

VICINITY MAP: ZONE ATLAS PAGE H-09-Z

PHASING NOTES:
 THE FIRST PHASE OF THE PROJECT WILL BE THE CONSTRUCTION OF THE BUILDING 3 AND THE PARKING LOT. PHASE 2 WILL BE THE CONSTRUCTION OF BUILDING 1 AND 2 AND RELATED DRIVE AISLES AROUND THOSE BUILDINGS.

RADIUS INFORMATION:
 1 = 14'-6" 5 = 21'-0"
 2 = 30'-0" 6 = 5'-0"
 3 = 15'-0" 7 = 15'-0"
 4 = 3'-0"

PROJECT NUMBER:	1001523	APPLICATION NUMBER:	
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.			
DRB SITE DEVELOPMENT PLAN APPROVAL:			
TRAFFIC ENGINEER, TRANSPORTATION DIVISION		Date	
ABCWUA		Date	
PARKS AND RECREATION DEPARTMENT		Date	
CITY ENGINEER, HYDROLOGY		Date	
CODE ENFORCEMENT		Date	
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)		Date	
APPROVAL IS ATTACHEHD AS A SEPARATE SHEET		Date	
SOLID WASTE MANAGEMENT		Date	
DRB CHAIRPERSON, PLANNING DEPARTMENT		Date	
*ENVIRONMENTAL HEALTH, IF NECESSARY			

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- [H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
- [I] FUTURE BUILDING ELEVATIONS FOR BUILDING 2 WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITAL.

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE. 1/A001.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STRIPED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT PAWING.
- [6] PROPOSED SITE LIGHTING. SEE GENERAL NOTES.
- [7] PROPOSED BIKE RACK WITH 3 SPACES. SEE 8/A003.
- [8] PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0". SEE 13/A003.
- [9] PROPOSED PAINTED PARKING STRIPING.
- [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN. 12/A003 & 3/A003.
- [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- [12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [13] PROPOSED 4'-6" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE. SEE 11/A003 FOR SIGNAGE. PROVIDE PAVEMENT MARKING AT END OF EACH SPACE.
- [14] PROPOSED COMPACT 9'-0" x 15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION AT LANDSCAPE ISLAND.
- [15] PROPOSED PAINTED DIRECTIONAL ARROW/ SIGNAGE ON PAVEMENT.
- [16] PROPOSED ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL.
- [17] PROPOSED PATIO. SEE ENLARGED PLAN 1/A002.
- [18] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [19] EXISTING ASPHALT ROAD TO REMAIN.
- [20] PROPOSED 6'-0" TALL PATIO FENCE. 6/A002.
- [21] PROPOSED 32 SF MONUMENT SIGN, MAX 4' TALL. SEE 7/A002.
- [22] EXISTING CONCRETE CURB TO REMAIN.
- [23] NOT USED.
- [24] FUTURE COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION.
- [25] NOT USED.
- [26] FUTURE TRASH COMPACTOR.
- [27] PROPOSED PAVEMENT STRIPING.
- [28] PROPOSED HC RAMP.
- [29] PROPOSED LANDSCAPE ISLAND.
- [30] PROPOSED BOLLARD LIGHT FIXTURE. SEE ELECTRICAL.
- [31] EXISTING FIRE HYDRANT TO REMAIN.
- [32] PROPOSED DRIVE THRU LANE.
- [33] EXISTING TRAFFIC MEDIAN TO REMAIN.
- [34] EXISTING CITY STANDARD HC RAMP.
- [35] EXISTING CITY STANDARD SIDEWALK.
- [36] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [37] EXISTING 20' PUBLIC WATERLINE EASEMENT.
- [38] PROPOSED 6' SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- [39] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE EASEMENT FOR OVERHEAD POWER LINES.
- [40] EXISTING OVERHEAD POWER LINES.
- [41] EXISTING PNM EASEMENT.
- [42] EXISTING 30' ACCESS EASEMENT.
- [43] EXISTING CURB CUT TO REMAIN.
- [44] PROPOSED SCORED CONCRETE PEDESTRIAN PATHWAY.
- [45] EXISTING ADA PUBLIC RAMP. INSTALL TRUNCATED DOMES TO MEET CITY STANDARDS.
- [46] PROPOSED 4' WIDE CONCRETE SIDEWALK, PER CITY STANDARD DETAIL.
- [47] PROPOSED STANDARD SIGNAGE TO READ "DO NOT ENTER".
- [48] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [49] NOT USED.
- [50] EXISTING PUBLIC ASPHALT TRAIL.
- [51] EXISTING MEDIAN.
- [52] PROPOSED CURB OPENING. SEE GRADING AND DRAINAGE PLANS.
- [53] EXISTING PROPERTY LINE.
- [54] PROPOSED BUILDING OVERHANGS/CANOPIES WILL BE PROVIDED TO SHADE PRIMARY FACADE.
- [55] PROPOSED 3' HIGH CMU SCREEN WALL.
- [56] FUTURE PATIO.
- [57] PROPOSED BACKFLOW PREVENTER.
- [58] PROPOSED RIGHT-TURN ONLY PAVEMENT MARKING.

SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE GE100 WATT BRONZE LUMEN SHOEDOX TYPE LEXINGTON BRONZE POLE.
- [D] LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.

