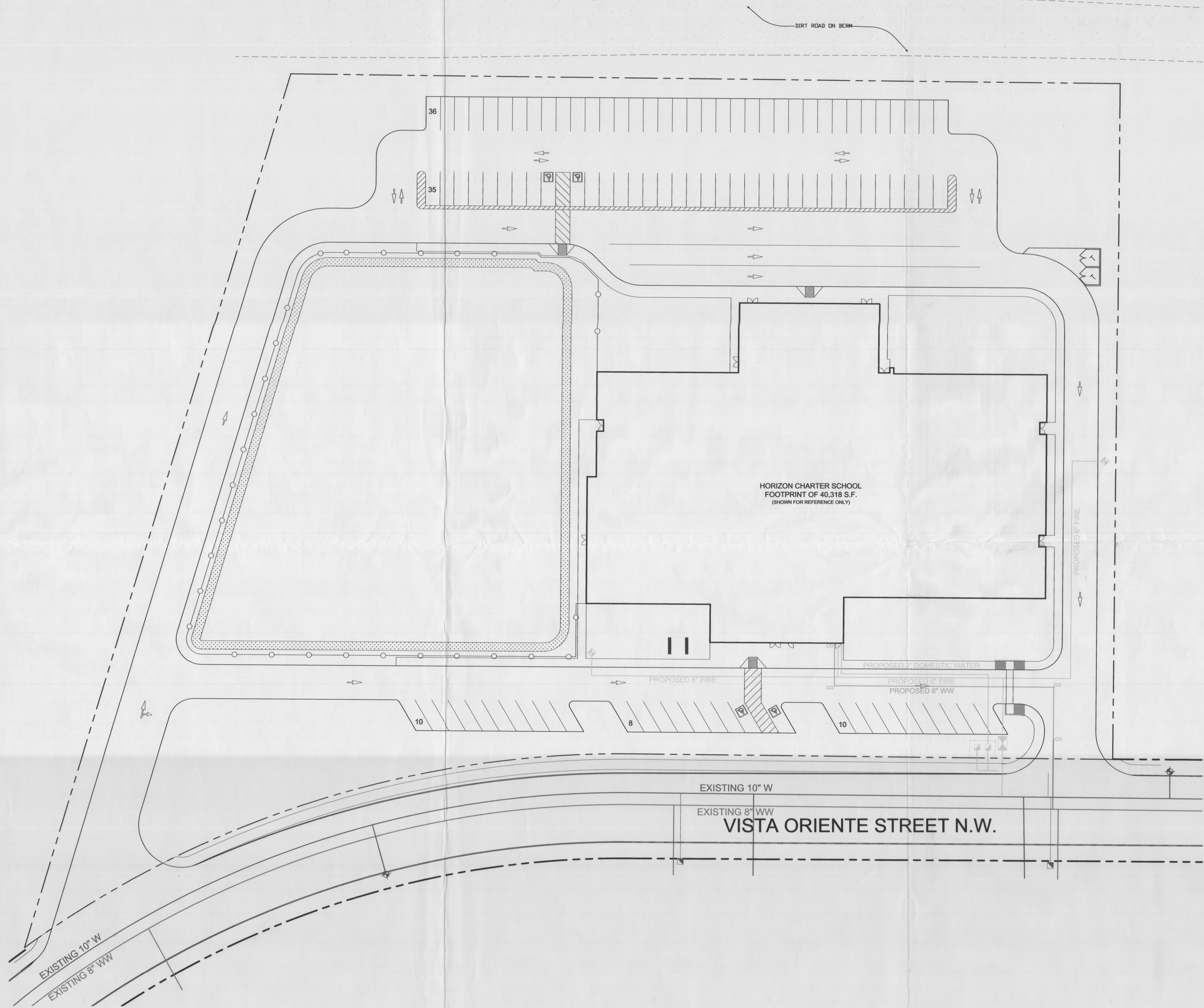


2 VACINITY MAP
SCALE: N.T.S.

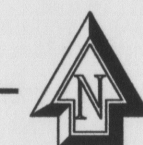
UTILITY LEGEND

— W —	WATER ~ EXISTING
— w —	WATER ~ PROPOSED
— WW —	WASTEWATER ~ EXISTING
— ww —	WASTEWATER ~ PROPOSED
— OHE —	OVERHEAD ELEC. ~ EXISTING
— ohe —	OVERHEAD ELEC. ~ PROPOSED
— ue —	UNDERGROUND ELEC. ~ PROP.
— GAS —	EXISTING GAS

NOTE: UTILITIES ARE SHOWN FOR PLANNING PURPOSES ONLY. ON-THE-GROUND SURVEY INFORMATION WILL BE USED TO LOCATE EXACT INFRASTRUCTURE. FINAL LINE SIZES AND ALIGNMENT WILL BE PROVIDED AS PART OF THE APPROVED CIVIL CONSTRUCTION DOCUMENT PACKAGE.



1 PRELIMINARY UTILITY SITE PLAN
SCALE: 1" = 30'



22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-3000
FAX: 602-296-3000
www.lardco.com

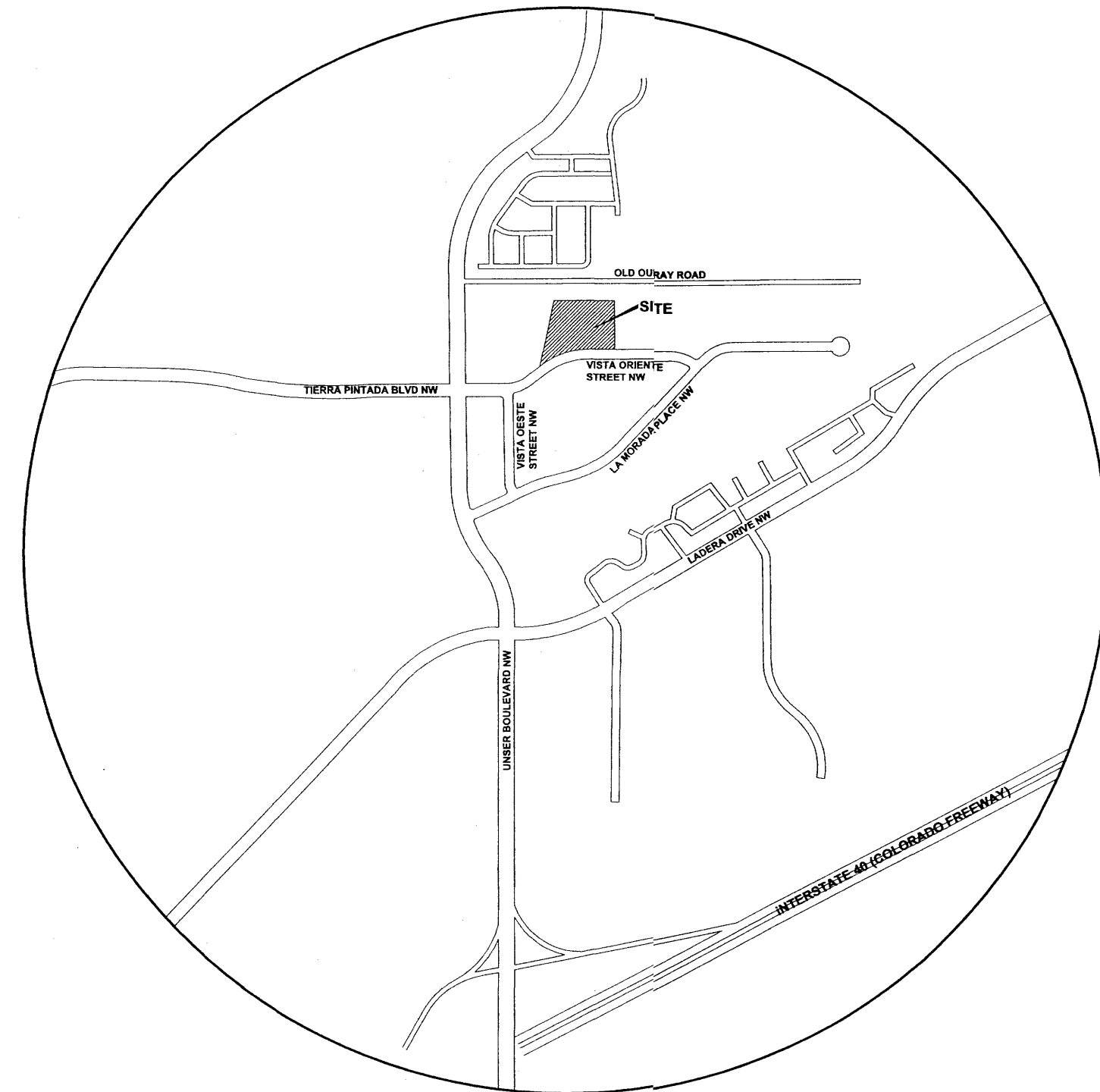


PRELIMINARY UTILITY SITE PLAN

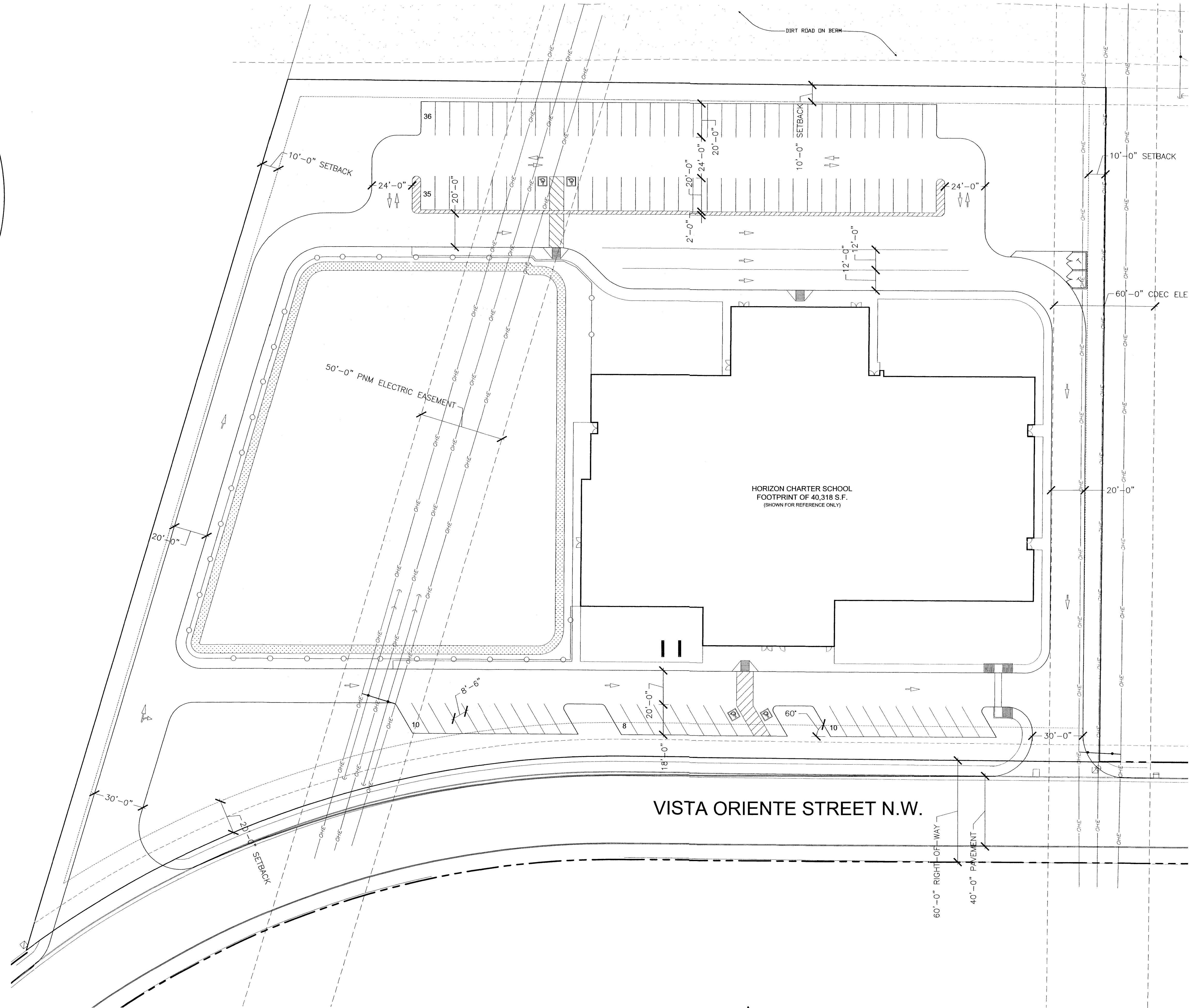
VISTA ORIENTE STREET N.W.
ALBUQUERQUE, NEW MEXICO
HORIZON CHARTER SCHOOL

NOT FOR CONSTRUCTION
DATE: 10-24-11
DRAWN: BDG
CONTACT: BDG
SCALE: AS SHOWN
SHEET:

EXH



2 VACINITY MAP
SCALE: N.T.S.



1 PRELIMINARY SITE PLAN
SCALE: 1" = 30'



VISTA ORIENTE STREET N.W.
ALBUQUERQUE, NEW MEXICO

HORIZON CHARTER SCHOOL

NOT FOR CONSTRUCTION
DATE: 10-24-11
DRAWN: BDG
CONTACT: BDG
SCALE: AS SHOWN
SHEET:

EXH

PRELIMINARY SITE PLAN



22425 NORTH 16TH STREET
PHOENIX, AZ 85024
PHONE: 602-772-2000
FAX: 602-298-2000
WWW.ACCT.COM

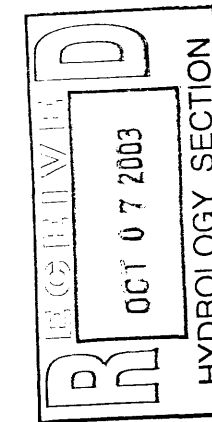
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PRELIMINARY PLAT

FOR LADERA BUSINESS PARK

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 9
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

PROJ 1001523



10/8/03

Planned
4/17/06
CS

SUBDIVISION DATA

GROSS ACREAGE 116.5761 AC
ZONE ATLAS NO. H-9-Z & H-10-Z
NO. OF EXISTING TRACTS/LOTS 1 LOT
NO. OF TRACTS/LOTS CREATED 32 TRACTS
NO. OF TRACTS/LOTS ELIMINATED 1 LOT
AREA DEDICATED TO CITY OF ALBUQUERQUE 6.3389 AC
AREA DEDICATED TO A.M.A.F.C.A. 0.0 AC
DATE OF SURVEY MARCH, 2002

OWNERS

UNSER/ 98TH ST. PARTNERSHIP, LLC
8900 WASHINGTON, NE
ALBUQUERQUE, N.M. 87113
(505)821-1034

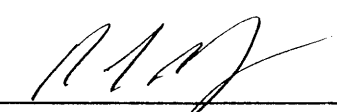
ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

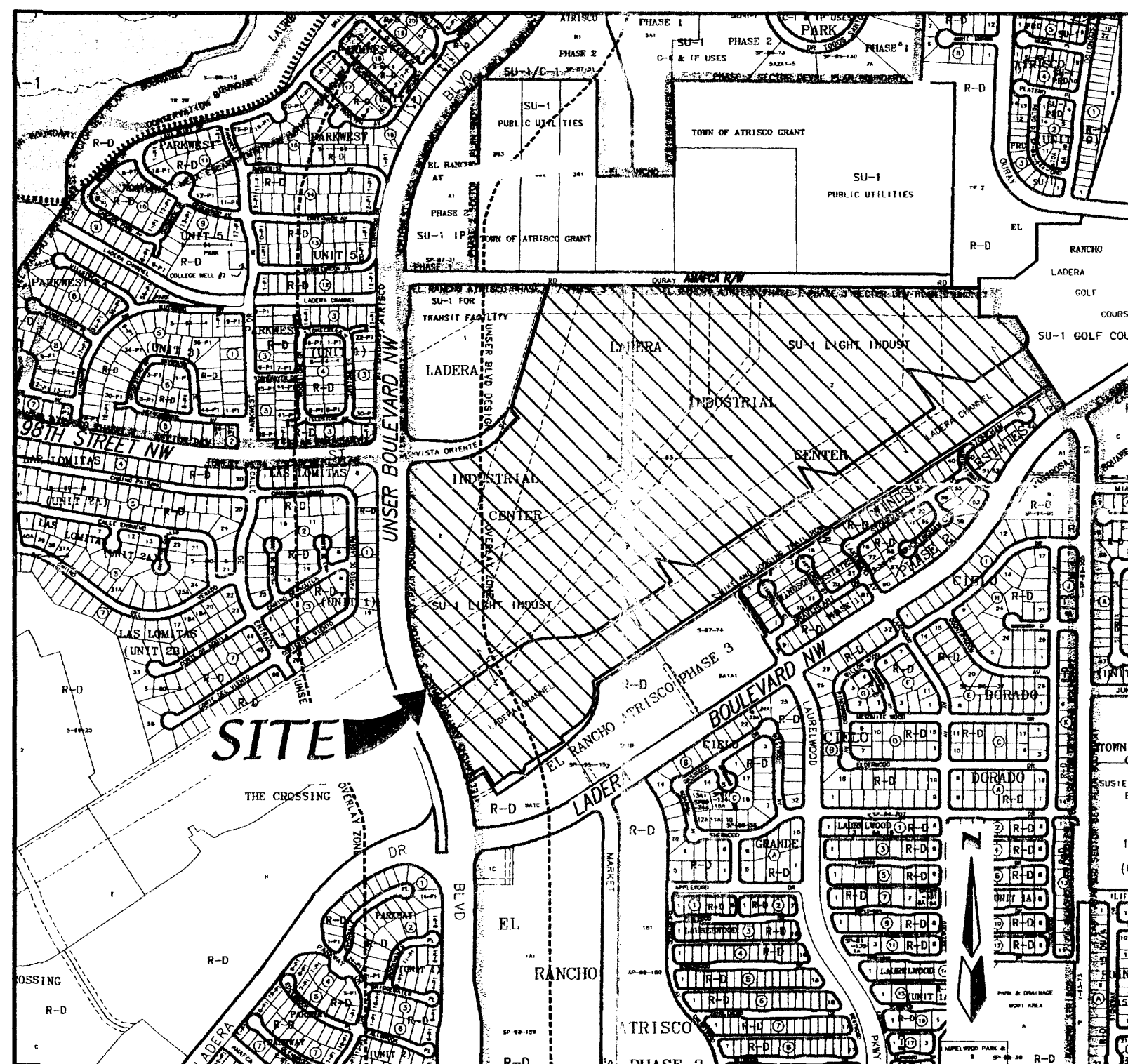
SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

OWNER:

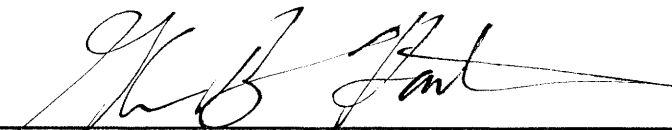

ROBERT SPARLING, MANAGING MEMBER
UNSER/98TH ST. PARTNERSHIP, LLC

8/15/03
DATE



LOCATION MAP
NOT TO SCALE

APPROVED FOR MONUMENTATION AND STREET NAMES


City Surveyor, City of Albuquerque, N.M.

8-15-03

Date

PURPOSE OF PLAT

1. Subdivide Lot 2, Ladera Industrial Center into 32 Tracts.
2. Dedicate right-of-way as shown hereon.
3. Grant new easements as shown hereon.
4. Vacate easements as shown hereon.

LEGAL DESCRIPTION

SEE SHEET 3 FOR LEGAL DESCRIPTION

NOTES

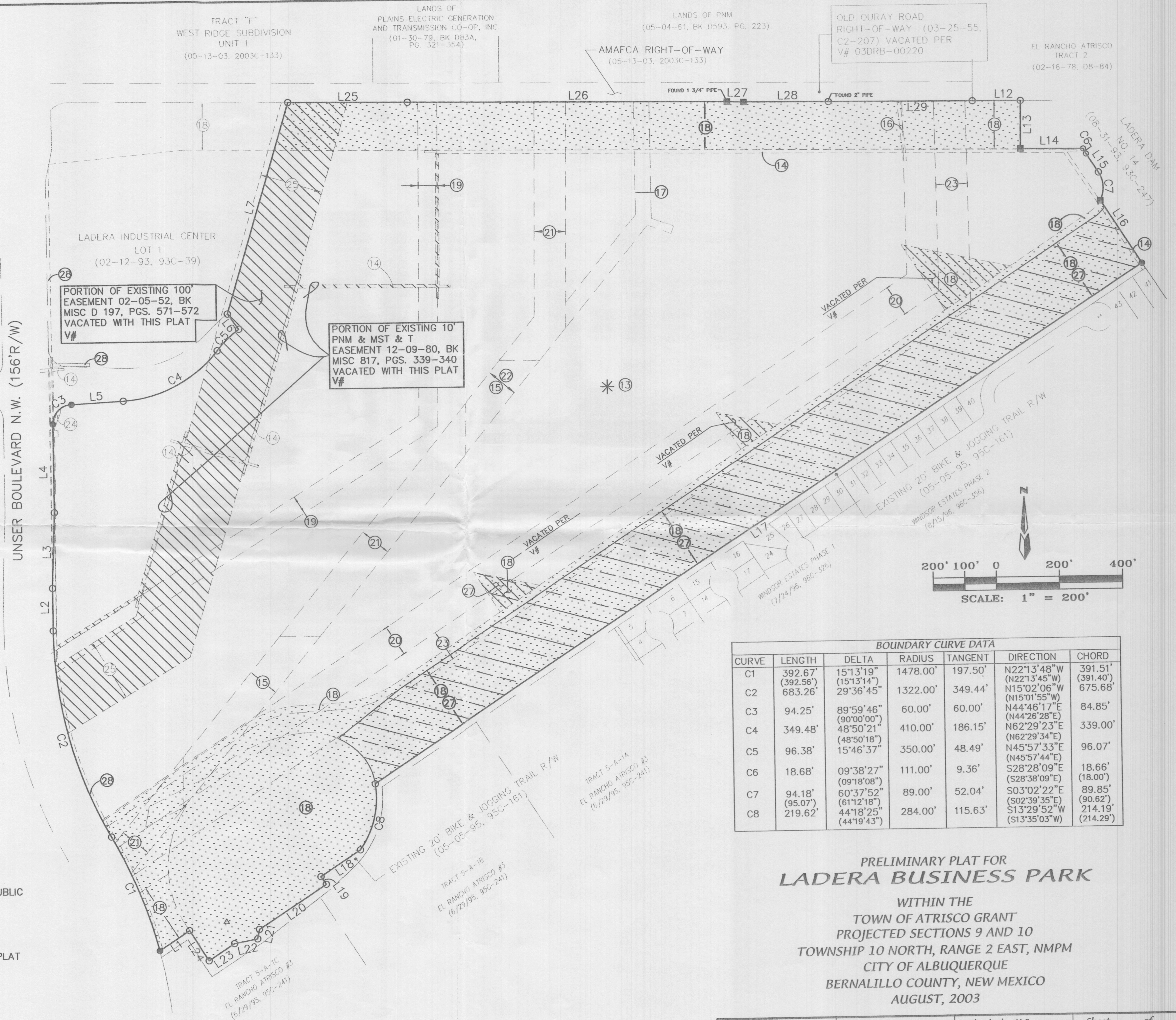
1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS Δ , WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
"PLS # 7719".
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. 20' PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF TRACTS 20, 26, 27, 28 & 29 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
8. 25' PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF TRACTS 21, 22 & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
9. 20' PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF TRACTS 12, 13, & 14 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
10. 25' PRIVATE DRAINAGE EASEMENT GRANTED TO THE OWNERS OF TRACTS 7-11 & TO BE JOINTLY MAINTAINED BY SAID OWNERS.
11. TRACTS A-1 AND A-2 ARE ENCUMBERED BY A 60' WIDE PRIVATE ACCESS EASEMENT GRANTED TO THE OWNERS OF TRACTS 15-23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS. TRACT A-1 AND A-2 ARE ALSO ENCUMBERED BY A 60' WIDE PUBLIC DRAINAGE, WATERLINE AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
12. OWNER OF TRACT 7 SHALL BE REQUIRED TO PROVIDE A PRIVATE ON-SITE SANITARY SEWER LIFT STATION.

Dwg: A1130PPS1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 7
Scale: AS SHOWN	Date: 08/15/03	Job: A01130	

BOUNDARY LINE DATA		
LINE	DIRECTION	DISTANCE
L1	S56°43'12"W (S56°43'30"W)	113.66' (113.31')
L2	N00°13'43"W (N00°13'32"W)	133.40'
L3	N02°09'26"E (N02°09'37"E)	240.21'
L4	N00°13'43"W (N00°13'32"W)	280.00'
L5	N86°53'35"E (N86°53'45"E)	164.51'
L6	N36°09'08"W (N36°08'57"W)	60.00'
L7	N16°52'11"E (N16°52'22"E)	692.84'
L12	S89°31'13"E (S89°31'02"E)	152.47'
L13	S00°41'05"W (S00°41'16"W)	150.87'
L14	S89°23'10"E (S89°22'59"E)	198.46' (199.08')
L15	S33°21'19"E (S33°21'08"E)	70.03'
L16	S33°08'03"E (S33°16'07"E)	236.49' (237.03')
L17	S56°42'43"W (S56°43'42"W)	2933.08' (2933.80')
L18	S56°43'30"W (S56°43'43"W)	150.73' (150.00')
L19	S33°24'33"E (S33°24'22"E)	30.00'
L20	S56°43'30"W (S56°43'02"W)	255.20' (255.00')
L21	S11°44'54"W (S11°45'05"W)	30.24' (30.52')
L22	S78°58'51"W (S78°59'02"W)	74.92' (74.40')
L23	S56°43'30"W (S56°46'36"W)	97.23' (97.91')
L24	N33°16'48"W (N33°20'15"W)	111.74' (111.96')
L25	S89°22'47"E (S89°22'36"E)	378.64'
L26	S89°22'33"E (S89°22'22"E)	1014.26'
L27	S88°33'57"E (S88°33'46"E)	51.36'
L28	S89°19'36"E (S89°19'25"E)	268.09'
L29	S89°31'13"E	608.29'

- MONUMENTS**
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - FOUND 5/8" REBAR WITH CAP "LS 7430" (TYP)
 - FOUND 5/8" REBAR WITH CAP "LS 4100" (TYP)

- ⑬ * EXISTING TEMPORARY BLANKET PUBLIC DRAINAGE EASEMENT VACATED WITH THIS PLAT V# _____
 - ⑭ ⑮ ⑯ DENOTES PORTION OF EXISTING EASEMENTS VACATED WITH THIS PLAT V# _____
 - ▨ DENOTES EXISTING OPEN SPACE
- SEE SHEET 3 FOR ADDITIONAL EASEMENT INFORMATION



BOUNDARY CURVE DATA						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	392.67' (392.56')	15°13'19" (15°13'14")	1478.00'	197.50'	N22°13'48"W (N22°13'45"W)	391.51' (391.40')
C2	683.26'	29°36'45"	1322.00'	349.44'	N15°02'06"W (N15°01'55"W)	675.68'
C3	94.25'	89°59'46" (90°00'00")	60.00'	60.00'	N44°46'17"E (N44°26'28"E)	84.85'
C4	349.48'	48°50'21" (48°50'18")	410.00'	186.15'	N62°29'23"E (N62°29'34"E)	339.00'
C5	96.38'	15°46'37"	350.00'	48.49'	N45°57'33"E (N45°57'44"E)	96.07'
C6	18.68'	09°38'27" (09°18'08")	111.00'	9.36'	S28°28'09"E (S28°38'09"E)	18.66' (18.00')
C7	94.18' (95.07')	60°37'52" (61°12'18")	89.00'	52.04'	S03°02'22"E (S02°39'35"E)	89.85' (90.62')
C8	219.62'	44°18'25" (44°19'43")	284.00'	115.63'	S13°29'52"W (S13°35'03"W)	214.19' (214.29')

**PRELIMINARY PLAT FOR
LADERA BUSINESS PARK**

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

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PRELIMINARY PLAT FOR
LADERA BUSINESS PARK
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2003

DESCRIPTION:

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOT 2, LADERA INDUSTRIAL CENTER as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1993 in Volume 93C, Folio 39 and containing 116.5761 acres more or less.

NOTES:

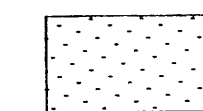
1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:

 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2",
 (02-12-93, 93C-39)

 all being records of Bernalillo County, New Mexico.
5. Field Survey performed January, 2002.
6. Title Report: First American Title Company, Commitment No.: 01014032 (Effective date: 08-15-01)
7. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2002100955

EASEMENTS

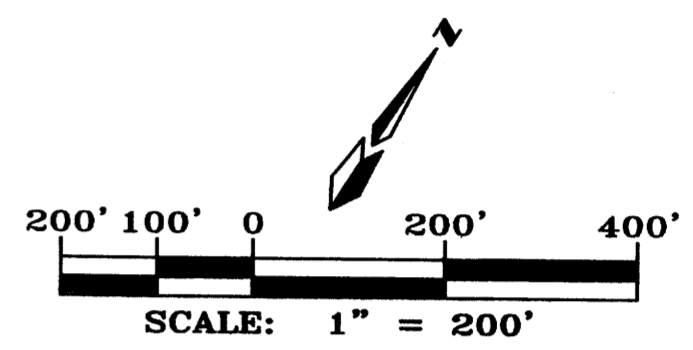
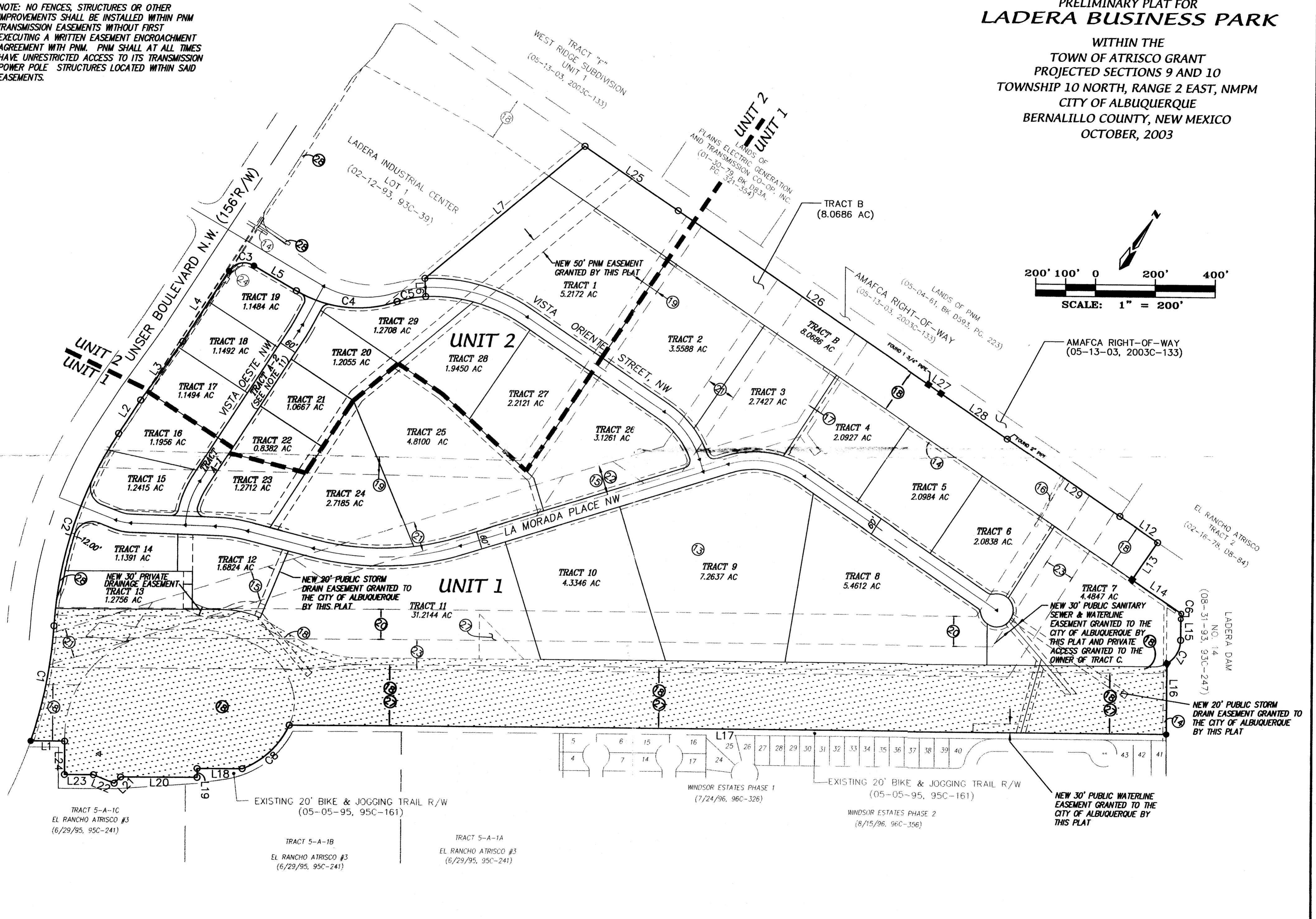
- ⑬ EXISTING TEMPORARY BLANKET PUBLIC DRAINAGE EASEMENT (LOT 2)
(02-12-93, 93C-39)
- ⑭ EXISTING 10' PNM AND M.S.T.&T. EASEMENT
(12-09-80, BK.MISC. 817, PGS. 339-340)
- ⑮ EXISTING 100' PNM AND M.S.T.&T. EASEMENT
(04-12-56, BK. D 318, PGS. 39-42)
- ⑯ EXISTING 10' PNM AND US WEST COMMUNICATIONS EASEMENT
(06-25-96, BK. 96-17, PGS. 5360-5361)
- ⑰ EXISTING 100' PNM EASEMENT
DISTRICT COURT CAUSE NO. A-33139
(05-28-68, BK.MISC. 104, PGS. 540-543)
- ⑱ EXISTING AMAFCA EASEMENT
DISTRICT COURT CAUSE NO. 7-76-03096
(09-28-76, BK.MISC. 498, PGS. 648-683)
- ⑲ EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT
(03-16-53, BK.MISC. D 235, PGS. 619-622)
- ⑳ EXISTING 100' EL PASEO ELECTRIC COMPANY EASEMENT
DISTRICT COURT CAUSE NO. A-32886
(04-29-68, BK.MISC. 101, PGS. 644-647)
- ㉑ EXISTING 100' PNM EASEMENT
(04-12-56, BK.MISC. D 348, PGS. 43-47)
- ㉒ EXISTING 100' PNM EASEMENT AND RIGHT-OF-WAY
(04-12-68, BK.MISC. D 348, PG. 193)
- ㉓ EXISTING 100' PNM EASEMENT
(05-14-76, BK.MISC. 477, PGS. 107-110)
- ㉔ EXISTING PNM AND US WEST COMMUNICATIONS EASEMENT
(10-20-94, BK. 94-29, PGS. 6190-6193)
- ㉕ EXISTING 200' EASEMENT
UNITED STATES DISTRICT COURT CAUSE NO. 1845
(02-05-52, BK.MISC. D 197, PGS. 571-572)
- ㉖ EXISTING C.O.A. OPEN SPACE DIVISION MANAGEMENT EASEMENT
(10-11-95, BK. 95-24, PGS. 6418-6422)
- ㉗ EXISTING 10' UNDERGROUND PNM & MOUNTAIN BELL EASEMENT
(02-12-87, C32-184)
- ㉘ EXISTING LADERA CHANNEL EASEMENT
(12-08-81, C19-39)
- ㉙ EXISTING LADERA CHANNEL EASEMENT
(12-08-81, C19-39)



NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

PRELIMINARY PLAT FOR LADERA BUSINESS PARK

WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2003



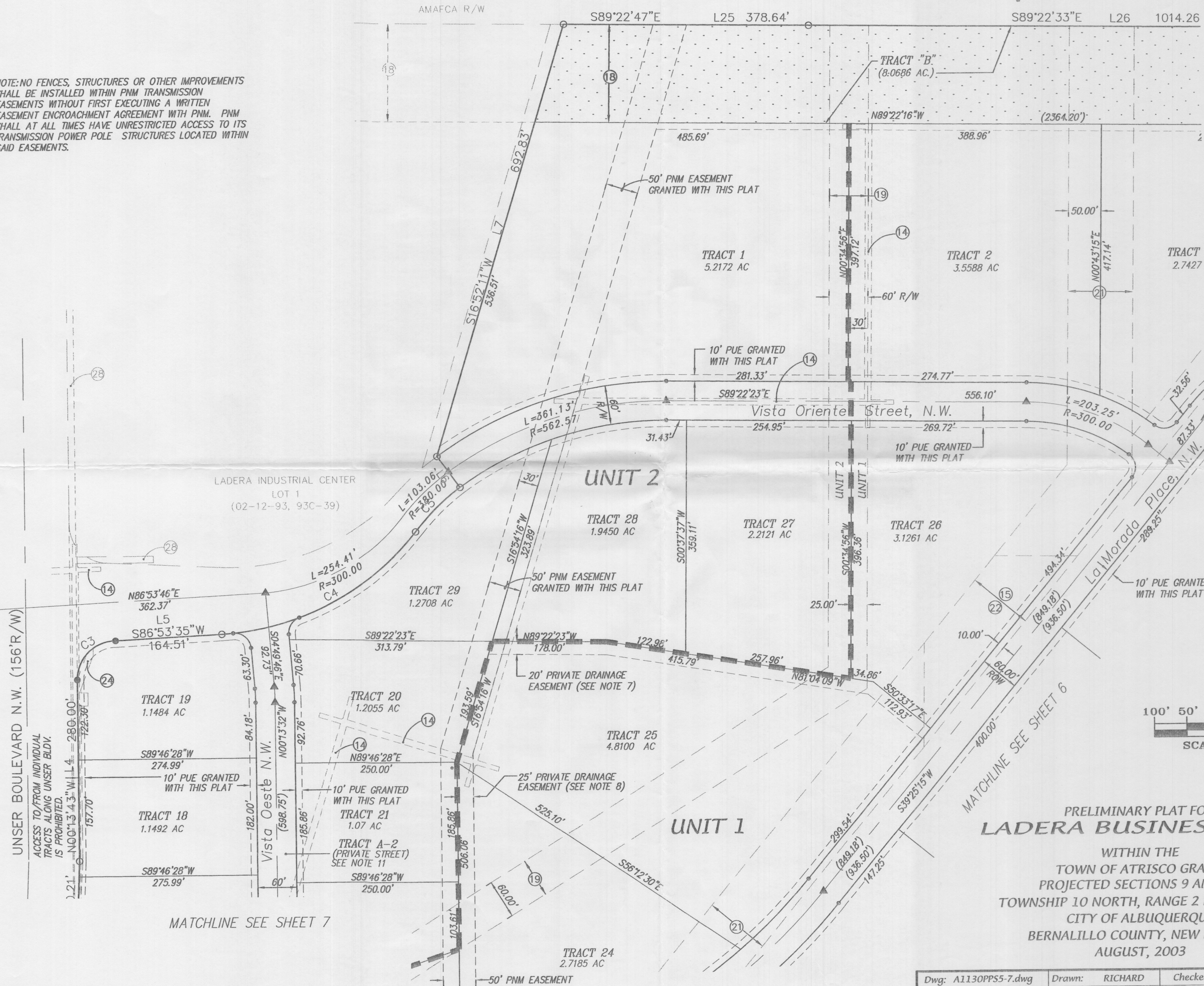
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NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

TRACT "F"
WEST RIDGE SUBDIVISION
UNIT 1
(05-13-03, 2003C-133)

LANDS OF
PLAINS ELECTRIC GENERATION
AND TRANSMISSION CO-OP, INC.
(01-30-79, BK D83A,
PG. 321-354)

OLD OURAY ROAD R/W
DEDICATED TO AMAFCA
(05-13-03, 2003C-133)



PRELIMINARY PLAT FOR
LADERA BUSINESS PARK
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

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Scale: 1"=100'	Date: 09/15/03	Job: A01130	

(05-13-03, 2003C-133)

LANDS OF PNM
(05-04-61, BK D593, PG. 223)

OLD DORR ROAD P/W
DEDICATED TO AMAFCA
(05-13-03, 2003C-133)

TRACT 2
(07-11-27, D7-187)

89°22'33"E L26 1014.26'

FOUND 1 3/4" PIPE L27 S89°19'36"E 268.09' FOUND 2" PIPE L29 L12

TRACT "B"
(8.0686 AC.)

EXISTING 100' PUBLIC
WATER, SANITARY SEWER &
DRAINAGE EASEMENT
(05-13-03, 2003C-133)

NOTE
SANITARY SEWER SERVICE
FOR TRACT 7 REQUIRES USE
OF A PRIVATE, ON-SITE LIFT
STATION

(2364.20')

292.11'

25.00'

324.66'

295.53'

295.00'

292.15'

(2364.20')

314.70'

L14

S89°23'10"E

198.46'

LADERA DAM
NO. 14
(08-31-95, 95C-247)

TRACT 7
4.4847 AC

NEW 30' PUBLIC SANITARY
SEWER & WATERLINE
EASEMENT GRANTED TO THE
CITY OF ALBUQUERQUE AND
PRIVATE ACCESS EASEMENT
GRANTED TO THE OWNER OF
TRACT C BY THIS PLAT AND
NEW 20' PUBLIC STORM
DRAIN EASEMENT GRANTED TO
THE CITY OF ALBUQUERQUE
BY THIS PLAT

TRACT 4
2.0927 AC

TRACT 5
2.0984 AC

TRACT 6
2.0838 AC

TRACT 3
2.7427 AC

10' PUE GRANTED
WITH THIS PLAT

10' PUE GRANTED
WITH THIS PLAT

N00°43'15"E
417.14'

N00°25'19"W

N00°38'36"E
309.86'

N00°38'36"E
309.86'

S00°54'57"E
285.66'

50.00'

N00°43'15"E
417.14'

L=203.25'
R=300.00

L=267.99'
R=300.00

L=87.33'
R=300.00

L=494.34'
R=936.50'

L=849.18'
R=936.50'

L=400.00'

L=60.00'

L=34.86'

L=172.93'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

L=400.00'

10' PUE GRANTED
WITH THIS PLAT

10' PUE GRANTED
WITH THIS PLAT

10' PUE GRANTED
WITH THIS PLAT

10' PUE GRANTED
WITH THIS PLAT

25' PRIVATE DRAINAGE
EASEMENT (SEE NOTE 10)

25' PRIVATE DRAINAGE
EASEMENT (SEE NOTE 10)

NEW 30' PUBLIC WATERLINE
EASEMENT GRANTED TO THE
CITY OF ALBUQUERQUE BY
THIS PLAT

UNIT 1

TRACT 9
7.2637 ACRES

TRACT 8
5.4612 AC

TRACT 11
31.2144 AC.

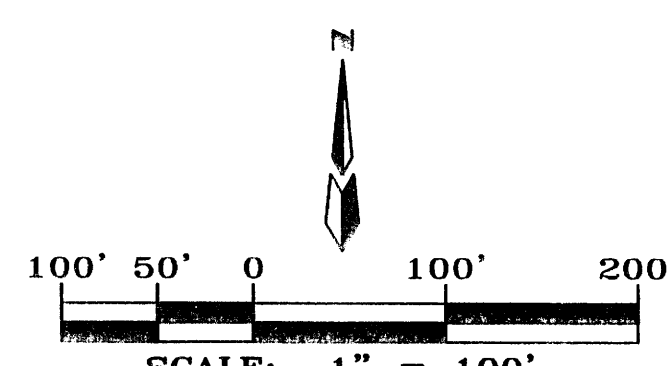
Vista Oriente
Street, N.W.

La Morada Place, N.W.

La Morada Place, N.W.

EXISTING 20' BIKE & JOGGING TRAIL P/W
(05-05-95, 95C-181)

INDOSAP ESTATES PHASE 2
(8/15/96, 96C-356)



PRELIMINARY PLAT FOR LADERA BUSINESS PARK

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OCTOBER, 2003

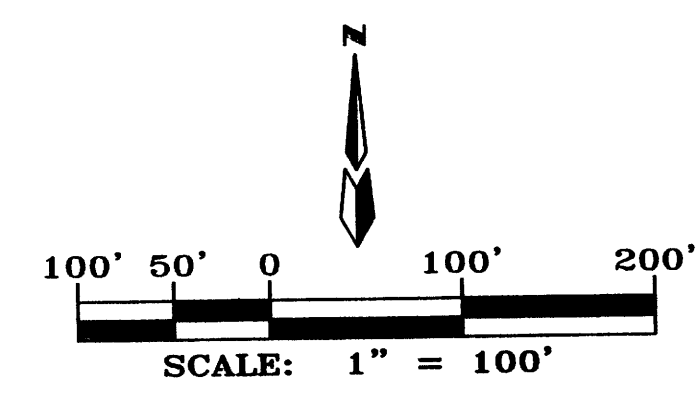
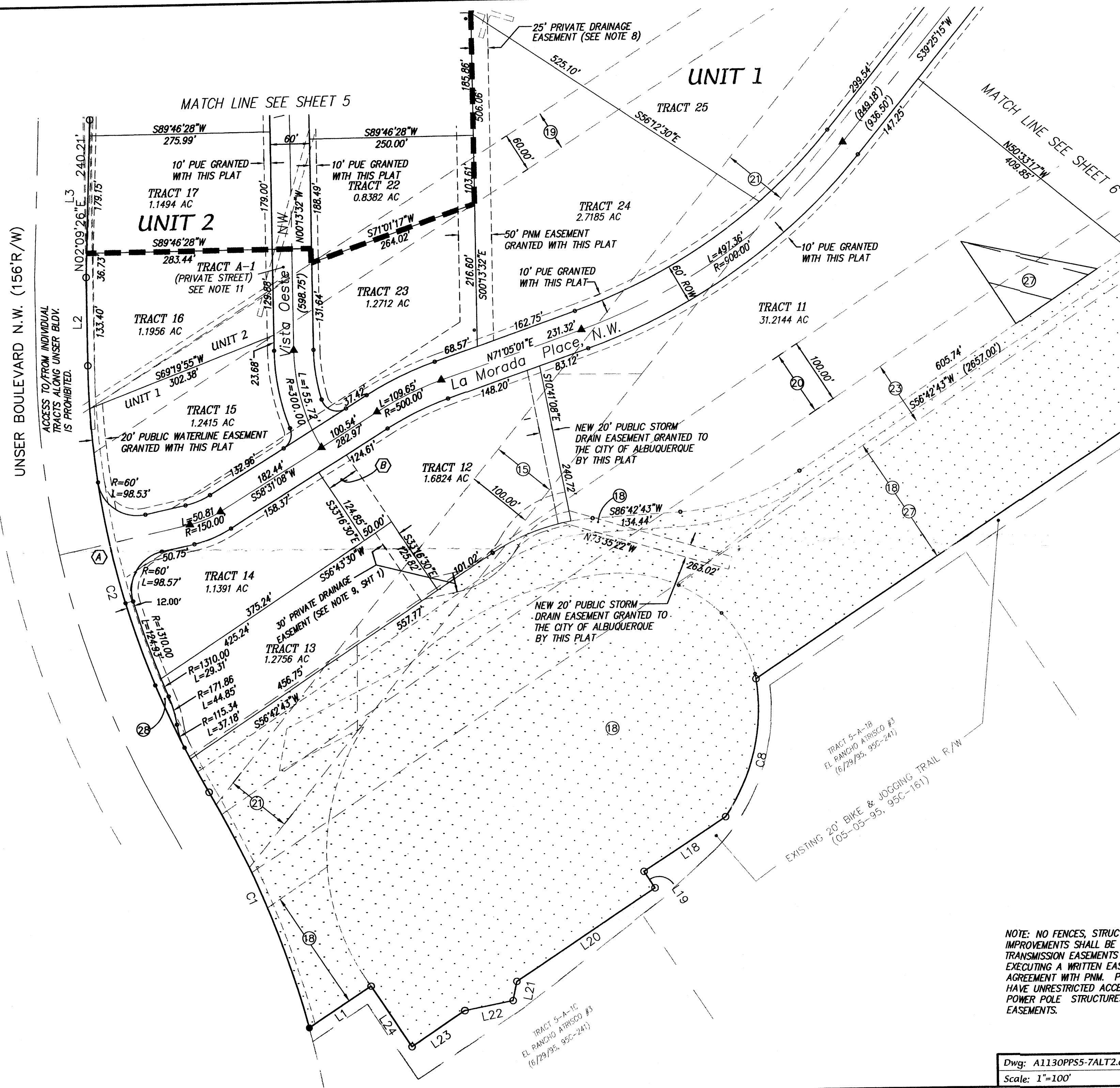
NOTE: NO FENCES, STRUCTURES OR OTHER
IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM
TRANSMISSION EASEMENTS WITHOUT FIRST
EXECUTING A WRITTEN EASEMENT ENCROACHMENT
AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES
HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION
POWER POLE STRUCTURES LOCATED WITHIN SAID
EASEMENTS.

