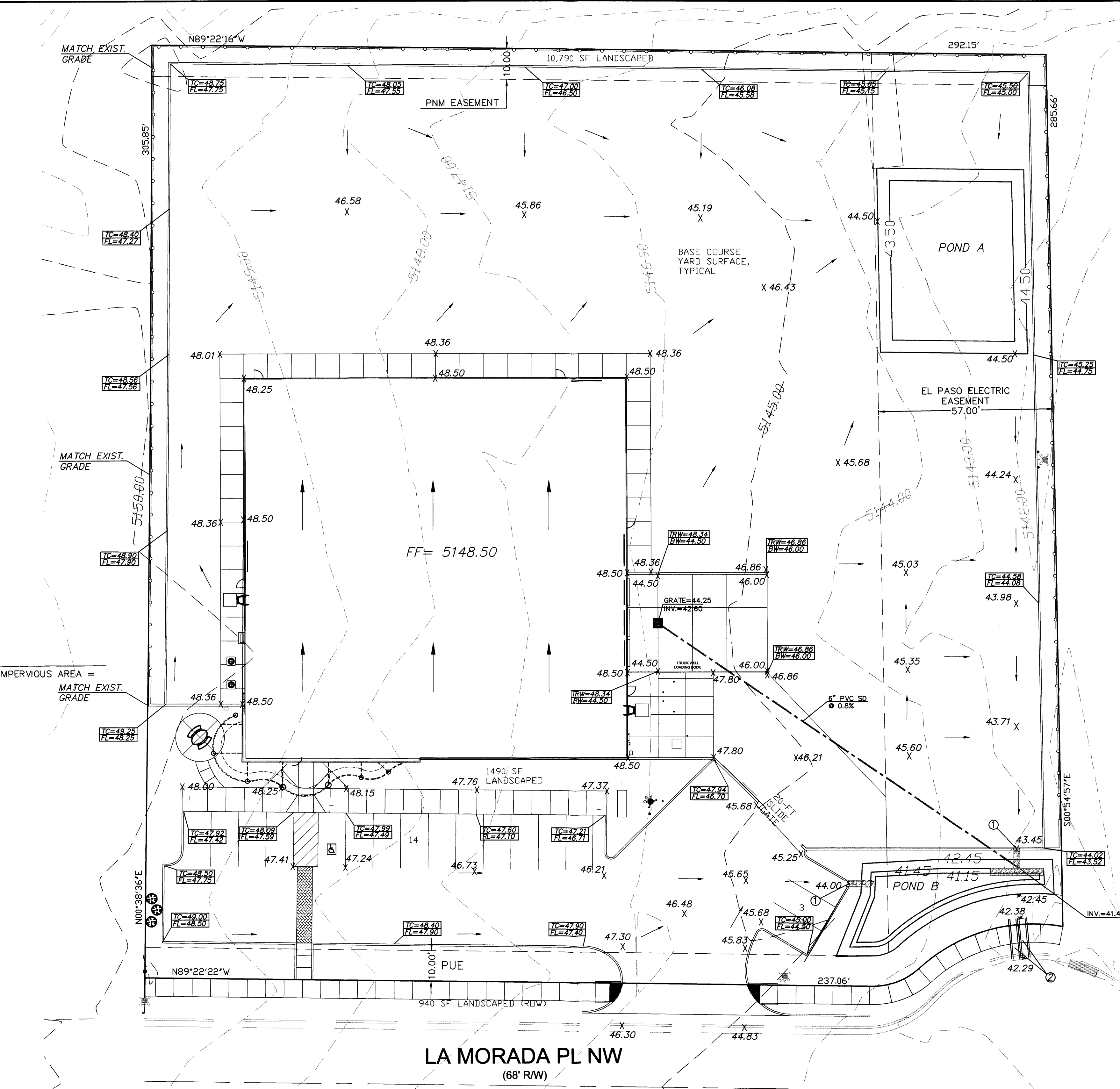
\* ON-SITE COMPUTE NM HYD ID=1 HYD NO=103.1 AREA=0.003149 SQ MI  
PER A=0.00 PER B=6.00 PER C=6.00 PER D=88.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
\* 10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.25 IN RAIN SIX=1.47 IN  
RAIN DAY=1.77 IN DT=0.03333 HR