BUILDING AREAS:

OVERALL BUILDING AREAS 16,015 SF.
 BUILDING 1 - 9,135 SF
 BUILDING 2 - 2,680 SF
 BUILDING 3 - 4,200 SF

TOTAL LOT AREA (LOTS 15 AND 16) = 2.63 ACRES
 2.63 ACRES = 114,562 SF
 F.A.R. ALLOWED = (.35 OR) 40,097 SF
 F.A.R. PROPOSED = 16,015 SF

PARKING CALCULATIONS:

BUILDING 1 - 9,135 SF
 9,135/200 = 46 SPACES
 BUILDING 2 - 2,680 SF
 80 SEATS/4" = 20 SPACES
 BUILDING 3 - 4,200 SF
 150 SEATS/4" = 38 SPACES

TOTAL REQUIRED SPACES 104 SPACES
 1 RESTAURANT WITHOUT A FULL LIQUOR LICENSE
 1 INTERIOR OCCUPANT LOAD. DOES NOT INCLUDE PATIO SEATING

TRANSIT REDUCTIONS:

104 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 94)
 104 x 10% = 94 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 94 SPACES

TOTAL PARKING SPACES PROVIDED: = 98 SPACES

71 REGULAR SPACES
 23 COMPACT SPACES
 4 HANDICAP SPACES

COMPACT PARKING CALCULATION:

94 REQ'D SPACES x 33% = 31 SPACES ALLOWED
 TOTAL COMPACT SPACES = 17 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 4 SPACES
 TOTAL DISABLED SPACES PROVIDED = 4 SPACES

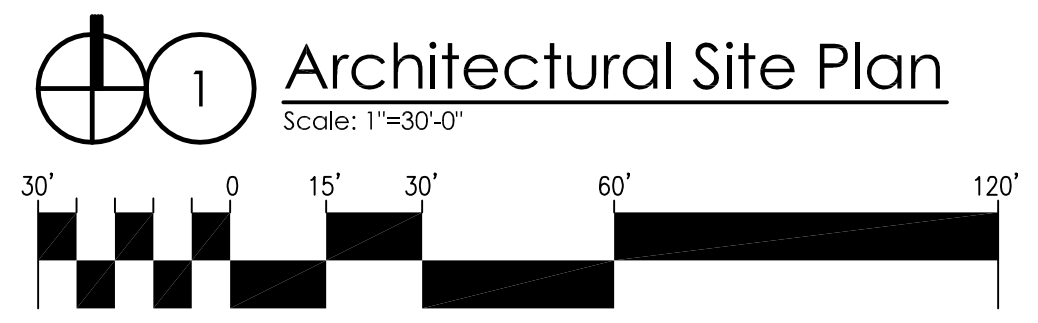
MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 4 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20' PARKING SPACES = 94 PARKING SPACES/20 = 5 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 5 SPACES
 TOTAL BICYCLE SPACES PROVIDED: = 6 SPACES



NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'08"	S 01°39'57" E	1322.00	65.42	65.42
C2	04°55'19"	S 05°32'40" E	1322.00	113.56	113.53
C3	94°02'28"	S 55°00'53" E	60.00	98.48	87.79
C4	19°22'48"	N 68°14'53" E	120.00	40.59	40.40
C5	23°59'56"	S 12°12'40" E	300.00	125.66	124.74

PROJECT: Las Lomitas Plaza
 2101 Vista Oeste
 Albuquerque, NM 87120

TITLE: Architectural Site Plan

DESCRIPTION: [Blank]

DATE: [Blank]

REV: [Blank]

BY: [Blank]