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Scale: 1"=100'	Date: 10/06/03	Job: A01130	

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PRELIMINARY PLAT FOR
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WITHIN THE
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PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2003



KEYED NOTES

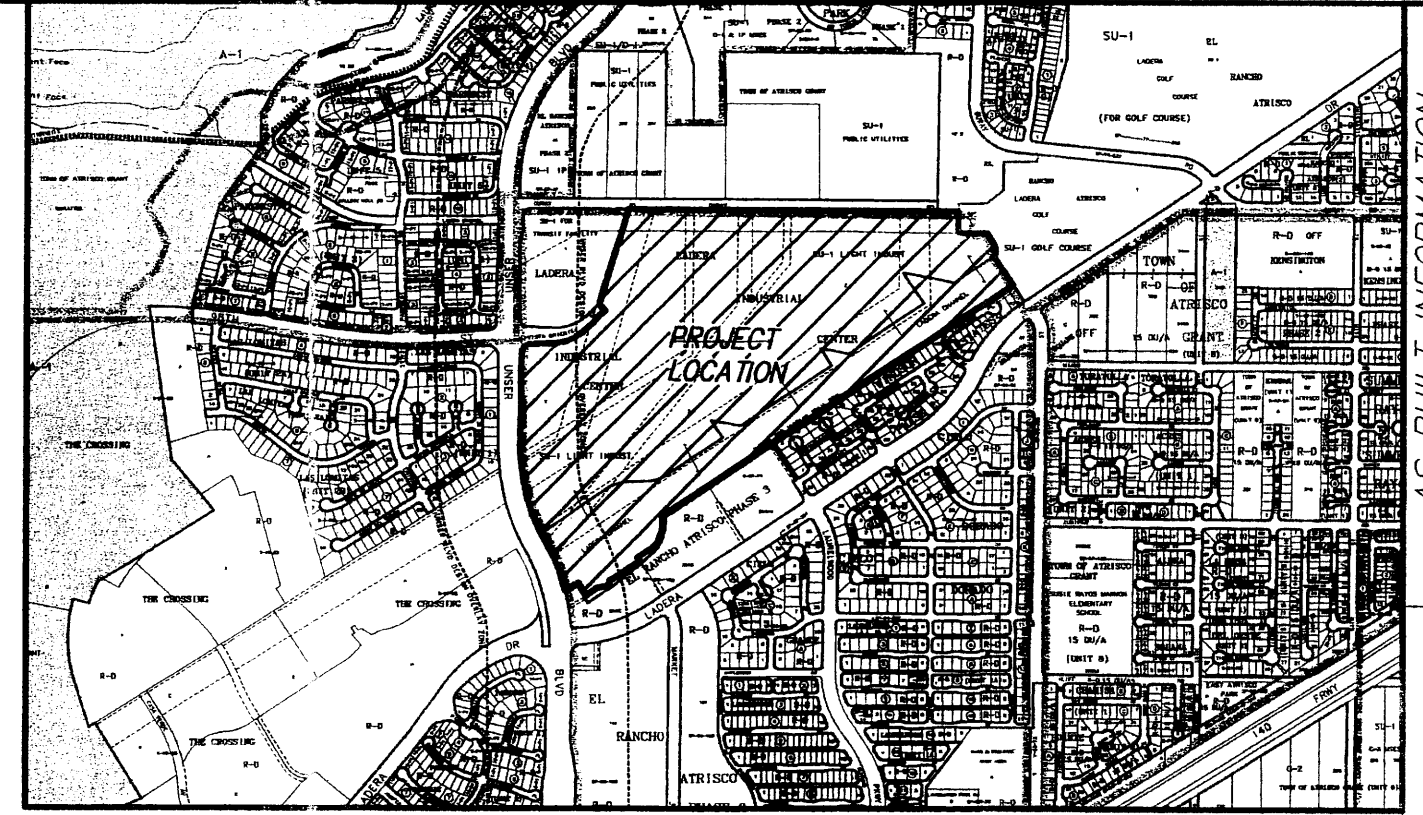
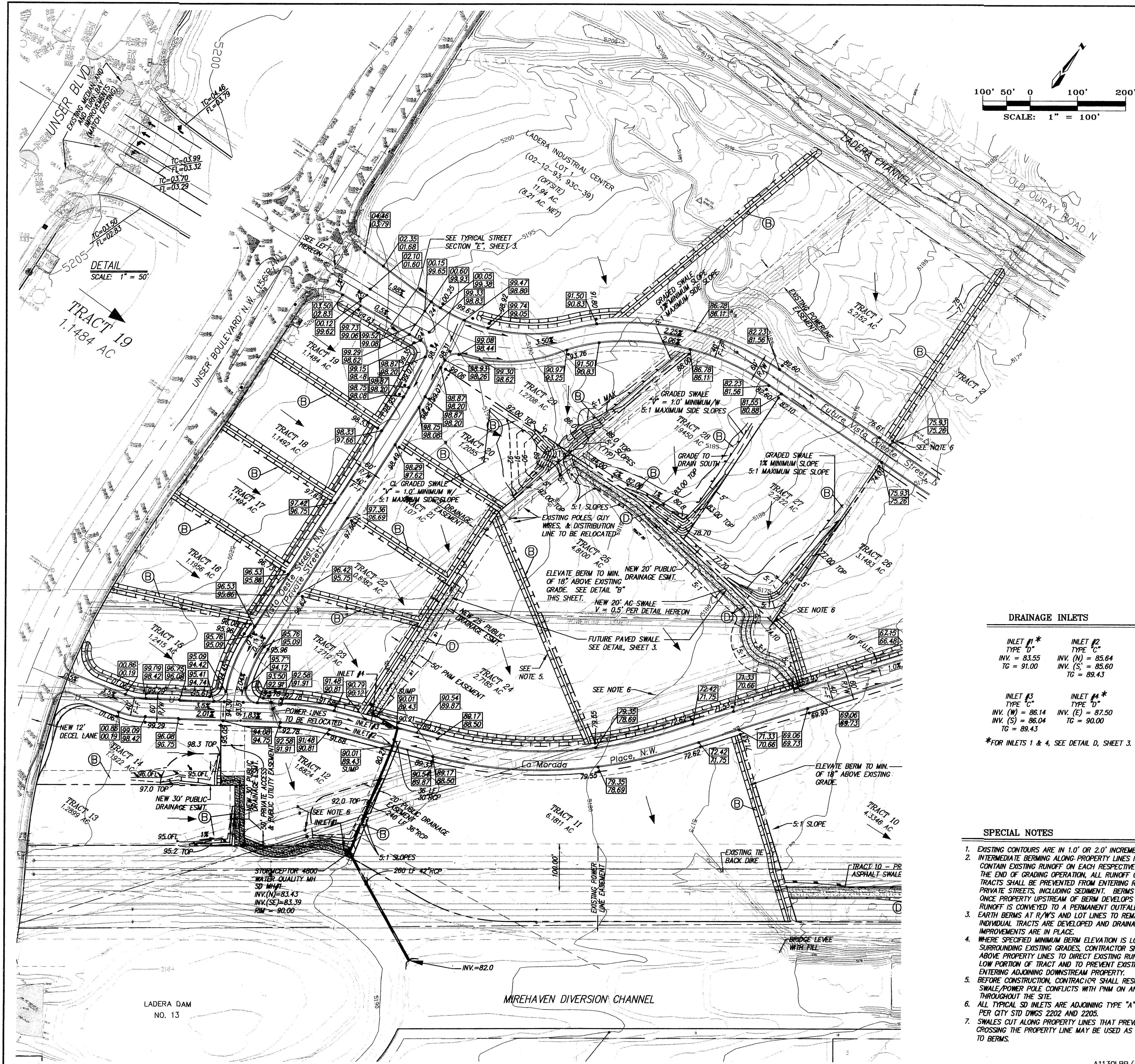
- (A) LA MORADA PLACE IS TO BE A RIGHT-IN, RIGHT-OUT INGRESS AND EGRESS ONLY.
- (B) 50' PRIVATE ACCESS, WATER & SANITARY SEWER & PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT. PRIVATE EASEMENTS TO JOINTLY BENEFIT AND BE MAINTAINED BY THE OWNERS OF TRACTS 12-14.

NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

Dwg: A1130PP5-7ALT2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 7 of 7
Scale: 1"=100'	Date: 10/06/03	Job: A01130	

F:\A01JOB\A1130\pp\PRELIM2003\A1130PP5-7ALT2.dwg, 10/06/03 09:20:50 AM, PLOTTED BY RDO

Scanned 4/17/06 CS



VICINITY MAP ZONE MAPS: H-9, H-10

PROJ 1001523

LEGEND

- 14.50 NEW SPOT ELEVATION
- ▭ 72.42 NEW TOP OF CURB ELEVATION
- ▭ 71.75 NEW FLOWLINE ELEVATION
- ▭ 6" NEW 6" WIDE VALLEYS GUTTER
- ▭ NEW STANDARD 8" CURB AND GUTTER
- ▭ PROPERTY LINE
- ▭ PROPOSED GRADED SWALE
- ▭ NEW SLOPE
- ▭ 36" NEW STORM DRAIN LINE
- ▭ NEW STORM DRAIN MANHOLE
- ▭ ALLOWABLE DISCHARGE FROM LOT
- ▭ DEVELOPED RUNOFF DISCHARGE POINT. SEE DISCHARGE TABLE SHEET 3.
- ⊙ TYPICAL TEMPORARY BERM. SEE DETAIL SHEET 3
- ⊙ PROPOSED PAVED SWALE. SEE DETAIL SHEET 3.
- 5115 EXISTING CONTOUR (MAJOR)
- 5118 EXISTING CONTOUR (MINOR)
- 98.00 EXISTING SPOT ELEVATION
- ▭ EXISTING CURB
- ▭ EXISTING CONCRETE/SIDEWALK
- ▭ EXISTING WALL OR HEAD WALL
- ▭ EXISTING GUARDRAIL
- ▭ EXISTING BOLLARD
- ▭ EXISTING SIGN
- ▭ EXISTING CHAIN LINK FENCE
- ▭ EXISTING BARR WIRE FENCE
- ▭ EXISTING SANITARY SEWER MANHOLE
- ▭ EXISTING WATER VALVE
- ▭ EXISTING WATER MANHOLE
- ▭ EXISTING FIRE HYDRANT
- ▭ EXISTING ELECTRIC TRANSFORMER
- ▭ EXISTING ELECTRIC PULLBOX/METER
- ▭ EXISTING OVERHEAD ELECTRIC LINE
- ▭ EXISTING POWER POLE
- ▭ EXISTING POWER POLES
- ▭ EXISTING GUY WIRE
- ▭ EXISTING STREET LIGHT
- ▭ EXISTING TRAFFIC LIGHT
- ▭ EXISTING DROP INLET
- ▭ EXISTING TELEPHONE MANHOLE
- ▭ EXISTING TELEPHONE PEDESTAL
- ▭ EXISTING CABLE T.V. PEDESTAL
- ▭ EXISTING STORM DRAIN MANHOLE

DRAINAGE INLETS

INLET #	TYPE	INV.	TC
INLET #1*	TYPE "D"	83.55	91.00
INLET #2	TYPE "C"	85.64	85.60
		89.43	
INLET #3	TYPE "C"	86.14	88.43
INLET #4*	TYPE "D"	87.50	90.00
		88.04	

*FOR INLETS 1 & 4, SEE DETAIL D, SHEET 3.

SPECIAL NOTES

- EXISTING CONTOURS ARE IN 1.0' OR 2.0' INCREMENTS.
- INTERMEDIATE BERMING ALONG PROPERTY LINES IS DESIGNED TO CONTAIN EXISTING RUNOFF ON EACH RESPECTIVE TRACT. AT THE END OF GRADING OPERATION, ALL RUNOFF GENERATED WITHIN TRACTS SHALL BE PREVENTED FROM ENTERING RIGHT OF WAY OR PRIVATE STREETS, INCLUDING SEDIMENT. BERMS ARE TO BE REMOVED ONCE PROPERTY UPSTREAM OF BERM DEVELOPS AND DEVELOPED RUNOFF IS CONVEYED TO A PERMANENT OUTFALL.
- EARTH BERMS AT R.O.W'S AND LOT LINES TO REMAIN UNTIL INDIVIDUAL TRACTS ARE DEVELOPED AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
- WHERE SPECIFIED MINIMUM BERM ELEVATION IS LOWER THAN SURROUNDING EXISTING GRADES, CONTRACTOR SHALL CUT SWALES ABOVE PROPERTY LINES TO DIRECT EXISTING RUNOFF TOWARD LOW PORTION OF TRACT AND TO PREVENT EXISTING FLOW FROM ENTERING ADJOINING DOWNSTREAM PROPERTY.
- BEFORE CONSTRUCTION, CONTRACTOR SHALL RESOLVE ANY POTENTIAL SWALE/POWER POLE CONFLICTS WITH PNM ON AN INDIVIDUAL BASIS THROUGHOUT THE SITE.
- ALL TYPICAL SD INLETS ARE ADJOINING TYPE "A" AND TYPE "C" PER CITY STD DWGS 2202 AND 2205.
- SWALES CUT ALONG PROPERTY LINES THAT PREVENT RUN-OFF FROM CROSSING THE PROPERTY LINE MAY BE USED AS AN ALTERNATE TO BERMS.

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

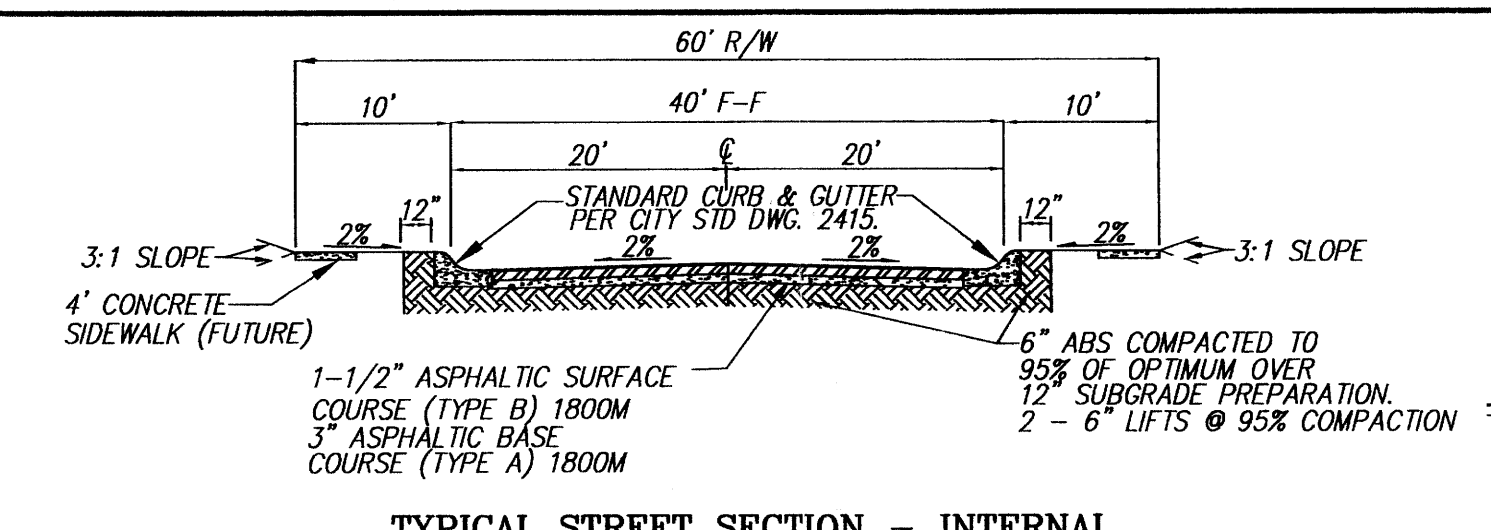
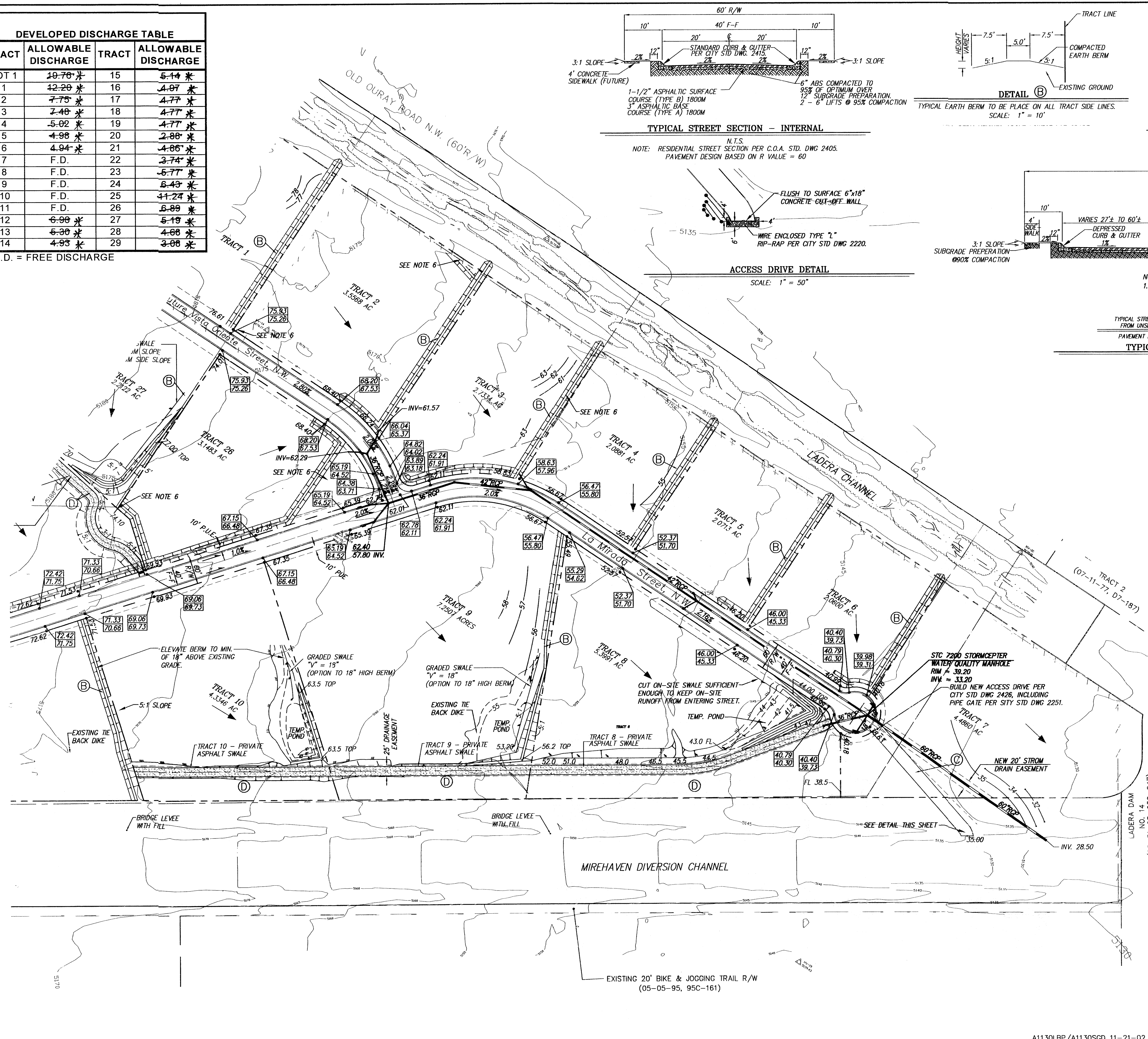
TITLE: **LADERA BUSINESS PARK**
MASTER GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

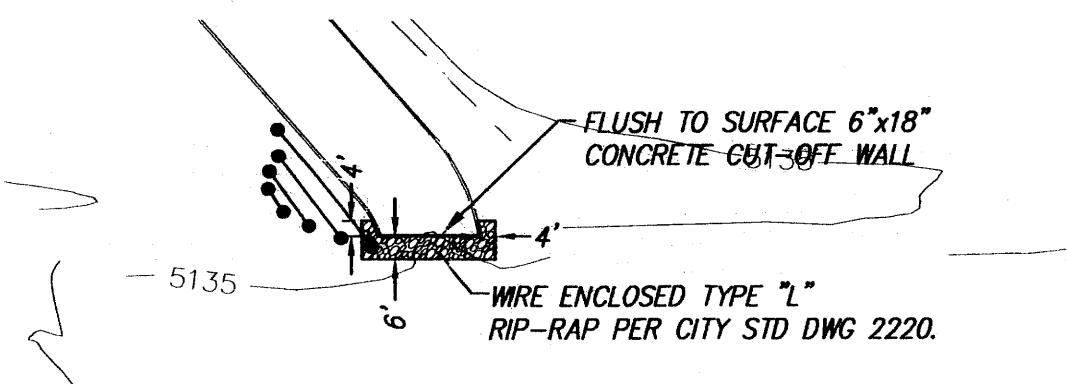
CITY PROJECT NO. **693281** ZONE MAP NO. **H-9,H10** SHEET **7** OF **34**

DEVELOPED DISCHARGE TABLE			
TRACT	ALLOWABLE DISCHARGE	TRACT	ALLOWABLE DISCHARGE
LOT 1	19.76 *	15	5.14 *
1	12.20 *	16	4.97 *
2	7.75 *	17	4.77 *
3	7.48 *	18	4.77 *
4	5.02 *	19	4.77 *
5	4.98 *	20	2.88 *
6	4.94 *	21	4.86 *
7	F.D.	22	3.74 *
8	F.D.	23	5.77 *
9	F.D.	24	6.43 *
10	F.D.	25	41.24 *
11	F.D.	26	6.89 *
12	6.98 *	27	5.19 *
13	6.30 *	28	4.68 *
14	4.93 *	29	3.08 *

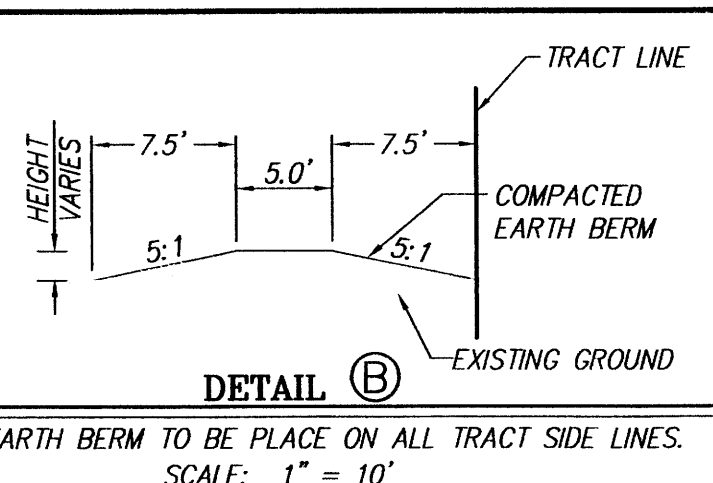
* F.D. = FREE DISCHARGE



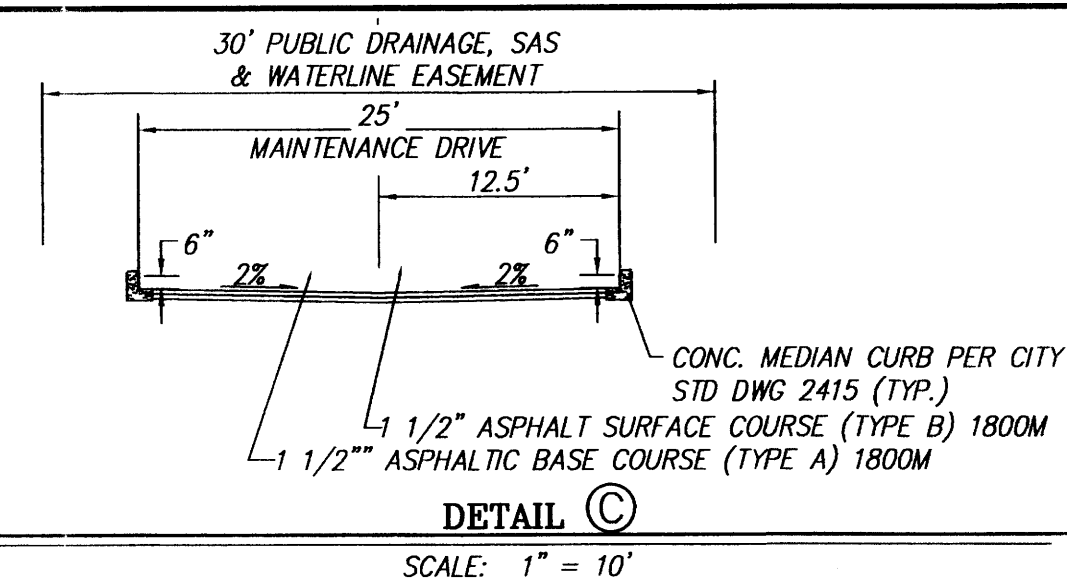
N.T.S.
NOTE: RESIDENTIAL STREET SECTION PER C.O.A. STD. DWG 2405.
PAVEMENT DESIGN BASED ON R VALUE = 60



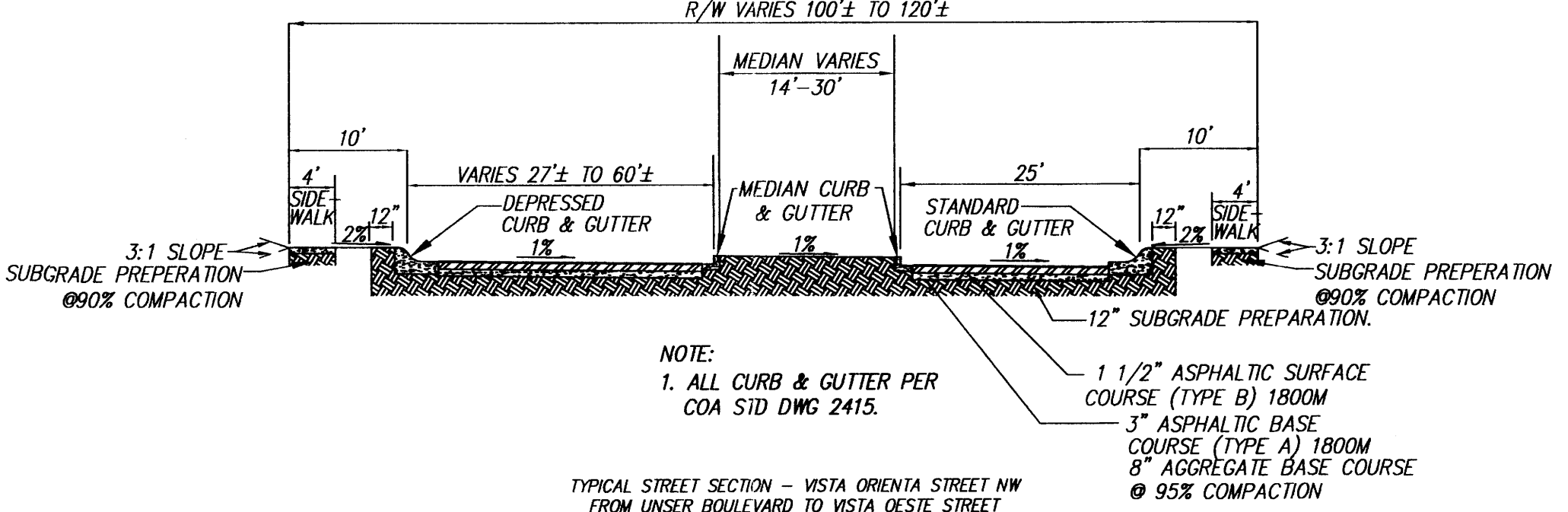
N.T.S.
SCALE: 1" = 50"



TYPICAL EARTH BERM TO BE PLACED ON ALL TRACT SIDE LINES.
SCALE: 1" = 10"

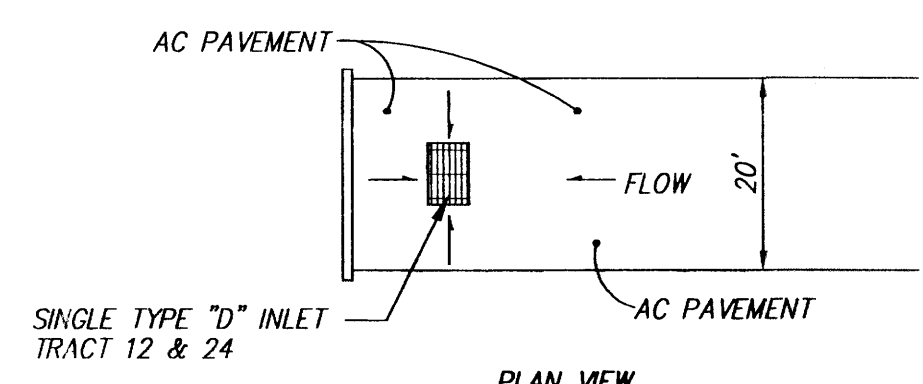
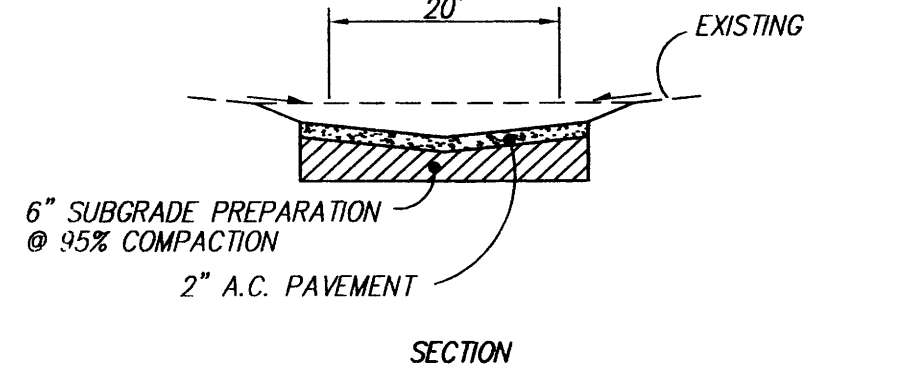


SCALE: 1" = 10"



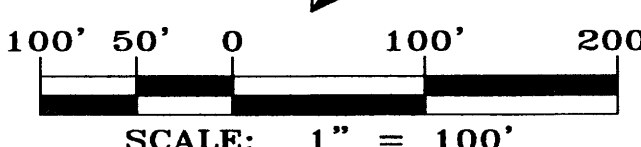
NOTE:
1. ALL CURB & GUTTER PER COA STD DWG 2415.
PAVEMENT DESIGN BASED ON R VALUE = 60

N.T.S.



SCALE: 1" = 100"

MINIMUM ELEVATION OF BERM AROUND LOWER PART OF TRACT					
TRACT	MINIMUM BERM ELEVATION	TRACT	MINIMUM BERM ELEVATION	TRACT	MINIMUM BERM ELEVATION
LOT 1	193.5	10	SEE PLAN	20	192
1	178 E	11	SEE PLAN	21	193
2	170 E	12	191.5 E	22	193
3	163 E	13	196 E&S	23	191
4	156 E	14	199	24	184
5	150 E	15	200	25	178
6	142 E	16	200	26	170
7	NA	17	200	27	177
8	NA	18	201	28	183
9	156	19	200	29	188



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: LADERA BUSINESS PARK
MASTER GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 693281 ZONE MAP NO. H9,H10 SHEET 8 OF 34

AS-BUILT INFORMATION

CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S	DATE
APPROVED BY	DATE
VERIFIED BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	RECORDED BY
	NO.

ENGINEER'S SEAL

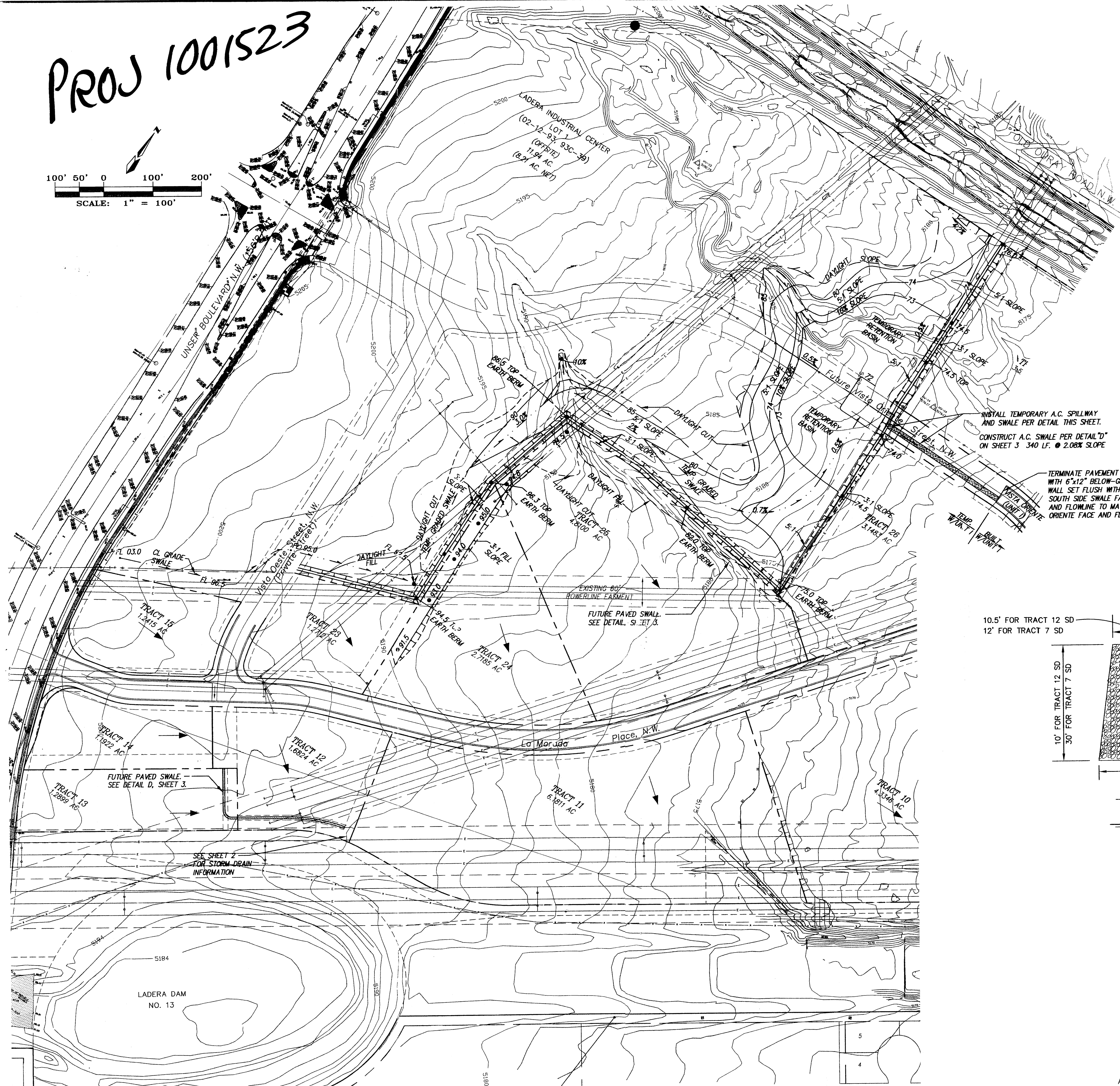
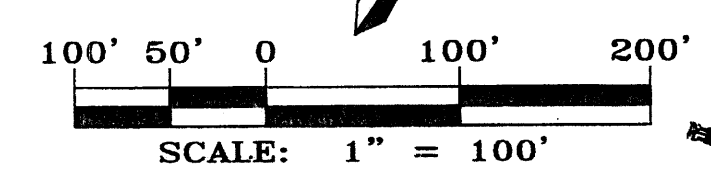
REVISIONS

NO.	DATE	REMARKS

DESIGNED BY: DBS/MMM DATE: 3/02
DRAWN BY: NMM DATE: 3/02
CHECKED BY: DMG DATE: 3/02

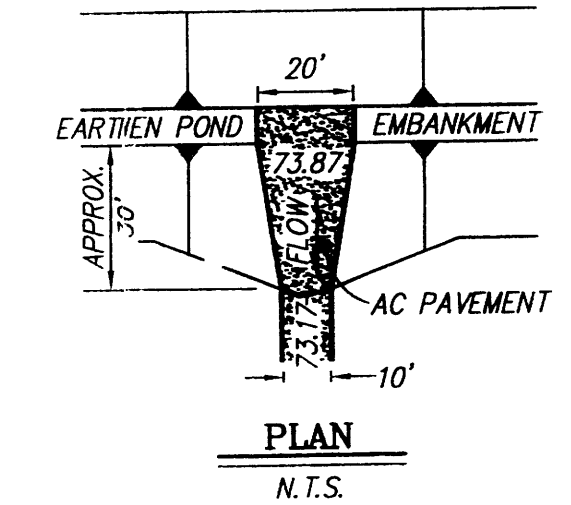
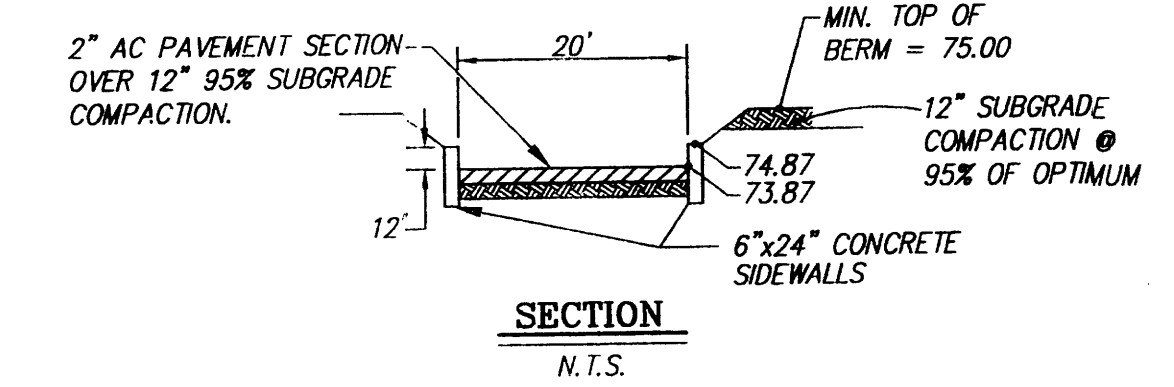
Revised 11-21-02

PROJ 1001523

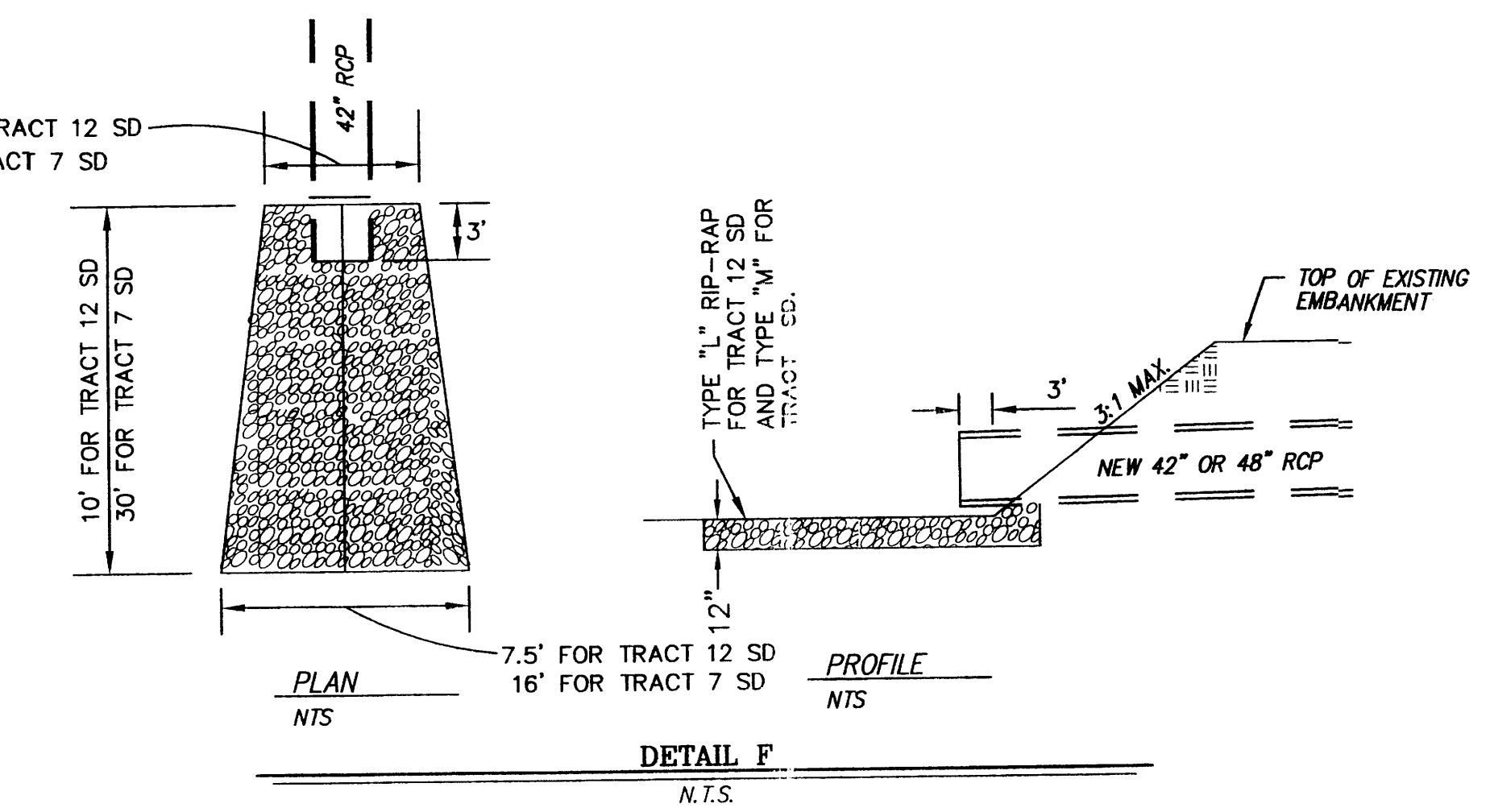


SPECIAL NOTES - GRADING & DRAINAGE

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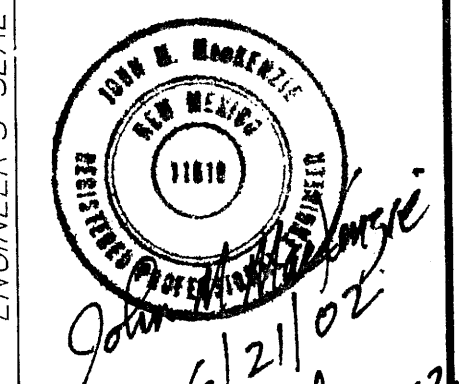


TEMPORARY AC SPILLWAY AND SWALE
N.T.S.