\* ON-SITE COMPUTE NM HYD ID=1 HYD NO=111.1 AREA=0.003149 SQ MI  
PER A=0.00 PER B=6.00 PER C=6.00 PER D=88.00  
TP=0.1333 HR MASS RAINFALL=-1

FINISH



**LA MORADA PL NW**  
(68' R/W)

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = MORADA.TXT

- VERSION: 1997.02d RUN DATE (MON/DAY/YR) = 07/27/2015  
USER NO. = AHYMO-I-9702c01000R31-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION
START RAINFALL	TYPE= 1										
COMPUTE NM HYD		101.00	-	1	.00315	4.09	.112	.66738	1.533	2.031	PER IMP= .00
START RAINFALL	TYPE= 1										
COMPUTE NM HYD		111.00	-	1	.00315	.94	.025	.14676	1.533	.468	PER IMP= .00
START RAINFALL	TYPE= 1										
COMPUTE NM HYD		103.10	-	1	.00315	8.35	.307	1.82751	1.500	4.145	PER IMP= 88.00
START RAINFALL	TYPE= 1										
COMPUTE NM HYD		111.10	-	1	.00315	5.40	.189	1.12745	1.500	2.680	PER IMP= 88.00

**SIDEWALK CULVERT CALCULATIONS**

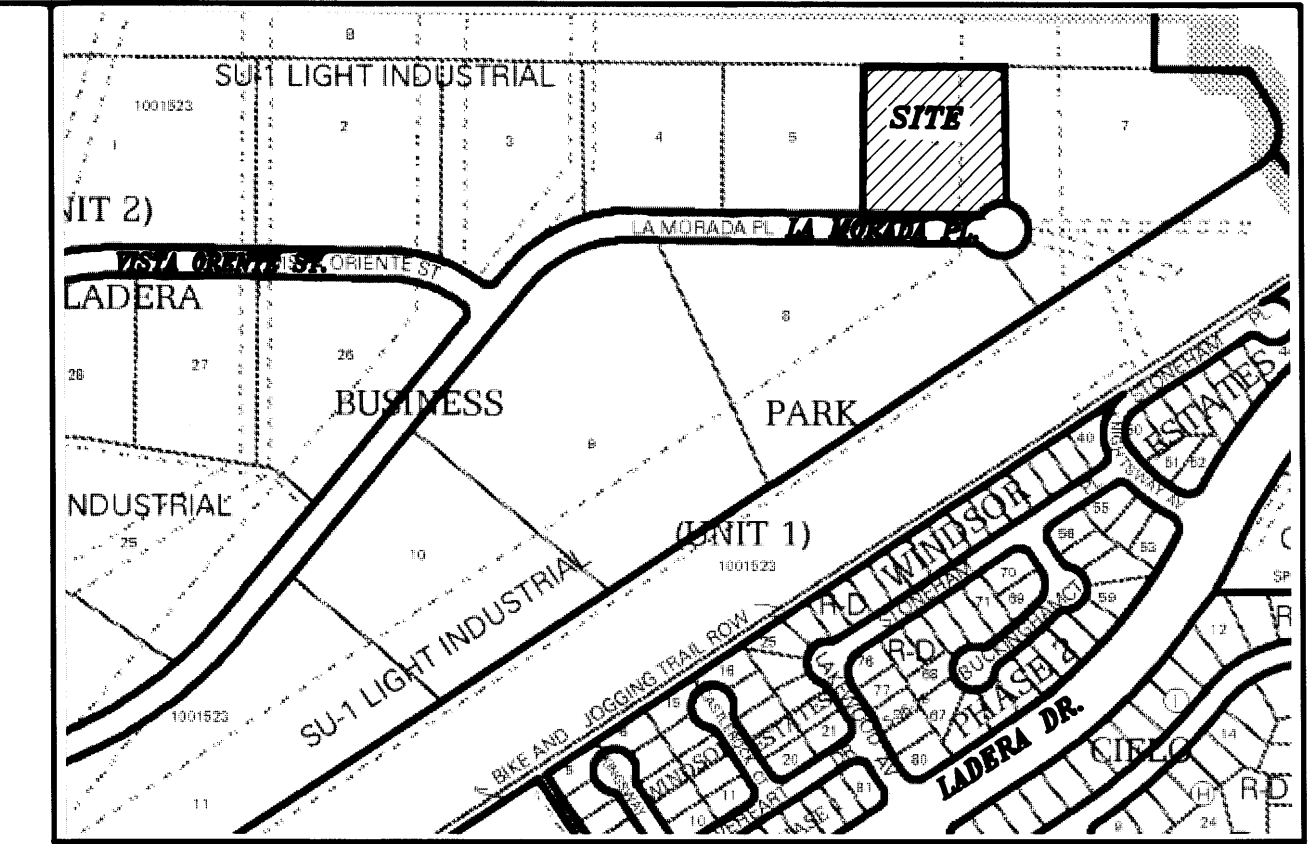
2-24" Sidewalk Culvert Flow Capacity Calculation Using Orifice Equation