JOB NUMBER: 16-53

DRAWN BY: AV

PROJECT MGR: JDH

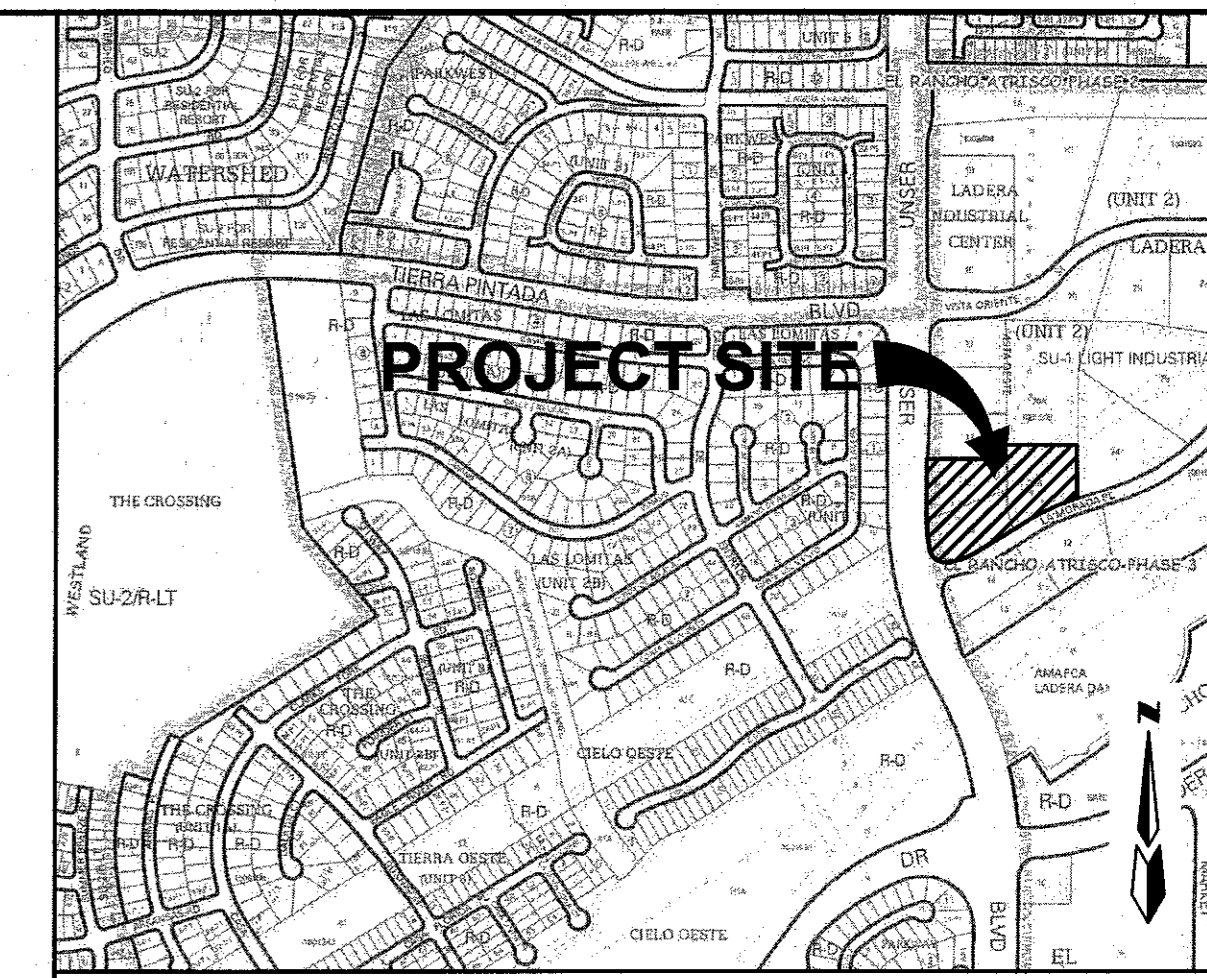
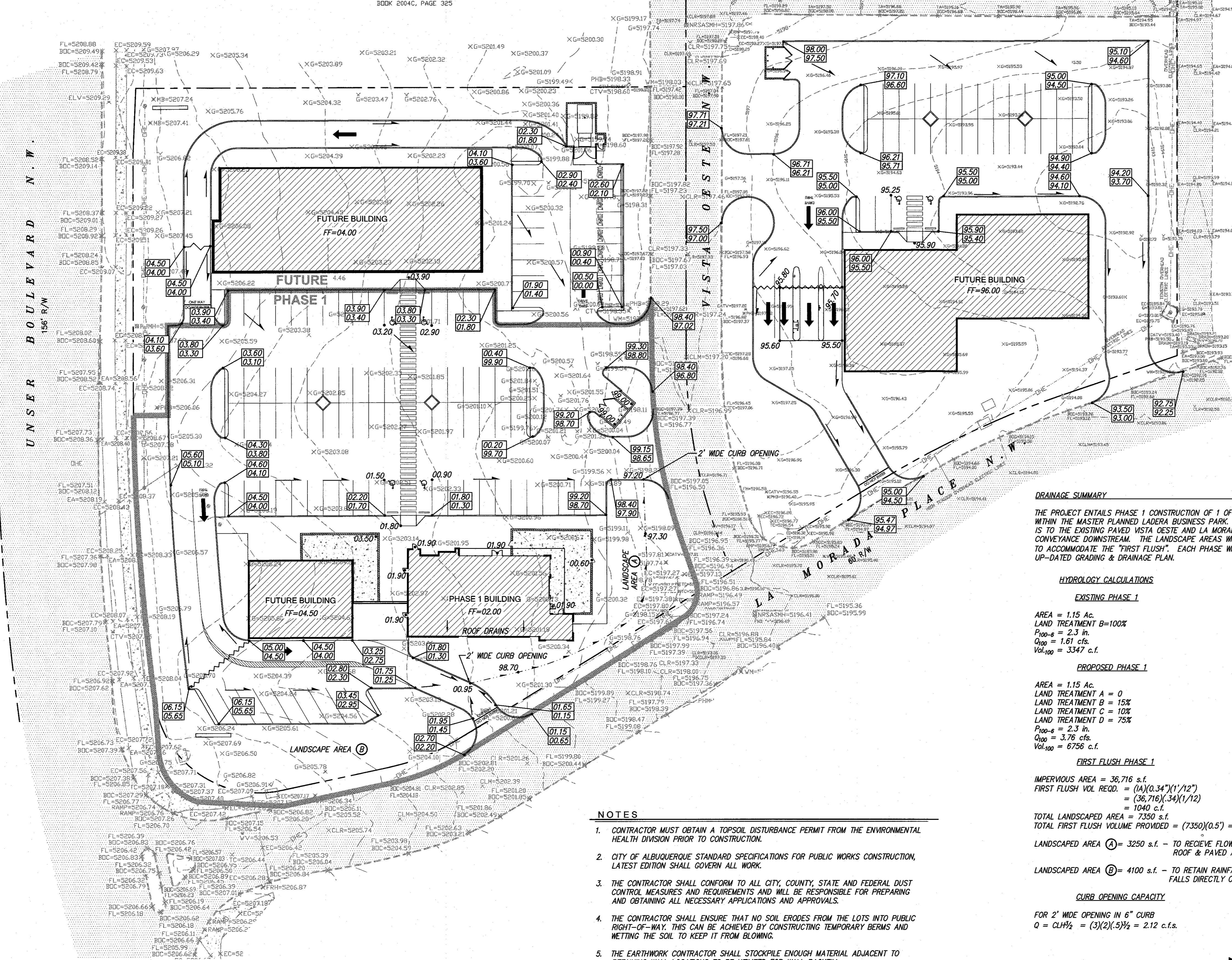
DATE: 2-9-2018

PHASE: CD

MULLEN HELLER ARCHITECTURE
 1718 CENTRAL AVE SW | STE D
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SHEET: A001
 Sheet 1 of 9

TRACT 17
 LADERA BUSINESS PARK UNIT 2
 FILED OCTOBER 11, 2004
 BOOK 2004C, PAGE 325



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK
 ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-H9",
 HAVING AN ELEVATION OF 5209.315, NAVD 1988

LEGAL DESCRIPTION
 TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) OF PLAT FOR LADERA BUSINESS
 PARK, UNIT 1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9 AND 10,
 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNILLO
 COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF
 SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO
 COUNTY, NEW MEXICO, ON JANUARY 22, 2004, IN PLAT BOOK 2004C, PAGE 24.

TRACT 20-B, LADERA BUSINESS PARK UNIT 2, AS THE SAME IS SHOWN AND
 DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK
 OF BERNILLO COUNTY, NEW MEXICO ON JUNE 7, 2007, IN MAP BOOK 2007C,
 FOLIO 155.

DRAINAGE SUMMARY
 THE PROJECT ENTAILS PHASE 1 CONSTRUCTION OF 1 OF 4 BUILDINGS
 WITHIN THE MASTER PLANNED LADERA BUSINESS PARK. DIRECT DISCHARGE
 IS TO THE EXISTING PAVED VISTA OESTE AND LA MORADA PLACE FOR
 CONVEYANCE DOWNSTREAM. THE LANDSCAPE AREAS WILL BE DEPRESSED
 TO ACCOMMODATE THE "FIRST FLUSH". EACH PHASE WILL REQUIRE AN
 UP-DATED GRADING & DRAINAGE PLAN.