DETAIL F
N.T.S.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STATION	DATE	NO.	BY	NO.	DATE
WORK STATED BY	DATE	STATION 3-H10	DATE				
FIELD ACCEPTANCE BY	DATE	SECTION OF LADERA & UNSER BLVD. TO REACH STATION FROM INTERSECTION OF L-40 & UNSER BLVD. GO NORTH ON UNSER 0.75 MILES TO LADERA OR THE STATION IS NE OF THE INTERSECTION. THE STATION MARK IS A STANDARD ACS BRASS CAP STAMPED "3-H10"	DATE				
FIELD ELEVATION BY	DATE	SET FLUSH IN THE CONCRETE SURFACE OF THE SPILLWAY.	DATE				
CORRECTED BY	DATE		DATE				
RECORDED BY	DATE		DATE				
			DATE				



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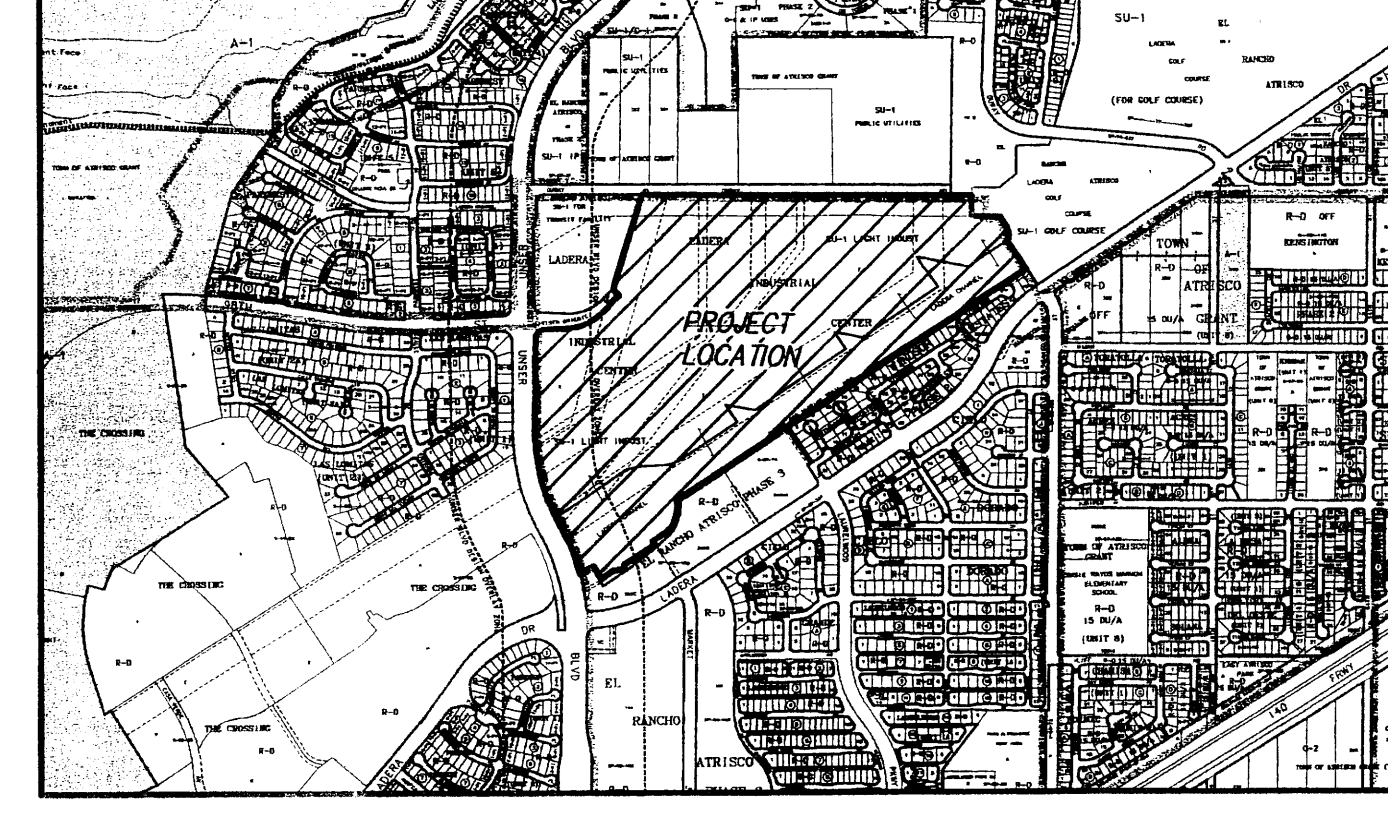
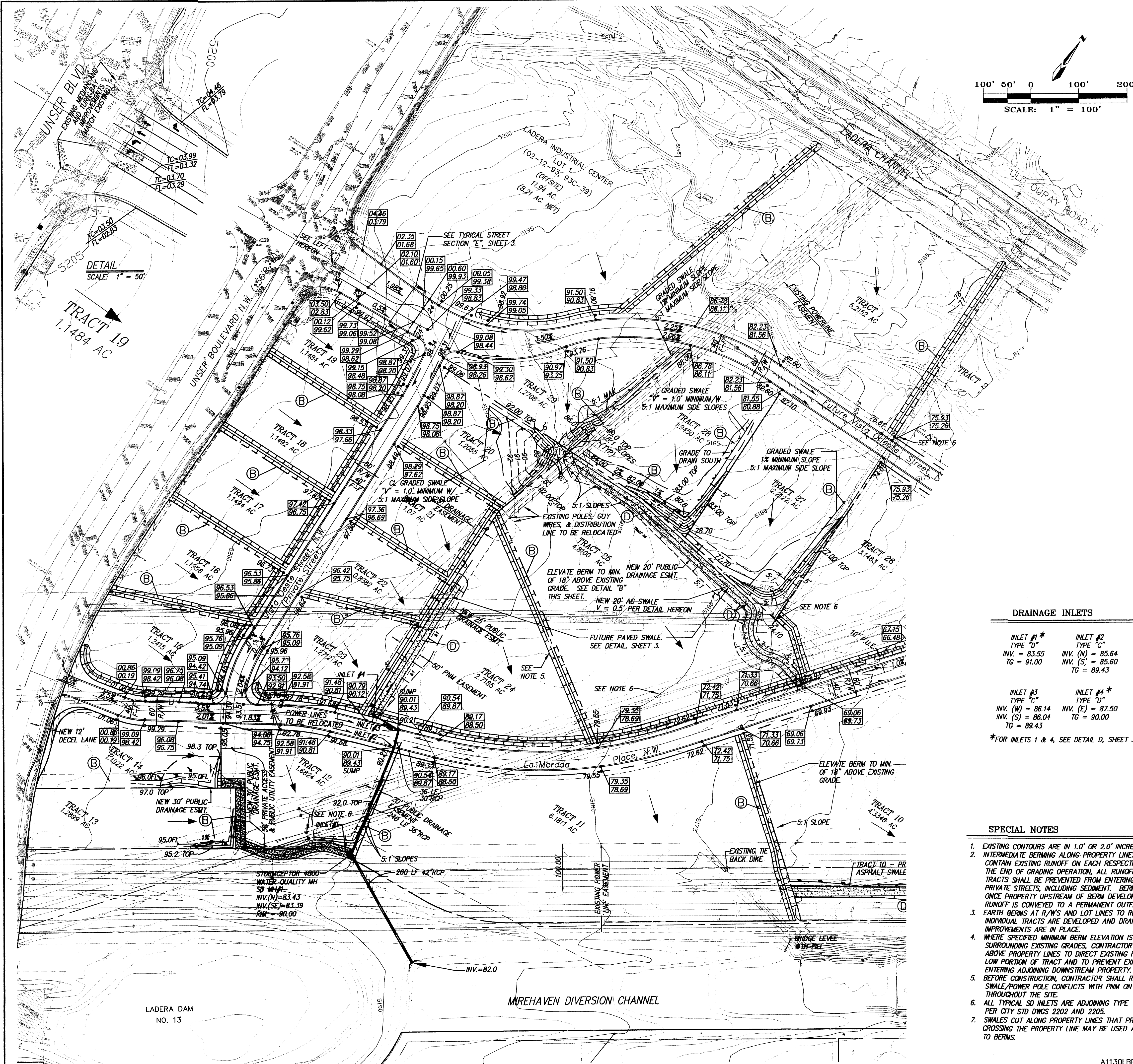
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **LADERA BUSINESS PARK GRADING AND DRAINAGE PLAN INTERIM DEVELOPMENT - UNIT I**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

DESIGNED BY: **DBS/JMM** DATE: **3/02**
DRAWN BY: **NHM** DATE: **3/02**
CHECKED BY: **DMG** DATE: **3/02**

CITY PROJECT NO. _____ ZONE MAP NO. **H-9,H10** SHEET **6** OF **34**



VICINITY MAP ZONE MAPS: H-9, H-10.

LEGEND

- 14.50 NEW SPOT ELEVATION
- 72.42 NEW TOP OF CURB ELEVATION
- 71.75 NEW FLOWLINE ELEVATION
- NEW 6" WIDE VALLEYS GUTTER
- NEW STANDARD 8" CURB AND GUTTER
- PROPERTY LINE
- PROPOSED GRADED SWALE
- NEW SLOPE
- 36" NEW STORM DRAIN LINE
- NEW STORM DRAIN MANHOLE
- ALLOWABLE DISCHARGE FROM LOT
- DEVELOPED RUNOFF DISCHARGE POINT. SEE DISCHARGE TABLE SHEET 3.
- TYPICAL TEMPORARY BERM. SEE DETAIL SHEET 3
- PROPOSED PAVED SWALE. SEE DETAIL SHEET 3.
- 5115 EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CURB
- EXISTING CONCRETE/SIDEWALK
- EXISTING WALL OR HEAD WALL
- EXISTING GUARDRAIL
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING CHAIN LINK FENCE
- EXISTING BARB WIRE FENCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC PULLBOX/METER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING POWER POLE
- EXISTING POWER POLES
- EXISTING GUY WIRE
- EXISTING STREET LIGHT
- EXISTING TRAFFIC LIGHT
- EXISTING DROP INLET
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING CABLE T.V. PEDESTAL
- EXISTING STORM DRAIN MANHOLE

DRAINAGE INLETS

INLET #1 *	INLET #2
TYPE "D"	TYPE "C"
INV. = 83.55	INV. (N) = 85.64
TG = 91.00	INV. (S) = 85.60
	TG = 89.43
INLET #3	INLET #4 *
INV. (W) = 86.14	INV. (E) = 87.50
INV. (S) = 86.04	INV. (S) = 86.04
TG = 89.43	TG = 90.00

*FOR INLETS 1 & 4, SEE DETAIL D, SHEET 3.

SPECIAL NOTES

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6. ALL TYPICAL SD INLETS ARE ADJOINING TYPE "A" AND TYPE "C" PER CITY STD DWGS 2202 AND 2205.
7. SWALES CUT ALONG PROPERTY LINES THAT PREVENT RUN-OFF FROM CROSSING THE PROPERTY LINE MAY BE USED AS AN ALTERNATE TO BERMS.

AS BUILT INFORMATION		BENCH MARKS		STATION "3-H10" IS LOCATED 4.5 MILES NW OF DOWNTOWN SW OF LADERA & UNSER BLVD. TO REACH STATION FROM INTERSECTION OF L-40 & UNSER BLVD. GO NORTH ON UNSER 0.75 MILES TO LADERA DR. THE STATION IS NE OF THE INTERSECTION. THE SET FLUSH IN THE CONCRETE SURFACE OF THE SPILLWAY. X=556,889.72, Y=1,493,922.96 (NAD 1983) ELEV=5,193.38 (NGVD29)	
CONTRACTOR	DATE	WORK	DATE	NO.	NO.
STAKED BY	DATE	STATIONED BY	DATE	NO.	NO.
FIELD ACCEPTANCE BY	DATE	FIELD FROM BY	DATE	NO.	NO.
DRAWN BY	DATE	CHECKED BY	DATE	NO.	NO.
DESIGNED BY	DATE	RECORDED BY	DATE	NO.	NO.
DRAWN BY	DATE	NO.	NO.	NO.	NO.
CHECKED BY	DATE	NO.	NO.	NO.	NO.

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PUBLIC WORKS DEPARTMENT

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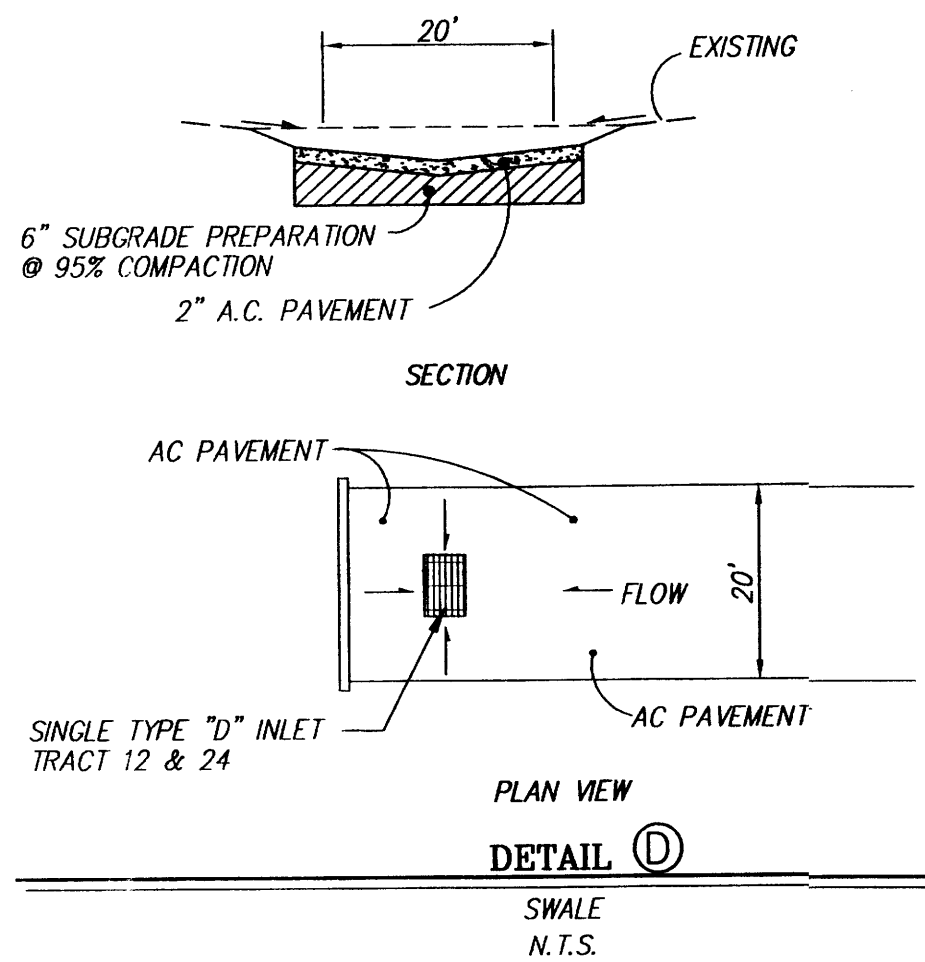
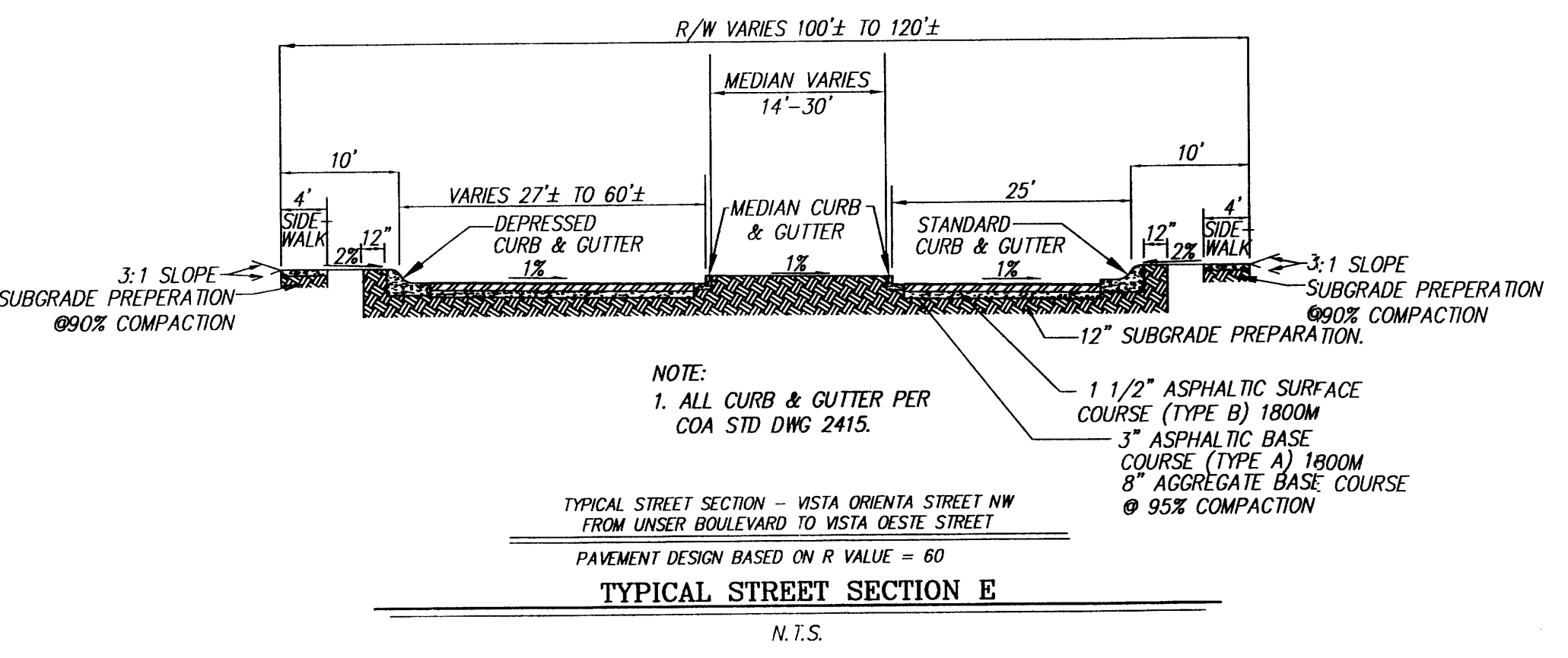
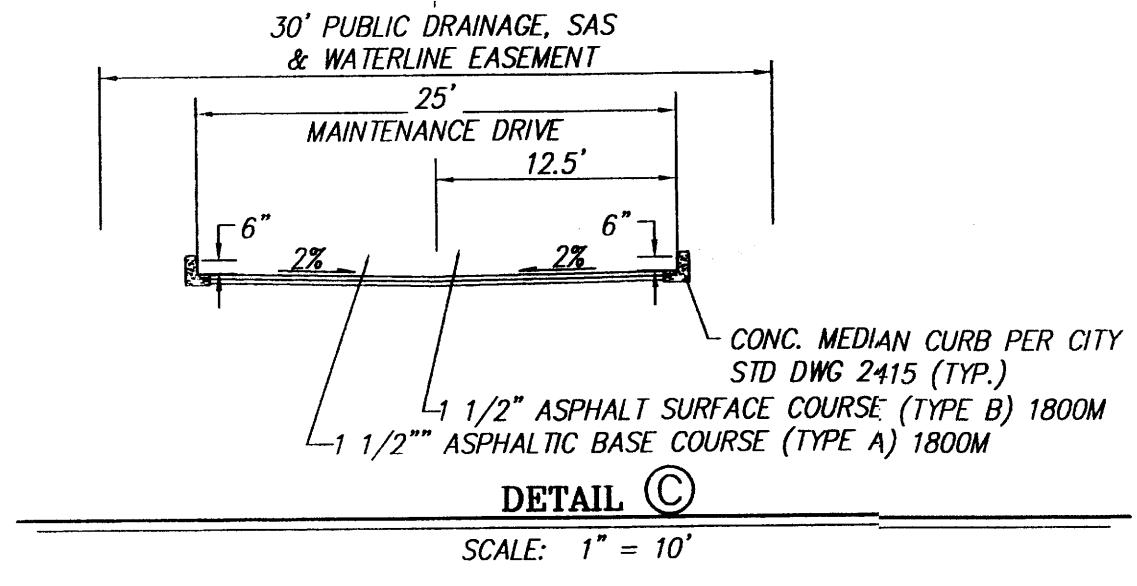
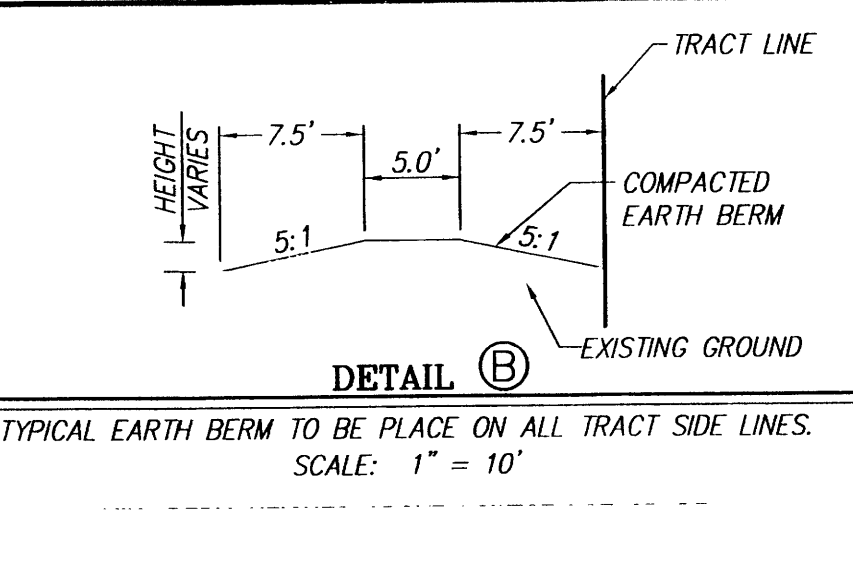
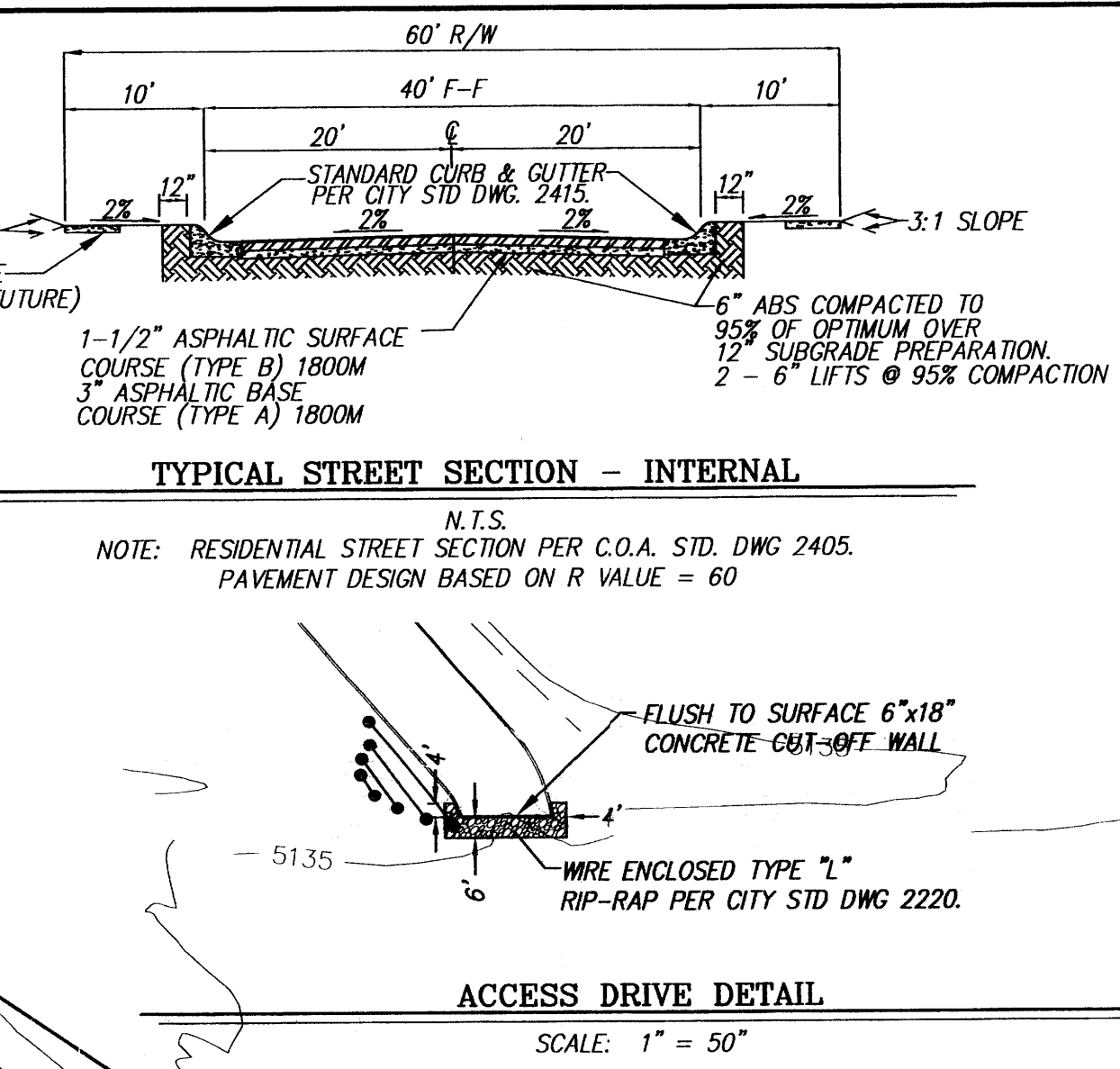
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

LAST DESIGN UPDATE

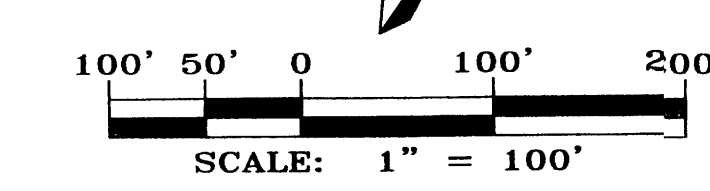
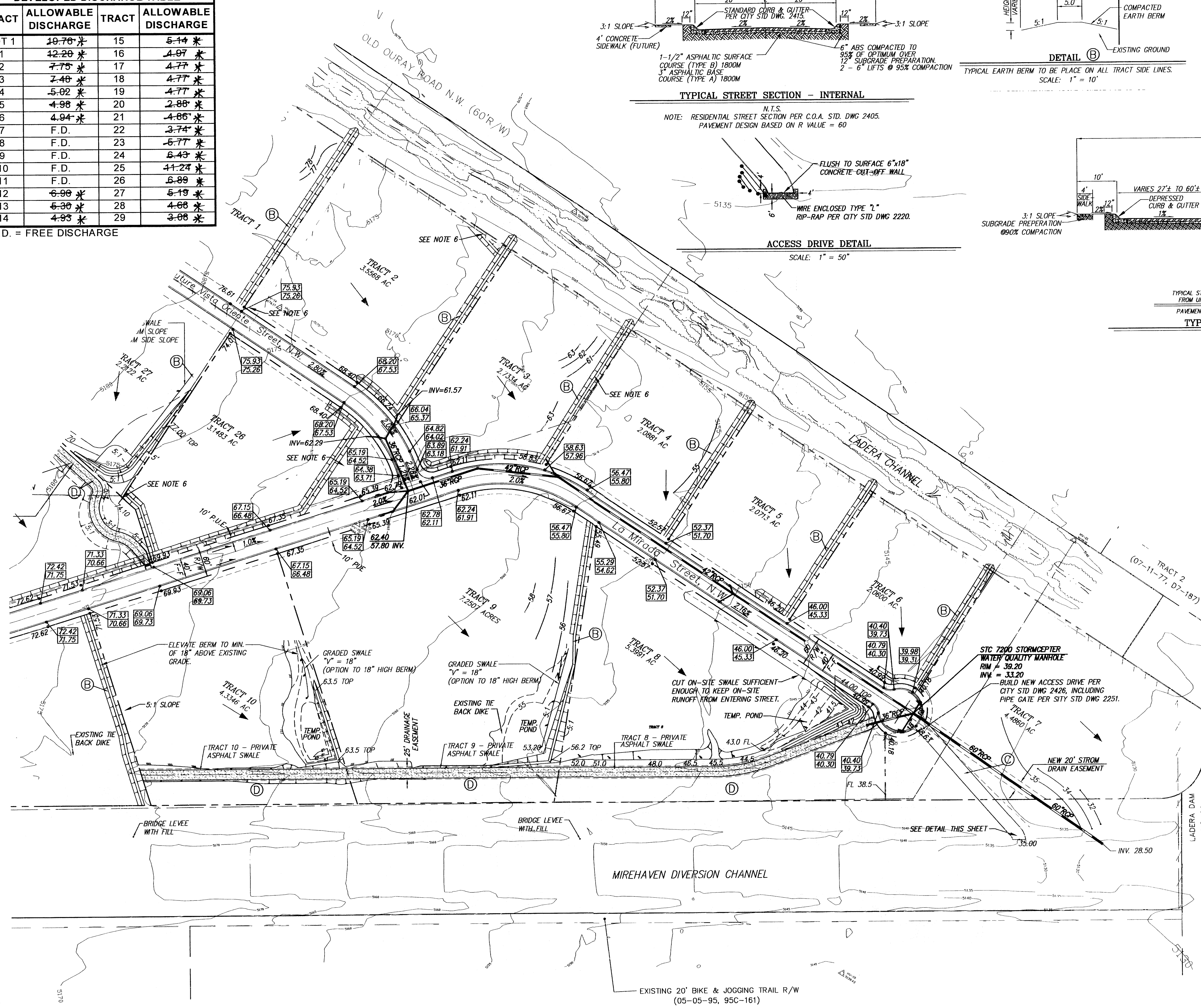
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
693281	H-9,H10	7	34

DEVELOPED DISCHARGE TABLE			
TRACT	ALLOWABLE DISCHARGE	TRACT	ALLOWABLE DISCHARGE
LOT 1	19.76 *	15	5.14 *
1	12.20 *	16	4.97 *
2	7.75 *	17	4.77 *
3	7.48 *	18	4.77 *
4	5.02 *	19	4.77 *
5	4.98 *	20	2.88 *
6	4.94 *	21	4.86 *
7	F.D.	22	3.74 *
8	F.D.	23	5.77 *
9	F.D.	24	5.43 *
10	F.D.	25	11.24 *
11	F.D.	26	5.89 *
12	6.96 *	27	5.19 *
13	5.30 *	28	4.68 *
14	4.93 *	29	3.68 *

* F.D. = FREE DISCHARGE



MINIMUM ELEVATION OF BERM AROUND LOWER PART OF TRACT					
TRACT	MINIMUM BERM ELEVATION	TRACT	MINIMUM BERM ELEVATION	TRACT	MINIMUM BERM ELEVATION
LOT 1	193.5	10	SEE PLAN	20	192
1	178 E	11	SEE PLAN	21	193
2	170 E	12	191.5 E	22	193
3	163 E	13	196 E&S	23	191
4	156 E	14	199	24	184
5	150 E	15	200	25	178
6	142 E	16	200	26	170
7	NA	17	200	27	177
8	NA	18	201	28	183
9	156	19	200	29	188



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MASTER GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
693281	H9,H10	8	34

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	STATION	MARK	NO.	DATE
		STATION "3-HI0" IS LOCATED 4.5 MILES NW OF DOWNTOWN SW OF LADERA & GOLF COURSE. TO REACH STATION FROM INTERSECTION OF I-40 & UNSER BLVD. GO NORTH ON UNSER 0.75 MILES TO LADERA DR. THE STATION IS NE OF THE INTERSECTION. THE STATION MARK IS A STANDARD ACS BRASS CAP STAMPED "3-HI0" SET FLUSH IN THE CONCRETE SURFACE OF THE SPILLWAY. X=556,888.72, Y=1,493,929.96 (NAD 1982) ELEV=5193.58 (NOV029)			

Engineer's Seal: *Solan M. Mackenzie*

Revised 11.21.02

PROJ 1001523

SDP for 5
PRELIMINARY
APPROVED BY
ON 10/8/03

planned
4/17/06
CS

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.8 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS:
PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS:
VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS:
A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT:
AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN:
THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

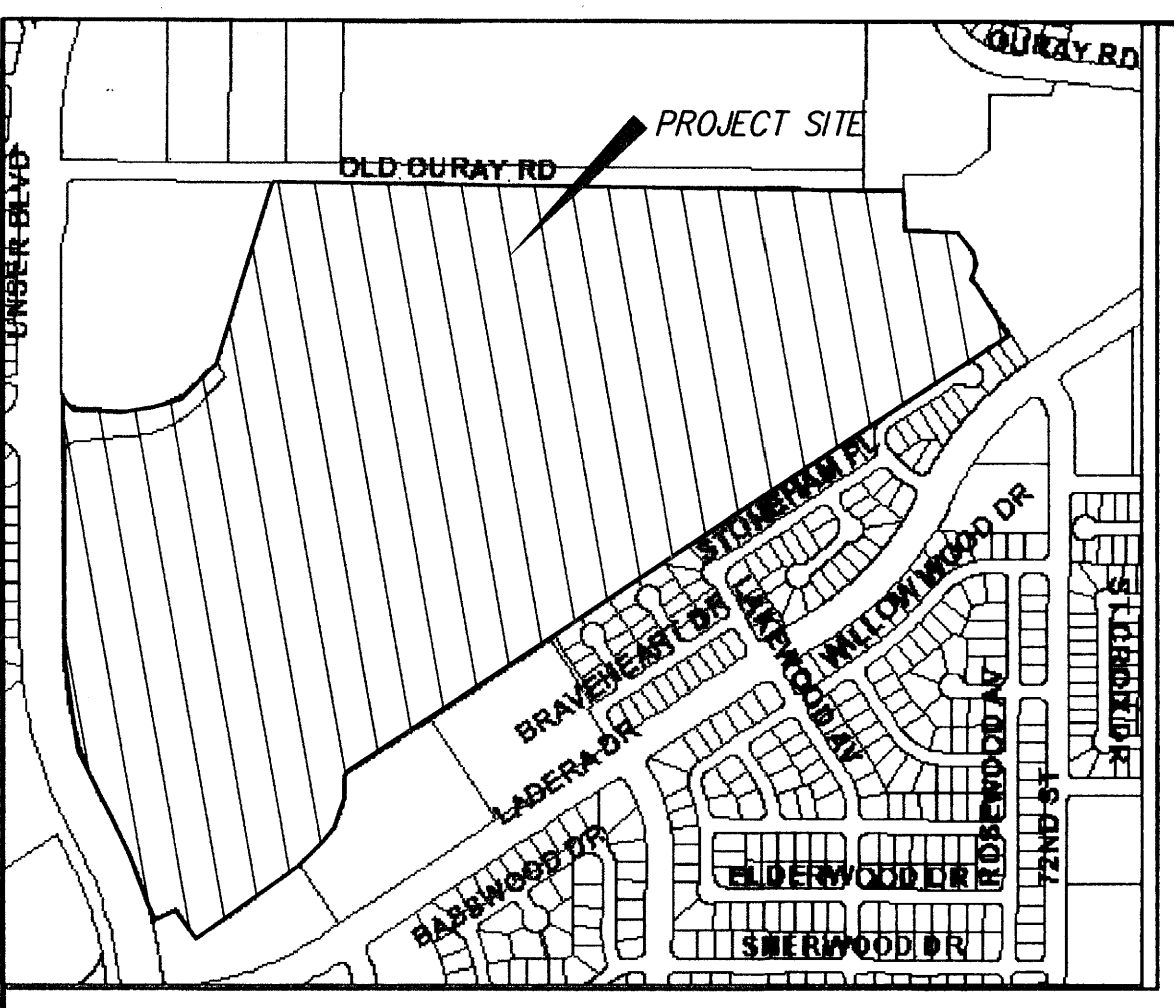
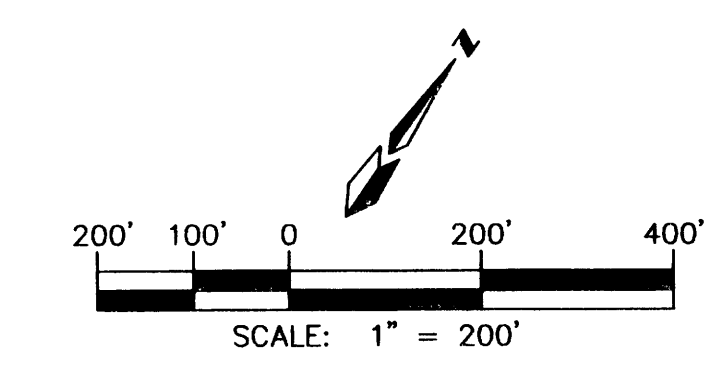
MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

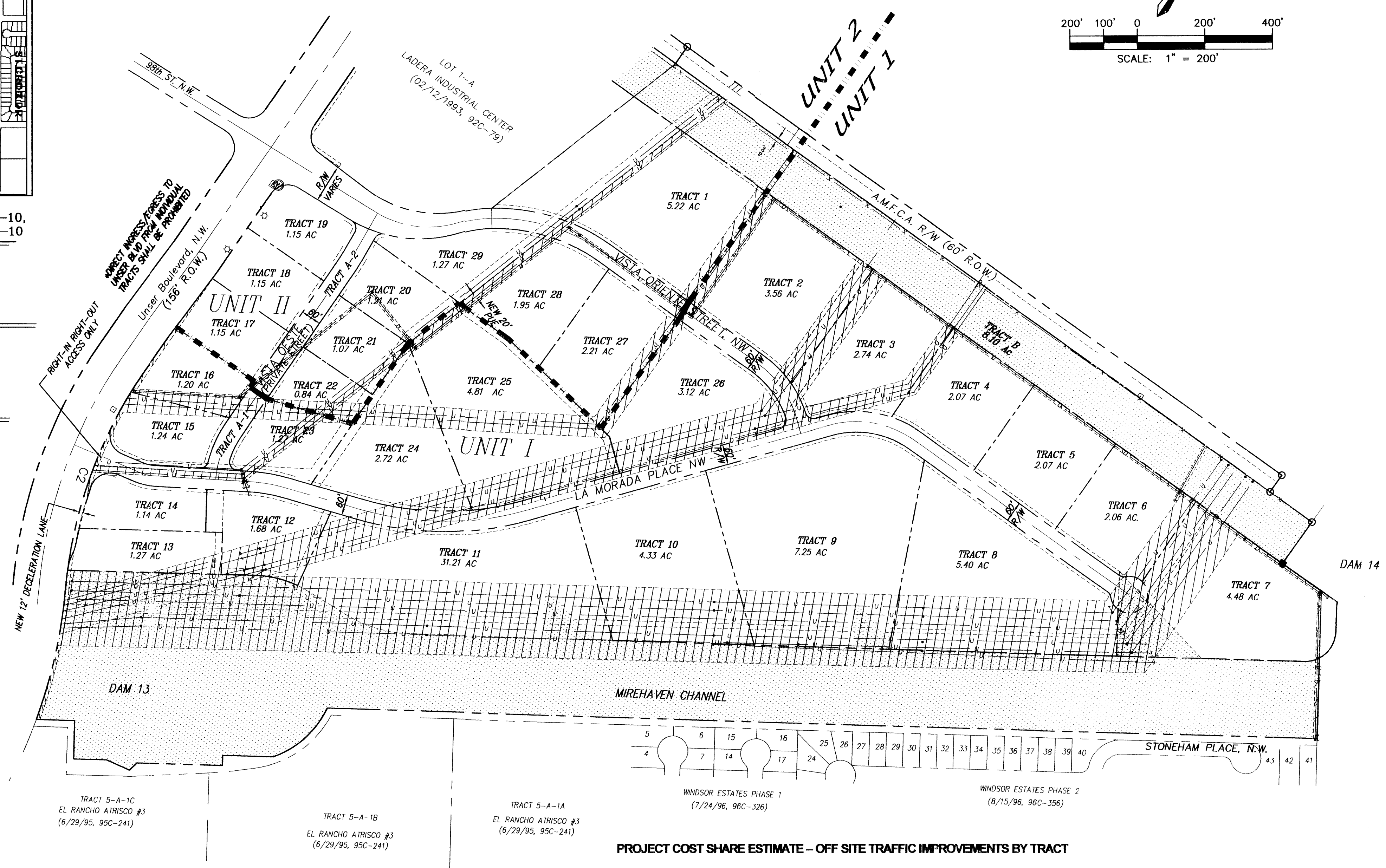
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-9801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



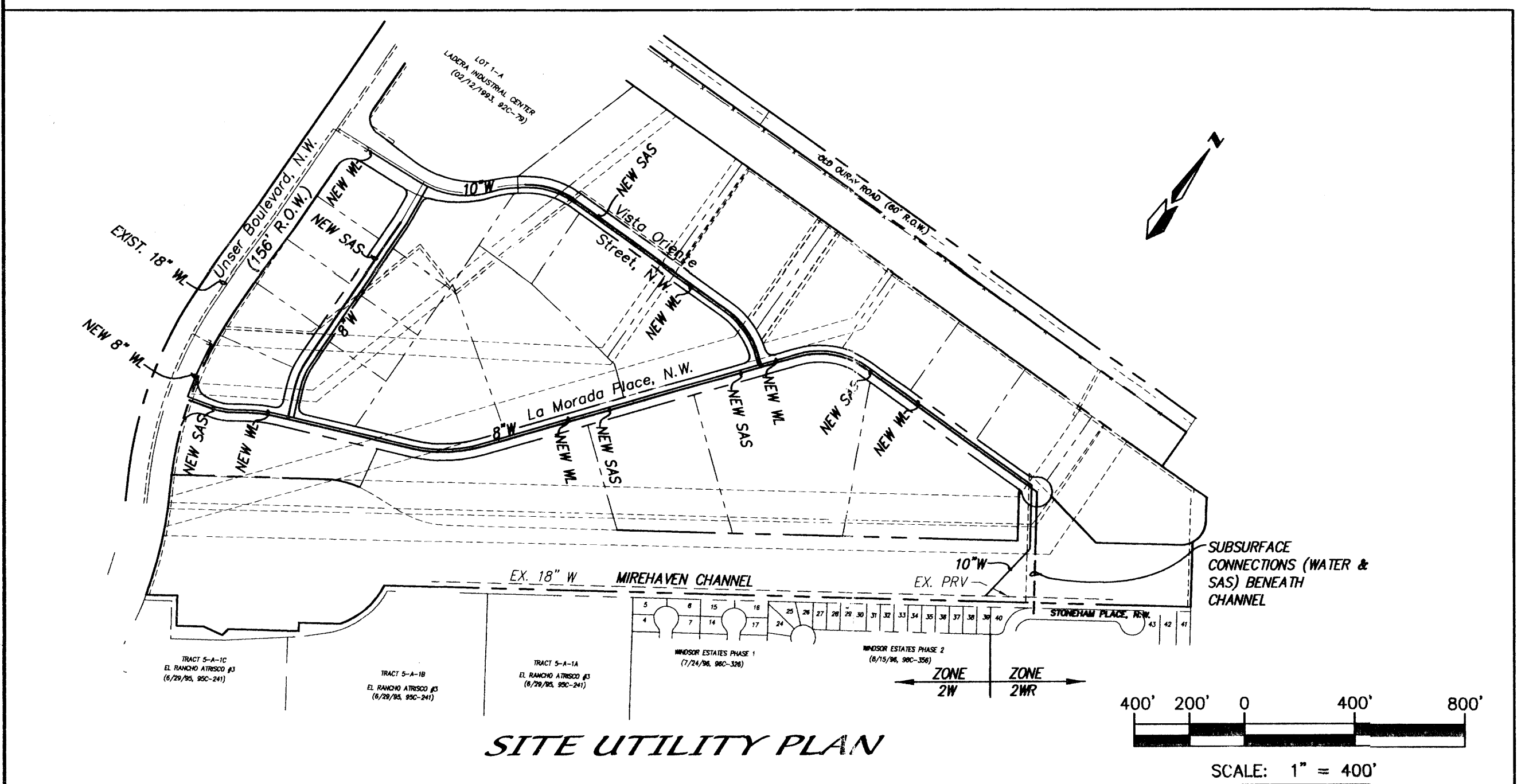
PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.04	17	1.15	1.52	827.10
3	2.74	3.61	1,964.37	18	1.15	1.52	827.10
4	2.07	2.73	1,485.52	19	1.15	1.52	827.10
5	2.07	2.73	1,485.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,398.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.96				
				TOTAL	75.85		\$54,414.68

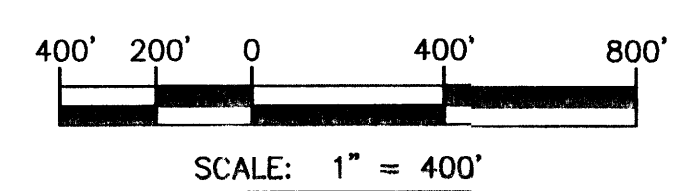
AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002

*NET OF DRAINAGE EASEMENT

OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE



SITE UTILITY PLAN



APPROVED AND ACCEPTED BY:

Project No. 1001523

Application No. _____

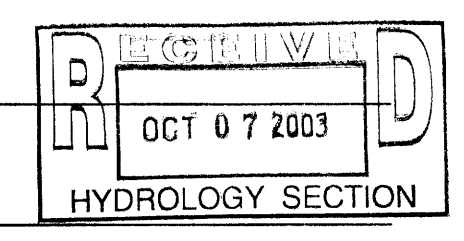
Planning Department/ DRB Chair _____

City Engineer _____

Transportation Development _____

Utility Development _____

Parks and Recreation _____



LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

LADERA BUSINESS PARK

SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1 of 3
Scale: 1" = 200' Date: 01-03-01 Job: A01130

LADERA BUSINESS PARK DESIGN GUIDELINES FOR LOTS 12-23 & 29

The purpose of these Design Standards is to guide development of lots 12-23 and 29 of the Ladera Business Park in order to create a high quality, pedestrian friendly Commercial Center. The potential mix of uses within the Commercial Center includes retail, restaurants, office, banks and other commercial services. These uses have been selected to best serve the greater Ladera Business Park and surrounding residential neighborhoods. While the overall design guidelines listed on sheet 2 pertain to the entire Ladera Business Park, the guidelines listed below provide additional architectural control over the property.

The Design Standards were written to require the use of common design elements to unify the project functionally and architecturally. The broad categories of design elements used to unify the project are:

- Building groupings to reinforce a "main street" theme
- Decentralization of parking fields to minimize their impact on patrons and the immediate environment
- A strong internal pedestrian path network
- Aesthetic continuity through the use of common building forms and materials
- A common building signage system
- A common landscaping theme

An Architectural Review Committee (ARC), formed by the property owners and master developer, will analyze all potential projects relative to these standards to ensure the realization of the Development Concept. A conceptual site plan, landscaping plan, and building elevations shall be submitted to the ARC by individual project developers for review and comment. Approval must be obtained prior to proceeding with construction documents and submittal for building permit. Approval will be granted when the individual project meets the requirement of these standards to the satisfaction of the ARC.

The Main Street

Intent:

The development's primary organizing element is an internal "main street" to which the majority of buildings relate. Buildings along the main street shall be grouped together and oriented to face the street to encourage a pedestrian environment where patrons can park once and walk between the various uses. Spaces between buildings shall be utilized as plaza areas and outdoor gathering places for dining and other outdoor activities. Convenience parking shall be provided along the main street with drive aisles between buildings to provide access to parking areas behind them. Two traffic circles will act as focal points, traffic calming devices, and opportunities to create patron gathering spaces. Primary entrances to buildings shall be provided on the main street, at the traffic circles, or on side streets. Secondary entrances may be provided at the parking areas behind the buildings.

Design Standards:

- Orient buildings to face the main street with parking fields behind them.
- Group buildings together to maintain the continuity of the main street facade. Provide pedestrian plaza spaces between buildings.
- Access drives to rear parking areas shall be shared so that they occur on only one side of each building.
- Locate primary building entrances on the main street, at the traffic circles where they occur, or along access drives to rear parking areas. Secondary entrances may be provided at the rear parking areas to create "walk through" buildings.
- Shaded portals or canopies shall be provided along the main street and at building entrances.
- Trash receptacles and service areas shall be located at the rear of these buildings with appropriate screening as described in the Site section below.