Orifice Equation:  $Q = CA(2gh)^{0.50}$

h (head) = 0.67'  
A = 0.67 sf  
g = 32.20

$Q = 0.60 \times 2.68 \times (2 \times 32.2 \times 0.67)^{0.50}$   
= 10.56 cfs

10.56 cfs >> 8.35 cfs (Entire runoff generated from site)



VICINITY MAP: H-10-Z

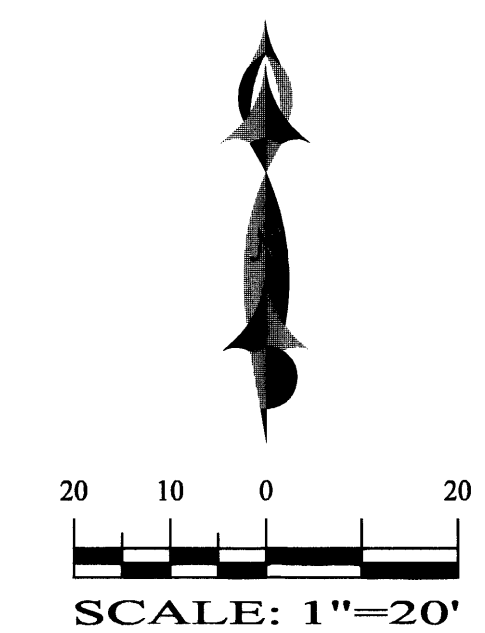
**LEGAL DESCRIPTION:**  
TRACT 6, LADERA BUSINESS PARK, UNIT 1  
CONTAINING 87,790.00 S.F. (2.0613 ACRES)

**ADDRESS**  
7311 LA MORADA PL., NW, ALBUQUERQUE, NM 87120

- NOTES:**
1. PROVIDE 12" CURB OPENING
  2. 2'-24" SIDEWALK CULVERT PER CITY STD DWG 2236 (TACK WELD PLATE AT THE BOLT), EXTEND SIDEWALK CULVERT 2' BEYOND PROPERTY LINE.

**LEGEND**

- 5030 EXISTING CONTOUR (MAJOR)
- 5029 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 28.50 PROPOSED SPOT ELEVATION
- 5029.16 EXISTING GRADE
- X 5028.65 EXISTING FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TRW=48.34 TOP OF RETAINING WALL
- BW=44.50 BOTTOM WALL
- HP HIGH POINT
- TC=47.92 TOP OF CURB
- FL=47.42 FLOW LINE