HYDROLOGY CALCULATIONS
EXISTING PHASE 1
 AREA = 1.15 Ac.
 LAND TREATMENT B=100%
 $P_{100} = 2.3$ in.
 $Q_{100} = 1.61$ cfs.
 $Vol_{100} = 3347$ c.f.

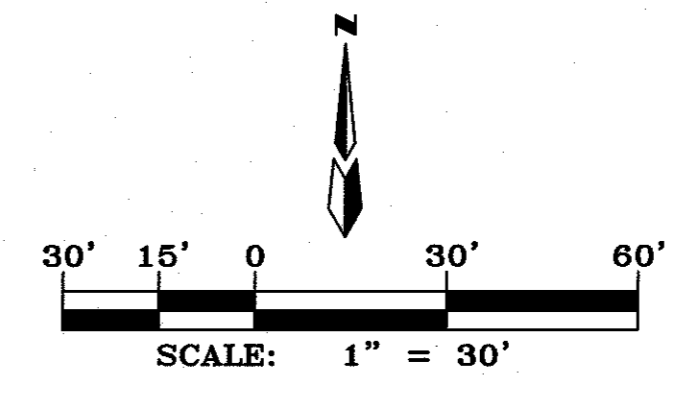
PROPOSED PHASE 1
 AREA = 1.15 Ac.
 LAND TREATMENT A = 0
 LAND TREATMENT B = 15%
 LAND TREATMENT C = 10%
 LAND TREATMENT D = 75%
 $P_{100} = 2.3$ in.
 $Q_{100} = 3.76$ cfs.
 $Vol_{100} = 6756$ c.f.

FIRST FLUSH PHASE 1
 IMPERVIOUS AREA = 36,716 s.f.
 $FIRST FLUSH VOL REQ. = (IA)(0.34)(1/12")$
 $= (36,716)(.34)(1/12)$
 $= 1040$ c.f.
 TOTAL LANDSCAPED AREA = 7350 s.f.
 TOTAL FIRST FLUSH VOLUME PROVIDED = $(7350)(0.5) = 3675$ c.f.

LANDSCAPED AREA (A) = 3250 s.f. - TO RECEIVE FLOWS FROM
 ROOF & PAVED AREAS.
 LANDSCAPED AREA (B) = 4100 s.f. - TO RETAIN RAINFALL THAT
 FALLS DIRECTLY ON IT.

CURB OPENING CAPACITY
 FOR 2' WIDE OPENING IN 6" CURB
 $Q = CLH^{3/2} = (3)(2)(.5)^{3/2} = 2.12$ c.f.s.

- NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE PER F.I.R.M. PANEL 35001C0326J, DATED 11/14/16.
 - ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.
 - ALL LANDSCAPED AREAS TO BE DEPRESSED 6".
 - ELEVATIONS SHOWN FOR FUTURE PHASES ARE FOR INFORMATION ONLY.
 - FUTURE PHASE ON THE NORTH SIDE OF THE PROJECT WILL REQUIRE A PRIVATE CROSS LOT DRAINAGE AGREEMENT.



LEGEND

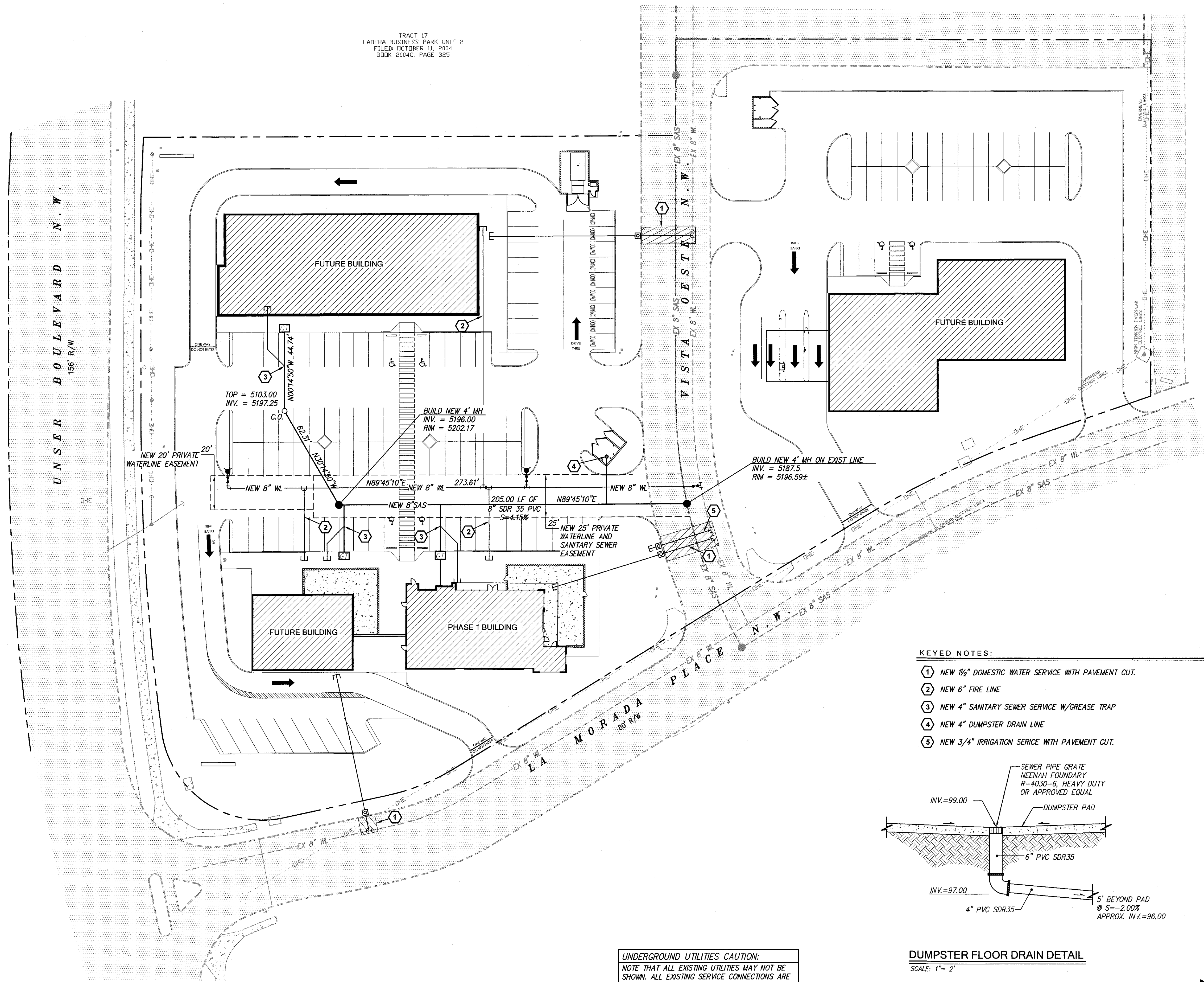
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
X G=5190.20	EXISTING GROUND SPOT ELEVATION
X FL=5190.20	EXISTING FLOWLINE ELEVATION
X BOC=5190.20	EXISTING BACK OF CURB ELEVATION
---	EXISTING ASPHALT PAVEMENT
---	EXISTING CONCRETE
---	EXISTING CURB & GUTTER
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING GUY WIRE
---	EXISTING POWER POLE
---	EXISTING VALT/PEDESTAL
---	NEW STANDARD CURB & GUTTER
---	NEW RIGHT-OF-WAY
---	NEW CENTERLINE
---	NEW LOT LINES
---	NEW EASEMENTS
---	NEW RETAINING WALL
---	NEW STORM DRAIN
.81.77	NEW SPOT ELEVATION
98.20	TOP OF CURB ELEVATION
98.70	FLOWLINE ELEVATION
00.00TW	TOP OF RETAINING WALL
00.00BW	BOTTOM OF RETAINING WALL
---	NEW FLOW DIRECTION
---	NEW WATER BLOCK
---	DRAINAGE SWALE