Pad Sites along Unser Boulevard

Intent:

Additional building pads are provided along Unser Boulevard to take advantage of their high visibility. The pads are spaced along Unser to break up the parking areas into smaller cells and to provide gaps between buildings to allow visual access into the site for traffic traveling along Unser Boulevard. These buildings are highly visible from all directions and shall be aesthetically pleasing on all sides.

Design Standards:

- Buildings shall be sited adjacent to the Unser Boulevard right-of-way with parking fields between and behind them. No parking is allowed between the pad site buildings and Unser Boulevard.
- Buildings shall be located to minimize the size of the parking fields between them.
- The buildings at these pad sites shall be treated as "four sided" buildings with equal architectural emphasis on all sides. Utilities shall be appropriately screened to conceal them from view.
- Sidewalks shall be provided on sides of the pad site buildings to provide a pedestrian friendly environment and to connect to the greater pedestrian path network. These sidewalks may be enlarged to create plazas, outdoor dining or patron gathering spaces.
- Shaded portals or canopies shall be provided along pedestrian paths and at building entrances.
- Trash receptacles and service areas shall be located in the parking areas between buildings and away from building entrances. These areas shall be screened as described below in the Site section.

Pedestrian Path Network

Intent:

A strong pedestrian path network is critical in creating a "park once and walk" commercial environment. Shaded sidewalks around the perimeter of buildings connecting to frequent pedestrian friendly walkways through parking areas reinforce this concept. Plazas create patron gathering spaces at building entries and outdoor dining spaces. Connection to off-site pedestrian paths completes the network by providing continuity with the surrounding area.

Design Standards:

- A continuous 6' wide meandering pedestrian path along Unser shall connect with the existing paths to the north and south. Sidewalks shall be provided that connect this element to the internal pedestrian path network at each pad site and along the new public streets.
- Raised crosswalks (speed tables) with special paving shall be provided where pedestrian paths intersect with vehicular paths. These crosswalks shall be provided to create a continuous pedestrian path between buildings and to calm vehicular traffic.
- A continuous sidewalk shall be provided along the main street with raised crosswalks (speed tables) with special paving at intersections with all vehicular drives.
- Plazas shall be provided at traffic circles, building entries, and outdoor dining areas. These elements shall be directly connected to the pedestrian path network.

Architectural Forms and Materials

Intent:

A common architectural theme reinforces the sense of quality and permanence desired for this development. The predominant quality architectural theme in the vicinity is defined by stucco wall surfaces and pitched Spanish tile roofs. In order to expand on the sense of quality for the area, the architectural theme for this development is based on these materials as well as other complimentary materials used in Spanish Colonial and California Mission architecture.

Design Standards:

- Smaller buildings shall utilize pitched Spanish tile roofs with slopes varying from 3:12 to 6:12 pitch.
- Larger buildings may utilize low-slope roofs with parapets as required over longer span areas, but pitched Spanish tile roofs shall be used as accents at the perimeter and at smaller building elements and portals.
- Vertical wall surfaces shall be predominantly white or light colored earth-tone stucco or EIFS.
- Cut stone, pre-cast concrete or visually similar elements of stucco or EIFS shall be used as accents around prominent entries or other openings, as well as at parapet caps and wainscots when they are used.
- Structural elements for portals, balconies, porte cocheres or similar elements shall be either dark stained heavy timber (or visually similar materials) or massive stucco arcades.
- Railings shall be of black wrought iron, tubular steel, dark stained wood or other visually similar materials.
- Window frames shall be black, dark stained wood, dark wood tone or appropriately colored aluminum or steel at the discretion of the Architectural Review Committee.
- Window openings, particularly on the South and West facades, may be shaded with cloth awnings (or visually similar materials), trellises, portals, or awnings roofed with Spanish tile and exposed structural elements similar to those described under the fifth bullet point above.
- Roof top mechanical units shall be screened with architecturally integrated parapets, screen walls, or pitched Spanish tile elements at least as tall as the highest part of the equipment.

Site and Hardscape Materials

Intent:

Site and hardscape materials shall be complimentary to the architectural theme of the development. Appropriate materials include: concrete with accent materials, colored concrete, brick and concrete pavers.

Design Guidelines

- The predominant hard surface for sidewalks, pedestrian crosswalks and plazas may be standard concrete but must have accents of either brick or concrete pavers, or visually similar jointed and colored concrete. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Site furniture such as benches, trash receptacles, light fixtures, bollards, etc. shall be of black, dark green or dark red metals. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Pedestrian paths along walkways adjacent to buildings and along the main street shall utilize pedestrian scale light fixtures, twelve feet tall or less, in materials as described in paragraph 2 above.
- Ground level screen walls for utilities and trash enclosures shall be solid with stucco or EIFS finish to match the adjacent or nearby buildings. Gates shall be opaque using dark stained wood or visually similar materials.

Landscaping

Intent:

The general theme and materials of the landscape should be appropriate to our desert climate using heat and drought tolerant, water-conserving plants. Plazas, courtyards and other patron gathering areas will be treated as oases utilizing shade trees, climbing vines on trellises, or other shading devices to create a cooler outdoor environment. Small fountains or other water features can add further to the sense of coolness in these spaces. Care must be taken in selecting plant materials so that excessive shade is absent during the colder months of the year. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.

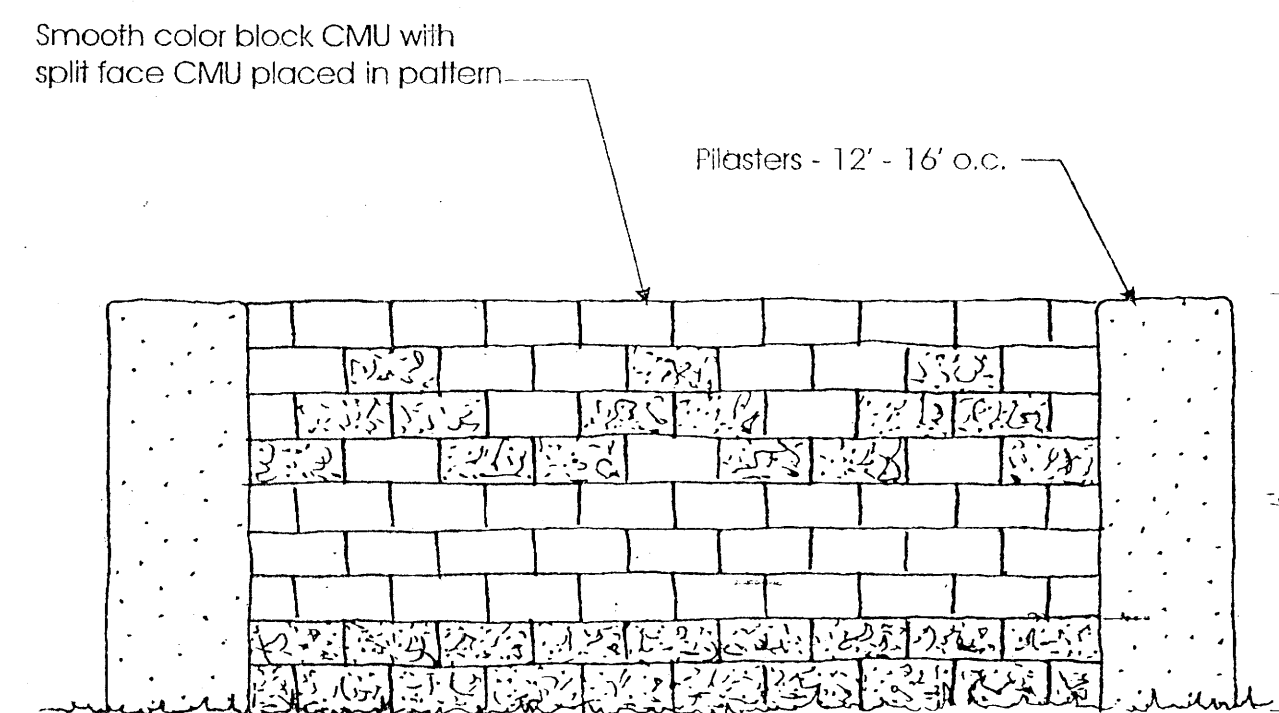
- Plant materials shall be primarily low water use and drought tolerant.
- Density of plant material shall be increased around patron gathering spaces to add "coolness" to those areas. Shade trees, colorful flowering plants and overhanging vines may also be used to reinforce a sense of coolness in these areas.
- Shade trees shall be consistent based on their location. For instance, street trees may be one species and shade trees in patron gathering areas may be another, while parking area shade trees may be another. All shade trees shall be selected to be insect and disease resistant.
- All landscaping shall be served by an automated irrigation system.

Signage

Intent:

Signage shall be complimentary to the architectural theme and consistent throughout the development. Tenant standard colors, fonts and logos may be used, but must conform to the detail and construction standards below.

- Monument sign locations are shown on the illustrative site plan at the corners of Unser Boulevard and the new streets, and at the intersections of the "main street". These may be utilized by multiple tenants at the discretion of the ARC. The initial project within the development will set the precedent for the materials and colors for these elements in the projects that follow.
- Building signage shall be limited to internally illuminated, individual letter signs, back-lit individual letter signs, or neon signs as approved by the ARC, and in conformance with City of Albuquerque requirements.
- No building mounted box signs are allowed, except logo signs as approved by the Architectural Review Committee.
- No pole-mounted signs are allowed.



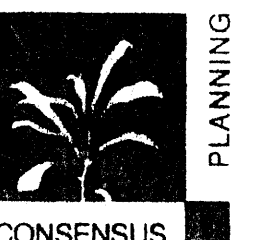
Wall Detail @ Ladera Business Park



LADERA BUSINESS PARK Site Plan for Subdivision DESIGN GUIDELINES

Prepared for:
Unser-98th Street Partnership LLC
PO Box 90548
Albuquerque, NM 87199

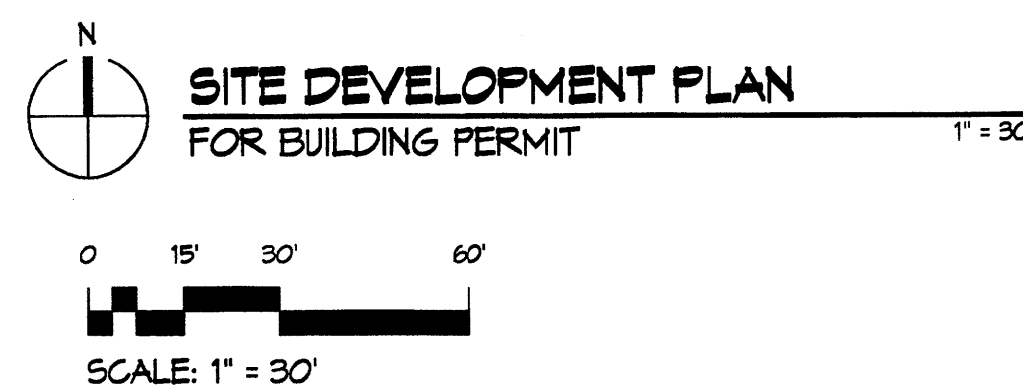
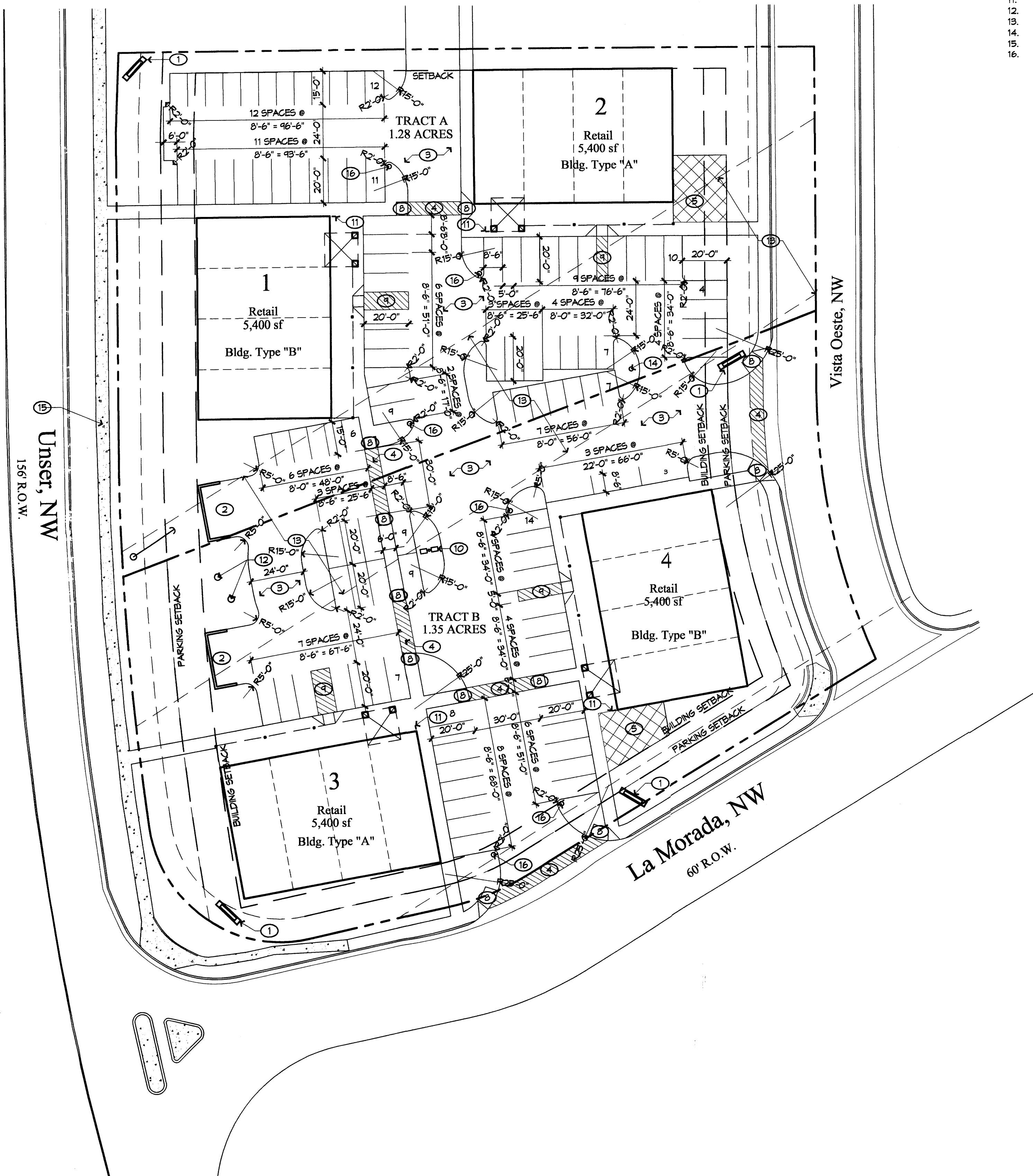
Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



August 21, 2002

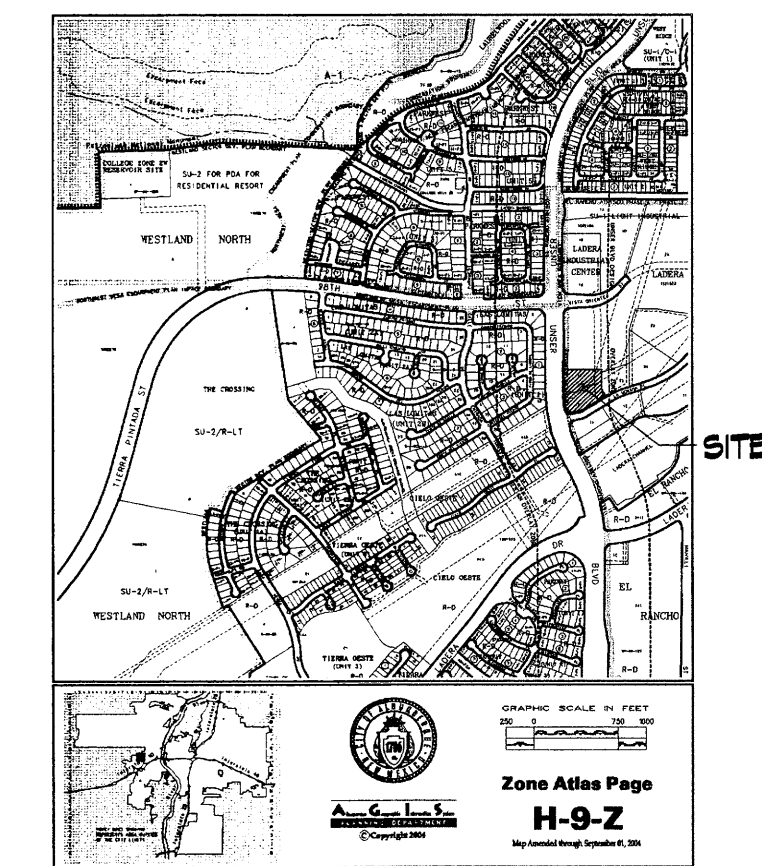
PROJ 1001523

Scanned
4/17/06
CS.



KEYED NOTES

1. DEVELOPMENT SIGN, RE: B5/A002
2. C.M.U. REFUSE ENCLOSURE, RE: A3, A5, B4 & B5 / A002
3. ASPHALT PAVING, TYPICAL UNLESS NOTED OTHERWISE
4. PEDESTRIAN CROSSING OF PATTERNED CONCRETE, TYP.
5. PLAZA AREA WITH SPECIAL PAVING
6. CONCRETE SIDEWALK 8'-0" WIDE, UNLESS NOTED OTHERWISE AND EXISTING WHERE SIDEWALK HAS CONCRETE HATCH PATTERN.
7. LANDSCAPE PLANTER WITH STANDING CURB AT PERIMETER, TYP.
8. HANDICAP RAMP AT ALL SIDEWALK AND VEHICULAR INTERSECTIONS, TYP.
9. HANDICAP PARKING SPACE AND ACCESS AISLE WITH RAMP TO SIDEWALK, TYP. UNLESS NOTED OTHERWISE, RE: D4 & D5 / A002
10. PARKING LOT AREA LIGHT, TYP. RE: C4/A002
11. BICYCLE PARKING FOR 2, TYP. RE: D9/A002
12. EXISTING UTILITY POLES
13. PNM UTILITY EASEMENT
14. NEM FIRE HYDRANT, RE: SITE UTILITY PLAN
15. EXISTING PAVED TRAIL
16. BOLLARD STYLE SITE LIGHTING



VICINITY MAP
N.T.S.

TRACT A
BLDG A-1
BLDG AREA: 5,400 SF
BLDG A-2
BLDG AREA: 5,400 SF
TRACT A AREA: 55,810 SF (1.28 ACRES)
PARKING: 66

TRACT B
BLDG B-1
BLDG AREA: 5,400 SF
BLDG B-2
BLDG AREA: 5,400 SF
TRACT B AREA: 59,065 SF (1.35 ACRES)
PARKING: 51

TOTAL TRACT AREA = 114,875 SF (2.64 ACRES)

BUILDING USE RETAIL

PARKING
TOTAL REQUIRED: 108 (21,600 G.S.F. @ 1:200SF)
TOTAL PROVIDED: 117

HANDICAPPED PARKING
TOTAL REQUIRED: 8
TOTAL PROVIDED: 8

BICYCLE PARKING
TOTAL REQUIRED: 6 (1 PER 20 REQ'D PKG SPACES)
TOTAL PROVIDED: 8

architecture
interior
planning
engineer

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87101
505 761-9700
fax 761-4222
dps@dpsobq.com

ARCHITECT
ENGINEER
PROJECT

The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE	DATE	11/28/05
UTILITIES DIVISION	DATE	PROJECT NO.	05152
PARKS AND RECREATION DEPARTMENT	DATE	DRAWING NAME	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
CITY ENGINEER	DATE	SHEET NO.	A001 OF
SOLID WASTE MANAGEMENT	DATE		
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE		

REVISIONS

- △
- △
- △
- △

DRAWN BY CLV
REVIEWED BY CRG
DATE 11/28/05
PROJECT NO. 05152
DRAWING NAME SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SHEET NO. A001 OF

ARCHITECT

ENGINEER

PROJECT

The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

REVISIONS

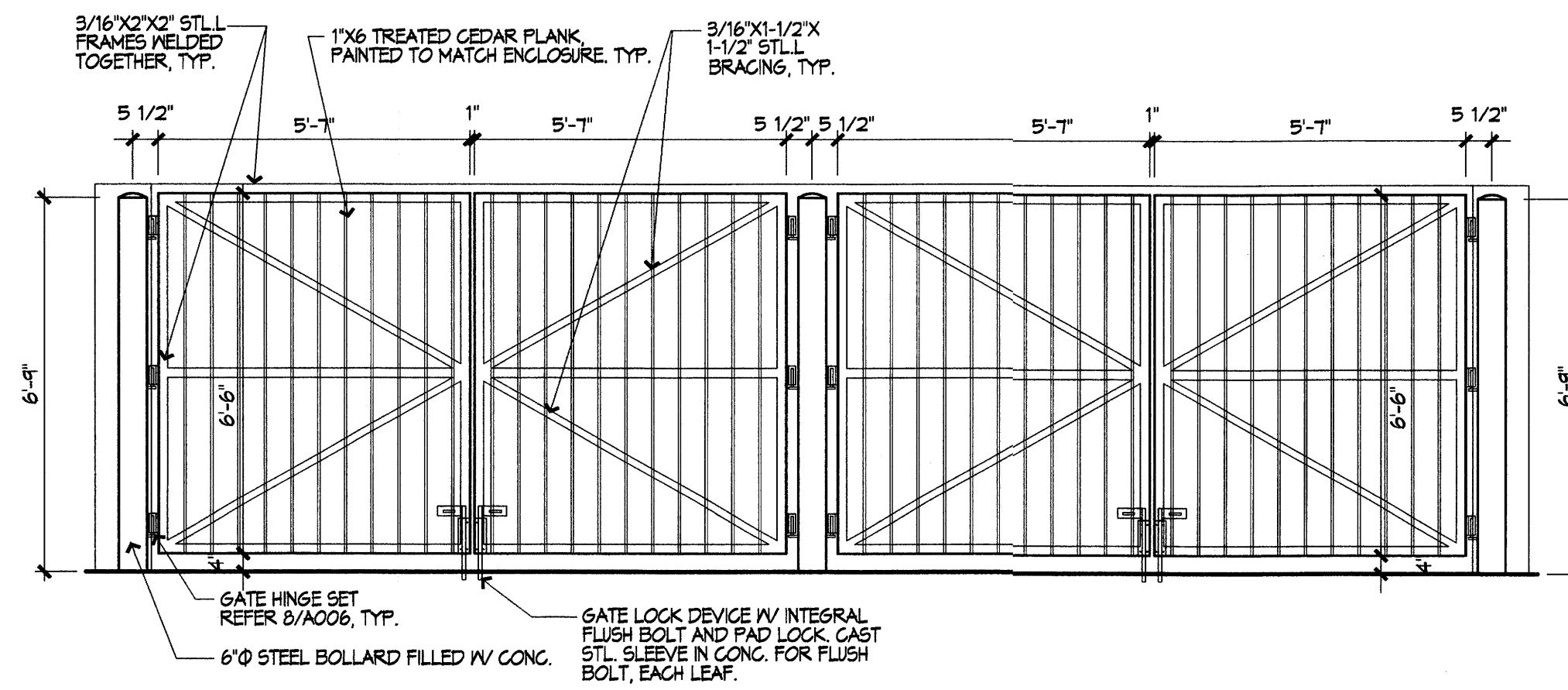
- △
- △
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- △

DRAWN BY **CLV**
REVIEWED BY **CRG**
DATE **11/28/05**
PROJECT NO. **05182**
DRAWING NAME

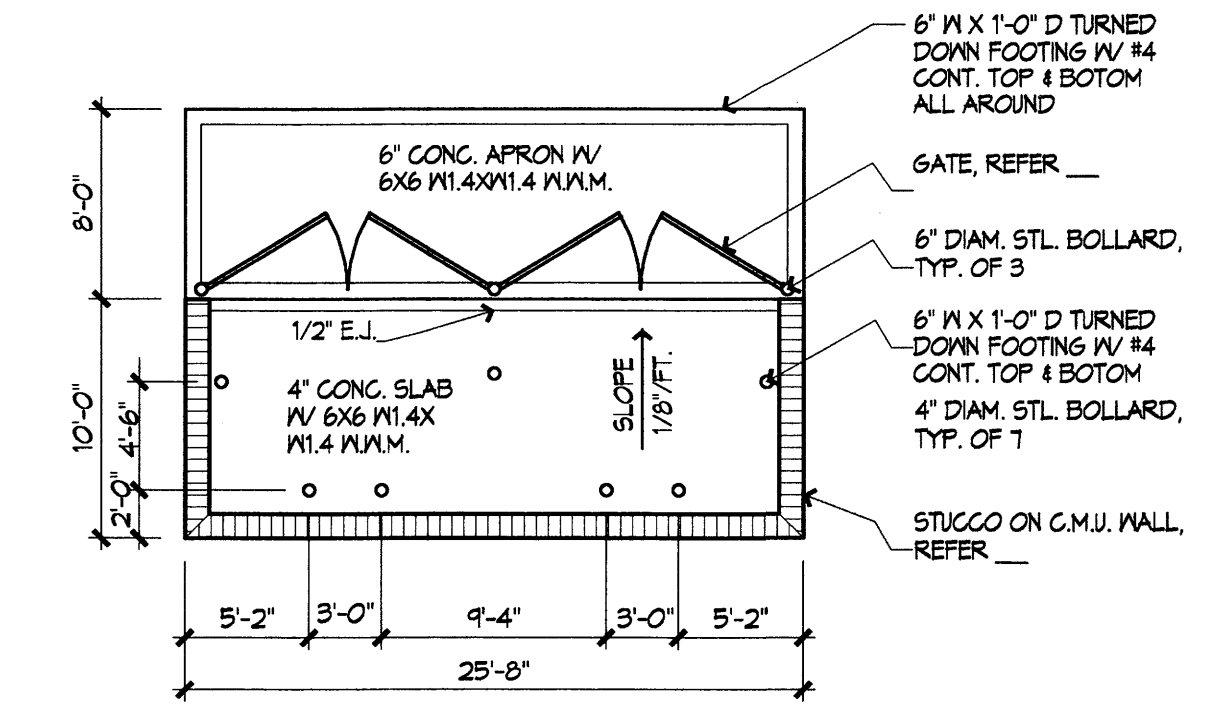
SITE DETAILS

SHEET NO.

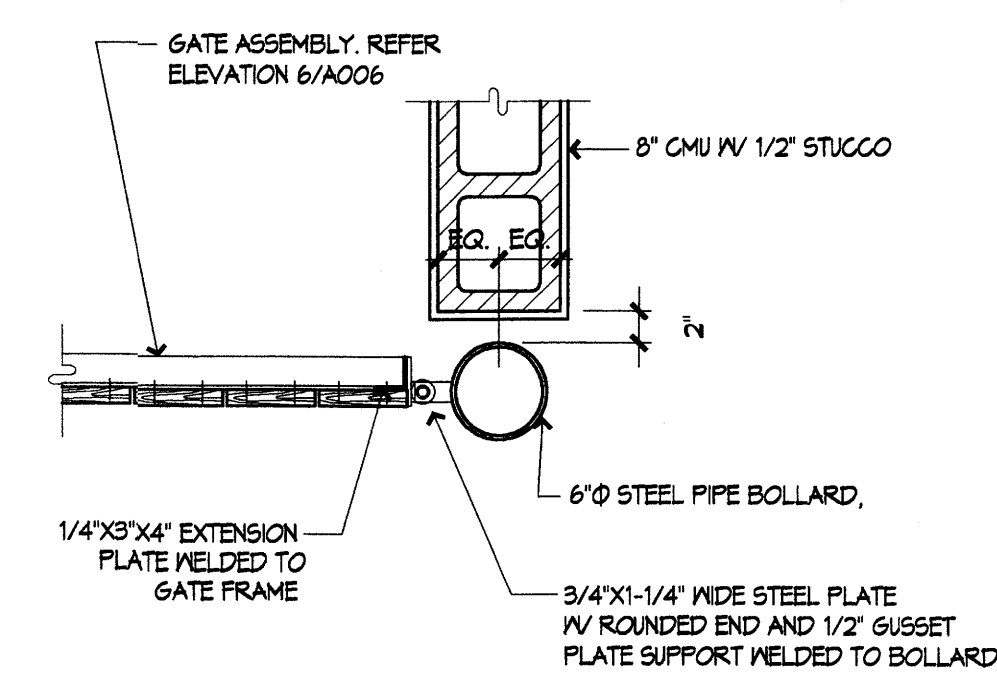
A002
OF



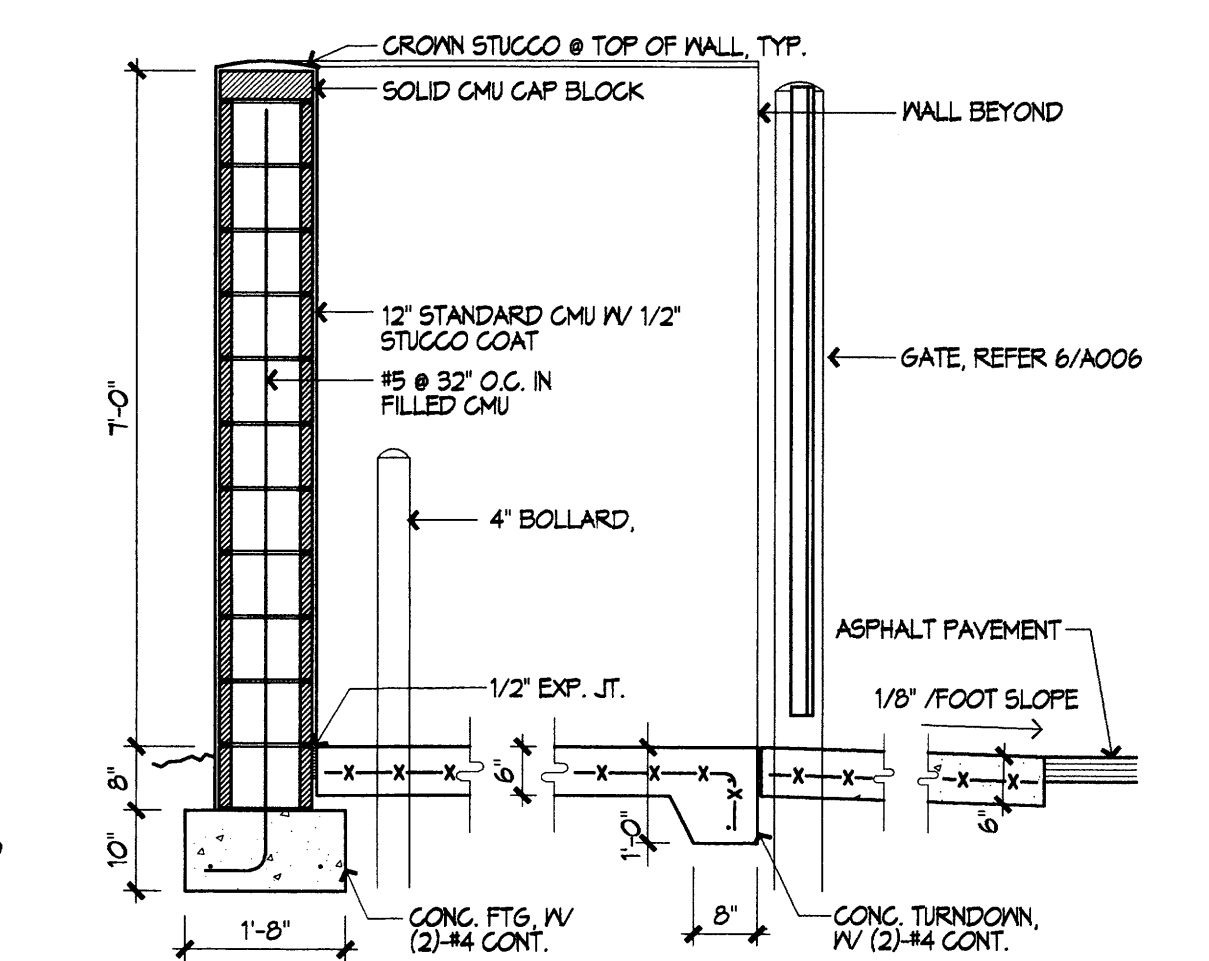
A3 GATE ELEVATION
3/8" = 1'-0"



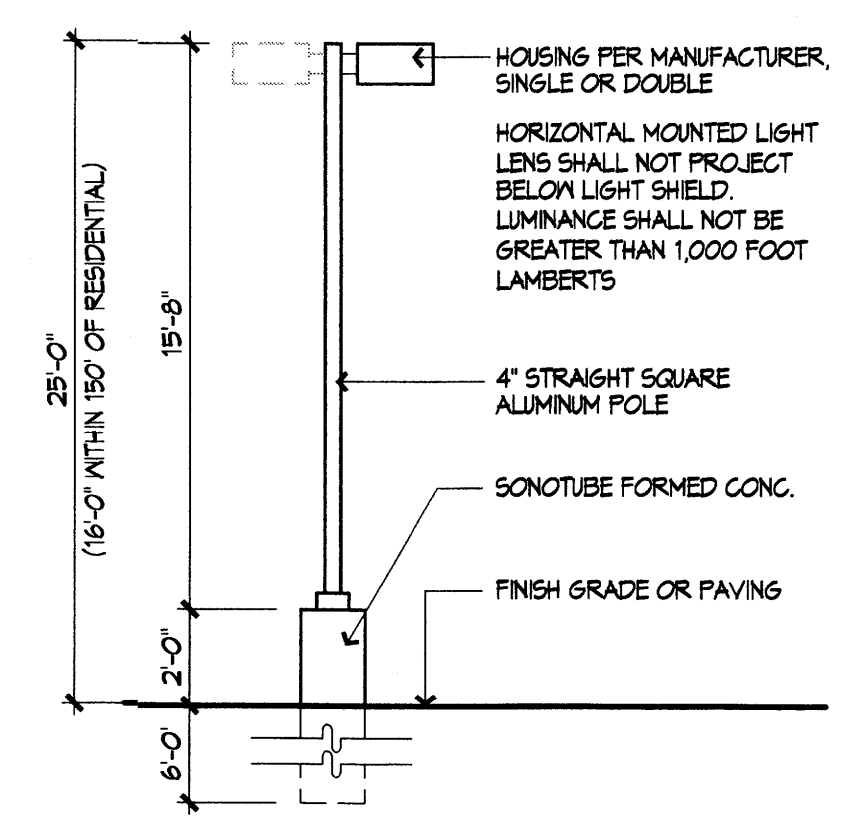
A5 DOUBLE REFUSE ENCLOSURE
1/8" = 1'-0"



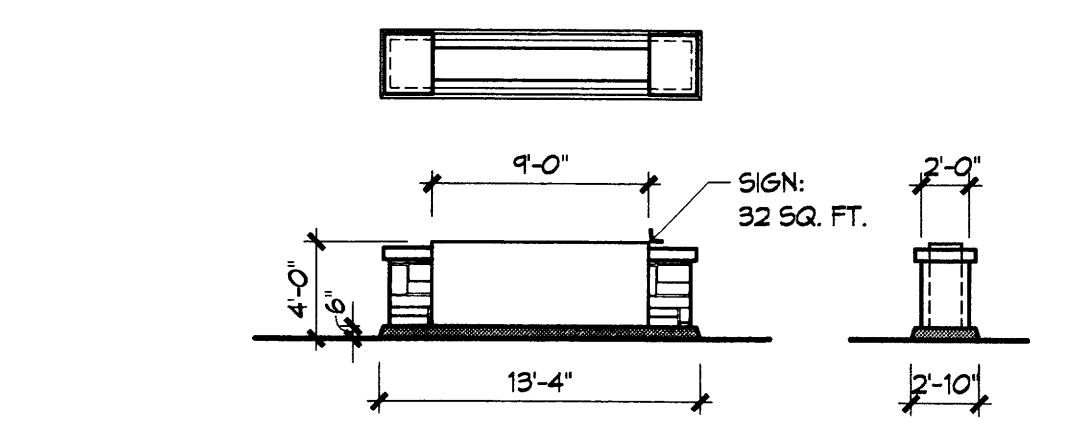
B4 GATE HINGE DETAIL
1" = 1'-0"



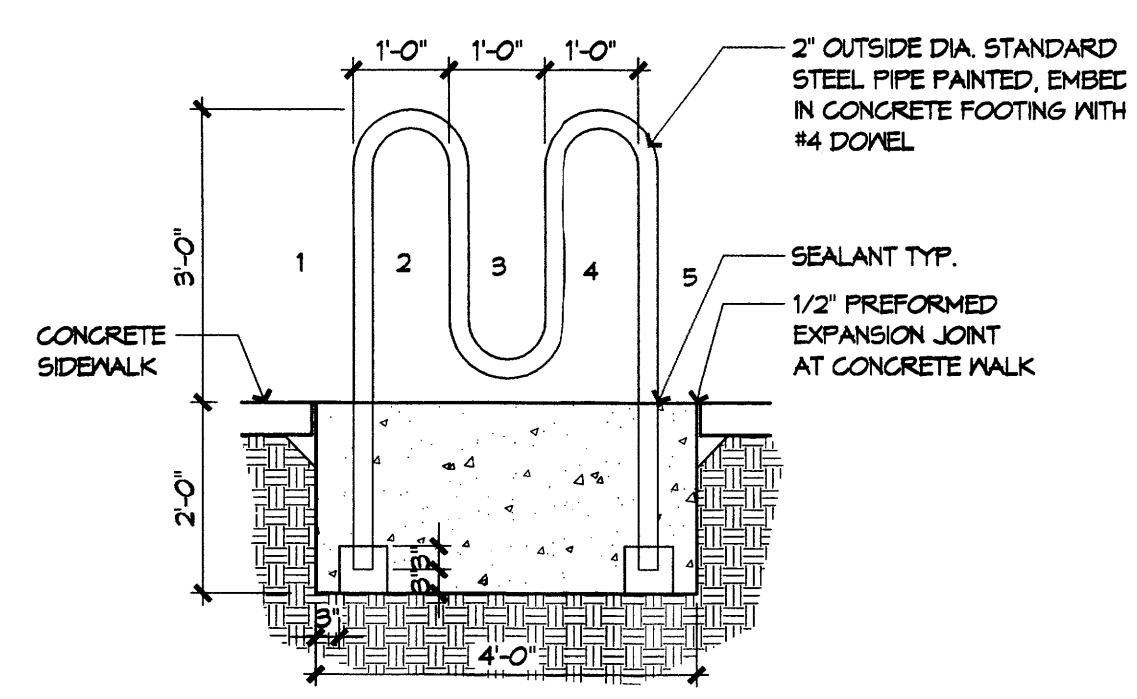
B5 ENCLOSURE SECTION
1/2" = 1'-0"



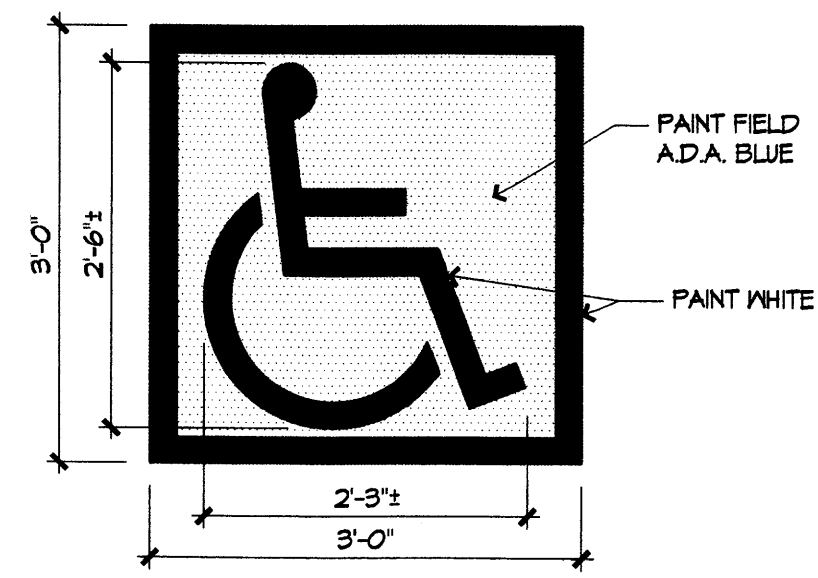
C4 PARKING LOT LIGHT POLE DETAIL
1/4" = 1'-0"



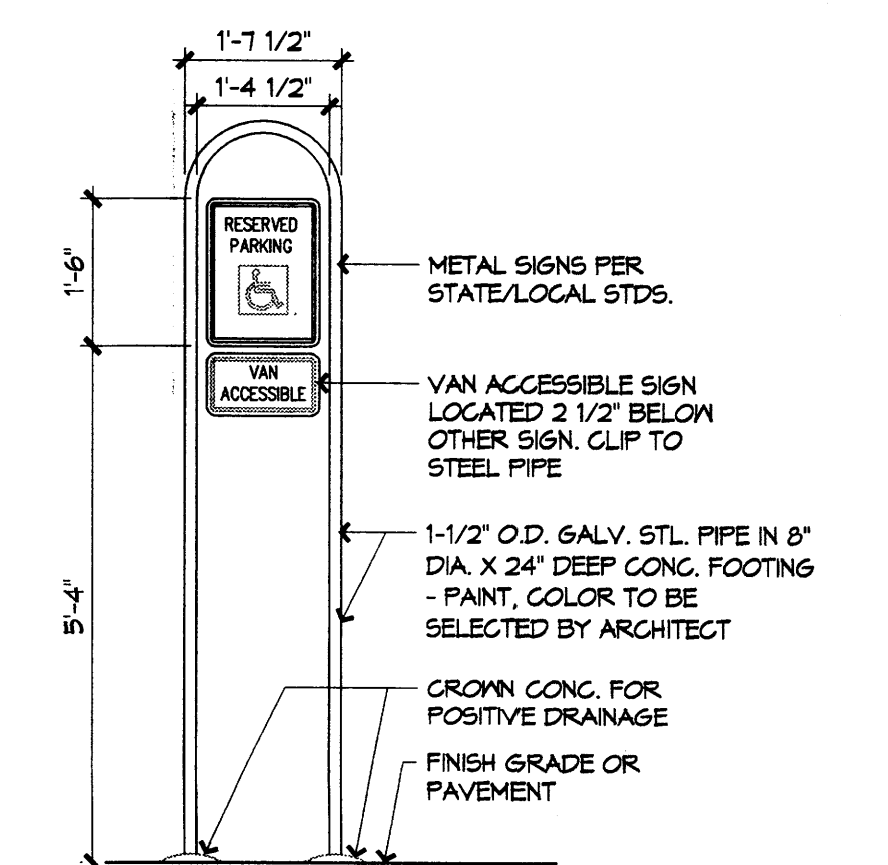
C5 MONUMENT SIGN
1/8" = 1'-0"



D3 BIKE RACK DETAIL
1/2" = 1'-0"



D4 A.D.A. PAVEMENT SIGNAGE DETAIL
3/4" = 1'-0"



D5 POLE MOUNTED H.C. SIGNAGE
1/2" = 1'-0"

The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

DRAWN BY _____
REVIEWED BY _____
DATE 11/28/05
PROJECT NO. 05192
DRAWING NAME

**ELEVATIONS
BUILDING TYPES
"A" & "B"**

SHEET NO.

A003
OF

GENERAL NOTES

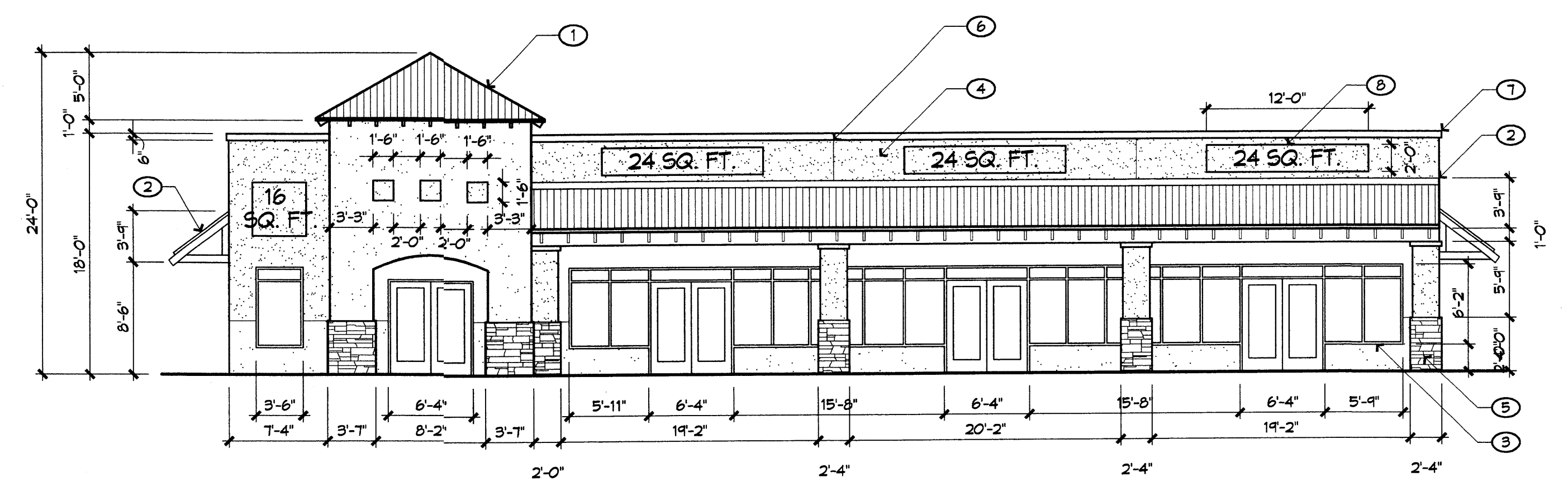
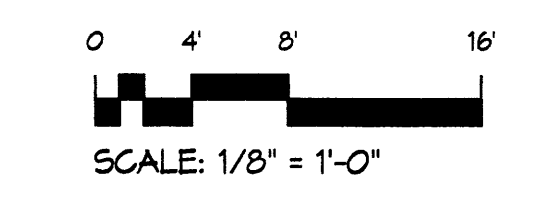
1. ROOFTOP MECHANICAL UNITS SHALL BE SCREENED WITH UNIT-MOUNTED SCREENS OR BUILDING PARAPETS.
2. TRIM COLOR ON DOORS AND WINDOWS ARE AS FOLLOWS:
BUILDINGS 1 & 4 = SAGE GREEN
BUILDINGS 2 & 3 = DESERT ROSE
3. LIGHTING SHALL BE PROVIDED UNDER ALL ENTRANCE CANOPIES

KEYED NOTES

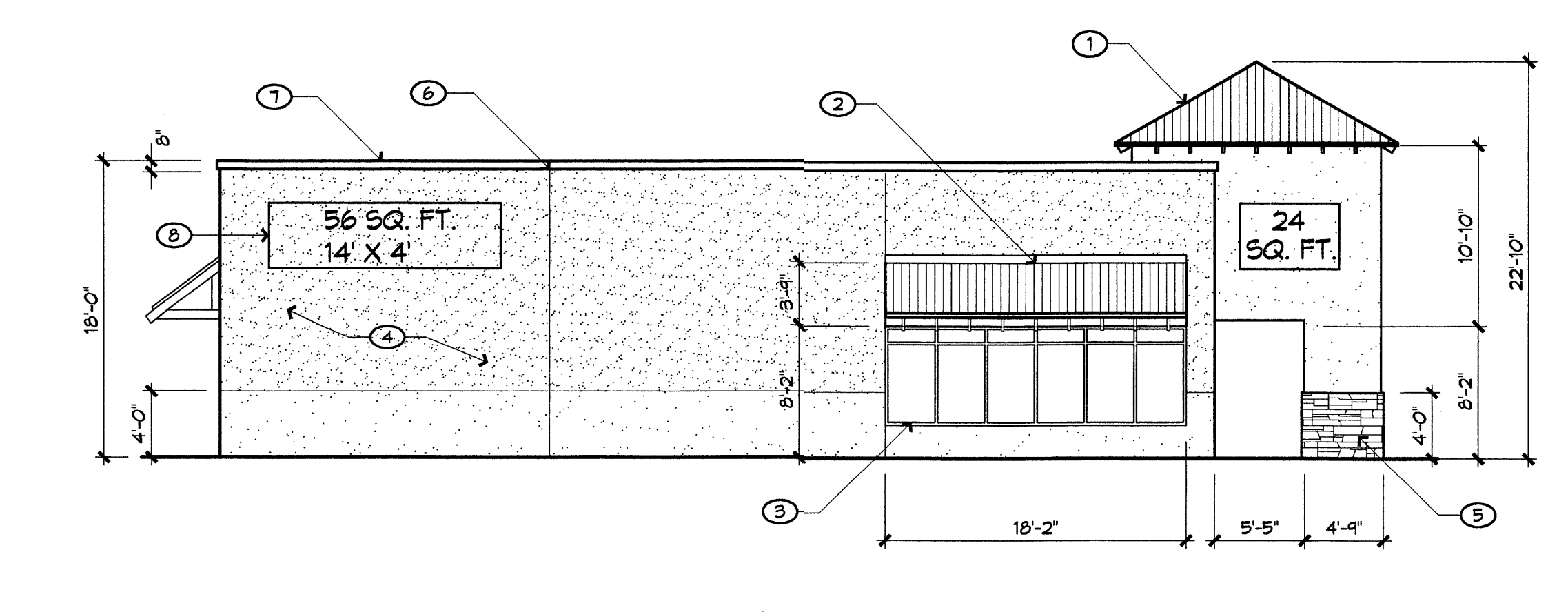
1. UNPAINTED GALVANIZED METAL ROOF
2. UNPAINTED GALVANIZED METAL AWNING ON STEEL FRAMING
3. ALUMINUM STOREFRONT SYSTEM, SEE GENERAL NOTE 2.
4. 3 COAT STUCCO SYSTEM
5. STACKED STONE VENEER
6. STUCCO JOINT, TYP.
7. METAL CAP OVER 2" E.I.F.S.
8. TENANT SIGNAGE (AREA AS INDICATED), INTERNALLY ILLUMINATED CHANNEL LETTERS WITH PLASTIC FACES.