REZA AFAQHPOOR  
P.E. #11814

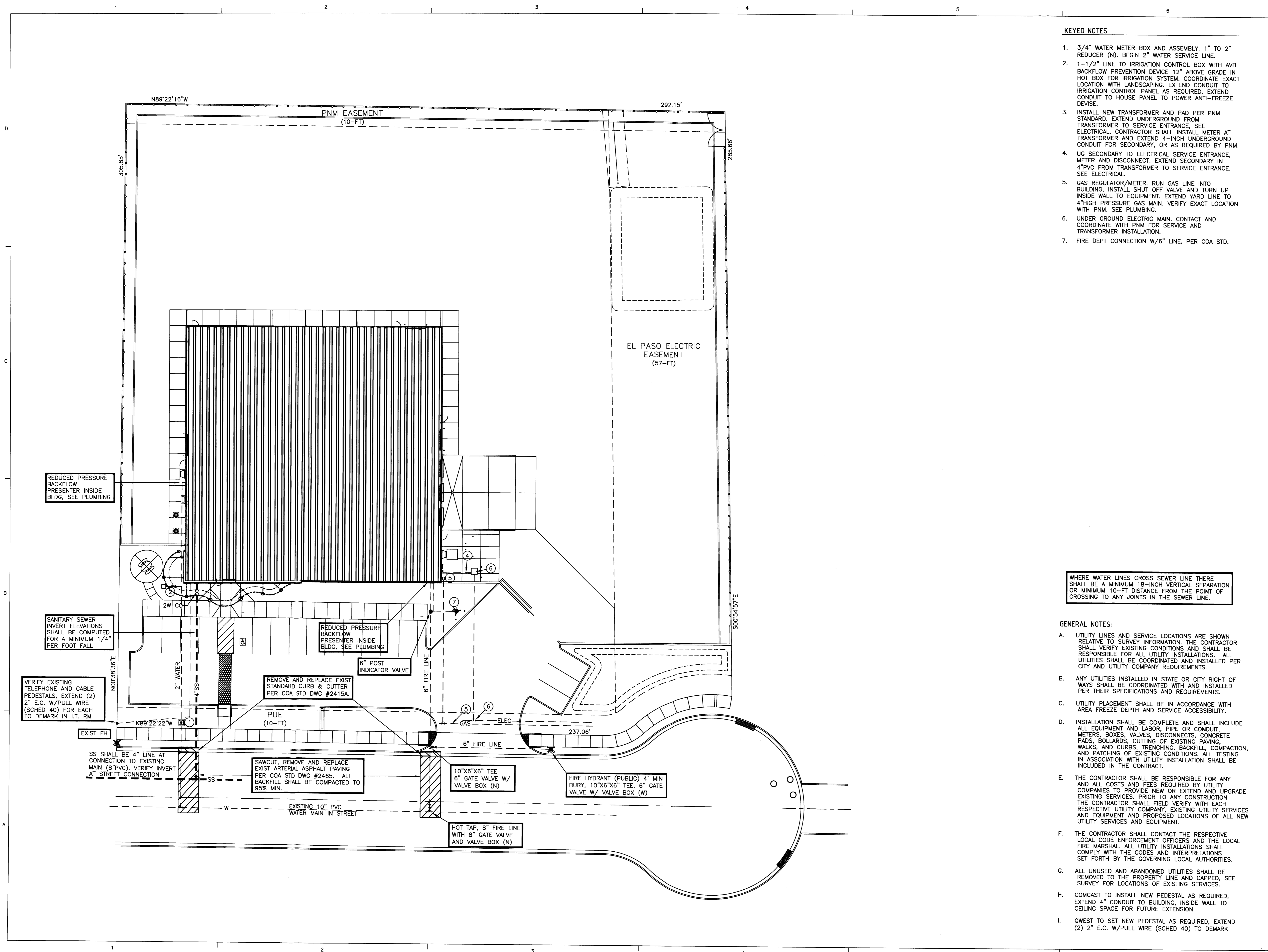
**SBS CONSTRUCTION AND ENGINEERING, LLC**

1029 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

**WESTERN UNITED ELECTRIC GRADING AND DRAINAGE PLAN**

DRAWING: 201513-GD.DWG	DRAWN BY: SB	DATE: 07-04-2015	SHEET # 4 OF 6
------------------------	--------------	------------------	----------------