**LAS LOMITAS PLAZA - PHASE 1
 GRADING & DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
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 ALBUQUERQUE, NEW MEXICO 87199
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Designed: DMG Drawn: DER Checked: DMG Sheet of 3
 Scale: 1" = 1' Date: 9/13/17 Job: A17040

TRACT 17
 LADERA BUSINESS PARK UNIT 2
 FILED: OCTOBER 11, 2004
 BOOK 2004C, PAGE 325

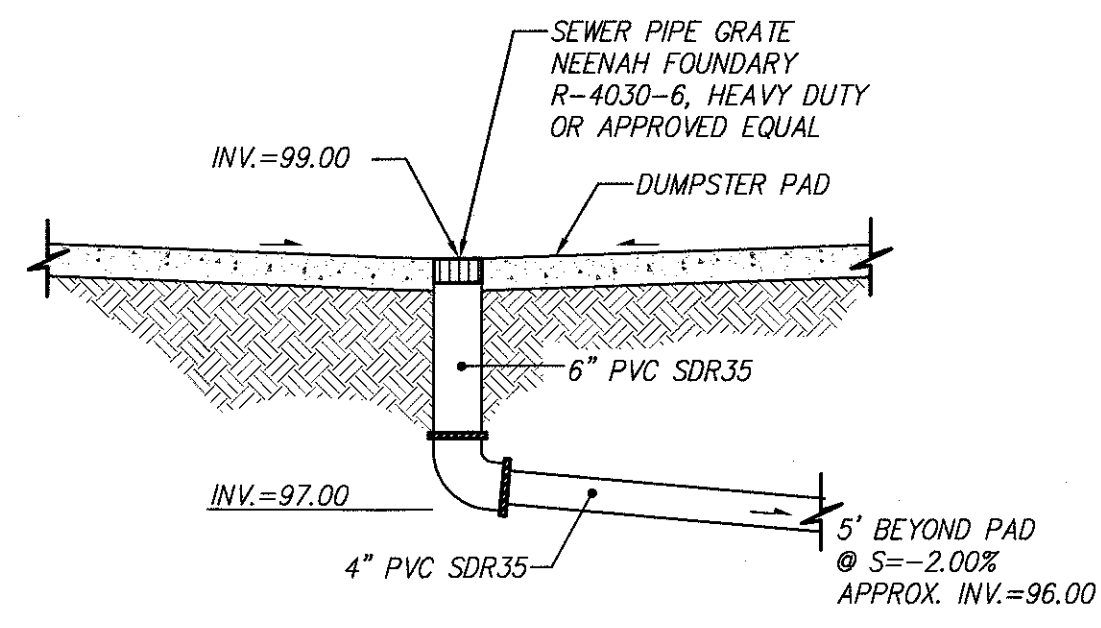


LEGEND

---	EX WL	EXISTING WATERLINE
⊗		EXISTING GATE VALVE
⊕		EXISTING FIRE HYDRANT
---	EX SAS	EXISTING SANITARY SEWER
●		EXISTING SANITARY SEWER MANHOLE
▨		EXISTING ASPHALT PAVEMENT
▩		EXISTING CONCRETE
---		EXISTING CURB & GUTTER
---	OHE	EXISTING OVERHEAD ELECTRIC LINE
---		EXISTING GUY WIRE
⊕		EXISTING POWER POLE
⊕		EXISTING VOLT/PEDESTAL
---		NEW STANDARD CURB & GUTTER
---		NEW RIGHT-OF-WAY
---		NEW CENTERLINE
---		NEW LOT LINES
---		NEW EASEMENTS
---		NEW RETAINING WALL
---	24" RCP	NEW STORM DRAIN
⊕		NEW STORM DRAIN MANHOLE
---	6" WL	NEW WATERLINE
⊗		NEW GATE VALVE
⊕		NEW TEE
⊕		NEW FIRE HYDRANT
⊕		NEW WATERLINE SERVICE & METER BOX
---	8" SAS	NEW SANITARY SEWER LINE
●		NEW SANITARY SEWER MANHOLE
---		NEW SANITARY SEWER SERVICE
○		NEW SANITARY SEWER CLEANOUT
⊕		NEW SANITARY SEWER SERVICE GREASE TRAP