STUCCO COLOR 1
(LIGHT BEIGE)

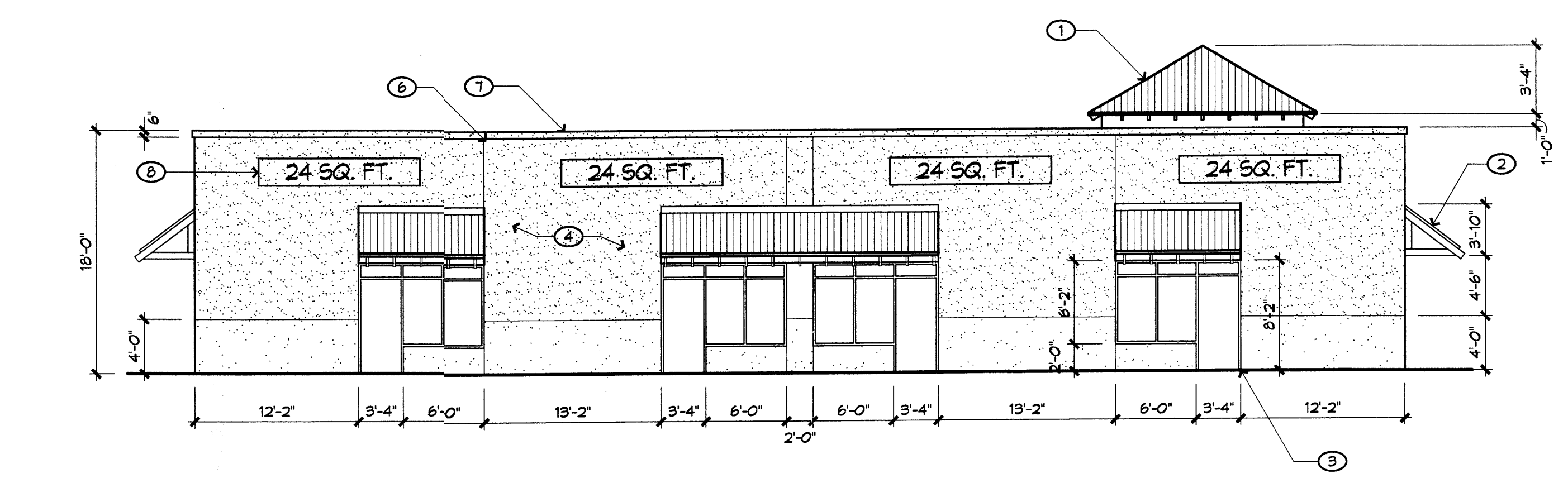
STUCCO COLOR 2
(DARK TAN)



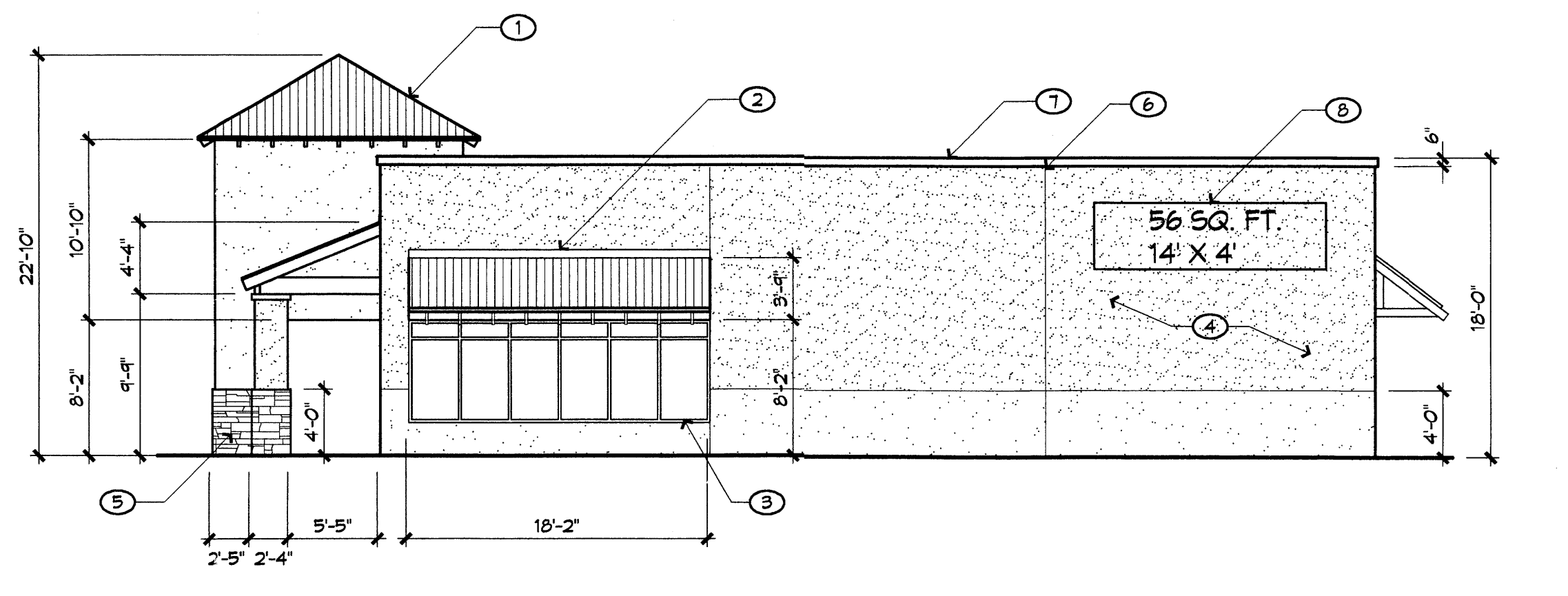
1 ELEVATION (BUILDING TYPE "A")
BLDG 2 SOUTH, BLDG 3 NORTH 1/8" = 1'-0"



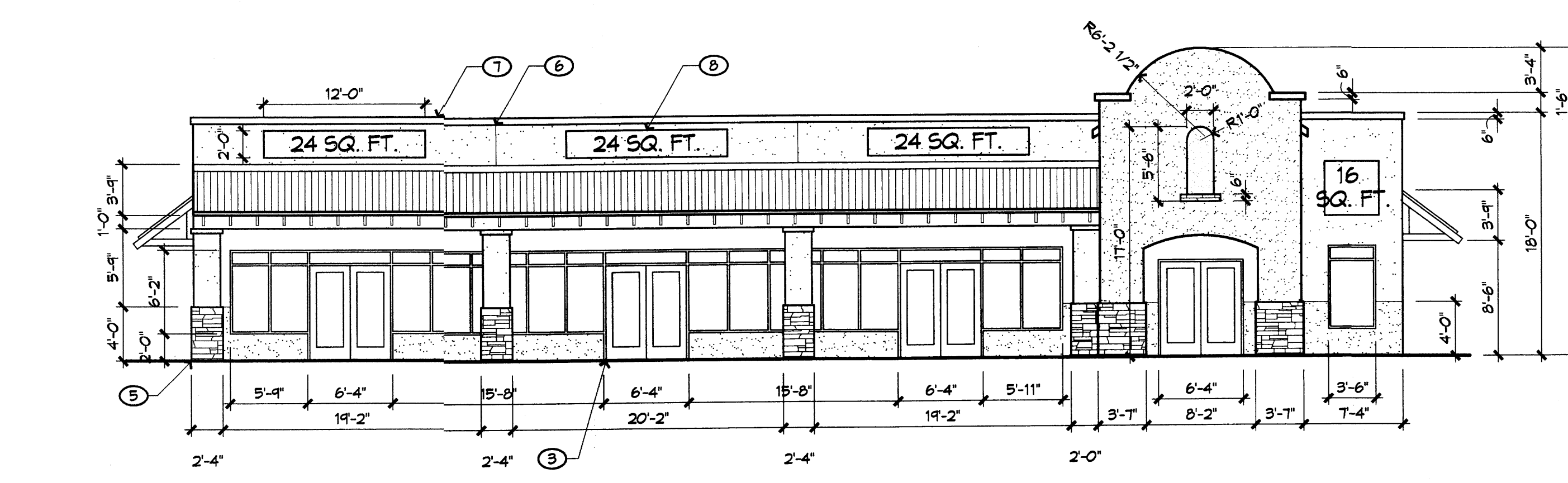
2 ELEVATION (BUILDING TYPE "A")
BLDG 2 WEST, BLDG 3 EAST 1/8" = 1'-0"



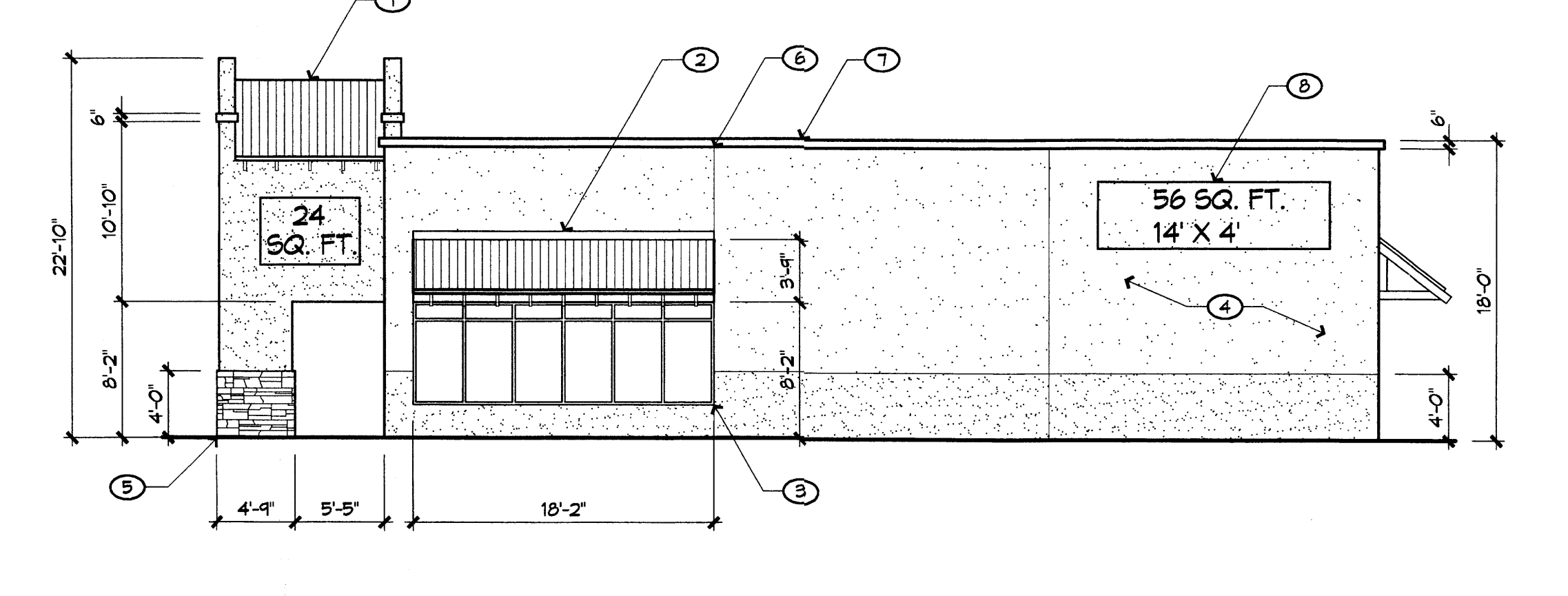
3 ELEVATION (BUILDING TYPE "A")
BLDG 2 NORTH, BLDG 3 SOUTH 1/8" = 1'-0"



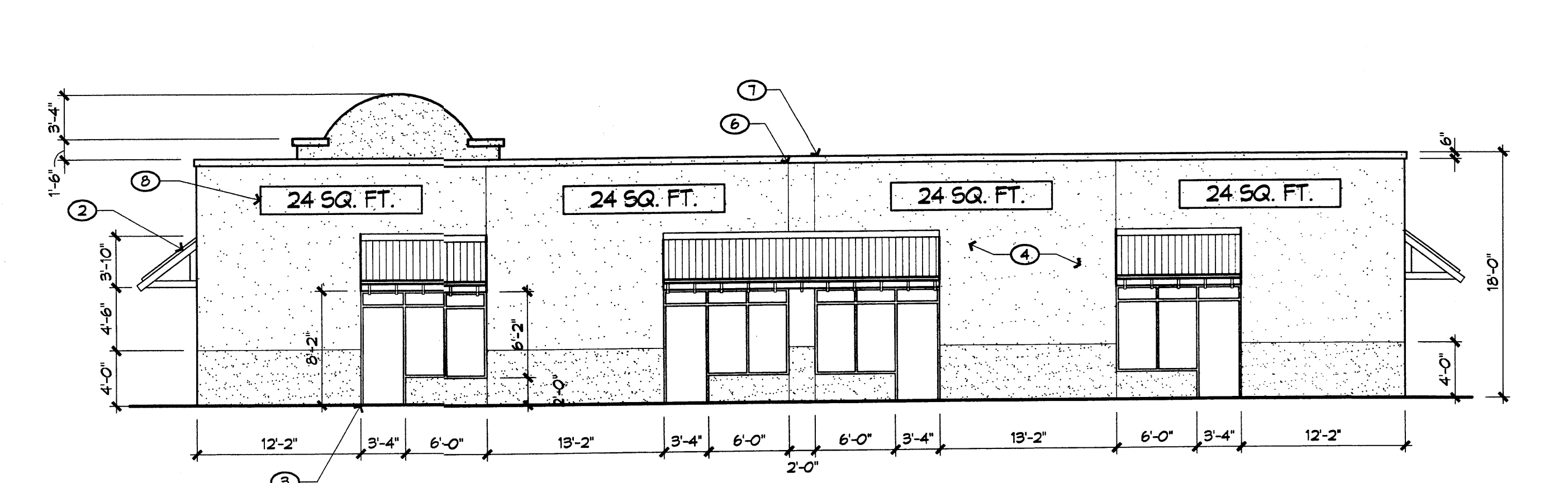
4 ELEVATION (BUILDING TYPE "A")
BLDG 2 EAST, BLDG 3 WEST 1/8" = 1'-0"



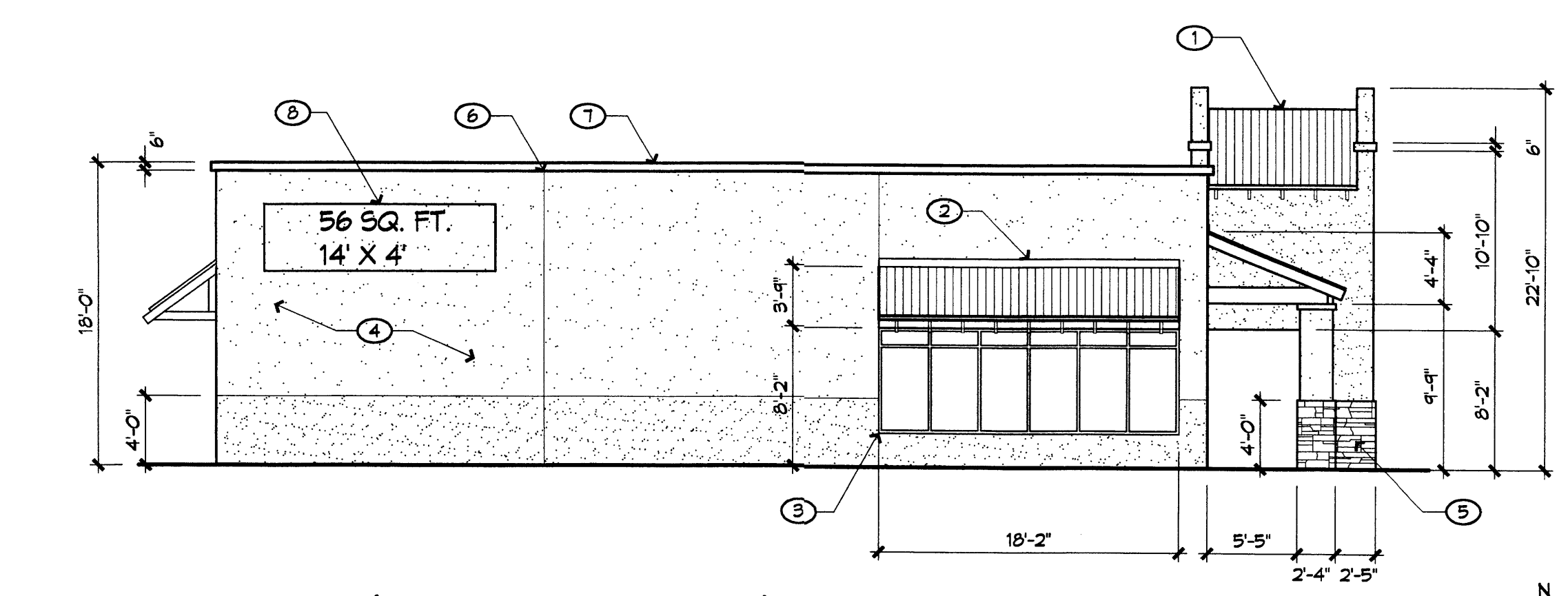
5 ELEVATION (BUILDING TYPE "B")
BLDG 1 EAST, BLDG 4 WEST 1/8" = 1'-0"



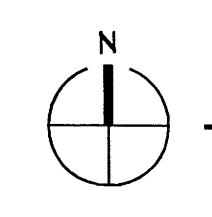
6 ELEVATION (BUILDING TYPE "B")
BLDG 1 NORTH, BLDG 4 SOUTH 1/8" = 1'-0"



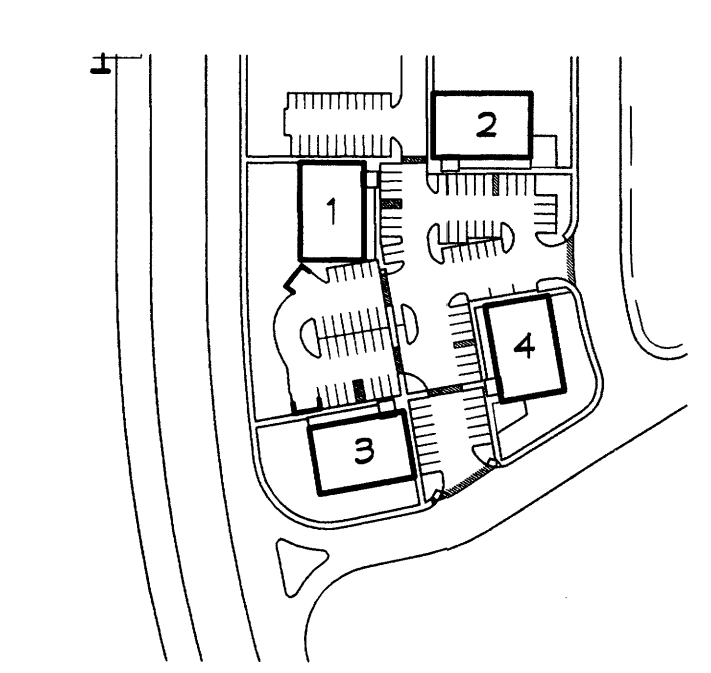
7 ELEVATION (BUILDING TYPE "B")
BLDG 1 WEST, BLDG 4 EAST 1/8" = 1'-0"

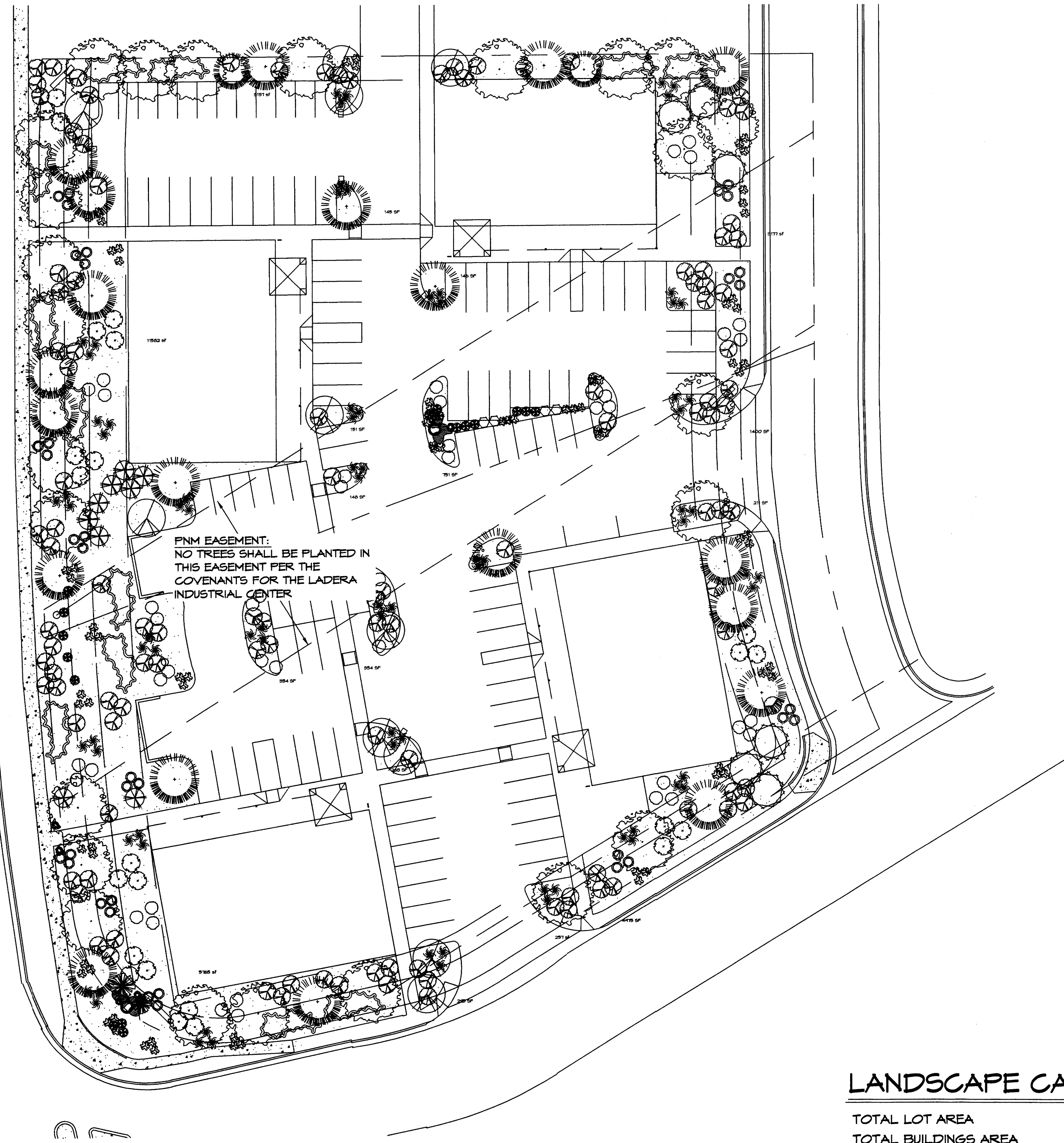


8 ELEVATION (BUILDING TYPE "B")
BLDG 1 SOUTH, BLDG 4 NORTH 1/8" = 1'-0"



KEY PLAN





LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	55810	square feet
TOTAL BUILDINGS AREA	10800	square feet
OFFSITE AREA	6820	square feet
NET LOT AREA	38190	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	5729	square feet

TOTAL BED PROVIDED	26454	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	19840	square feet
TOTAL GROUND COVER PROVIDED	23042	square feet

TOTAL SOD AREA 0 square feet
(max. 20% of landscape required)

TOTAL LANDSCAPE PROVIDED 26150 square feet

STREET TREE REQUIREMENTS

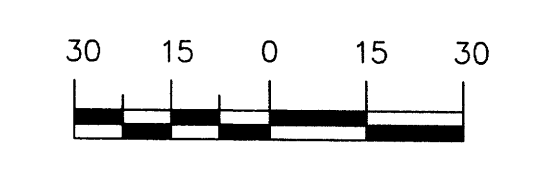
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street Unser Blvd
Required # 18 Provided # 14
Evergreen # 5
Deciduous # 9

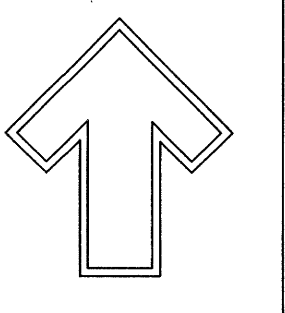
PLANT LEGEND

- SYCAMORE (M) 25
Platanus spp.
2" Gal.
- FLOWERING PEAR (M) 10
Fyrus calleryana
2" Gal.
- AUSTRIAN PINE (M) 22
Pinus nigra
10-12"
- DESERT WILLOW (L) 6
Chilopsis linearis
24" box
- MUGO PINE (M) 2
Pinus mugo
5 Gal.
- PALM YUCCA (L) 2
- SILVERBERRY (M) 9
Elaeagnus pungens
5 Gal. 100sf
- BIRD OF PARADISE (L) 12
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 12
Buddleia davidii
5 Gal. 100sf
- APACHE PLUME (L) 45
Fallugia paradoxa
5 Gal. 25sf
- MAIDEN GRASS (M) 81
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 17
Muhlenbergia capillaris
5 Gal. 4sf
- ROSEMARY (M) 36
Rosmarinus officinalis
2 Gal. 4sf
- AUTUMN SAGE (M) 4
Salvia greggii
2 Gal. 4sf
- HALLS HONEYSUCKLE (M) 113
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- THREADGRASS (M) 78
Stipa tenuissima
1 Gal. 4sf
- GREYLEAF COTONEASTER (M) 36
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL
4 @ BOULDERS
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

GRAPHIC SCALE



SCALE: 1"=30'



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
crnd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

Unser and La Morada Retail
Albuquerque, NM
Conceptual
LANDSCAPE PLAN

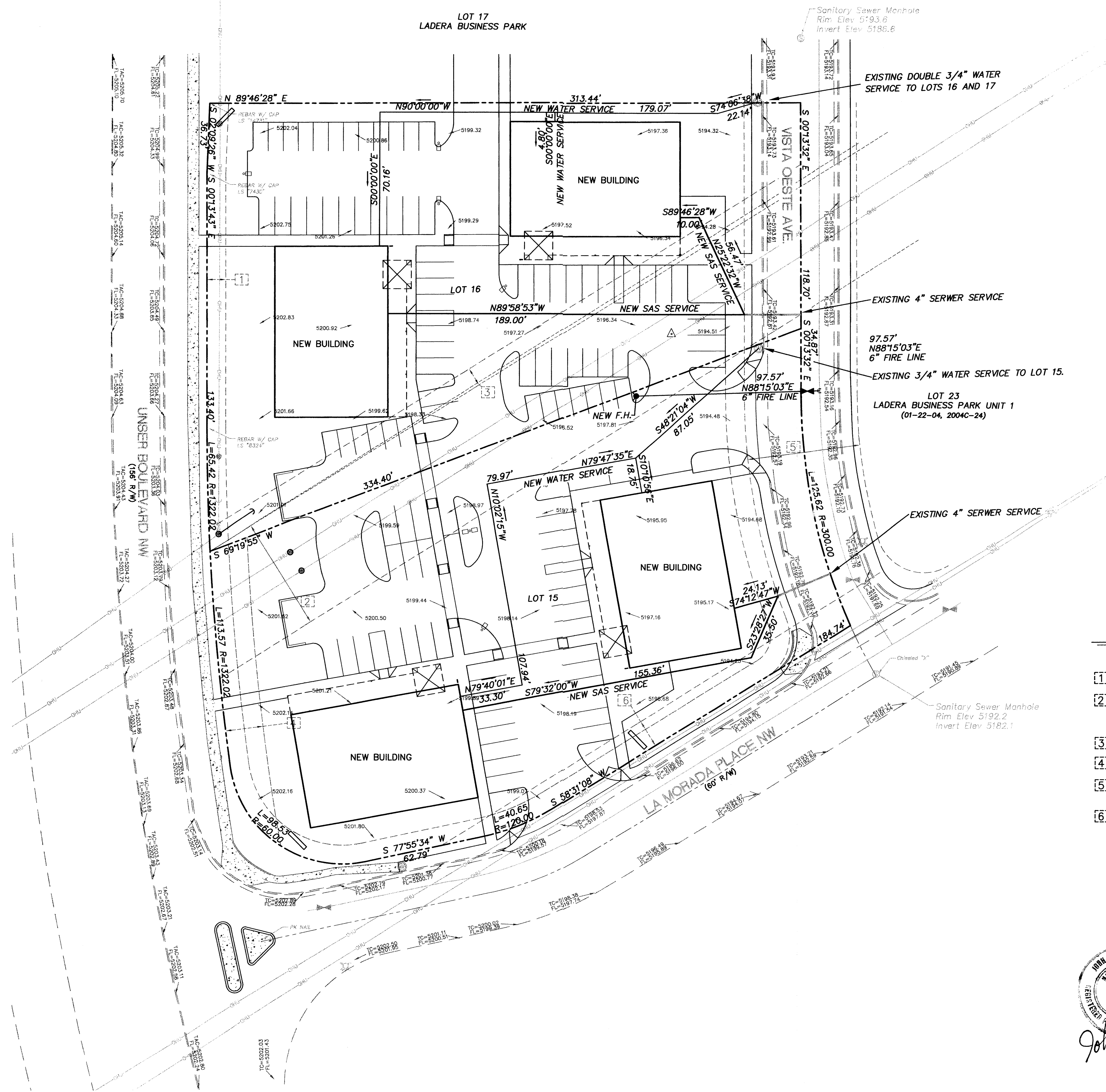
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The copyright notice and applicable fees have been paid or job order placed.



DRAWN BY JDT
REVISION # 3
DATE 12/15/05

SHEET #
L1 OF L1

F:\A0509\A5090\GRANDING & DRAINAGE\A5090_UPO1.dwg, 12/15/2005 1:54:49 PM, chris



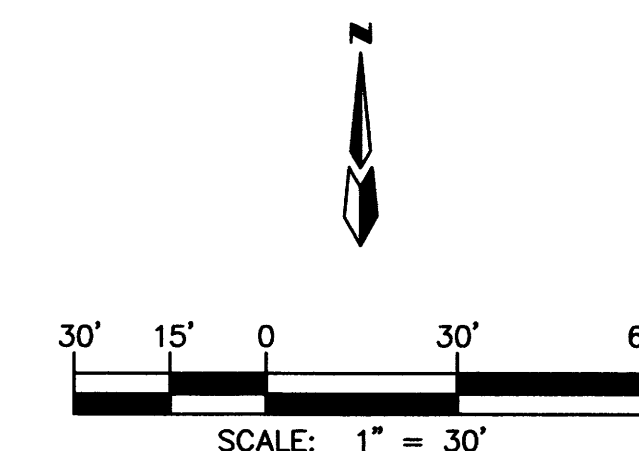
NOTES

Easements

- [1] EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/04, 04C-24)
- [2] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT OF WAY EASEMENT (03/16/53, BK. MISC. 498, PAGES 619-622)
- [3] EXISTING OVERHEAD UTILITY EASEMENT (1/22/04, 04C-24)
- [4] EXISTING 20' WATERLINE EASEMENT (1/22/04, 04C-24)
- [5] EXISTING 60' WIDE PRIVATE ACCESS EASEMENT (1/22/04, 04C-24)
- [6] EXISTING PNM EASEMENT (1/22/04, 04C-24)

JOHN H. KOENIG

 12-19-05



VICINITY MAP **ZONE MAP: H-9-Z**

ACS BENCHMARK

ACS MONUMENT "1-H10" HAVING AN ELEVATION OF 5142.74.

LEGAL DESCRIPTION

TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16), OF LADERA BUSINESS PARK, UNIT 2 AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

LEGEND

- PROPERTY LINE
- X 50.5 EXISTING SPOT ELEVATION
- 5094 EXISTING CONTOUR
- 90 PROPOSED CONTOUR
- 48.00 PROPOSED SPOT ELEVATION
- F.F. = FINISHED FLOOR
- BASIN BOUNDARY
- WATER BREAK
- EXISTING CURB AND GUTTER
- EXISTING STORM DRAIN
- N 90°00'00" E RECORD BEARING AND DISTANCES
- UTILITY PEDESTAL
- FOUND AS INDICATED
- CENTERLINE MONUMENT "LS 7719"
- WATER METER
- UTILITY POLE
- OVERHEAD UTILITY LINES
- GUY WIRE
- FIRE HYDRANT
- LIGHT POST
- TC=5044.0 TOP BACK OF CURB
- 5044.0 GROUND SPOT ELEVATION
- FL=5044.0 FLOW LINE ELEVATION
- TAC=5044.0 TOP OF ASPHALT CURB ELEVATION
- CONCRETE

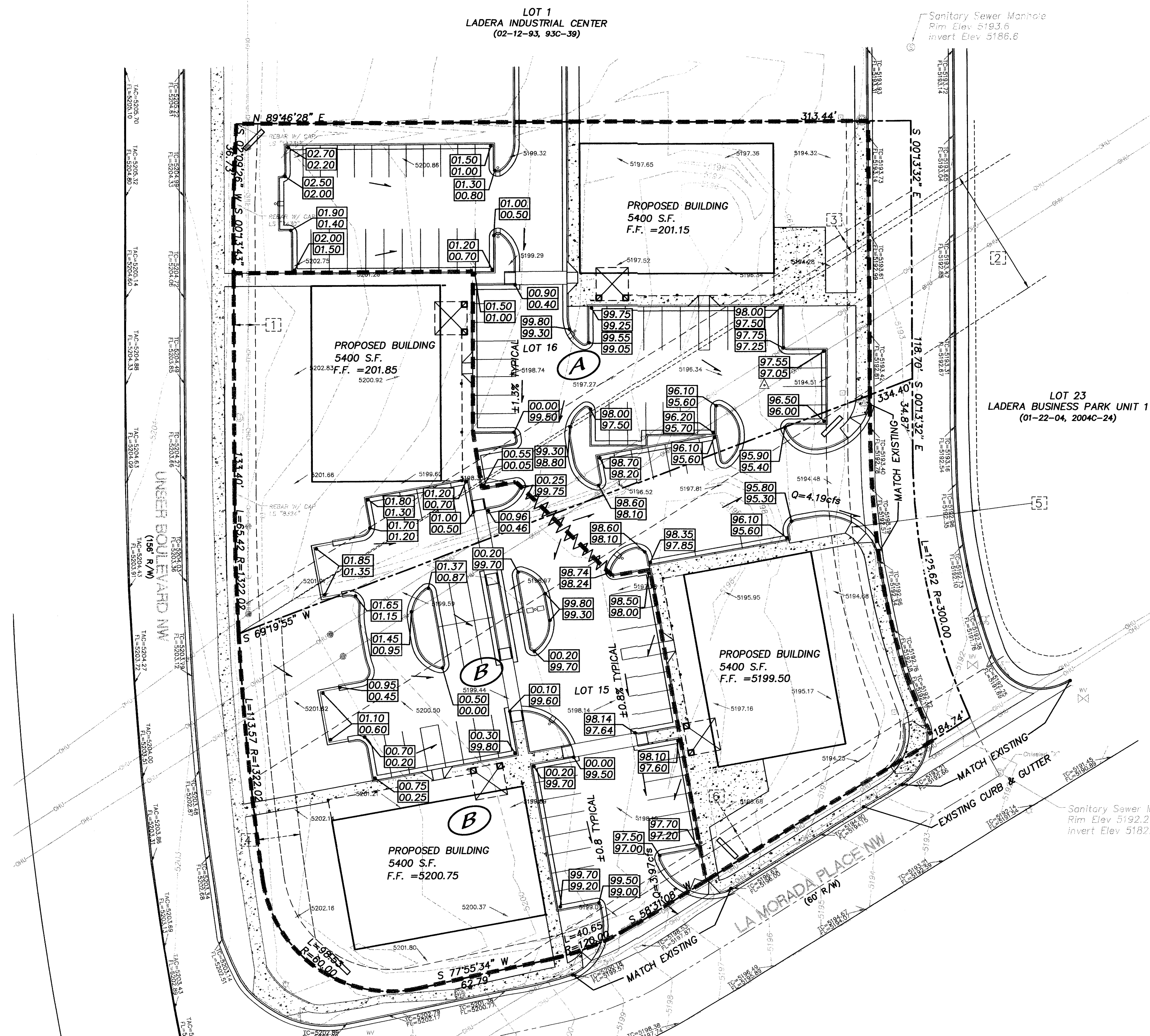
LOTS 15 & 16 LADERA BUSINESS PARK

UTILITY PLAN

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

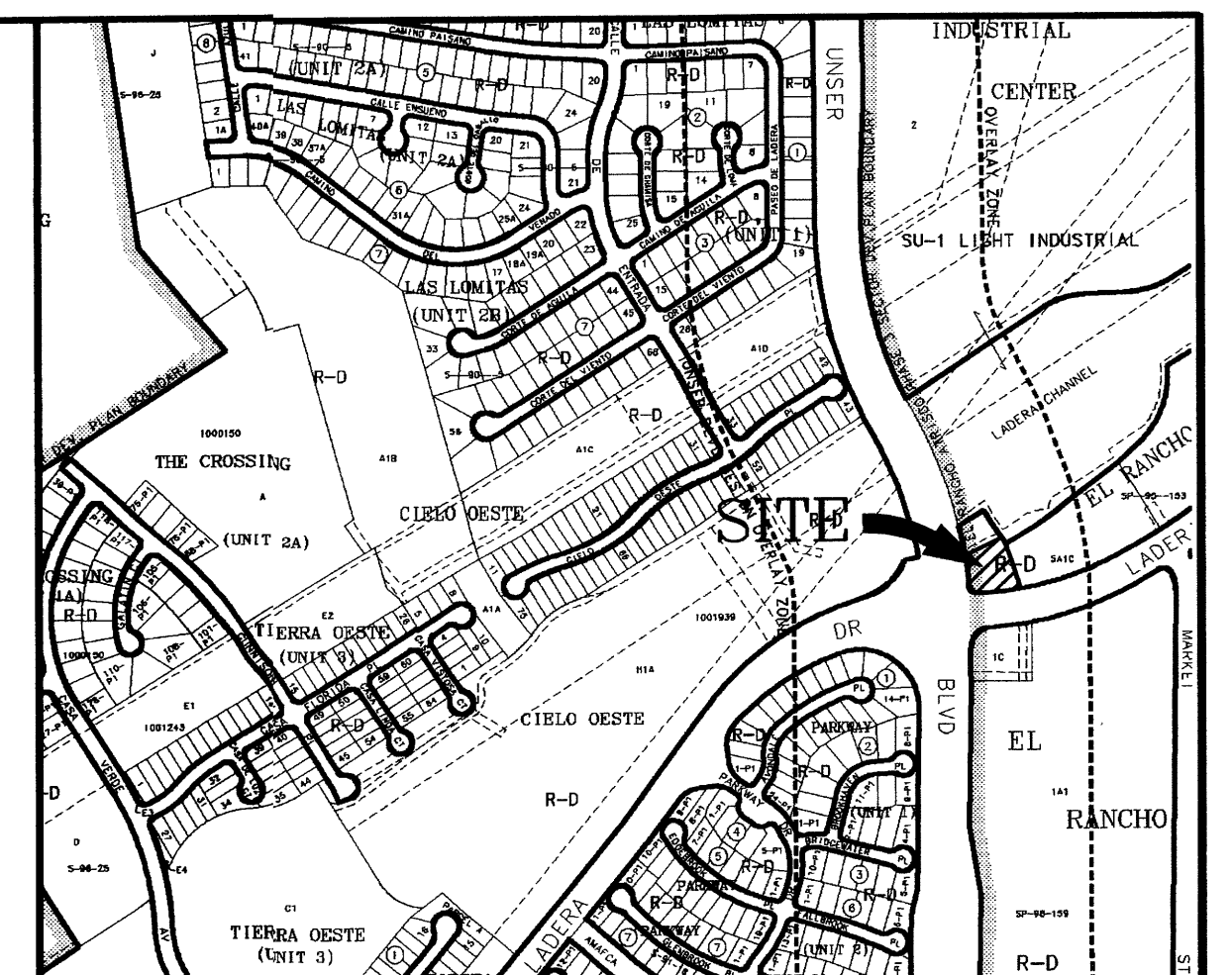
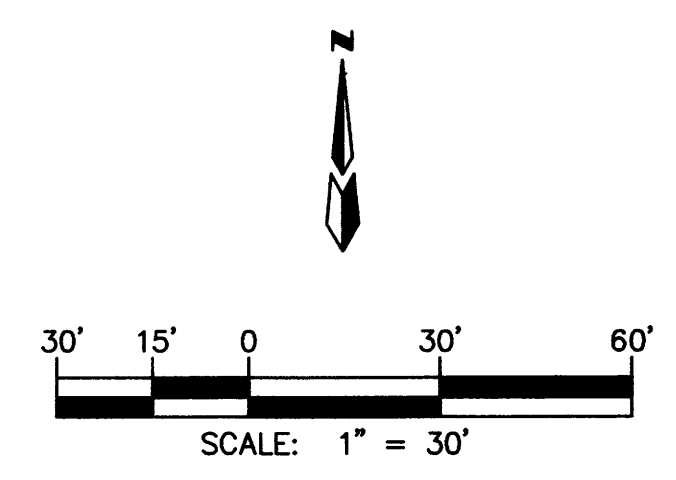
Designed: JDS Drawn: CAR Checked: DMG Sheet 1 of 1
 Scale: 1" = 30' Date: 11/29/05 Job: A5090

F:\05\05\A5090\GRADING & DRAINAGE\A5090_GD.dwg, 12/19/05 9:30:01 AM, charles



- NOTES**
- Easements**
- [1] EXISTING 10' PUBLIC UTILITY EASEMENT (1/22/04, 04C-24)
 - [2] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT OF WAY EASEMENT (03/16/53, BK. MISC. 498, PAGES 619-622)
 - [3] EXISTING OVERHEAD UTILITY EASEMENT (1/22/04, 04C-24)
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John M. Goodwin
12-19-05



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK
ACS MONUMENT "1-H10" HAVING AN ELEVATION OF 5142.74.

LEGAL DESCRIPTION
TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16), OF LADERA BUSINESS PARK, UNIT 2 AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 11, 2004, IN BK. 2004C, PAGE 325.