LAST REVISION: 08-17-15



**KEYED NOTES**

1. 3/4" WATER METER BOX AND ASSEMBLY. 1" TO 2" REDUCER (N). BEGIN 2" WATER SERVICE LINE.
2. 1-1/2" LINE TO IRRIGATION CONTROL BOX WITH AVB BACKFLOW PREVENTION DEVICE 12" ABOVE GRADE IN HOT BOX FOR IRRIGATION SYSTEM. COORDINATE EXACT LOCATION WITH LANDSCAPING. EXTEND CONDUIT TO IRRIGATION CONTROL PANEL AS REQUIRED. EXTEND CONDUIT TO HOUSE PANEL TO POWER ANTI-FREEZE DEVICE.
3. INSTALL NEW TRANSFORMER AND PAD PER PNM STANDARD. EXTEND UNDERGROUND FROM TRANSFORMER TO SERVICE ENTRANCE. SEE ELECTRICAL. CONTRACTOR SHALL INSTALL METER AT TRANSFORMER AND EXTEND 4-INCH UNDERGROUND CONDUIT FOR SECONDARY, OR AS REQUIRED BY PNM.
4. UG SECONDARY TO ELECTRICAL SERVICE ENTRANCE, METER AND DISCONNECT. EXTEND SECONDARY IN 4"PVC FROM TRANSFORMER TO SERVICE ENTRANCE, SEE ELECTRICAL.
5. GAS REGULATOR/METER. RUN GAS LINE INTO BUILDING, INSTALL SHUT OFF VALVE AND TURN UP INSIDE WALL TO EQUIPMENT. EXTEND YARD LINE TO 4"HIGH PRESSURE GAS MAIN, VERIFY EXACT LOCATION WITH PNM. SEE PLUMBING.
6. UNDER GROUND ELECTRIC MAIN. CONTACT AND COORDINATE WITH PNM FOR SERVICE AND TRANSFORMER INSTALLATION.
7. FIRE DEPT CONNECTION W/6" LINE, PER COA STD.

WHERE WATER LINES CROSS SEWER LINE THERE SHALL BE A MINIMUM 18-INCH VERTICAL SEPARATION OR MINIMUM 10-FT DISTANCE FROM THE POINT OF CROSSING TO ANY JOINTS IN THE SEWER LINE.

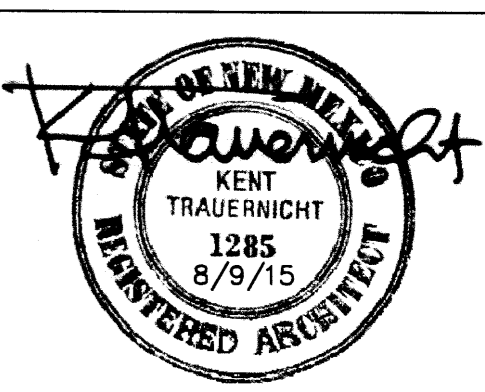
**GENERAL NOTES:**

- A. UTILITY LINES AND SERVICE LOCATIONS ARE SHOWN RELATIVE TO SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL UTILITY INSTALLATIONS. ALL UTILITIES SHALL BE COORDINATED AND INSTALLED PER CITY AND UTILITY COMPANY REQUIREMENTS.
- B. ANY UTILITIES INSTALLED IN STATE OR CITY RIGHT OF WAYS SHALL BE COORDINATED WITH AND INSTALLED PER THEIR SPECIFICATIONS AND REQUIREMENTS.
- C. UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH AREA FREEZE DEPTH AND SERVICE ACCESSIBILITY.
- D. INSTALLATION SHALL BE COMPLETE AND SHALL INCLUDE ALL EQUIPMENT AND LABOR, PIPE OR CONDUIT, METERS, BOXES, VALVES, DISCONNECTS, CONCRETE PADS, BOLLARDS, CUTTING OF EXISTING PAVING, WALKS, AND CURBS, TRENCHING, BACKFILL, COMPACTION, AND PATCHING OF EXISTING CONDITIONS. ALL TESTING IN ASSOCIATION WITH UTILITY INSTALLATION SHALL BE INCLUDED IN THE CONTRACT.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS AND FEES REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW OR EXTEND AND UPGRADE EXISTING SERVICES. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY WITH EACH RESPECTIVE UTILITY COMPANY, EXISTING UTILITY SERVICES AND EQUIPMENT AND PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT.
- F. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE LOCAL CODE ENFORCEMENT OFFICERS AND THE LOCAL FIRE MARSHAL. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CODES AND INTERPRETATIONS SET FORTH BY THE GOVERNING LOCAL AUTHORITIES.
- G. ALL UNUSED AND ABANDONED UTILITIES SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED, SEE SURVEY FOR LOCATIONS OF EXISTING SERVICES.
- H. COMCAST TO INSTALL NEW PEDESTAL AS REQUIRED, EXTEND 4" CONDUIT TO BUILDING, INSIDE WALL TO CEILING SPACE FOR FUTURE EXTENSION
- I. QWEST TO SET NEW PEDESTAL AS REQUIRED, EXTEND (2) 2" E.C. W/PULL WIRE (SCHED 40) TO DEMARK