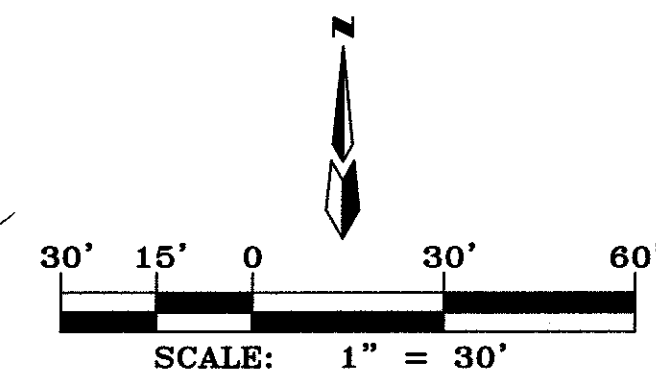
- KEYED NOTES:**
- ① NEW 1/2" DOMESTIC WATER SERVICE WITH PAVEMENT CUT.
 - ② NEW 6" FIRE LINE
 - ③ NEW 4" SANITARY SEWER SERVICE W/GREASE TRAP
 - ④ NEW 4" DUMPSTER DRAIN LINE
 - ⑤ NEW 3/4" IRRIGATION SERVICE WITH PAVEMENT CUT.

- STANDARD UTILITY NOTES:**
1. All waterline is C-900 PVC pipe and all sanitary sewer is SDR35 PVC pipe and all storm drain is RCP Class III unless noted otherwise on the plans.
 2. EMD's shall be installed on all waterline and sanitary sewer appurtenances as per section 170 of Standard Specifications.
 3. All waterline services shall be 1 1/2" unless noted otherwise on plans.
 4. All Gate Valve per Std Dwg 2326 and 2328.
 5. Manholes Type "C" per Std Dwg 2101.
 6. Manholes Type "E" per Std Dwg 2102.
 7. Water services per Standard Dwg 2367 (for 1-1/2" and 2" services).
 8. SAS services into main line per Std Dwg 2125.
 9. SAS services into manholes per Std Dwg 2118.



DUMPSTER FLOOR DRAIN DETAIL
 SCALE: 1" = 2'

UNDERGROUND UTILITIES CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

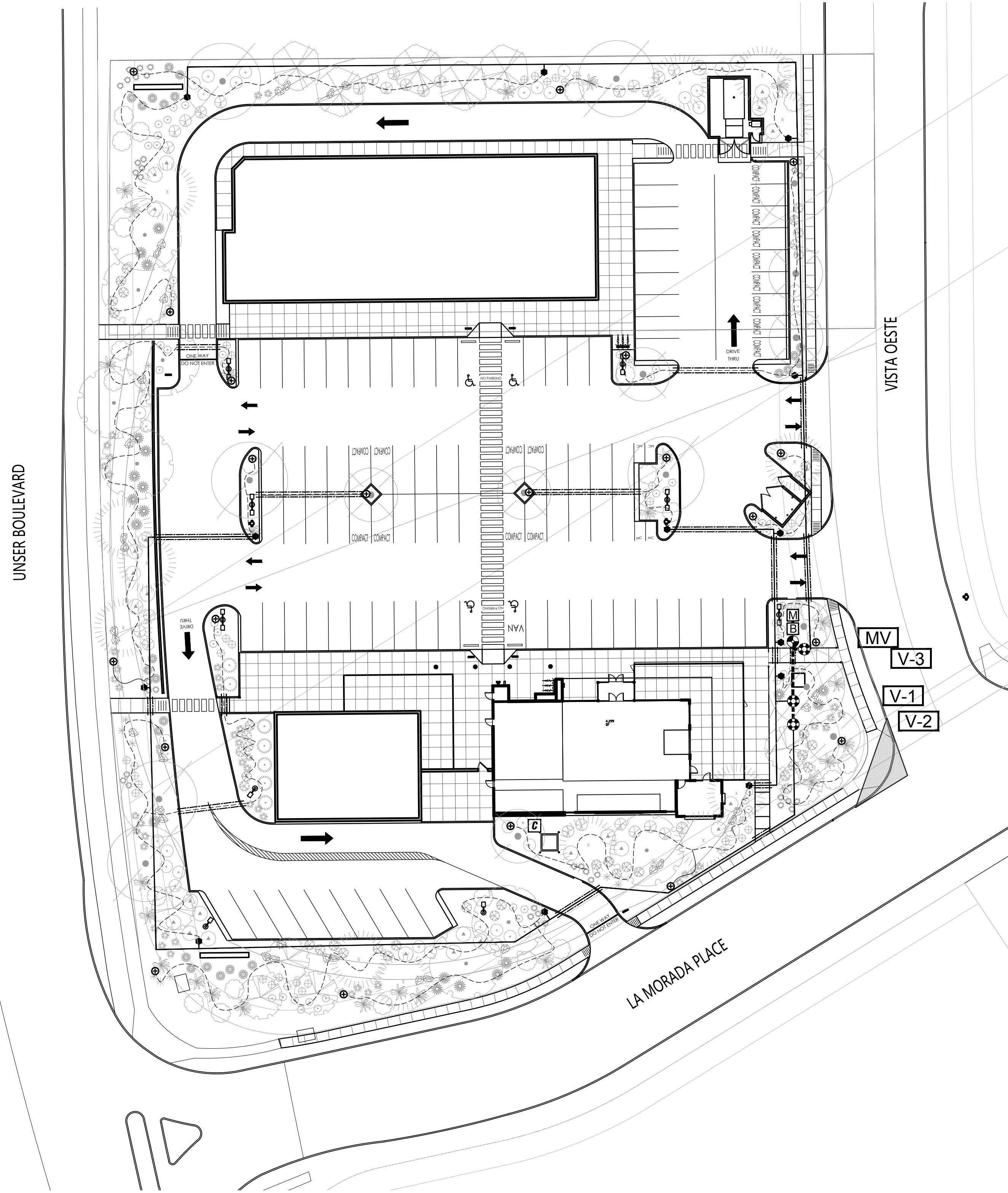


LAS LOMITAS PLAZA - PHASE 1
ON-SITE UTILITY PLAN

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Designed: DMG	Drawn: SPS	Checked: DMG	Sheet
Scale: AS SHOWN	Date: 3/8/18	Job: A17040	C-2 of 3