LEGEND

	PROPERTY LINE
	EXISTING SPOT ELEVATION
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	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FINISHED FLOOR
	BASIN BOUNDARY
	WATER BREAK
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	EXISTING STORM DRAIN
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	UTILITY POLE
	OVERHEAD UTILITY LINES
	GUY WIRE
	FIRE HYDRANT
	LIGHT POST
	TOP BACK OF CURB
	GROUND SPOT ELEVATION
	FLOW LINE ELEVATION
	TOP OF ASPHALT CURB ELEVATION
	NEW CURB AND GUTTER

**LOTS 15 & 16 LADERA BUSINESS PARK
GRADING & DRAINAGE**

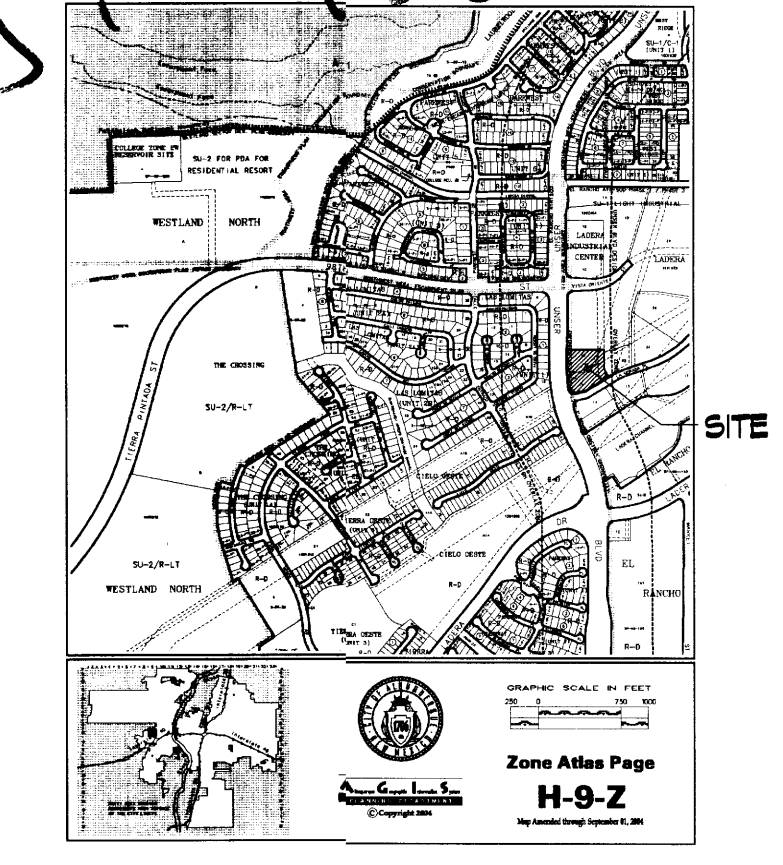
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JDS Drawn: CAR Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 11/10/05 Job: A5090

PROJ 1001523

KEYED NOTES

1. DEVELOPMENT SIGN, RE. B5/A002
2. C.M.U. REFUSE ENCLOSURE, RE. A3, A5, B4 & B5 / A002
3. ASPHALT PAVING, TYPICAL UNLESS NOTED OTHERWISE
4. PEDESTRIAN CROSSING OF PATTERNED CONCRETE, TYP.
5. PLAZA AREA WITH SPECIAL PAVING
6. CONCRETE SIDEWALK, 6'-0" WIDE, UNLESS NOTED OTHERWISE AND EXISTING WHERE SIDEWALK HAS CONCRETE HATCH PATTERN.
7. LANDSCAPE PLANTER WITH STANDING CURB AT PERIMETER, TYP.
8. HANDICAP RAMP AT ALL SIDEWALK AND VEHICULAR INTERSECTIONS, TYP.
9. HANDICAP PARKING SPACE AND ACCESS AISLE WITH RAMP TO SIDEWALK, TYP. UNLESS NOTED OTHERWISE, RE. D4 & D5 / A002
10. PARKING LOT AREA LIGHT, TYP. RE. C4/A002
11. BICYCLE PARKING FOR 2, TYP. RE. D3/A002
12. EXISTING UTILITY POLES
13. PNM UTILITY EASEMENT



VICINITY MAP
N.T.S.

TRACT A	
BLDG AREA:	5,400 SF
BLDG A-1	5,400 SF
BLDG A-2	5,400 SF
TRACT A AREA:	55,810 SF (1.28 ACRES)
PARKING:	66
TRACT B	
BLDG B-1	5,400 SF
BLDG B-2	5,400 SF
TRACT B AREA:	59,065 SF (1.35 ACRES)
PARKING:	51
TOTAL TRACT AREA	114,875 SF (2.64 ACRES)

BUILDING USE	RETAIL
PARKING	
TOTAL REQUIRED:	108 (21,600 G.S.F. @ 1:200SF)
TOTAL PROVIDED:	117
HANDICAPPED PARKING	
TOTAL REQUIRED:	8
TOTAL PROVIDED:	8
BICYCLE PARKING	
TOTAL REQUIRED:	6 (1 PER 20 REQ'D PKG SPACES)
TOTAL PROVIDED:	6

Unser, NW →



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1" = 20'
SCALE: 1" = 20'

architecture
interiors
planning
engineering

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER

PROJECT

The Shops @ La Morada
Tracts 15 & 16
Ladera Business Park, Unit 1
Albuquerque, New Mexico

Scanned 4/17/06 cs

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Michael Holton (see adjustments) 11/29/05

REVISIONS

△

△

△

△

△

DRAWN BY: CLV

REVIEWED BY: CRG

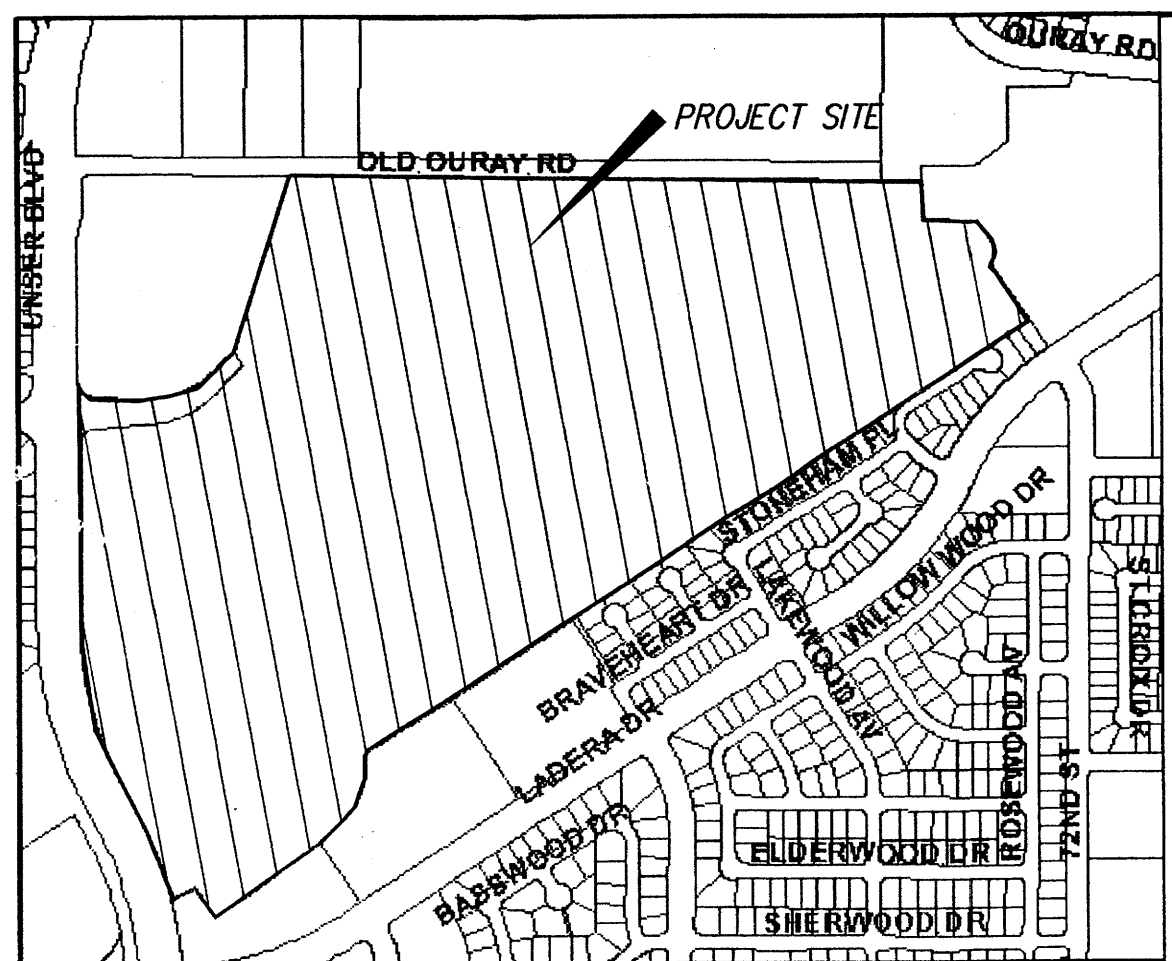
DATE: 12/00/05

PROJECT NO.: 05152

DRAWING NAME: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.: **A001**

OF



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

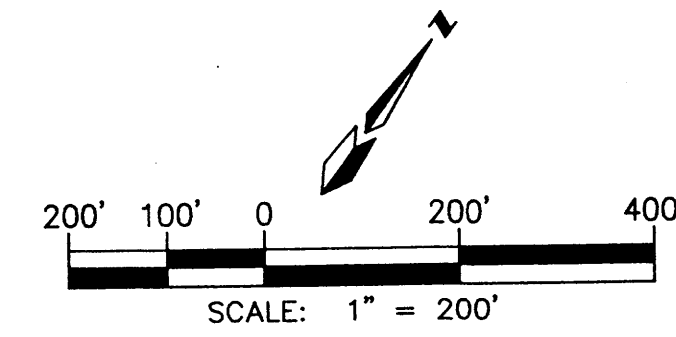
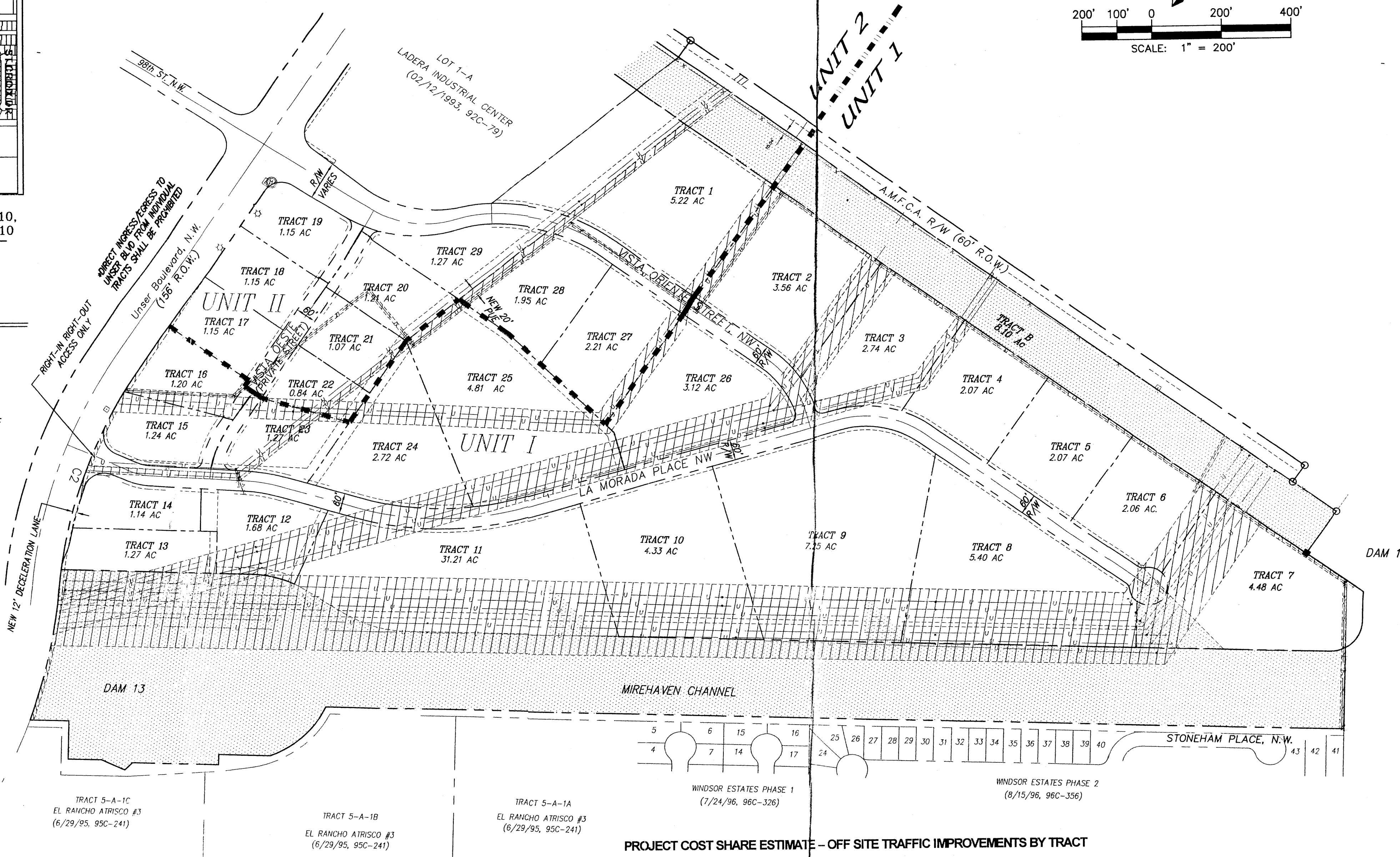
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-9801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER. SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT: AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN: THE DESIGN GUIDELINES ON SHEET 2 OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.

APPROVED AND ACCEPTED BY:

Project No. 1001523
Application No. 03-01458
Sharon Matson 1/16/04
Planning Department/DRB Chair
Brady D. Bigler 10/8/03
City Engineer
Rogers 10/8/03
Transportation Development
Rogers 10/8/03
Utility Development
Christine Sandoral 10/8/03
Parks and Recreation

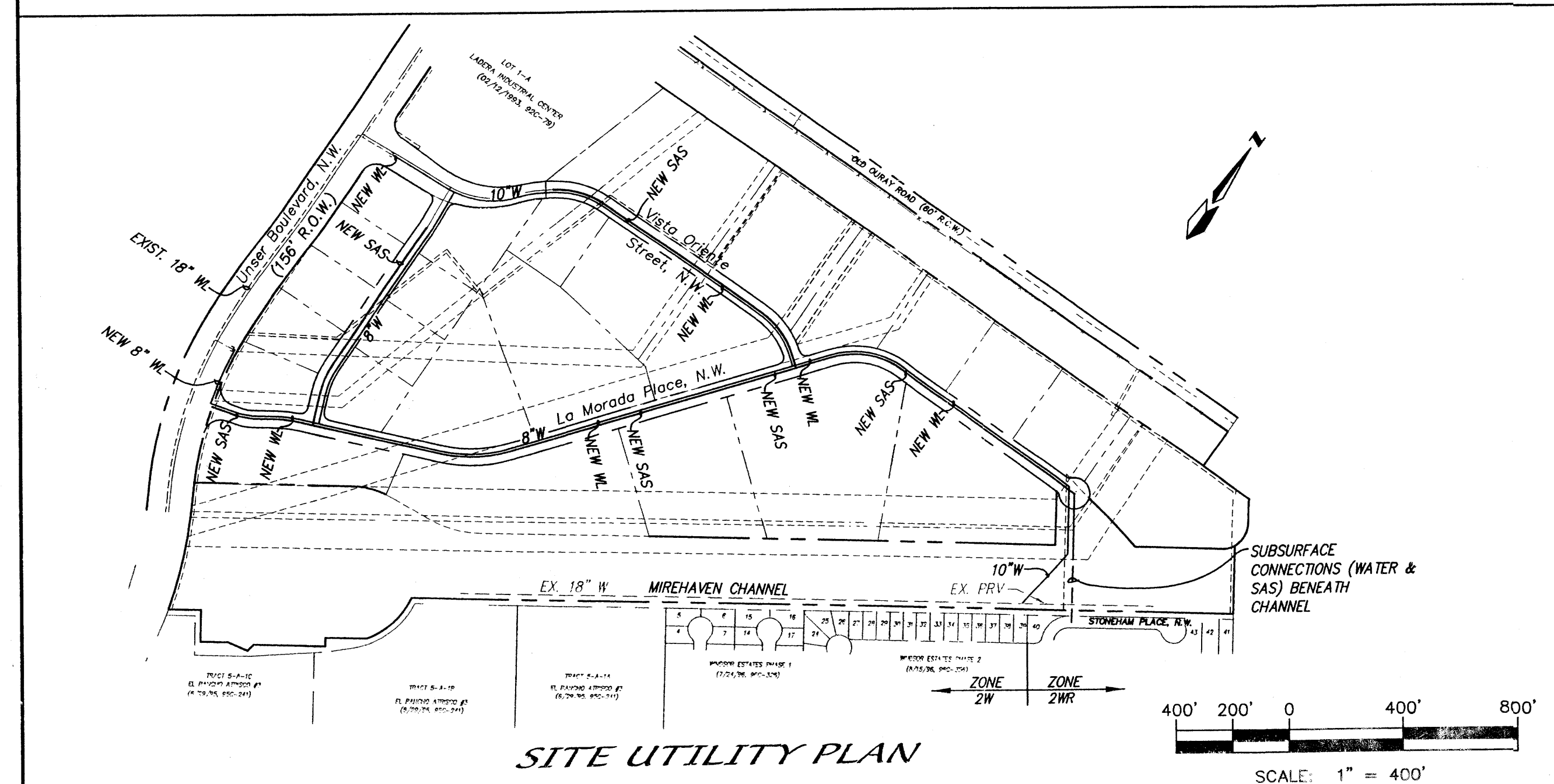
PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS BY TRACT

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)	TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (\$)
1	5.22	6.88	3,743.72	16	1.20	1.58	859.75
2	3.56	4.69	2,552.04	17	1.15	1.52	827.10
3	2.74	3.61	1,964.37	18	1.15	1.52	827.10
4	2.07	2.73	1,485.52	19	1.15	1.52	827.10
5	2.07	2.73	1,485.52	20	1.21	1.60	870.63
6	2.06	2.72	1,480.08	21	1.07	1.41	767.25
7	4.48	5.91	3,215.90	22	0.84	1.11	604.00
8	5.40	7.12	3,874.31	23	1.27	1.67	908.72
9	7.25	9.56	5,202.03	24	2.72	3.59	1,953.48
10	4.33	5.71	3,107.07	25	4.81	6.34	3,449.88
11	6.18	8.15	4,434.79	26	3.13	4.13	2,247.32
12	1.68	2.21	1,202.56	27	2.21	2.91	1,583.46
13	1.29	1.70	925.05	28	1.95	2.57	1,398.45
14	1.15	1.52	827.10	29	1.27	1.67	908.72
15	1.24	1.63	886.96				
TOTAL				75.85			\$54,414.58

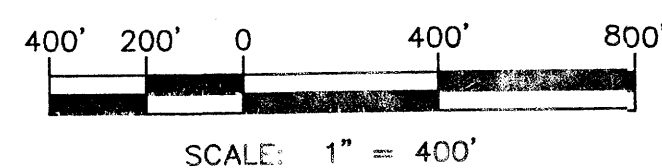
AN INFLATION FACTOR OF 3% PER YEAR SHALL BE APPLIED TO TRACTS DEVELOPING AFTER THE YEAR 2002.

*NET OF DRAINAGE EASEMENT

OFF-SITE TRAFFIC IMPROVEMENTS IDENTIFIED HEREON TO BE PAID BY INDIVIDUAL TRACT OWNERS AT THE TIME OF BUILDING PERMIT ISSUANCE.



SITE UTILITY PLAN



LEGEND

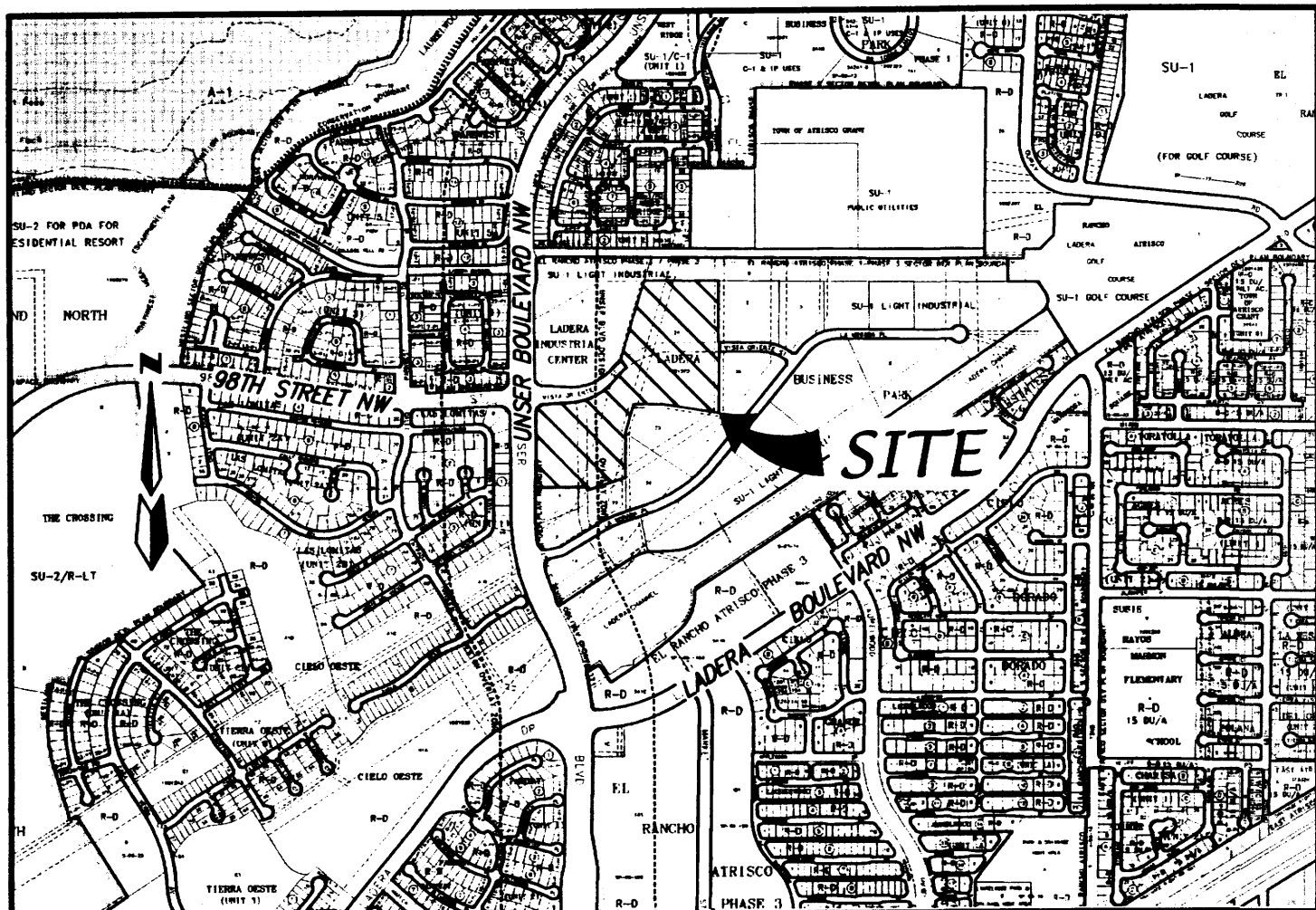
- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT
- UNIT BOUNDARY

**LADERA BUSINESS PARK
SITE PLAN FOR SUBDIVISION**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1 of 3
Scale: 1" = 200' Date: 01-03-04 Job: A01130

PROJ 1001523



LOCATION MAP **ZONE ATLAS H-9-Z & H-10-Z**
SCALE: NONE

SUBDIVISION DATA

Gross acreage.....18.8928 AC
 Zone Atlas No.....H-9-Z & H-10-Z
 No. of existing Tracts/Lots.....1 LOT
 No. of Tracts/Lots created.....10 TRACTS
 No. of Tracts/Lots eliminated.....1 LOT
 Miles of full width streets created.....0.19
 Area dedicated to the City of Albuquerque.....0.8919 AC
 Date of Survey.....MARCH, 2002
 Utility Control Location System Log Number.....2002100955

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible-in fee simple title to the land subdivided.

OWNER: UNSER/98TH STREET PARTNERSHIP LLC
 BY: ROBERT SPARLING, MANAGING MEMBER

[Signature] 7/14/04
 ROBERT SPARLING DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on July 14, 2004
 By Robert Sparling, Managing Member of UNSER/98TH STREET PARTNERSHIP LLC A New Mexico Corporation on behalf of said corporation

[Signature] BETH GONZALES
 NOTARY PUBLIC STATE OF NEW MEXICO
 My commission expires: 10-08-07
 MY COMMISSION EXPIRES

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide a single Lot into 10 Tracts
2. Grant Easements shown hereon
3. Dedicate Right-of-Way as shown hereon.

PROJ 1001523

PLAT FOR
LADERA BUSINESS PARK UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1001523

Application Number:

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	8-25-04 Date
<i>[Signature]</i> PNM Gas Services	8-25-04 Date
<i>[Signature]</i> Qwest	8-25-04 Date
<i>[Signature]</i> Comcast	8-25-04 Date

City Approvals:

<i>[Signature]</i> City Surveyor	8-2-04 Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

FINAL
PRELIMINARY PLAT
 APPROVED BY DRB
[Signature]
 8/10/04

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 07-30-04
 Timothy Aldrich P.S. No. 7719 Date

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 4
Scale: N/A	Date: 07/14/04	Job: A04038	

PLAT FOR
**LADERA BUSINESS PARK
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

DESCRIPTION:

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOT 2-A, LADERA BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 22, 2004 in Volume 2004C, Folio 24 and containing 18.8928 acres more or less.

NOTES:

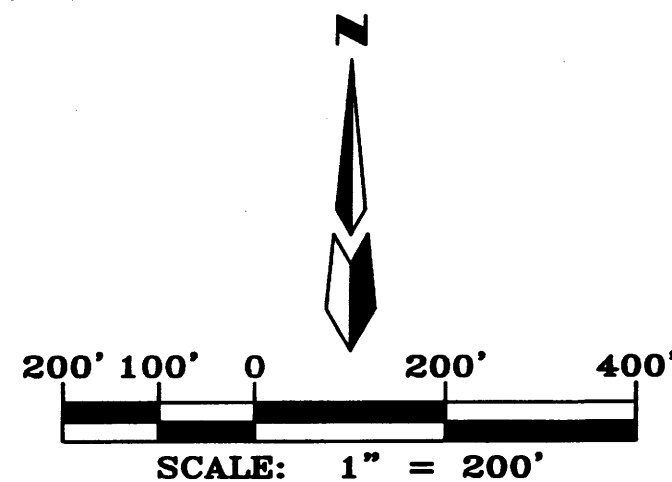
- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:

PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2",
 (02-12-93, 93C-39)

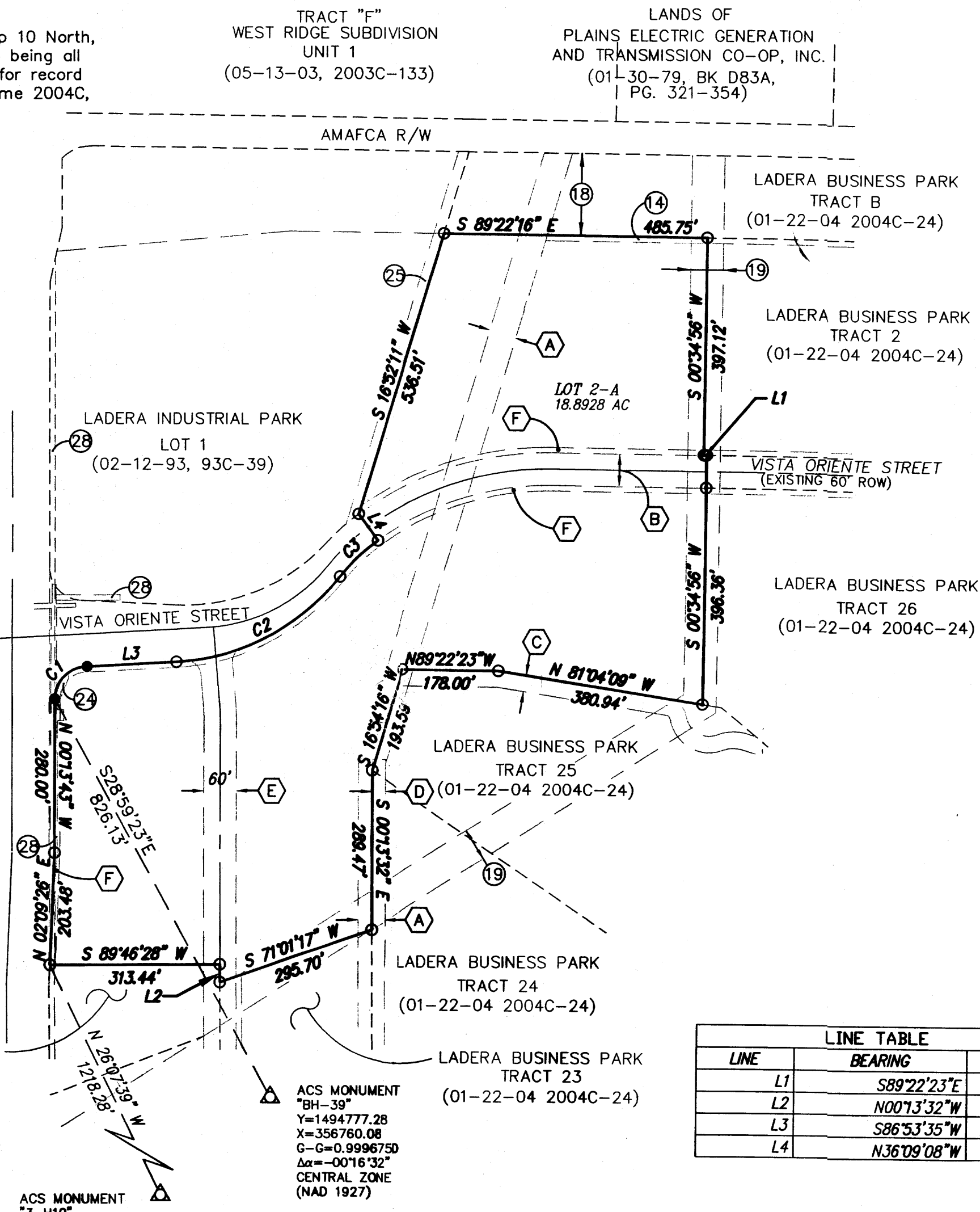
PLAT FOR "LADERA BUSINESS PARK, UNIT 1",
 (01-22-04, 2004C-24)
 all being records of Bernalillo County, New Mexico.

- Field Survey performed January, 2002.
- Title Report: First American Title Company, Commitment No.: 01014032 (Effective date: 08-15-01)
- 30' private drainage easement previously granted by unit 1 plat action to the owners of tracts 20, 26, 27, 28 & 29 and to be jointly maintained by said owners.
- 25' private drainage easement previously granted by unit 1 plat action to the owners of tracts 21, 22 & 23 and to be jointly maintained by said owners.
- 60' wide private access easement granted by this plat to the owners of Tracts 12-23 and to be jointly maintained by said owners. Overlapping this private access easement is a 60' wide public drainage, waterline and sanitary sewer easement granted to the City of Albuquerque by this plat. (SEE SHEET 3 OF 4)

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7430" (TYP)



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990



ACS MONUMENT
 "3-H10"
 Y=1493922.98
 X=356889.72
 G-G=0.99967504
 Δα=-00'16"31"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5193.38

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-G=0.9996750
 Δα=-00'16"32"
 CENTRAL ZONE
 (NAD 1927)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°22'23"E	5.05
L2	N00°13'32"W	32.11
L3	S86°53'35"W	164.51
L4	N36°09'08"W	60.00

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	94.24	60.00	89°59'46"	60.00	S44°46'17"W	84.85
C2	349.48	410.00	48°50'21"	186.15	N62°29'23"E	339.00
C3	96.38	350.00	15°46'37"	48.49	S45°57'34"W	96.07

- EASEMENTS**
- ⑬ EXISTING TEMPORARY BLANKET PUBLIC DRAINAGE EASEMENT (LOT 2 NOW LOT 2-A) (02-12-93, 93C-39)
 - ⑲ EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE RIGHT-OF-WAY EASEMENT (03-16-53, BK.MISC. D 235, PGS. 619-622)
 - ⑳ EXISTING PNM AND US WEST COMMUNICATIONS EASEMENT (10-20-94, BK. 94-29, PGS. 6190-6193)
 - ㉑ REMAINDER EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK.MISC. D 197, PGS. 571-572)
 - ㉒ EXISTING 10' UNDERGROUND PNM & MOUNTAIN BELL EASEMENT (02-12-87, C32-184)
 - ⑭ EXISTING 10' PNM AND M.S.T.&T. EASEMENT (12-09-80, BK.MISC. 817, PGS. 339-340)
 - ⑰ EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO. 7-76-03096 (09-28-76, BK.MISC. 498, PGS. 648-683)
 - Ⓐ EXISTING 50' PNM EASEMENT (01-22-04 2004C-24)
 - Ⓑ EXISTING 60' PUBLIC ROADWAY EASEMENT (01-22-04 2004C-24)
 - Ⓒ EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 7 SHEET 2)
 - Ⓓ EXISTING 25' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 8 SHEET 2)
 - Ⓔ EXISTING TEMPORARY PRIVATE ACCESS EASEMENT (01-22-04 2004C-24) GRANTED TO ALL TRACTS WITH UNIT 1
 - Ⓕ EXISTING 10' PUE (01-22-04 2004C-24)

07-30-04

Dwg: SHEET2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 4
Scale: AS SHOWN	Date: 07/29/04	Job: A04038	

PLAT FOR
**LADERA BUSINESS PARK
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

LADERA BUSINESS PARK
 TRACT B
 (01-22-04 2004C-24)

LADERA BUSINESS PARK
 TRACT 2
 (01-22-04 2004C-24)

LADERA BUSINESS PARK
 TRACT 26
 (01-22-04 2004C-24)

LADERA BUSINESS PARK
 TRACT 25
 (01-22-04 2004C-24)

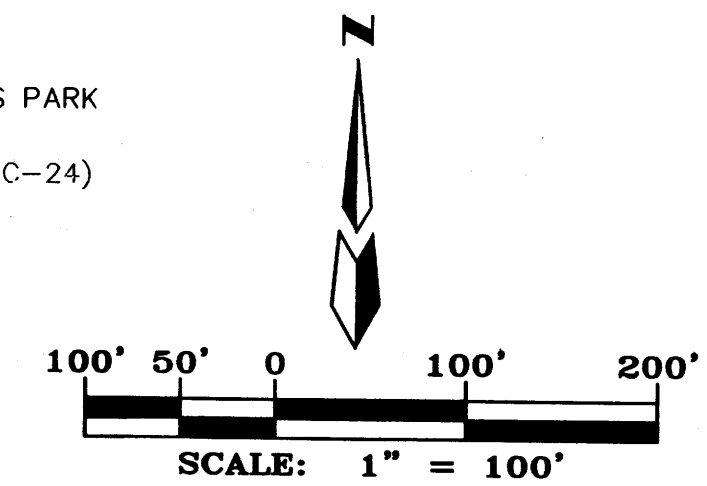
LADERA BUSINESS PARK
 TRACT 24
 (01-22-04 2004C-24)

LADERA BUSINESS PARK
 TRACT 16
 (01-22-04 2004C-24)

LADERA BUSINESS PARK
 TRACT 23
 (01-22-04 2004C-24)

LADERA INDUSTRIAL CENTER
 LOT 1
 (02-12-93, 93C-39)

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7430" (TYP)



NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

Stephen
 07-30-04

SEE SHEET 4 OF 4 FOR CURVE TABLE

**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 07/29/04	Job: A04038	

ACCESS TO/FROM INDIVIDUAL TRACTS
 ALONG UNSER BLDY. IS PROHIBITED.
 UNSER BOULEVARD N.W. (156'R/W)

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PLAT FOR
LADERA BUSINESS PARK
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

CURVE TABLE

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C3	96.38	350.00	15°46'37"	48.49	S45°57'34"W	96.07
C4	361.13	562.57	36°46'49"	187.03	S72°14'13"W	354.96
C5	24.11	300.00	4°36'14"	12.06	N02°31'39"W	24.10
C6	380.39	592.57	36°46'50"	197.01	S72°14'13"W	373.89
C7	180.93	532.57	19°27'57"	91.35	S80°53'39"W	180.07
C8	160.98	532.57	17°19'09"	81.11	S62°30'06"W	160.37
C9	276.40	410.00	38°37'32"	143.68	N57°22'59"E	271.19
C14	73.09	410.00	10°12'49"	36.64	N81°48'09"E	72.99
C15	341.88	532.57	36°46'50"	177.06	S72°14'12"W	336.04

LINE TABLE


LINE	BEARING	DISTANCE
L1	S89°22'23"E	5.05
L2	N00°13'32"W	32.11

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

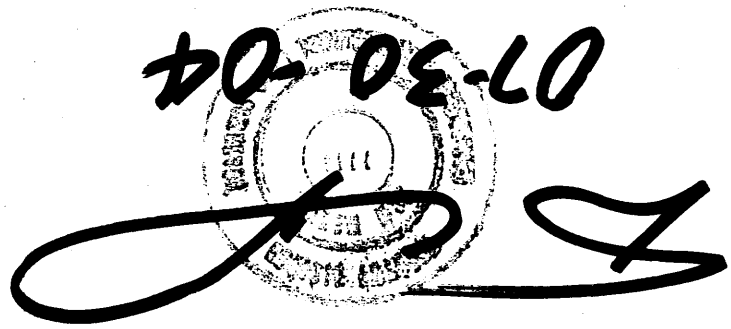
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Quest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

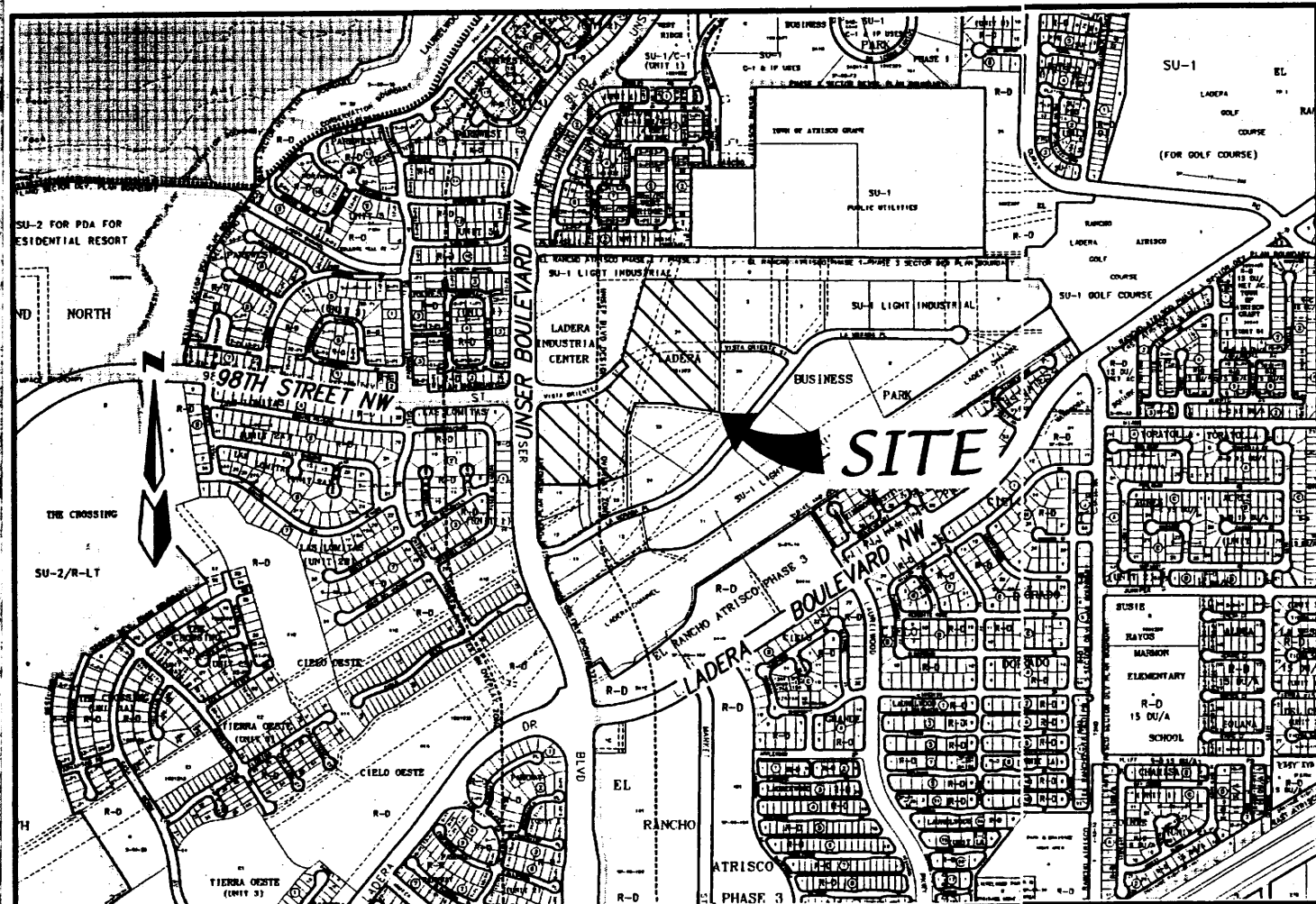
renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.


LD RICH LAND
SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Scale: NA
Sheet 4 of 4	Date: 07/29/04	Job: A04038	





LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide a single Lot into 10 Tracts
2. Grant Easements shown hereon
3. Dedicate Right-of-Way as shown hereon.