P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9580  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT



PROJECT

**WESTERN  
UNITED  
ELECTRIC  
CORPORATION**

**OFFICE  
WAREHOUSE  
LADERA  
BUSINESS PARK**

PROJECT ADDRESS

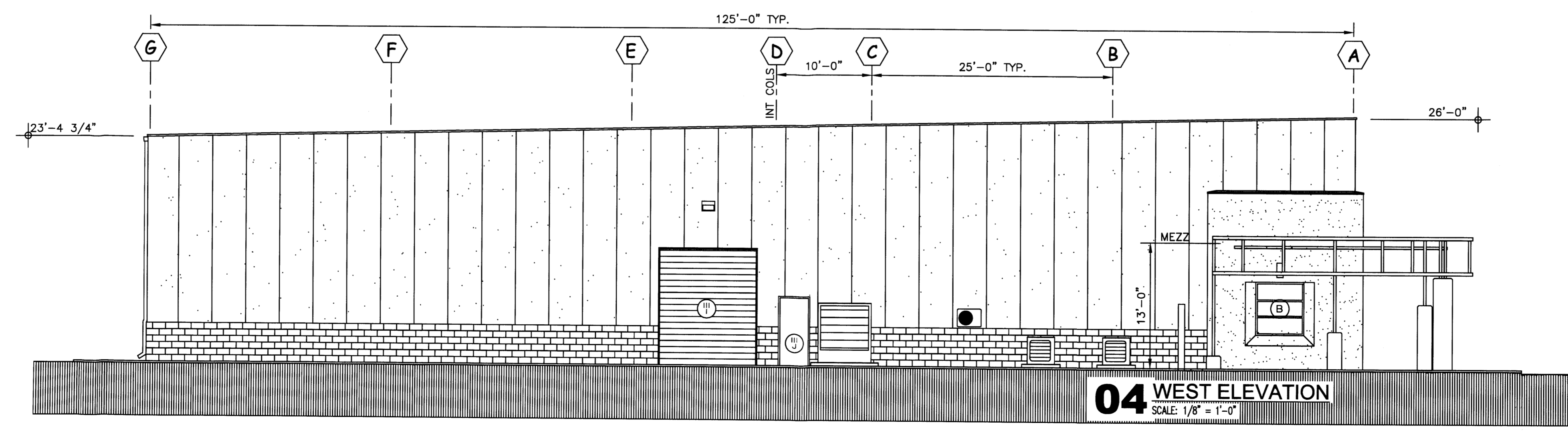
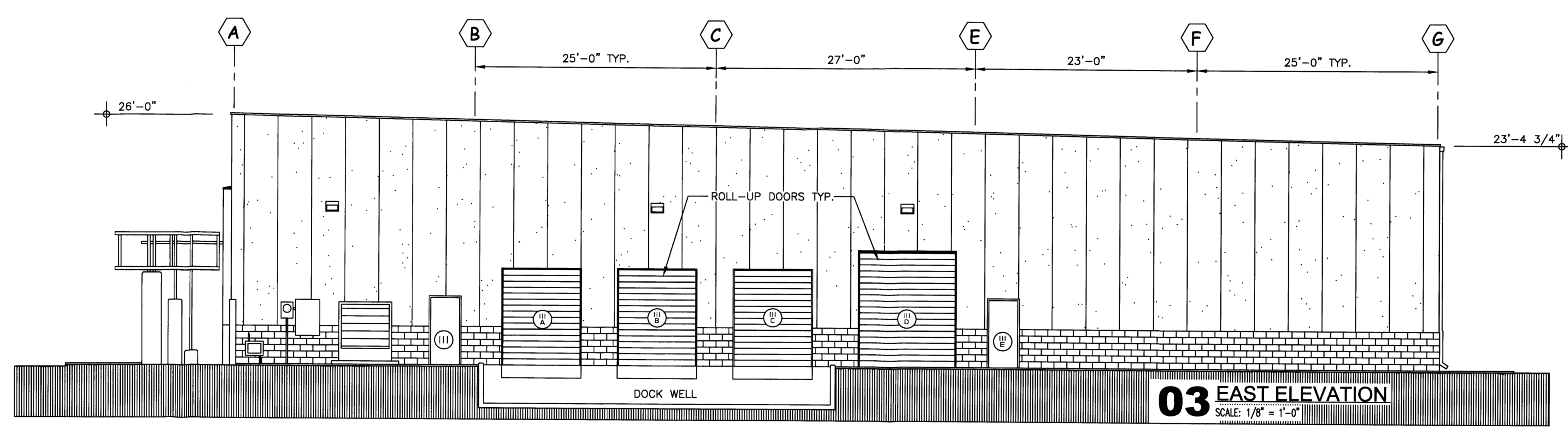
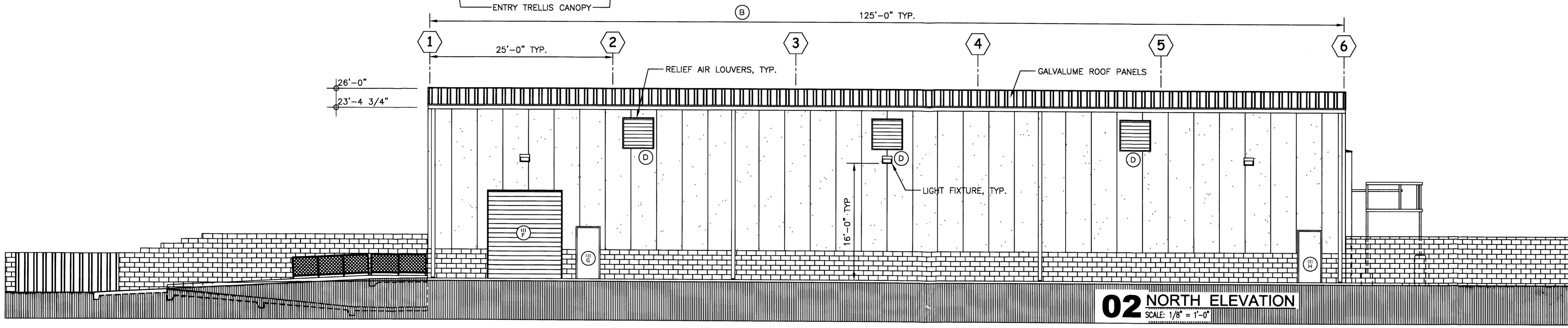
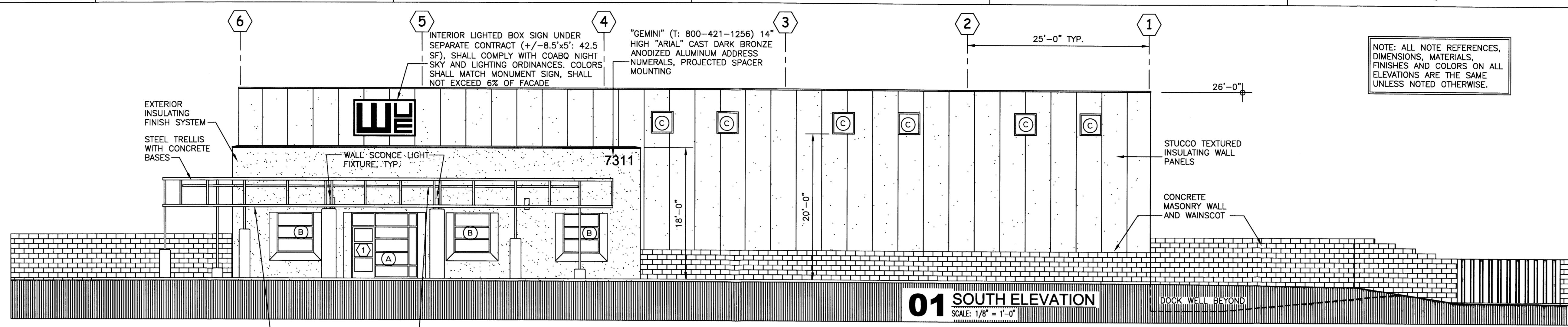
**7311 LA MARADA PL NW  
ALBUQUERQUE 87120**