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IRRIGATION EQUIPMENT SCHEDULE

- SYMBOL DESCRIPTION
- M** METER: 1" (PROVIDED BY GENERAL CONTRACTOR)
 - B** BACKFLOW PREVENTER: FEBCO 825Y (1") REDUCED PRESSURE BACKFLOW PREVENTER IN HOT BOX HB-1.0. INSULATED BACKFLOW ENCLOSURE (CONTRACTOR TO PROVIDE POSITIVE HEAT SOURCE TO BACKFLOW PREVENTER).
 - ==== SLEEVING: CLASS 200 PVC (2 SIZES LARGER THAN PIPE TO BE SLEEVED)
 - IRRIGATION MAINLINE: SCHEDULE 40 PVC SOLVENT WELD (1")
 - LATERAL PIPING: SCHEDULE 40 PVC SOLVENT WELD, 3/4" UNLESS NOTED OTHERWISE
 - ⊙ MASTER VALVE ASSEMBLY: RAIN BIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL (1")
 - ⊙ DRIP VALVE ASSEMBLY: RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL AND 1" INLINE RBY FILTER
 - PVC TO POLY ADAPTER: INLINE PRESSURE REGULATOR (RAIN BIRD PSI-L30X-075)
 - ⊙ DRIP IRRIGATION TUBING: 3/4" POLYETHYLENE PIPE, 6" DEPTH MIN, W/COMPRESSION FITTINGS AND FLUSH CAP; CONNECTION TO PVC LATERAL AND FLUSH CAPS SHALL BE PLACED IN 6" VALVE BOX. TUBING SHALL BE PINNED EVERY 10'
 - EMITTER DEVICE: RAIN BIRD XERI-BUG EMITTERS AS DEFINED BELOW 1/4" DISTRIBUTION TUBING PINNED AT EACH SHRUB
 - SHRUBS (SINGLE OUTLET EMITTERS)
 - (2) XB-10PC, 1 GPH EMITTERS EACH (LOCATE ON OPPOSITE SIDES OF ROOTBALL)
 - TREES (MULTI-OUTLET XERI-BUG)
 - XB-20-6, (6) 2 GPH EMITTERS EACH TREE (DISTRIBUTE EVENLY AROUND PERIMETER OF ROOTBALL)
 - C** CONTROLLER: RAIN BIRD ESP4ME, 4 STATION, WALL MOUNT IN STAINLESS STEEL ENCLOSURE. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER.
 - V-X** INDICATES VALVE NUMBER

VALVE LEGEND & SCHEDULE

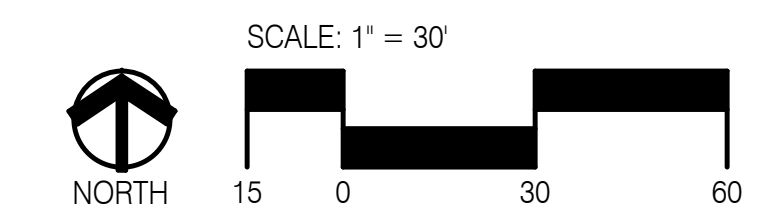
ID	SIZE	SPK TYPE	FLOW	PRECIP. RATE	RUNTIME
V-1	1"	DRIP	4.3 GPM	2/12 GPH	60 MIN
V-2	1"	DRIP	10.3 GPM	2/12 GPH	60 MIN
V-3	1"	DRIP	6.8 GPM	2/12 GPH	60 MIN
MV	1"	MASTER VALVE	10.3 GPM	N/A	N/A
TOTAL RUNTIME:					3 HR 00 MIN

STATION RUNTIMES ARE CALCULATED TO APPLY 2 GALLONS OF WATER PER SHRUB AND 12 GALLONS OF WATER PER TREE PER IRRIGATION CYCLE.

GENERAL IRRIGATION NOTES

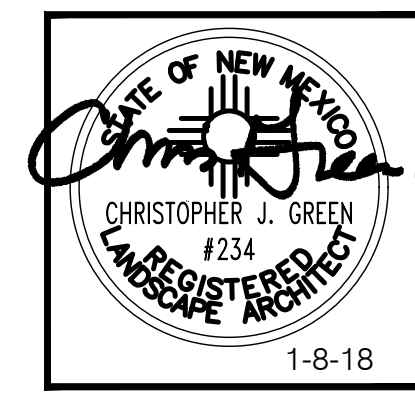
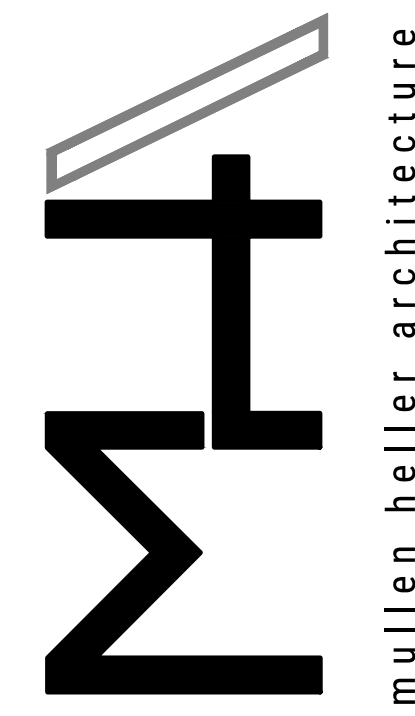
- THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 1-INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J-BOX WITH 115VAC; PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HARD-WIRE TO J-BOX.