PROS 1001523



PLAT FOR
LADERA BUSINESS PARK
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1001523

Application Number: 04-01491

PLAT APPROVAL

Utility Approvals:

<u>Leon D. Mute</u> PNM Electric Services	<u>8-25-04</u> Date
<u>Leon D. Mute</u> PNM Gas Services	<u>8-25-04</u> Date
<u>Daniel R. Muller</u> Qwest	<u>8-25-04</u> Date
<u>Rita Eubank</u> Comcast	<u>8-25-04</u> Date

City Approvals:

<u>[Signature]</u> City Surveyor	<u>8-2-04</u> Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	<u>10-6-04</u> Date
<u>[Signature]</u> Utilities Development	<u>10-6-04</u> Date
<u>Christina Sandoral</u> Parks and Recreation Department	<u>10/6/04</u> Date
<u>Walter W. Elliott</u> AMAFCA	<u>10/7/04</u> Date
<u>Bradley L. Bigham</u> City Engineer	<u>10/7/04</u> Date
<u>Sharon Matson</u> DRB Chairperson, Planning Department	<u>10/6/04</u> Date

Scanned 4/17/06 CS

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 07-30-04
 Timothy Aldrich, P.S. No. 7719 Date

LOCATION MAP ZONE ATLAS H-9-Z & H-10-Z
 SCALE: NONE

SUBDIVISION DATA

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OWNER: USNER/98TH STREET PARTNERSHIP LLC
 BY: ROBERT SPARLING, MANAGING MEMBER

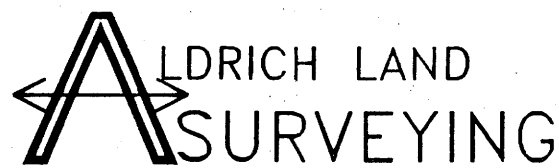
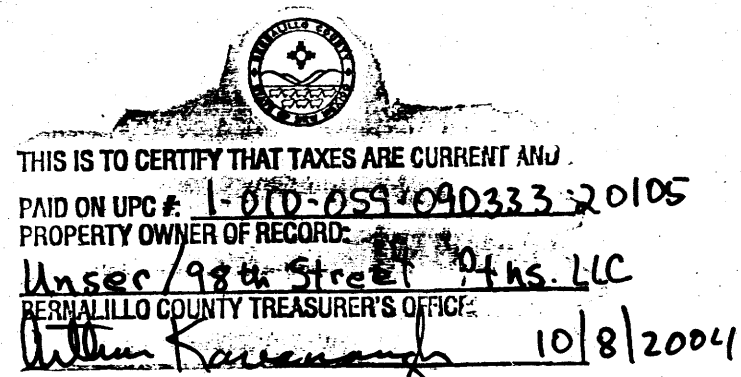
[Signature] 7/14/04
 ROBERT SPARLING DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

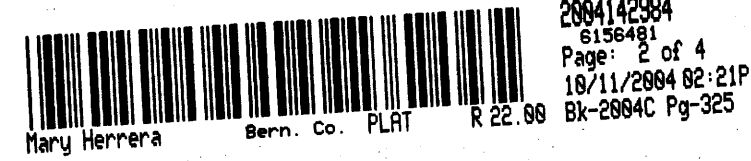
This instrument was acknowledged before me on July 14, 2004
 By Robert Sparling, Managing Member of USNER/98TH STREET PARTNERSHIP LLC A New Mexico Corporation on behalf of said corporation
BETH GONZALES
 NOTARY PUBLIC-STATE OF NEW MEXICO

[Signature] 10-08-07
 NOTARY PUBLIC MY COMMISSION EXPIRES



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 4
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PLAT FOR
**LADERA BUSINESS PARK
 UNIT 2**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
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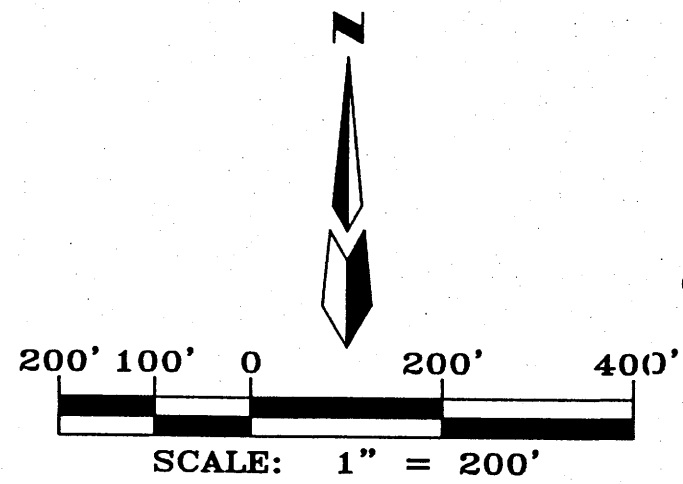
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NOTES:

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 PLAT FOR "LADERA BUSINESS PARK, UNIT 1", (01-22-04, 2004C-24)
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- Field Survey performed January, 2002.
- Title Report: First American Title Company, Commitment No.: 01014032 (Effective date: 08-15-01)
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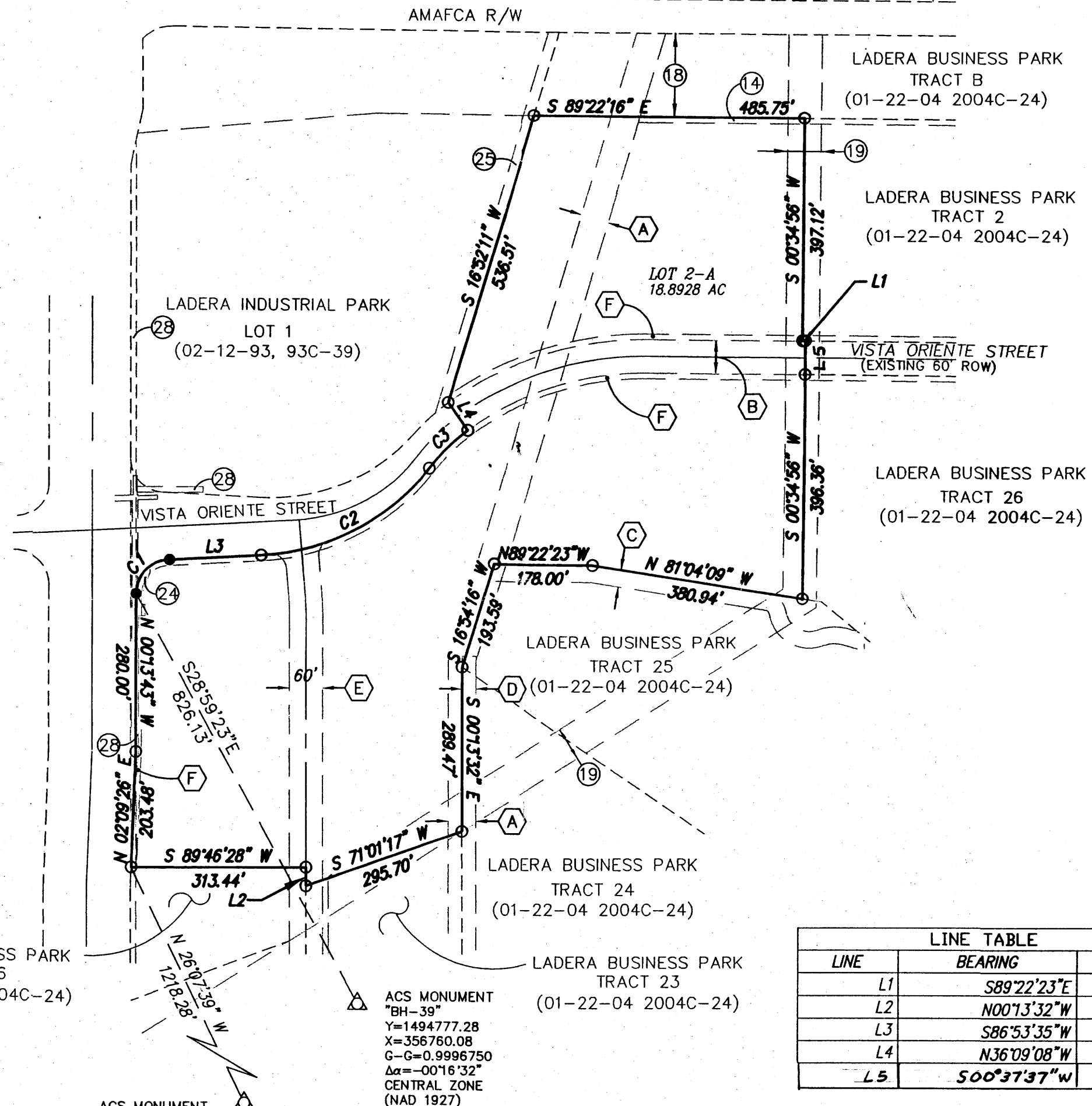
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**ALDRICH LAND
 SURVEYING**
 P.O. BOX 30701, ALBUQ., N.M. 87190
 505-884-1990

TRACT "F"
 WEST RIDGE SUBDIVISION
 UNIT 1
 (05-13-03, 2003C-133)

LANDS OF
 PLAINS ELECTRIC GENERATION
 AND TRANSMISSION CO-OP, INC.
 (01-30-79, BK D83A,
 PG. 321-354)



EASEMENTS

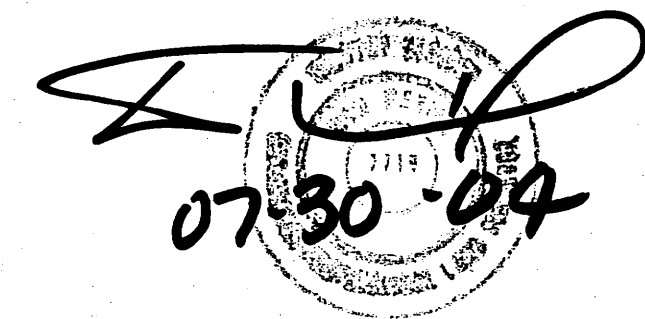
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- 28 EXISTING 10' UNDERGROUND PNM & MOUNTAIN BELL EASEMENT (02-12-87, C32-184)
- 14 EXISTING 10' PNM AND M.S.T.&T. EASEMENT (12-09-80, BK.MISC. 817, PGS. 339-340)
- 18 EXISTING AMAFCA EASEMENT DISTRICT COURT CAUSE NO. 7-76-03096 (09-28-76, BK.MISC. 498, PGS. 648-683)
- A EXISTING 50' PNM EASEMENT (01-22-04 2004C-24)
- B EXISTING 60' PUBLIC ROADWAY EASEMENT (01-22-04 2004C-24)
- C EXISTING 30' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 7 SHEET 2)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT (01-22-04 2004C-24) (SEE NOTE 8 SHEET 2)
- E EXISTING TEMPORARY PRIVATE ACCESS EASEMENT (01-22-04 2004C-24) GRANTED TO ALL TRACTS WITH UNIT 1
- F EXISTING 10' PUE (01-22-04 2004C-24)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°22'23"E	5.05
L2	N00°13'32"W	32.11
L3	S86°53'35"W	164.51
L4	N36°09'08"W	60.00
L5	S00°37'37"W	60.00

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	94.24	60.00	89°59'46"	60.00	S44°46'17"W	84.85
C2	349.48	410.00	48°50'21"	186.15	N62°29'23"E	339.00
C3	96.38	350.00	15°46'37"	48.49	S45°57'34"W	96.07

ACS MONUMENT
 "3-H10"
 Y=1493922.98
 X=356889.72
 G-G=0.99967504
 Δα=-0°16'31"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5193.38

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-G=0.9996750
 Δα=-0°16'32"
 CENTRAL ZONE
 (NAD 1927)



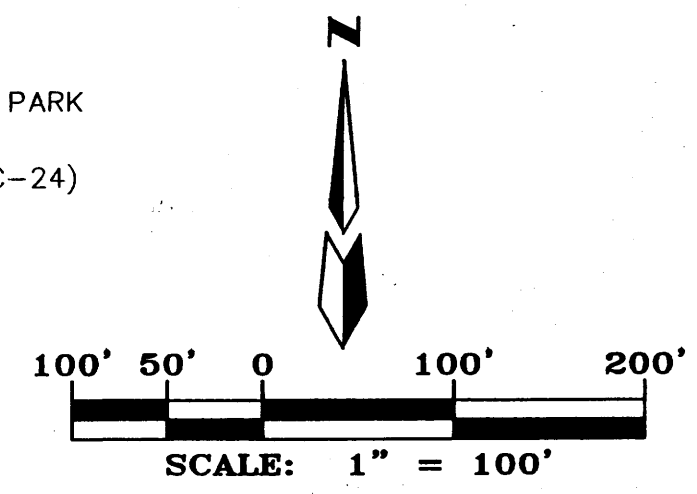
PLAT FOR
**LADERA BUSINESS PARK
UNIT 2**

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 2004



- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 7430" (TYP)

EXIST. C.O.A. CENTERLINE MONUMENT (TYP)



NOTE: NO FENCES, STRUCTURES OR OTHER IMPROVEMENTS SHALL BE INSTALLED WITHIN PNM TRANSMISSION EASEMENTS WITHOUT FIRST EXECUTING A WRITTEN EASEMENT ENCROACHMENT AGREEMENT WITH PNM. PNM SHALL AT ALL TIMES HAVE UNRESTRICTED ACCESS TO ITS TRANSMISSION POWER POLE STRUCTURES LOCATED WITHIN SAID EASEMENTS.

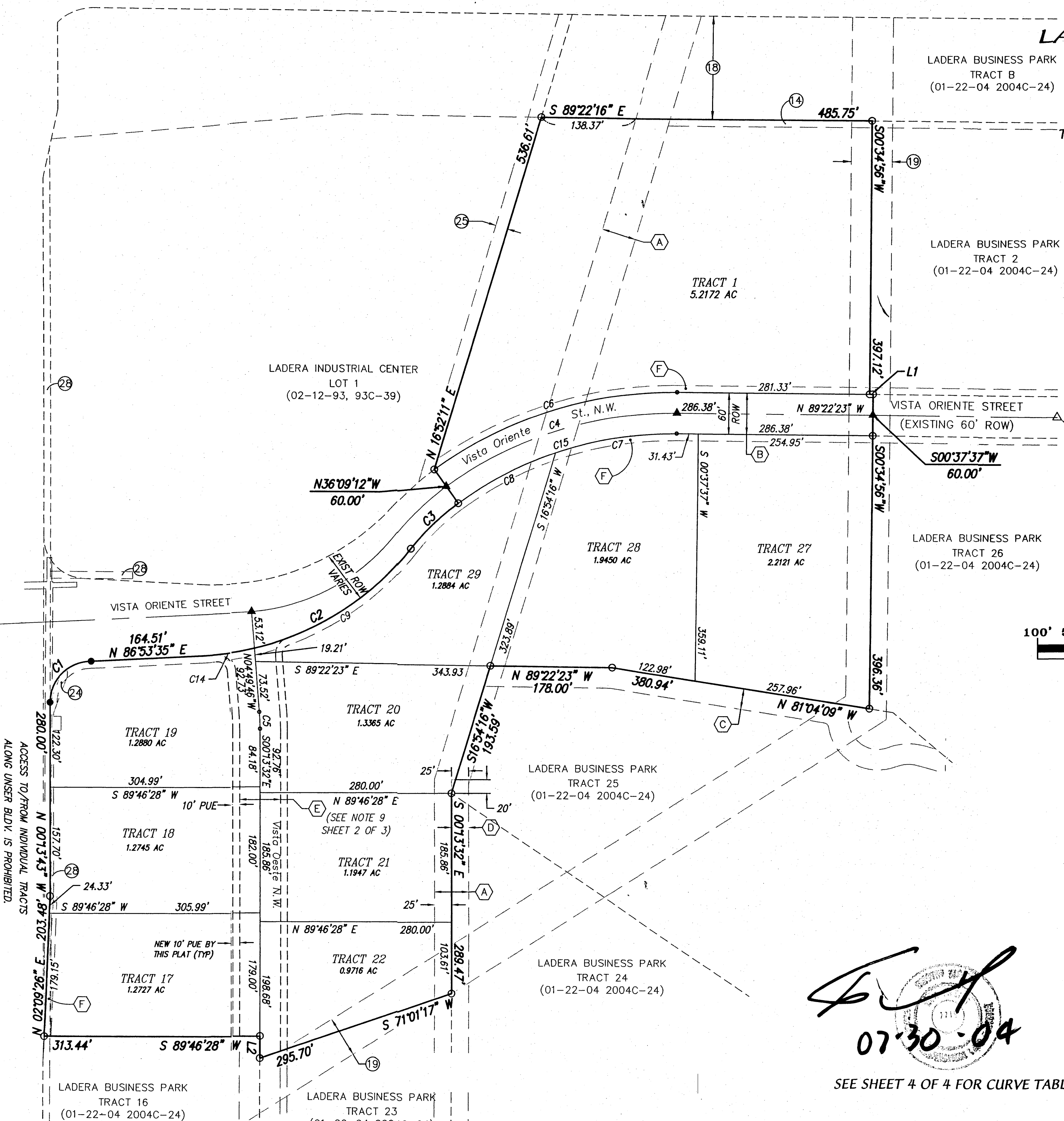
[Handwritten Signature]
07-30-04

**ALDRICH LAND
SURVEYING**

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

SEE SHEET 4 OF 4 FOR CURVE TABLE

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 4
Scale: AS SHOWN	Date: 07/29/04	Job: A04038	



UNSER BOULEVARD N.W. (156'R/W)
ACCESS TO/FROM INDIVIDUAL TRACTS
ALONG UNSER BLDV. IS PROHIBITED.

LADERA BUSINESS PARK
TRACT 16
(01-22-04 2004C-24)

LADERA BUSINESS PARK
TRACT 23
(01-22-04 2004C-24)

LADERA BUSINESS PARK
TRACT 24
(01-22-04 2004C-24)

LADERA BUSINESS PARK
TRACT 25
(01-22-04 2004C-24)

LADERA BUSINESS PARK
TRACT 26
(01-22-04 2004C-24)

TRACT 27
2.2121 AC

TRACT 28
1.9450 AC

TRACT 29
1.2884 AC

TRACT 20
1.3365 AC

TRACT 19
1.2880 AC

TRACT 18
1.2745 AC

TRACT 17
1.2727 AC

LADERA BUSINESS PARK
TRACT B
(01-22-04 2004C-24)

LADERA BUSINESS PARK
TRACT 2
(01-22-04 2004C-24)

LADERA INDUSTRIAL CENTER
LOT 1
(02-12-93, 93C-39)

TRACT 1
5.2172 AC

PLAT FOR
LADERA BUSINESS PARK
UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2004

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S89°22'23"E	5.05
L2	N00°13'32"W	32.11

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	94.24	60.00	89°59'46"	60.00	S44°46'17"W	84.85
C2	349.48	410.00	48°50'21"	186.15	N62°29'23"E	339.00
C3	96.38	350.00	15°46'37"	48.49	S45°57'34"W	96.07
C4	361.13	562.57	36°46'49"	187.03	S72°14'13"W	354.96
C5	24.11	300.00	4°36'14"	12.06	N02°31'39"W	24.10
C6	380.39	592.57	36°46'50"	197.01	S72°14'13"W	373.89
C7	180.93	532.57	19°27'57"	91.35	S80°53'39"W	180.07
C8	160.98	532.57	17°19'09"	81.11	S62°30'06"W	160.37
C9	276.40	410.00	38°37'32"	143.68	N57°22'59"E	271.19
C14	73.09	410.00	10°12'49"	36.64	N81°48'09"E	72.99
C15	341.88	532.57	36°46'50"	177.06	S72°14'12"W	336.04



PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBUQ., N.M. 87190
 505-884-1990

[Signature]
 07-30-04

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 4
Scale: NA	Date: 07/29/04	Job: A04038	

PROJ 1001523

PROJECT COST SHARE ESTIMATE - OFF SITE TRAFFIC IMPROVEMENTS

TRACT	AREA (ACRES)	% OF TOTAL AREA	COST SHARE
1	5.22	6.88	3,743.72
2	3.56	4.69	2,562.04
3	2.74	3.61	1,964.37
4	2.07	2.73	1,485.52
5	2.07	2.73	1,485.52
6	2.06	2.72	1,480.08
7	4.48	5.91	3,215.90
8	5.40	7.12	3,874.31
9	7.25	9.56	5,202.03
10	4.33	5.71	3,107.07
11	6.18	8.15	4,434.79
12	1.68	2.21	1,202.56
13	1.29	1.70	925.05
14	1.15	1.52	827.10
15	1.24	1.63	886.96
16	1.20	1.58	859.75
17	1.15	1.52	827.10
18	1.15	1.52	827.10
19	1.15	1.52	827.10
20	1.21	1.60	870.63
21	1.07	1.41	767.25
22	0.84	1.11	604.00
23	1.27	1.67	908.72
24	2.72	3.59	1,953.48
25	4.81	6.34	3,449.88
26	3.13	4.13	2,247.32
27	2.21	2.91	1,583.46
28	1.95	2.57	1,398.45
29	1.27	1.67	908.72
75.85			554,414.53

Inflation factor of 3% per year to be applied for development of any parcels after the year 2002.

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOT 2, LADERA INDUSTRIAL CENTER, SITE AREA IS 116.6 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

RESTRICTED BUSINESS TYPES:

THE FOLLOWING BUSINESSES ARE NOT PERMITTED WITHIN THE LADERA BUSINESS PARK: ADULT AMUSEMENT ESTABLISHMENT, ADULT BOOK STORE, ADULT PHOTO STUDIO, ADULT THEATER, AUTOMOBILE DISMANTLING YARD, CAMPGROUND, CARNIVAL, CIRCUS, COMMUNITY RESIDENTIAL PROGRAM, COMMUNITY RESIDENTIAL PROGRAM FOR SUBSTANCE ABUSERS, DRIVE-IN RESTAURANT, HELIPAD, KENNEL, VEHICULAR STORAGE, READILY VISIBLE WIRELESS TELECOMMUNICATIONS FACILITY, TRUCK PLAZA, TRUCK TERMINAL, MOBILE HOME STORAGE, TRAILER STORAGE, RECREATIONAL VEHICLE STORAGE, TENTS, OUTDOOR VEHICLE STORAGE, MOBILE HOMES SALES LOT, NIGHT CLUB, PROCESSING OF OR STORAGE OF GASOLINE, PROCESSING/STORAGE, SHEET METAL WORKING, STORAGE ONLY, TRUCK TURNAROUNDS, AND DELIVERY/FREIGHT COMPANIES THAT ARE OPEN 24 HOURS.

MACHINE SHOPS, MANUFACTURING, AUTOMOBILE REPAIR AND OUTDOOR STORAGE ARE PERMITTED USES BUT SHALL BE RESTRICTED FROM LOCATING ON LOTS 12 THRU 23 AND 29, ADJACENT TO UNSER BOULEVARD.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT: AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN: THE DESIGN GUIDELINES OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

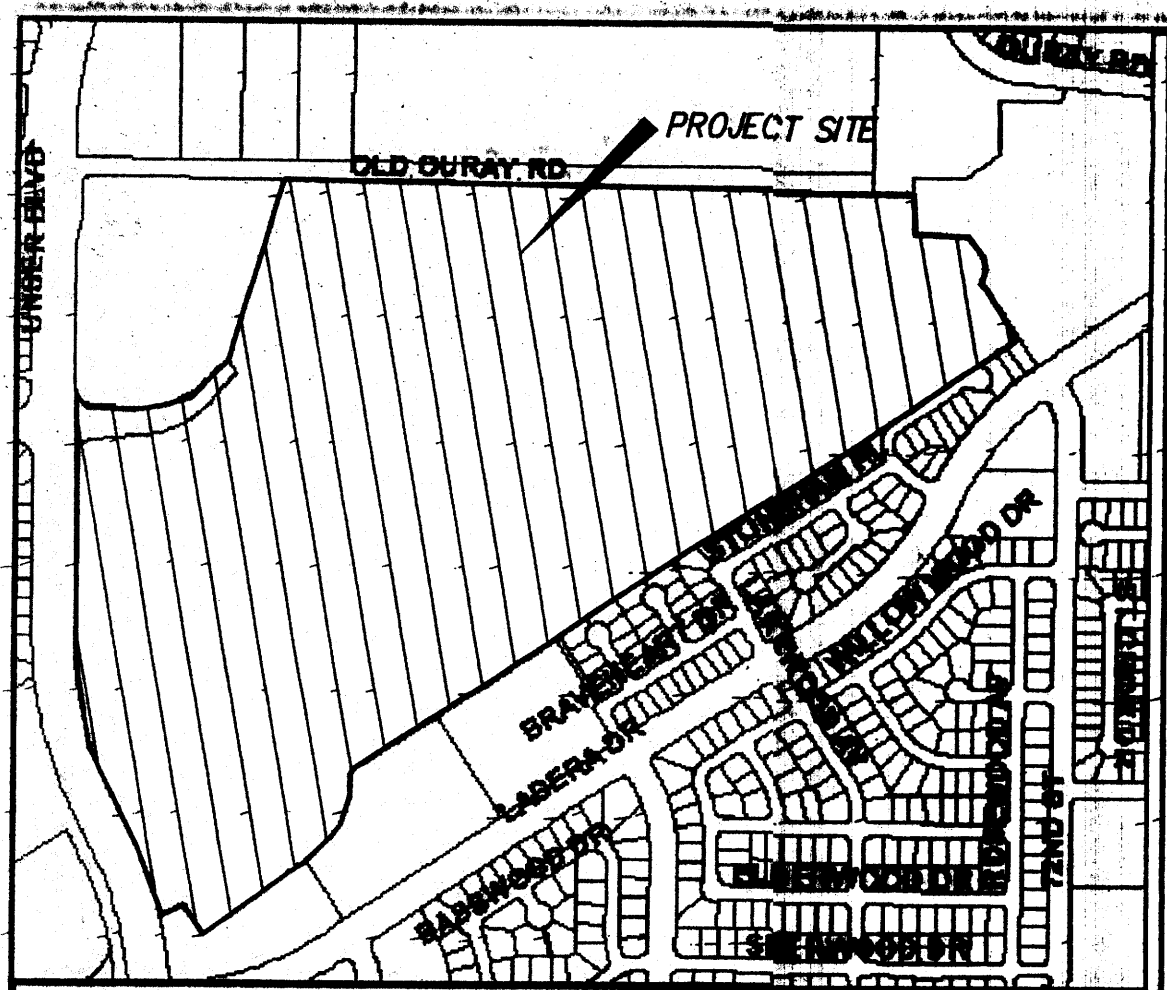
MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH LOT BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.
- THE PROVISIONS OF THIS SITE PLAN ARE IN ACCORDANCE TO AN AGREEMENT MADE WITH SURROUNDING NEIGHBORHOODS AND FILED WITH THE COUNTY CLERK.



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

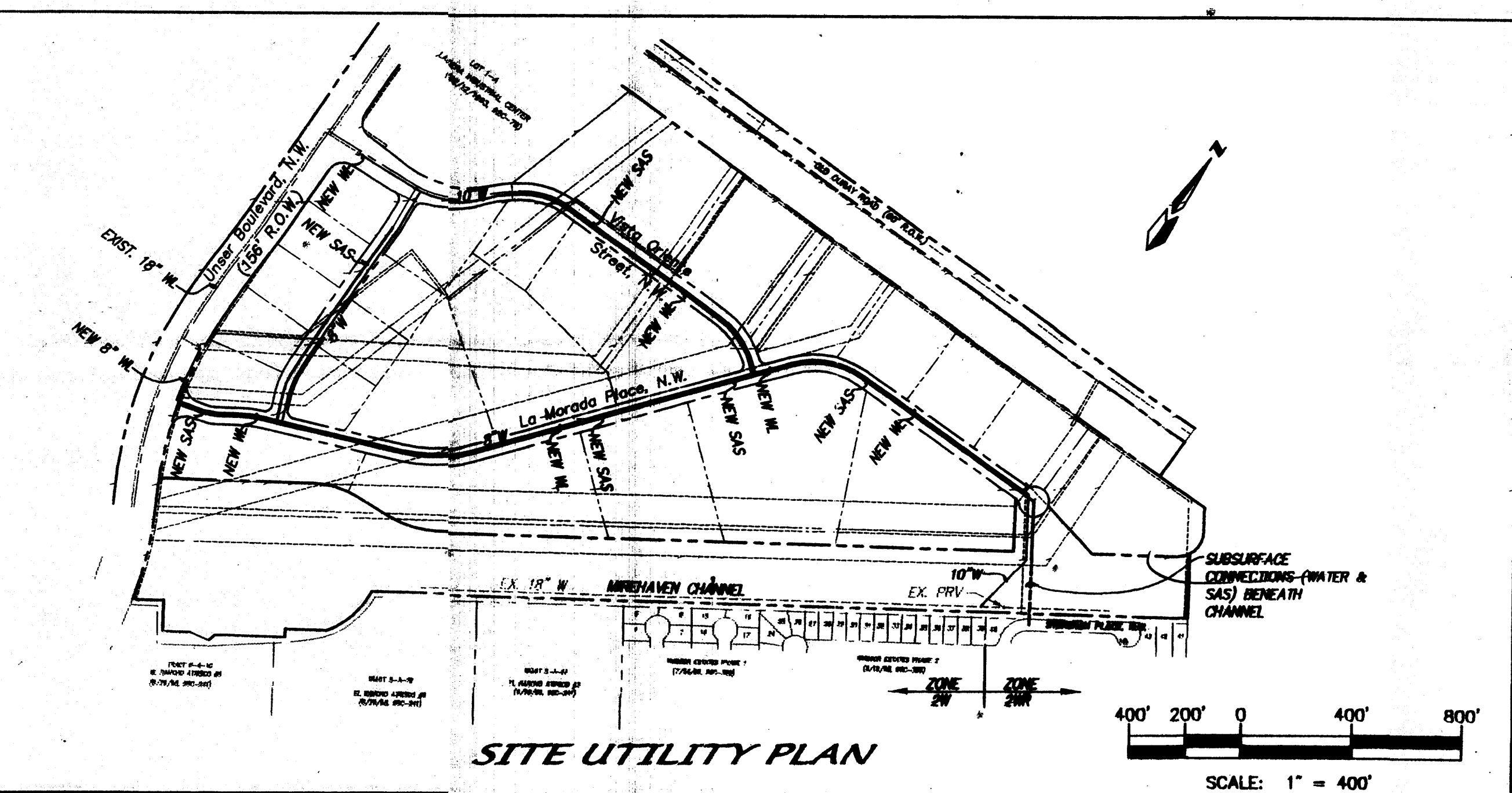
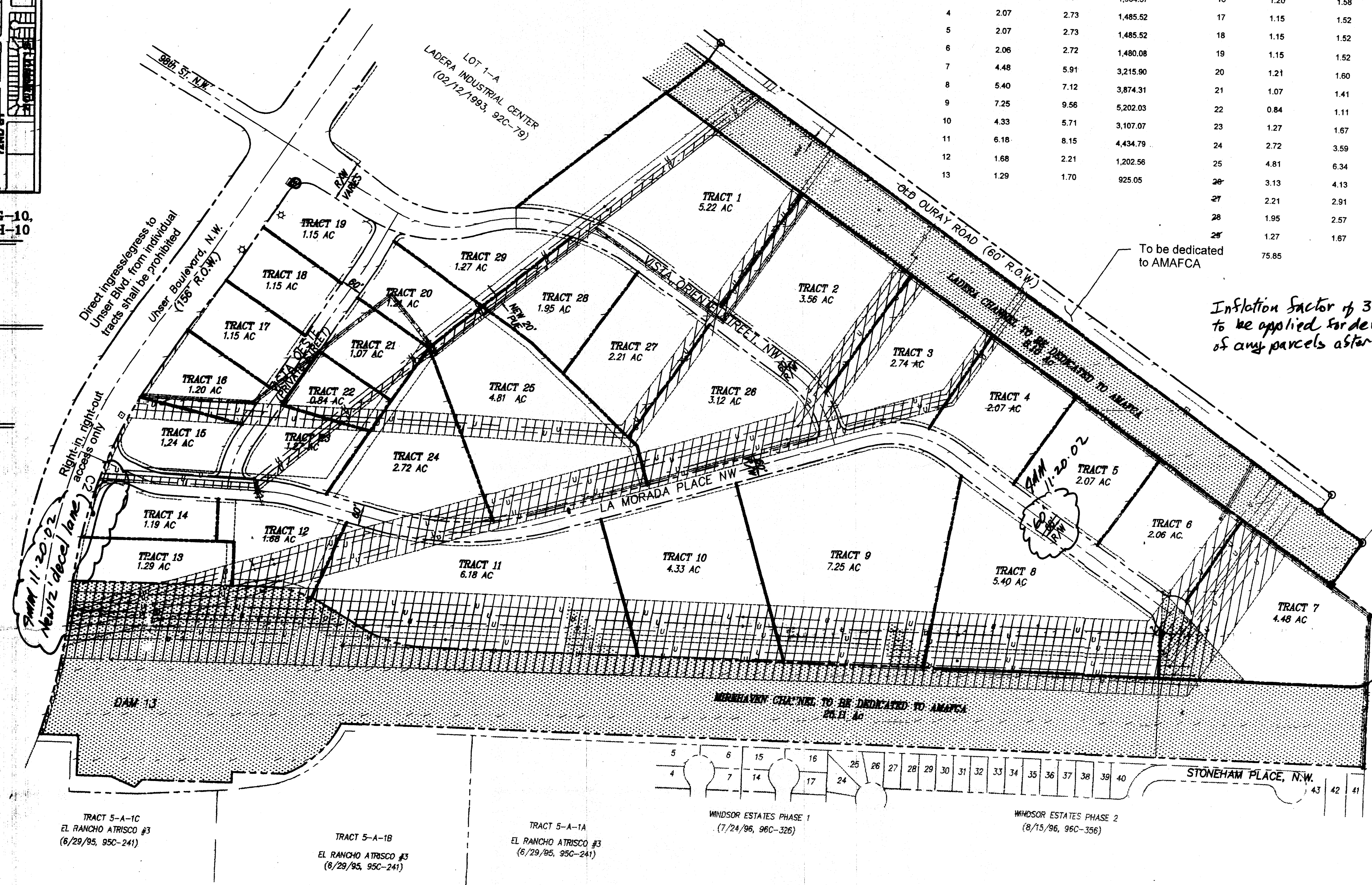
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-9801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



APPROVED AND ACCEPTED BY:

Project No. **1001523**
EPC #: 01128-01405
Application No. _____
Planning Department _____
City Engineer *Robert D. Davis* 6/26/02
Transportation Development *Roger A. Brown* 6/26/02
Utility Development *Dorinda Wilford* 6/26/02
Parks and Recreation _____
EPC Case Planner _____

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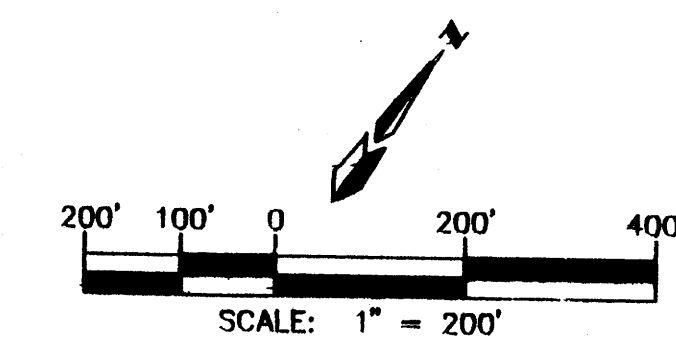
LEGEND

- POWER EASEMENT WITH OVERHEAD POWER LINE
- DRAINAGE EASEMENT
- MIXED EASEMENT

LADERA BUSINESS PARK SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

Designed: DMG Drawn: KJS Checked: DMG
Scale: 1" = 200' Date: 4/23/02 Job: A01130 Sheet 1 of 2



PROJ 1001523

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF LOTS 2-C, 2-D & 2-E, LADERA INDUSTRIAL CENTER. SITE AREA IS 94.9 ACRES PRIOR TO ANY R/W DEDICATIONS.

PROPOSED USE

THE SITE IS ZONED SU-1 FOR LIGHT INDUSTRIAL USES.

RESTRICTED BUSINESS TYPES

THE FOLLOWING BUSINESSES ARE NOT PERMITTED WITHIN THE LADERA BUSINESS PARK: ADULT AMUSEMENT ESTABLISHMENT, ADULT BOOKSTORE, ADULT PHOTO STUDIO, ADULT THEATER, AUTOMOBILE DISMANTLING YARD, CAMPGROUND, CARNIVAL, CIRCUS, COMMUNITY-RESIDENTIAL PROGRAM, COMMUNITY RESIDENTIAL PROGRAM FOR SUBSTANCE ABUSERS, DRIVE-IN RESTAURANT, HELP/PAID, KENNEL, VEHICULAR STORAGE, READILY VISIBLE WIRELESS TELECOMMUNICATIONS FACILITY, TRUCK PLAZA, TRUCK TERMINAL, MOBILE HOME STORAGE, TRAILER STORAGE, RECREATIONAL VEHICLE STORAGE, TENTS, OUTDOOR VEHICLE STORAGE, MOBILE HOME SALES LOT, NIGHT CLUB, PROCESSING OF OR STORAGE OF GASOLINE PROCESSING/STORAGE, SHEET METAL WORKING, STORAGE ONLY, TRUCK TURNAROUNDS, AND DELIVERY/FREIGHT COMPANIES THAT ARE OPEN 24 HOURS.

MACHINE SHOPS, MANUFACTURING, AUTOMOBILE REPAIR AND INCIDENTAL OUTDOOR STORAGE ARE PERMITTED USES BUT SHALL BE RESTRICTED FROM LOCATING ON LOTS 2-D-10 THRU 2-D-21, ADJACENT TO UNSER BLVD.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING UNSER BLVD. TRAIL VIA AN INTERNAL NETWORK OF SIDEWALKS LOCATED ON BOTH SIDES OF ALL INTERIOR STREETS.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL LOTS VIA THE PUBLIC STREET NETWORK AS SHOWN HEREON AND IN ACCORDANCE WITH THE CITY'S DPM GUIDELINES FOR PRIVATE DRIVEWAY INGRESS/EGRESS.

BICYCLE ACCESS: A BIKE TRAIL CURRENTLY EXISTS ALONG UNSER BLVD. SEE SHEET 2 FOR FURTHER INFORMATION.

TRANSIT: AS THIS SITE DEVELOPS ALONG THIS PORTION OF UNSER BLVD., COORDINATION SHALL BE WITH THE CITY TRANSIT DEPARTMENT REGARDING PLACEMENT OF TRANSIT STOPS IN ORDER TO PROVIDE ACCESS AND SERVICE TO THIS AREA.

LANDSCAPE PLAN: THE DESIGN GUIDELINES OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES ON SHEET 2.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.

THE OVERALL SITE'S MAXIMUM F.A.R. SHALL BE 0.35

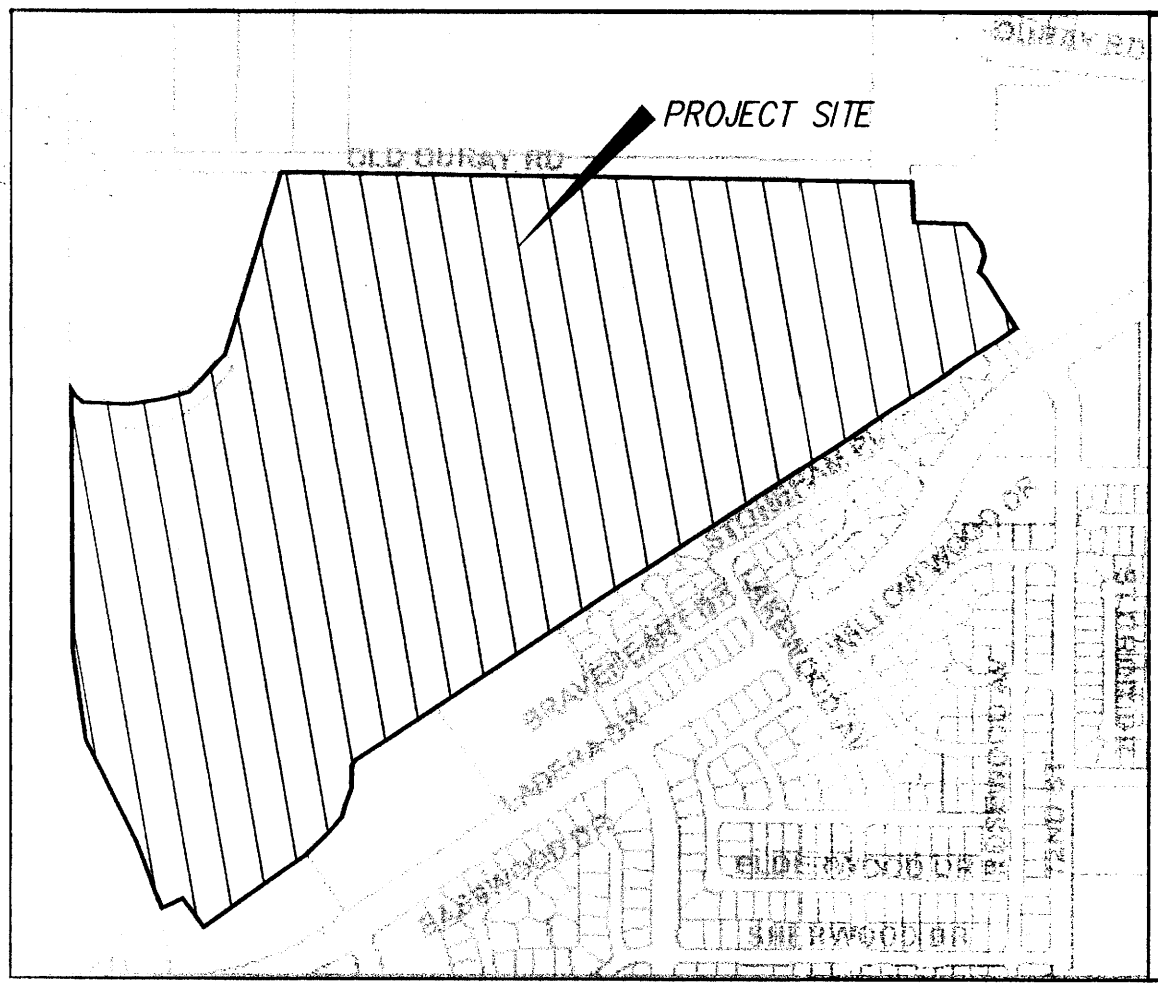
GENERAL NOTES

- IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH ZONE BOUNDARIES AND DEDICATE R/W.
- AFTER APPROVAL OF THIS PLAN BY THE ENVIRONMENTAL PLANNING COMMISSION AND THE DEVELOPMENT REVIEW BOARD, APPROVAL OF ALL SUBSEQUENT APPLICATIONS FOR INDIVIDUAL BUILDING PERMITS SHALL BE DELEGATED TO THE DRB.
- THE PROVISIONS OF THIS SITE PLAN ARE ACCORDING TO AN AGREEMENT MADE WITH SURROUNDING NEIGHBORHOODS AND FILED WITH THE COUNTY CLERK.

PROJECT COST SHARE ESTIMATE OFF SITE TRAFFIC IMPROVEMENTS

TRACT (NOW LOTS)	AREA (ACRES)	% OF TOTAL AREA	COST SHARE	TRACT (NOW LOTS)	AREA (ACRES)	% OF TOTAL AREA	COST SHARE (DOLLARS)
1 (REMOVED)	-	-	-	2-D-12	1.15	1.52	821.10
2 (REMOVED)	-	-	-	2-D-13	1.24	1.63	886.96
2-D-1	2.74	3.61	1,964.37	2-D-14	1.20	1.58	856.75
2-D-2	2.07	2.73	1,485.52	2-D-15	1.15	1.52	821.10
2-D-3	2.07	2.73	1,485.52	2-D-16	1.15	1.52	821.10
2-D-4	2.06	2.72	1,480.08	2-D-17	1.15	1.52	821.10
2-D-5	4.48	5.91	3,215.90	2-D-18	1.21	1.60	871.63
2-D-6	5.40	7.12	3,874.31	2-D-19	1.07	1.41	767.25
2-D-7	7.25	9.56	5,202.03	2-D-20	0.84	1.11	604.00
2-D-8	4.33	5.71	3,107.07	2-D-21	1.27	1.67	906.72
2-D-9	6.18	8.15	4,434.79	2-D-22	2.72	3.59	1,951.48
2-D-10	1.68	2.21	1,202.56	2-D-23	4.81	6.34	3,441.88
2-D-11	1.29	1.70	925.05	28(REMOVED)	-	-	-
REMOVED MEANS PLAN HAS BE REVISED AND THESE TRACTS WERE DELETED FROM REVISION				27(REMOVED)	-	-	-
				26(REMOVED)	-	-	-
				25(REMOVED)	-	-	-
				24(REMOVED)	-	-	-
				23(REMOVED)	-	-	-
				22(REMOVED)	-	-	-
				21(REMOVED)	-	-	-
				20(REMOVED)	-	-	-
				19(REMOVED)	-	-	-
				18(REMOVED)	-	-	-
				17(REMOVED)	-	-	-
				16(REMOVED)	-	-	-
				15(REMOVED)	-	-	-
				14(REMOVED)	-	-	-
				13(REMOVED)	-	-	-
				12(REMOVED)	-	-	-
				11(REMOVED)	-	-	-
				10(REMOVED)	-	-	-
				9(REMOVED)	-	-	-
				8(REMOVED)	-	-	-
				7(REMOVED)	-	-	-
				6(REMOVED)	-	-	-
				5(REMOVED)	-	-	-
				4(REMOVED)	-	-	-
				3(REMOVED)	-	-	-
				2(REMOVED)	-	-	-
				1(REMOVED)	-	-	-
				58.51			\$41,910.87

Inflation factor of 3% per year to be applied for development of any parcels after the year 2003.



VICINITY MAP ZONE MAPS: G-9, G-10, H-9, H-10

DEVELOPER

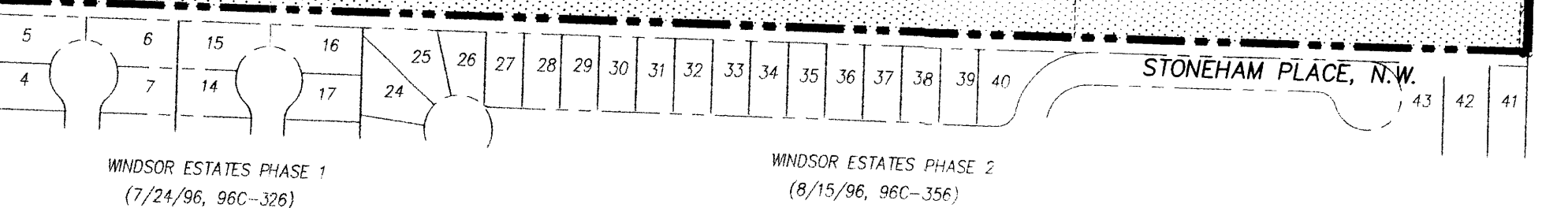
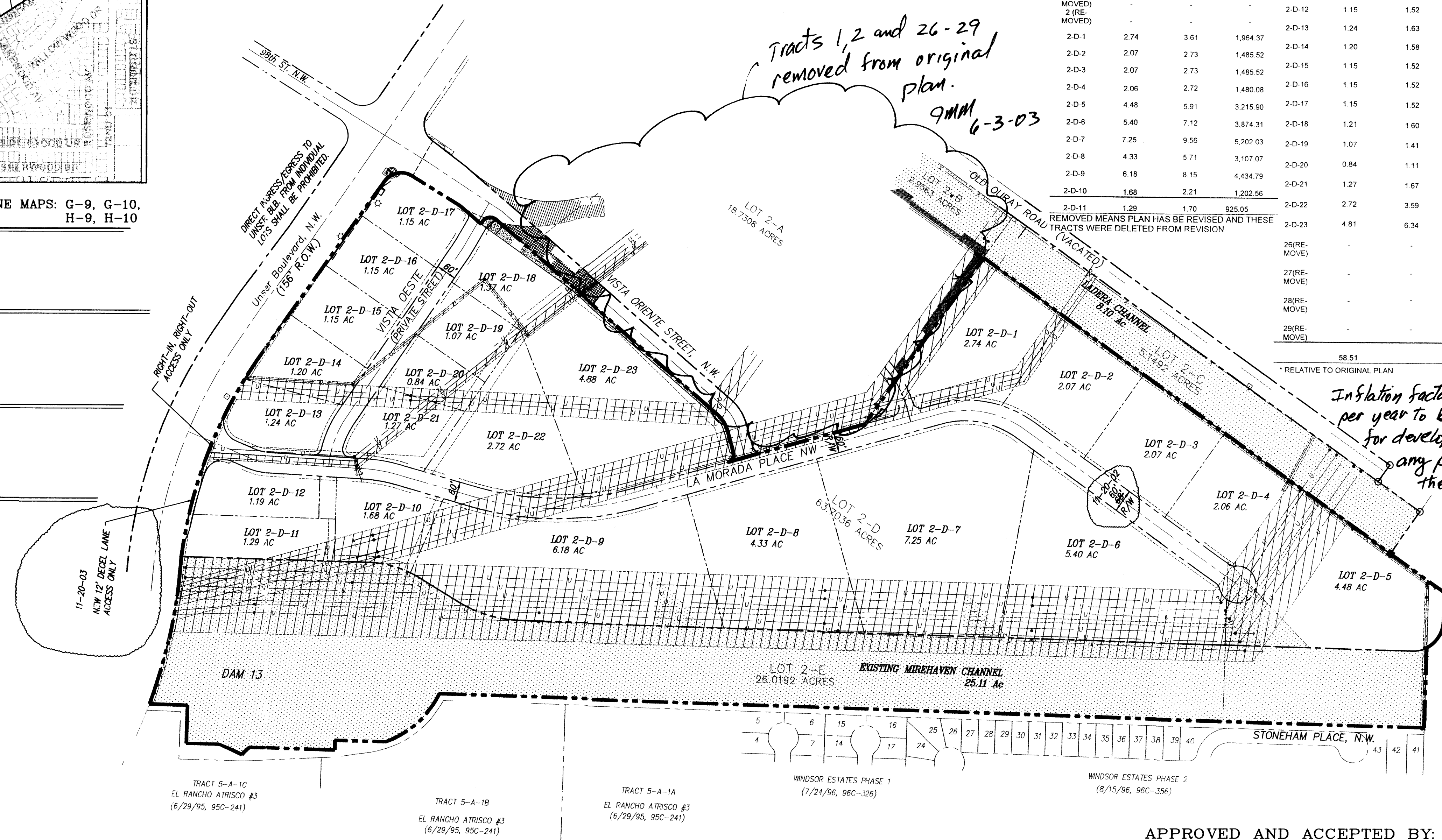
UNSER-98th ST. PARTNERSHIP, LLC
P.O. BOX 90548
ALBUQUERQUE, NEW MEXICO 87199
(505) 821-1034

PLANNERS

CONSENSUS PLANNING
924 PARK AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87102
(505) 764-9801

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200



APPROVED AND ACCEPTED BY:

Project No. _____
 Application No. _____
 Planning Department _____
 City Engineer _____
 Transportation Development _____
 Utility Development _____
 Parks and Recreation _____
 EPC Case Planner _____

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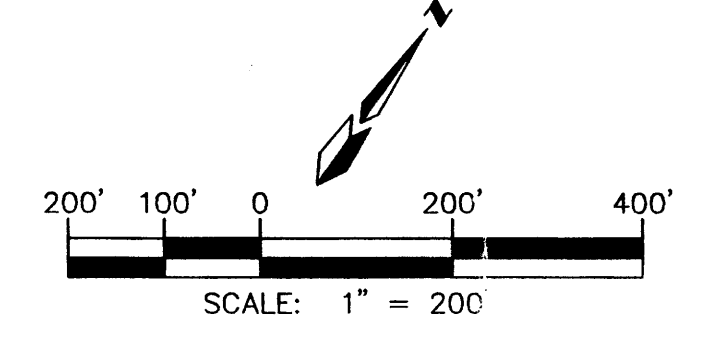
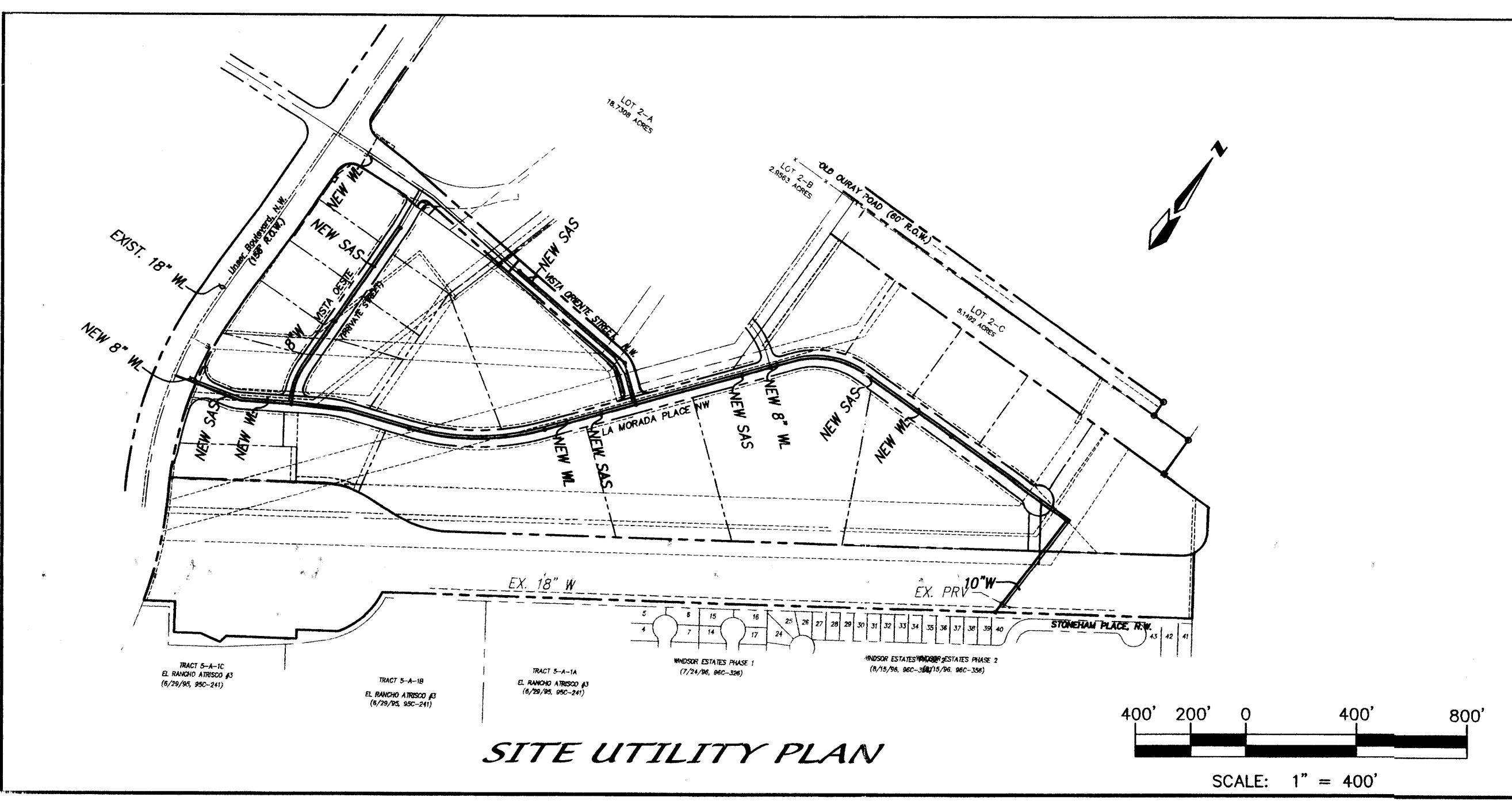
LEGEND

[Pattern]	POWER EASEMENT WITH OVERHEAD POWER LINE
[Pattern]	DRAINAGE EASEMENT
[Pattern]	MIXED EASEMENT
[Pattern]	SITE PLAN BOUNDARY

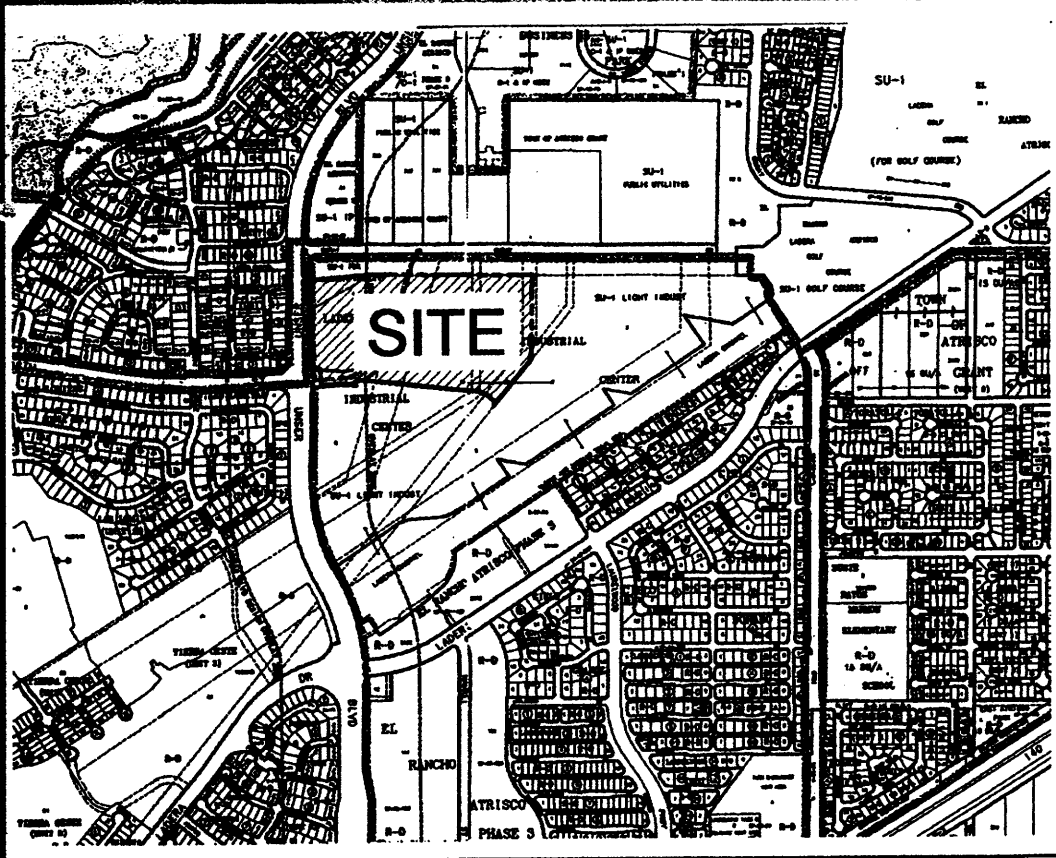
LADERA BUSINESS PARK AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

Designed: DMG Drawn: KJS Checked: DMG Sheet 1 of 2
Scale: 1" = 200' Date: 01-03-01 Job: A01130



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



H-9 & H-10 VICINITY MAP NOT TO SCALE

FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED.