MARK	DATE	DESCRIPTION

ISSUE DATE: 7/8/15

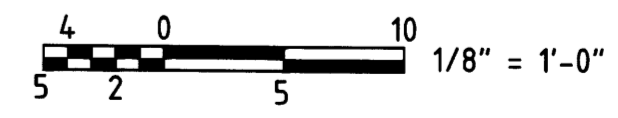
PROJECT NO: 0635  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**SITE UTILITIES**



**ELEVATION MATERIALS/COLOR LEGEND**

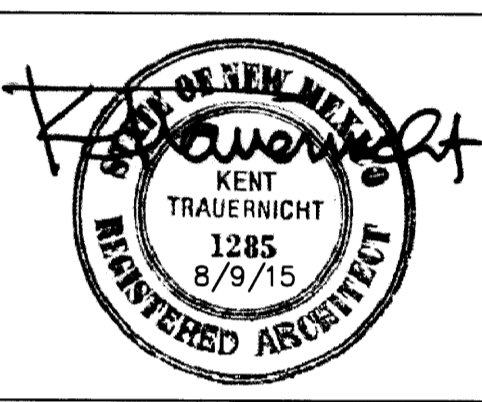
- STUCCO TEXTURED INSULATING METAL WALL PANELS, LIGHT BEIGE COLOR. TRIM AND ALL EQUIPMENT WITHIN, TO MATCH.
- METAL ROOF PANELS. GALVALUME FINISH. TRIM, GUTTERS & DOWNSPOUTS TO MATCH WALL PANELS.
- EXTERNAL INSULATION AND FINISH SYSTEM(EIFS), MEDIUM TAN.
- PLAIN FACED CMU, NATURAL COLOR WITH SEALER FINISH. HORIZONTAL JOINTS RAKED.
- ALL DOORS TO MATCH CMU'S NATURAL COLOR
- ENTRY TRELLIS CANOPY, MATCH BUTLER COOL OCEAN BLUE COLOR. CONCRETE COLUMNS NATURAL CONCRETE SEALED FINISH
- STOREFRONT WINDOW FRAMES, ANODIZED DARK BRONZE FINISH.



NOTE: ALL NOTE REFERENCES, DIMENSIONS, MATERIALS, FINISHES AND COLORS ON ALL ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.

**akt architects**  
P.O. BOX 3366  
ALBUQUERQUE, NM 87190  
T: (505) 281-9560  
F: (505) 286-1055  
C: (505) 259-7919  
aktarch@earthlink.net

CONSULTANT



PROJECT  
**WESTERN UNITED ELECTRIC CORPORATION**  
**OFFICE WAREHOUSE LADERA BUSINESS PARK**  
PROJECT ADDRESS  
7311 LA MARADA PL NW  
ALBUQUERQUE 87120

MARK	DATE	DESCRIPTION
	7/8/15	ISSUE DATE

PROJECT NO: 0635  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**BUILDING ELEVATIONS**