BY: _____ TITLE: _____ DATE _____
COLLATZ, INC., A NEW MEXICO CORPORATION

BY: _____ TITLE: _____ DATE _____
UNSER/98th STREET PARTNERSHIP, A NEW MEXICO LIMITED LIABILITY COMPANY

BY: _____ TITLE: _____ DATE _____
AIM MANAGEMENT CORPORATION, A TEXAS CORPORATION

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2003,

BY: _____
TITLE: _____ COLLATZ, INC., A NEW MEXICO CORPORATION

BY: _____ NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2003,

BY: _____
TITLE: _____ UNSER/98th STREET PARTNERSHIP, A NEW MEXICO LIMITED LIABILITY COMPANY

BY: _____ NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2003,

BY: _____
TITLE: _____ AIM MANAGEMENT CORPORATION, A TEXAS CORPORATION

BY: _____ NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PROJ 10015 23
PLAT OF RINCONADA CROSSING

BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003

LOT DATA:

CASE NO	
GROSS LOT ACREAGE 5-A	28.7993 ACRES
ZONE ATLAS INDEX NO	H-9-Z AND H-10-Z
NO. OF EXISTING TRACTS	0
NO. OF EXISTING LOTS	2
NO. OF LOTS CREATED	137
NO. OF TRACTS CREATED	14
MILES OF FULL WIDTH STREETS CREATED	1.29
S.P. TALOS LOG	2003182184

APPROVALS:

SUBDIVISION CASE NUMBER:	_____
CITY PLANNER/ALBUQUERQUE, PLANNING DIVISION	_____ DATE _____
PARKS AND RECREATION	_____ DATE _____
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	_____ DATE _____
CITY ENGINEER, ENGINEERING DIVISION	_____ DATE _____
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	_____ DATE _____
UTILITY DEVELOPMENT	_____ DATE _____
CITY SURVEYOR	_____ DATE _____
PNM GAS AND ELECTRIC SERVICES	_____ DATE _____
QWEST COMMUNICATIONS, INC.	_____ DATE _____
PNM ELECTRIC SERVICES	_____ DATE _____
COMCAST CABLE	_____ DATE _____

SURVEYORS CERTIFICATION

I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651. _____ DATE _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
E. NEW MEXICO UTILITIES, INC. FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND WATER AND SEWER LINES ACROSS THE EASEMENT (BUT NOT PARALLEL WITHIN).

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET WIDE ON THE OTHER THREE (3) SIDES OF THE TRANSFORMER/SWITCHGEAR AS INSTALLED.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS 1) TO CREATE 7 LOTS FROM TWO LOTS; 2) VACATE AND DEDICATE CORRESPONDINGLY EQUAL AMOUNT OF RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE; 3) VACATE, RELOCATE AND GRANT EASEMENTS AS SHOWN HEREON.

LEGAL DESCRIPTION

LOTS NUMBERED ONE (1) AND TWO (2), OF THE PLAT OF LOTS 1 AND 2, LADERA INDUSTRIAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 12, 1993 IN VOLUME 93C, FOLIO 39.

SURVEY NOTES:

1. BEARINGS ARE GRID (NMSPC CENTRAL ZONE, NAD1927) AND ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATIONS "3-H10" AND "BH-39". ALL DISTANCES ARE GROUND DISTANCES. AVERAGE GROUND-TO-GRID FACTOR IS 0.99967504.
2. BEARINGS AND DISTANCES IN PARENTHESES () PER RECORD DATA FROM THE PLAT OF LOTS 1 AND 2, LADERA INDUSTRIAL CENTER (02/12/1993; VOL. 93C, FOLIO 39).

TREASURERS CERTIFICATION:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:
LOT 1, LADERA INDUSTRIAL CENTER, UPC #1-009-058-456-344-1-02-01
PROPERTY OWNER OF RECORD: CITY OF ALBUQUERQUE
LOT 2, LADERA INDUSTRIAL CENTER, UPC #1-010-058-090-333-2-01-05
PROPERTY OWNER OF RECORD: UNSER/98th STREET PARTNERSHIP, LLC.

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

SEE SHEET 2 FOR BULK LAND VARIANCE

*Scanned
4/17/06
CS*

PATH:	F:\N494 COLLATZ\04 LADERA\SUBDIVISION\PLAT.dwg
DATE:	MAY, 2003
SCALE:	1" = 50'
CREW:	TWP/GRR
DRAWN:	MVH
JOB NO.:	N494-04-001

community sciences corporation

LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING

5/28/03 sketch plan file

PLAT OF
RINCONADA CROSSING

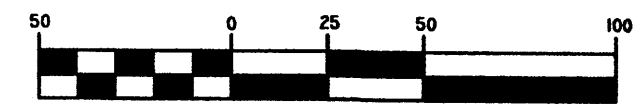
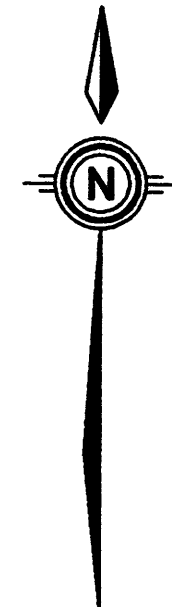
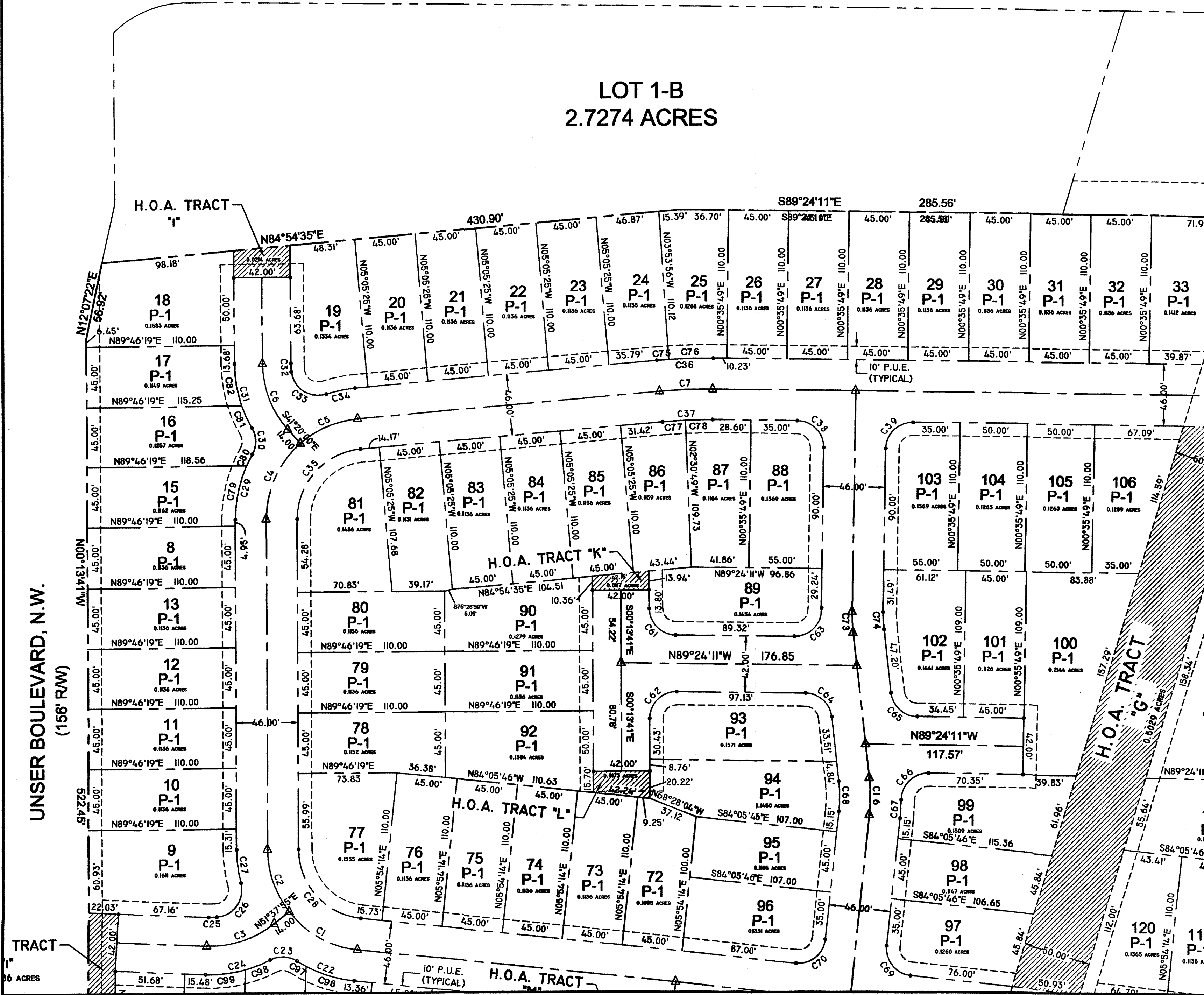
BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003

OLD OURAY ROAD, N.W.
(VACATED 60' RW)
(02DRB-01579)

LOT 1-B
2.7274 ACRES

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

UNSER BOULEVARD, N.W.
(156' RW)



SCALE: 1" = 50'

- INDICATES A FOUND MONUMENT AS SHOWN HEREON
- INDICATES A FOUND #5 REBAR W/ORANGE PLASTIC CAP STAMPED "D. LYNN LS 7430"
- ▣ INDICATES A FOUND #5 REBAR W/YELLOW PLASTIC CAP STAMPED "LS 4100" AND TAG MARKED "LS 7430"
- INDICATES A #5 REBAR W/ALLOY CAP STAMPED "CSC LS 12851" SET ON THIS SURVEY.
- △ INDICATES A FOUND CONTROL STATION AS NOTED

SHEET 2 OF 6

PATH:	F:\N494 COLLATZ\04 LADERA\SUBDIVISION\PLAT.DWG	
DATE:	MAY, 2003	
SCALE:	1" = 50'	
CREW:	TWP/GRR	
DRAWN:	MVH	
JOB NO.:	N 494-04-001	
LAND PLANNING	ENGINEERING	SURVEYING
P.O. Box 1328	Corrales, N.M. 87048	

community sciences corporation

PLAT OF
RINCONADA CROSSING

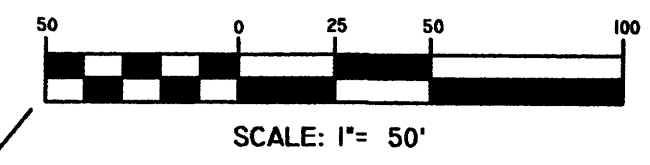
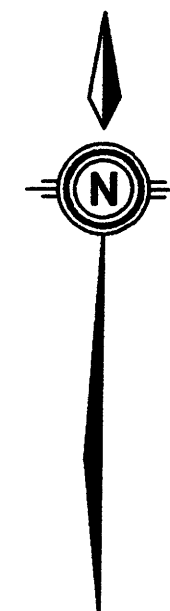
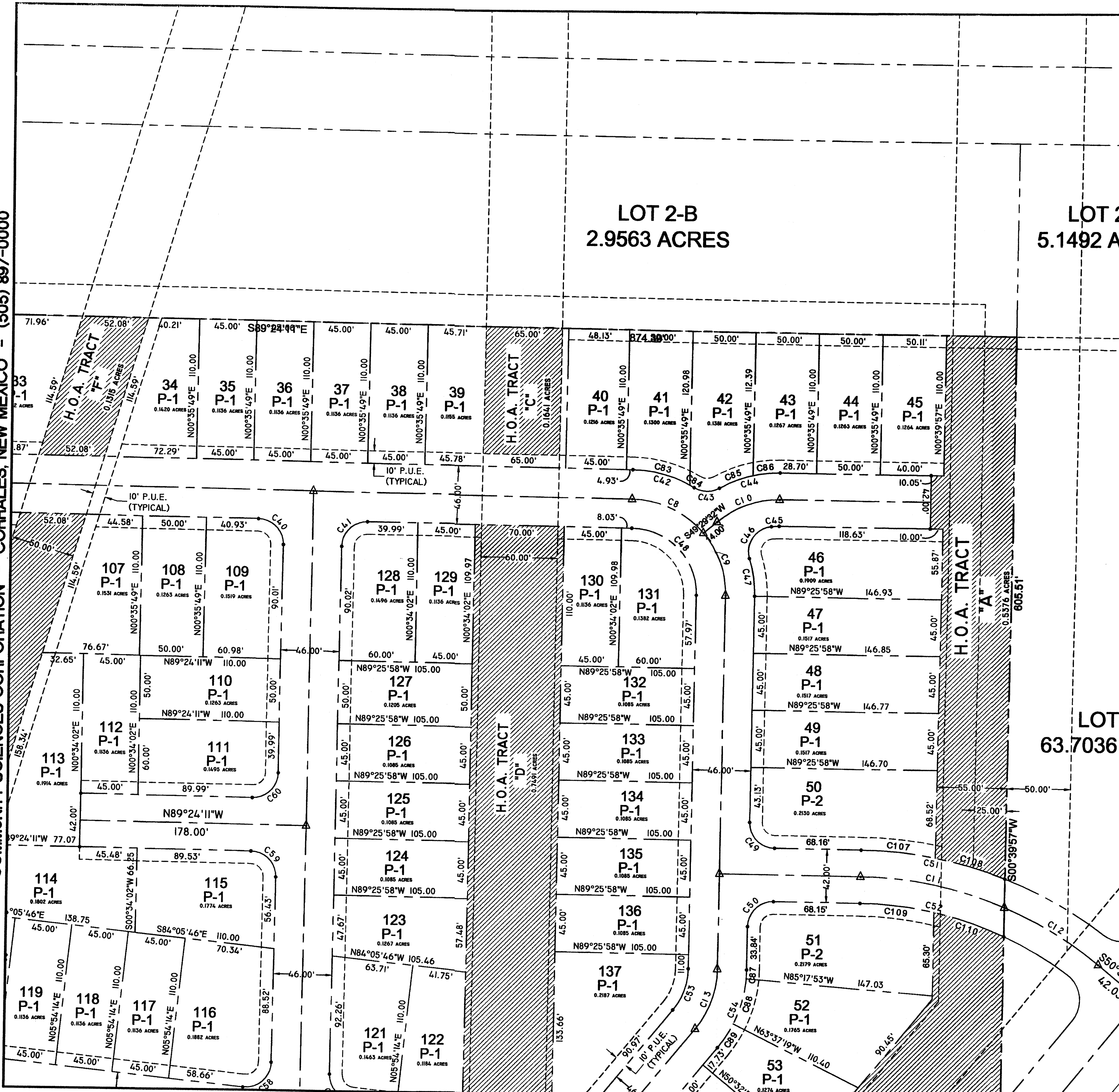
BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

LOT 2-B
2.9563 ACRES

LOT 2-C
5.1492 ACRES

LOT 2-D
63.7036 ACRES



SHEET 3 OF 6

PATH:	F:\N494 COLLATZ\04 LADERA\SUBDIVISION\PLAT.DWG
DATE:	MAY, 2003
SCALE:	1" = 50'
CREW:	TWP/GRR
DRAWN:	MVH
JOB NO.:	N 494-04-001
LAND PLANNING	ENGINEERING
P.O. Box 1328	Corrales, N.M. 87048

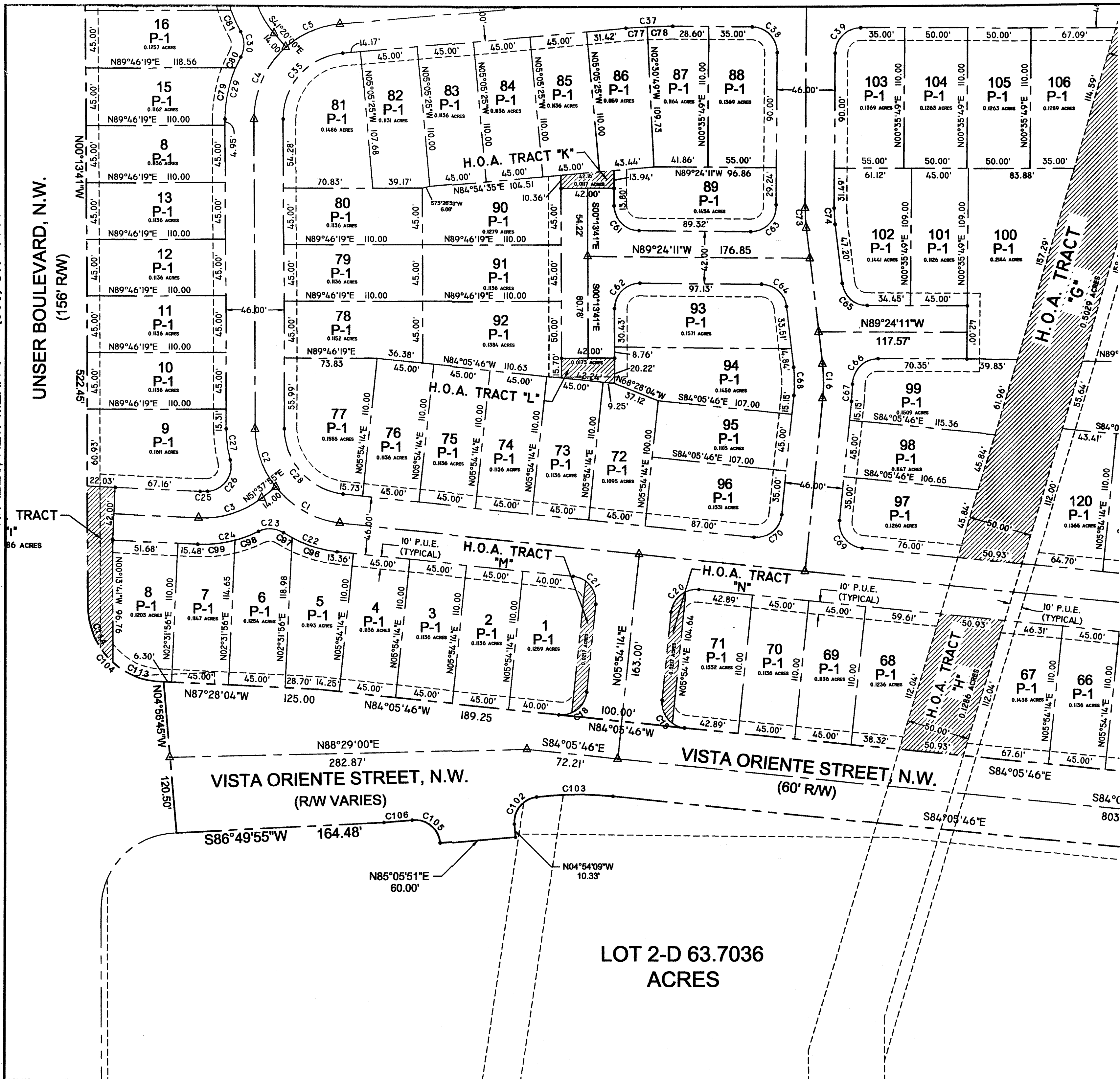
community sciences corporation

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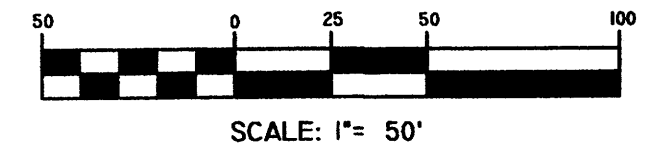
UNSER BOULEVARD, N.W.
(156' RW)

PLAT OF RINCONADA CROSSING

BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003



LOT 2-D 63.7036
ACRES



SHEET 4 OF 6

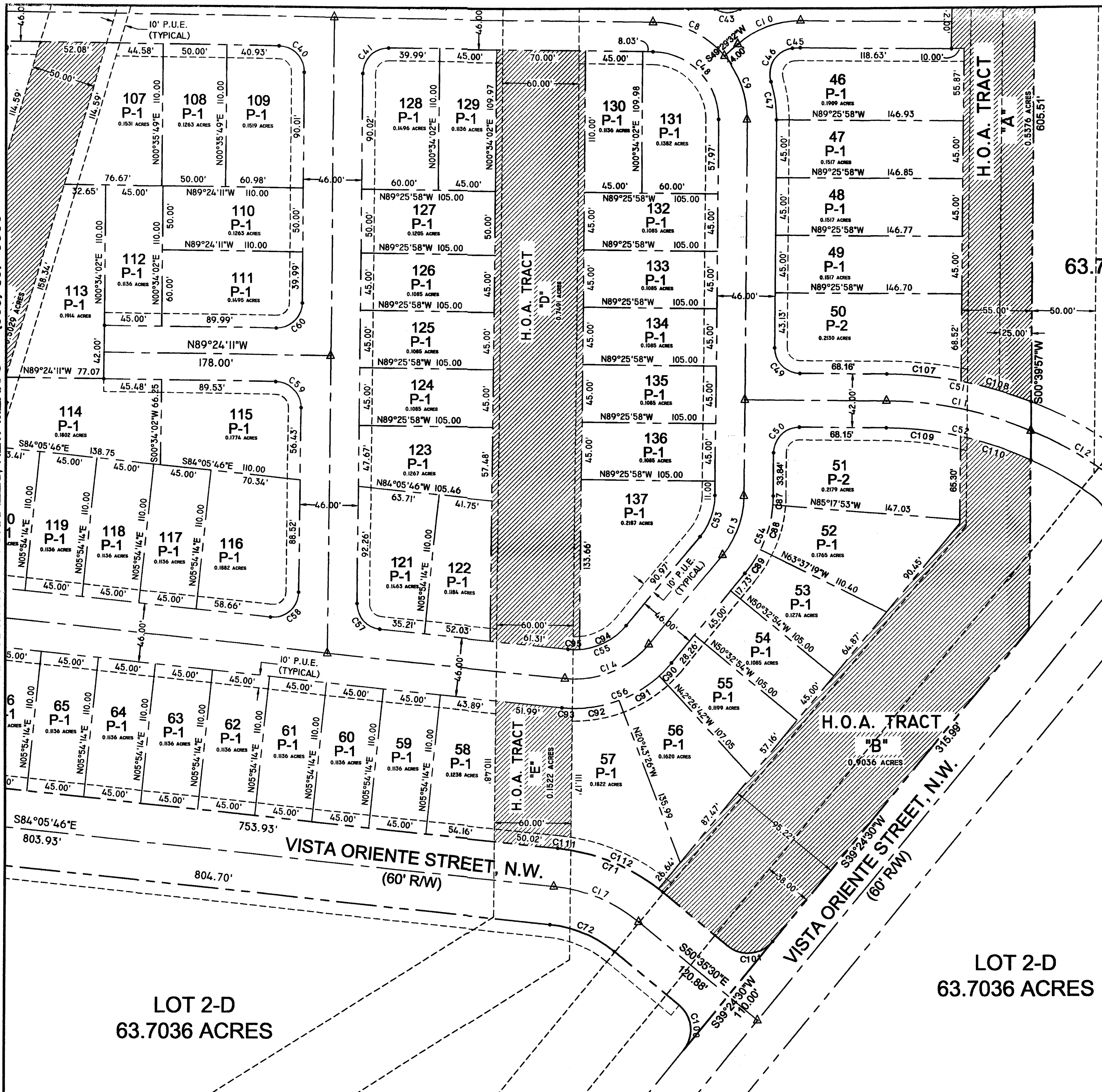
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DATE: MAY, 2003		
SCALE: 1" = 50'		
CREW: TWP/GRR		
DRAWN: MVH		
JOB NO.: N 494-04-001		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING

F:\494 COLLATZ\04 LADERA\SUBDIVISION\PLAT.DWG, 05/12/03 10:20:02 PM

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

PLAT OF RINCONADA CROSSING

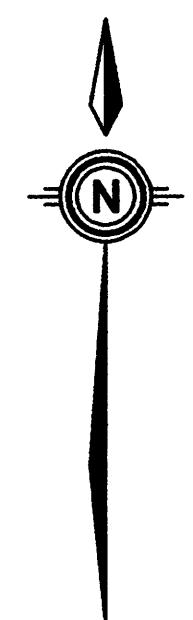
BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003



LOT 2-D
63.7036 ACRES

LOT 2-D
63.7036 ACRES

LOT 2-D
63.7036 ACRES



SCALE: 1" = 50'

SHEET 5 OF 6

PATH: F:\N494 COLLATZ\ 04 LADERA\SUBDIVISION\PLAT.DWG		
DATE:	MAY, 2003	
SCALE:	1" = 50'	
CREW:	TWP/GRR	
DRAWN:	MVH	
JOB NO.:	N 494-04-001	
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87018	SURVEYING

community sciences corporation

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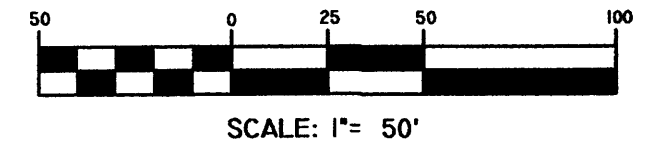
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

CUME TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	75.00'	59.86'	45°44'1"	31.63'	S61°13'56"E	58.28'
C2	75.00'	49.93'	38°0'24"	25.93'	S19°17'53"E	49.01'
C3	75.00'	53.54'	40°5'01"	27.97'	N72°04'55"E	52.41'
C4	75.00'	64.00'	48°5'41"	34.10'	S24°13'10"W	62.08'
C5	75.00'	47.44'	36°1'35"	24.54'	S66°47'18"W	46.65'
C6	75.00'	53.81'	41°0'19"	28.12'	S20°46'50"E	52.66'
C7	400.00'	39.70'	5°4'14"	19.87'	S87°45'12"W	39.69'
C8	75.00'	64.00'	48°5'43"	34.10'	N64°57'20"W	62.08'
C9	75.00'	53.77'	41°0'43"	28.10'	N19°58'13"W	52.62'
C10	75.00'	53.81'	41°0'61"	28.12'	S70°02'40"W	52.66'
C11	300.00'	116.26'	22°12'3"	58.87'	N78°18'05"W	115.53'
C12	300.00'	86.96'	16°36'29"	43.79'	N58°53'44"W	86.66'
C13	75.00'	50.90'	38°53'4"	26.47'	N20°00'34"E	49.93'
C14	75.00'	73.90'	56°27'8"	40.26'	N67°40'40"E	70.94'
C16	125.00'	27.43'	12°34'8"	13.77'	N00°22'55"W	27.37'
C17	125.00'	73.10'	33°30'6"	37.63'	N67°20'38"W	72.06'
C18	20.00'	31.42'	90°00'00"	20.00'	N50°54'14"E	28.28'
C19	20.00'	31.42'	89°59'59"	20.00'	S39°05'46"E	28.28'
C20	20.00'	31.42'	90°00'00"	20.00'	S50°54'14"W	28.28'
C21	20.00'	31.42'	90°00'00"	20.00'	N39°05'46"W	28.28'
C22	98.00'	45.37'	26°31'33"	23.10'	S70°49'59"E	44.97'
C23	20.00'	20.82'	59°38'52"	11.47'	N87°23'39"W	19.89'
C24	96.00'	49.85'	29°45'01"	25.50'	N77°39'25"E	49.29'
C25	54.00'	6.06'	6°25'32"	3.03'	N89°19'10"E	6.05'
C26	20.00'	35.26'	101°0'103"	24.27'	N35°35'52"E	30.87'
C27	98.00'	25.11'	14°40'59"	12.63'	S07°34'10"E	25.05'
C28	52.00'	76.12'	83°52'05"	46.71'	S42°09'43"E	69.50'
C29	98.00'	50.79'	29°41'35"	25.98'	S14°37'06"W	50.22'
C30	20.00'	20.82'	59°38'48"	11.46'	N00°21'30"W	19.89'
C31	96.00'	50.19'	29°57'13"	25.68'	S15°12'18"E	49.62'
C32	54.00'	6.25'	6°37'35"	3.13'	S03°32'28"E	6.24'
C33	20.00'	35.26'	101°0'16"	24.27'	S57°21'54"E	30.87'
C34	98.00'	21.87'	12°47'07"	10.98'	S78°31'02"W	21.82'
C35	52.00'	77.27'	85°08'16"	47.76'	S42°20'27"W	70.35'
C36	423.00'	41.99'	5°41'14"	21.01'	S87°45'12"W	41.97'
C37	377.00'	37.42'	5°41'14"	18.73'	S87°45'12"W	37.41'
C38	20.00'	31.42'	90°00'00"	20.00'	N44°24'11"W	28.28'
C39	20.00'	31.42'	90°00'00"	20.00'	S45°35'49"W	28.28'
C40	20.00'	31.41'	89°58'13"	19.99'	N44°25'04"W	28.28'
C41	20.00'	31.43'	90°0'147"	20.01'	S45°34'56"W	28.29'
C42	98.00'	50.79'	29°41'36"	25.98'	N74°33'23"W	50.22'
C43	20.00'	20.82'	59°38'50"	11.47'	S69°32'00"E	19.89'
C44	96.00'	50.19'	29°57'15"	25.68'	S75°37'12"W	49.62'
C45	54.00'	6.25'	6°37'41"	3.13'	S87°16'58"W	6.24'
C46	20.00'	35.26'	101°0'10"	24.27'	S33°27'33"W	30.87'
C47	98.00'	30.13'	17°37'04"	15.19'	N08°14'30"W	30.02'
C48	52.00'	81.65'	89°58'13"	51.97'	N44°25'04"W	73.52'
C49	20.00'	31.42'	90°00'00"	20.00'	S44°25'58"E	28.28'
C50	20.00'	31.42'	90°00'00"	20.00'	S45°34'02"W	28.28'
C51	321.00'	115.90'	20°41'12"	58.59'	N79°03'35"W	115.27'
C52	279.00'	116.72'	23°58'08"	59.22'	N77°25'07"W	115.87'
C53	52.00'	35.29'	38°53'04"	18.36'	N20°00'34"E	34.62'
C54	98.00'	66.51'	38°53'04"	34.59'	N20°00'34"E	65.24'
C55	52.00'	51.23'	56°27'08"	27.91'	N67°40'40"E	49.19'
C56	98.00'	96.56'	56°27'08"	52.60'	N67°40'40"E	92.70'
C57	20.00'	29.55'	84°39'48"	18.22'	S41°45'52"E	26.94'
C58	20.00'	33.28'	95°20'12"	21.96'	N48°14'08"E	29.57'
C59	20.00'	31.41'	89°58'13"	19.99'	N44°25'04"W	28.28'
C60	20.00'	31.43'	90°0'147"	20.01'	N45°34'56"E	28.29'
C61	20.00'	31.13'	89°10'30"	19.71'	S44°48'56"E	28.08'
C62	20.00'	31.70'	90°49'30"	20.29'	S45°11'04"W	28.49'
C63	20.00'	31.42'	90°00'00"	20.00'	N45°35'49"E	28.28'
C64	20.00'	28.88'	82°44'07"	17.61'	N48°02'07"W	26.44'
C65	20.00'	28.88'	82°44'07"	17.61'	S48°02'07"E	26.44'
C66	20.00'	31.42'	90°00'55"	20.01'	S45°35'21"W	28.29'
C67	148.00'	13.75'	5°19'20"	6.88'	N03°14'34"E	13.74'
C68	102.00'	22.38'	12°34'18"	11.24'	N00°22'55"W	22.34'
C69	20.00'	31.42'	90°00'00"	20.00'	S39°05'46"E	28.28'
C70	20.00'	31.42'	90°00'00"	20.00'	N50°54'14"E	28.28'
C71	155.00'	90.64'	33°30'16"	46.66'	N67°20'38"W	89.35'
C72	95.00'	55.55'	33°30'16"	28.60'	N67°20'38"W	54.76'
C73	125.00'	15.85'	7°15'53"	7.94'	S03°02'07"E	15.84'
C74	102.00'	12.93'	7°15'53"	6.48'	S03°02'07"E	12.92'
C75	423.00'	8.80'	1°11'29"	4.40'	S85°30'20"W	8.80'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C76	423.00'	33.19'	4°29'45"	16.60'	S88°20'57"W	33.18'
C77	377.00'	16.95'	2°34'36"	8.48'	S86°11'53"W	16.95'
C78	377.00'	20.47'	3°06'38"	10.24'	S89°02'30"W	20.47'
C79	98.00'	41.25'	24°07'08"	20.94'	S11°49'53"W	40.95'
C80	98.00'	9.53'	5°34'27"	4.77'	S26°40'40"W	9.53'
C81	96.00'	18.28'	10°54'35"	9.17'	S24°43'37"E	18.25'
C82	96.00'	31.91'	19°02'39"	16.10'	S09°45'00"E	31.78'
C83	98.00'	46.83'	27°22'46"	23.87'	N75°42'48"W	46.39'
C84	98.00'	3.96'	2°18'50"	1.98'	N60°52'00"W	3.96'
C85	96.00'	28.71'	17°07'59"	14.46'	S69°12'34"W	28.60'
C86	96.00'	21.48'	12°49'16"	10.79'	S84°11'11"W	21.44'
C87	98.00'	7.07'	4°08'05"	3.54'	N02°38'05"E	7.07'
C88	98.00'	37.08'	21°40'34"	18.76'	N15°32'24"E	36.85'
C89	98.00'	22.36'	13°04'25"	11.23'	N32°54'53"E	22.31'
C90	98.00'	13.86'	8°06'12"	6.94'	N43°30'12"E	13.85'
C91	98.00'	37.15'	21°43'16"	18.80'	N58°24'56"E	36.93'
C92	98.00'	37.30'	21°48'27"	18.88'	N80°10'48"E	37.08'
C93	98.00'	8.24'	4°49'13"	4.12'	S86°30'22"E	8.24'
C94	40.93'	43.08'	60°18'06"	23.77'	N62°44'21"E	41.12'
C95	52.00'	8.96'	9°52'39"	4.49'	S89°02'05"E	8.95'
C96	98.00'	37.48'	21°54'52"	18.97'	S73°08'20"E	37.25'
C97	98.00'	7.89'	4°36'41"	3.95'	S59°52'33"E	7.89'
C98	96.00'	19.84'	11°50'32"	9.96'	N68°42'11"E	19.81'
C99	96.00'	30.01'	17°54'29"	15.13'	N83°34'41"E	29.88'
C100	25.00'	39.27'	90°00'00"	25.00'	N05°35'30"W	35.36'
C101	25.00'	39.27'	90°00'00"	25.00'	N84°24'30"E	35.36'
C102	20.00'	30.70'	87°56'56"	19.30'	S39°04'19"W	27.77'
C103	270.00'	60.59'	12°51'27"	30.42'	S89°28'31"W	60.46'
C104	60.00'	94.25'	90°00'00"	60.00'	S45°13'41"E	84.85'
C105	20.00'	31.93'	91°28'20"	20.52'	N50°38'19"W	28.65'
C106	400.00'	22.39'	3°12'23"	11.20'	N85°13'43"E	22.38'
C107	321.00'	58.74'	10°29'06"	29.45'	N84°09'38"W	58.66'
C108	321.00'	57.16'	10°12'07"	28.65'	N73°49'02"W	57.08'
C109	279.00'	58.80'	12°04'29"	29.51'	N83°21'57"W	58.69'
C110	279.00'	57.92'	11°53'40"	29.06'	N71°22'52"W	57.82'
C111	155.00'	10.28'	3°47'56"	5.14'	N82°11'48"W	10.27'
C112	155.00'	80.36'	29°42'21"	41.11'	N65°26'40"W	79.46'
C113	60.00'	43.81'	41°50'24"	22.94'	S69°18'29"E	42.85'
C114	60.00'	50.43'	48°09'36"	26.81'	S24°18'29"E	48.96'

PLAT OF
RINCONADA CROSSING

BEING A REPLAT OF LOTS 1A AND 2A
LADERA INDUSTRIAL CENTER
SITUATE WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 9, T. 10 N., R. 2 E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2003



community sciences corporation

PATH: F:\N494 COLLATZ\ 04 LADERA\SUBDIVISION\PLAT.DWG
DATE: MAY, 2003
SCALE: 1" = 50'
CREW: TWP/GRR
DRAWN: MVH
JOB NO.: N 494-04-001

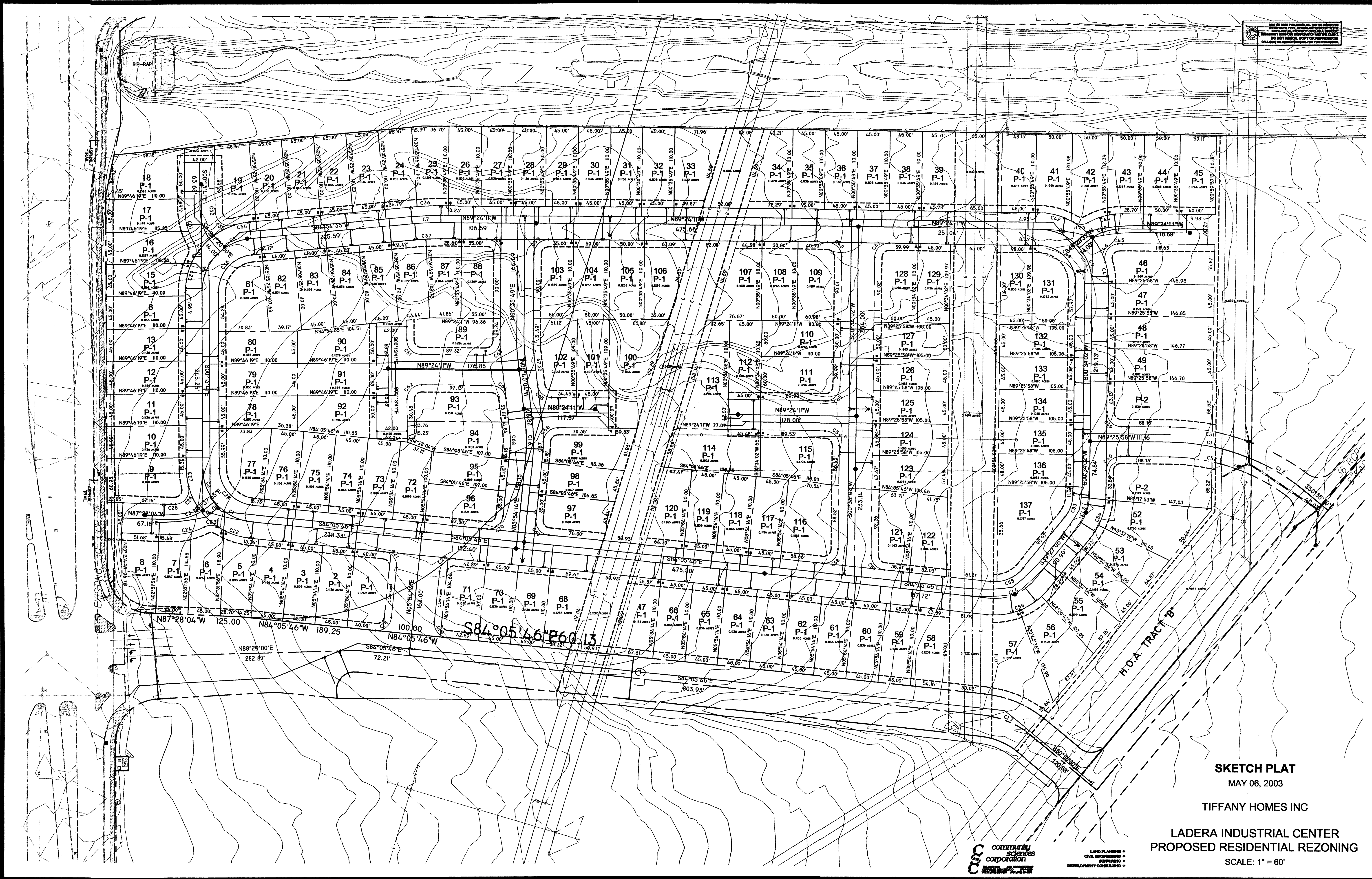
LAND PLANNING
P.O. Box 1328
CORRALES, N.M. 87048

ENGINEERING
CORRALES, N.M. 87048

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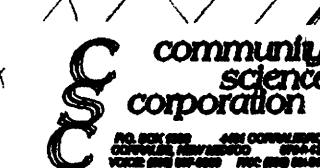


SKETCH PLAT
MAY 06, 2003

TIFFANY HOMES INC

LADERA INDUSTRIAL CENTER
PROPOSED RESIDENTIAL REZONING

SCALE: 1" = 60'



LAND PLANNING
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