1 Irrigation Plan
Scale: 1"=30'-0"



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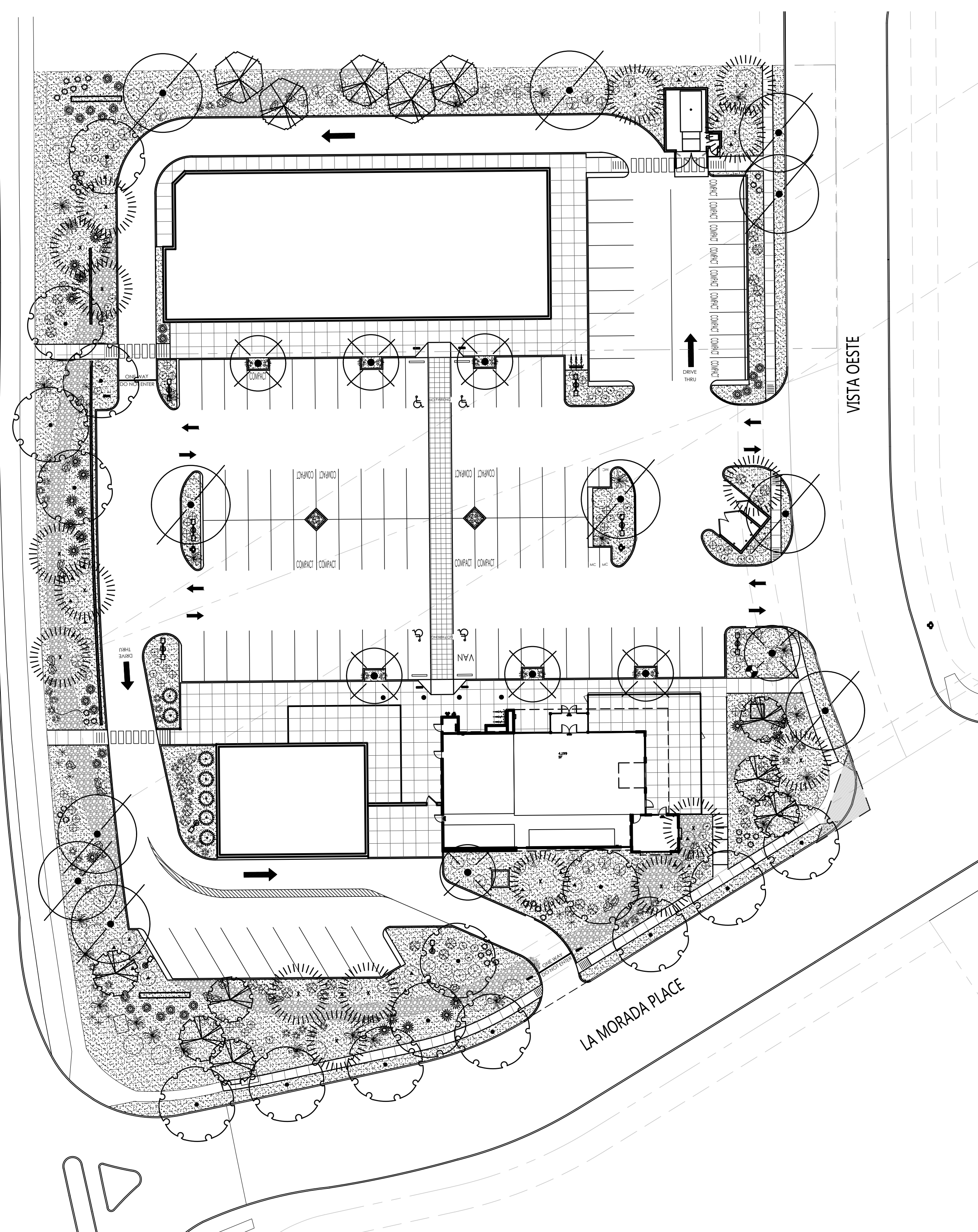
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JOB NUMBER 16-53
DRAWN BY AV
PROJECT MGR JDH
DATE 11-10-2017
PHASE CD

PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120
TITLE
Irrigation Plan



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
8		ACER TATARICUM 'GAR ANN' HOT WINGS MAPLE BOX ELDER	2" B&B	12' MIN. HT. 20' HT. X 25' SPR.	MEDIUM
5		CHITALPA TASHKENTENSIS CHITALPA	24" BOX	8' MIN. HT. 30' HT. X 30' SPR.	MEDIUM
11		FRAXINUS OXYCARPA 'RAYWOOD' RAYWOOD ASH	2.5" B&B	14' MIN. HT. 35' HT. X 25' SPR.	MEDIUM
7		JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER (FEMALE)	15-GAL.	8' MIN. HT. 15' HT. X 6' SPR.	MEDIUM
17		PINUS NIGRA AUSTRIAN PINE	B&B	8' MIN. HT. 35' HT. X 25' SPR.	MEDIUM
15		ULMUS PARVIFOLIA 'ALLEE II' ALLEE LACEBARK ELM	2.5" B&B	14' MIN. HT. 40' HT. X 30' SPR.	MEDIUM
7		VITEX AGNUS-CASTUS CHASTE TREE	15-GAL.	8' MIN. HT. 20' HT. X 20' SPR.	MEDIUM
SHRUBS/GROUNDCOVERS					
36		ACHILLEA 'MOONSHINE' MOONSHINE YARROW	1-GAL.	2' HT. X 2' SPR.	LOW
69		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	5-GAL.	3' HT X 3' SPR.	MEDIUM
41		CARYOPTERIS CLAND. 'DARK KNIGHT' DARK KNIGHT BLUE MIST	5-GAL.	3' HT X 3' SPR.	MEDIUM
38		CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5-GAL.	5' HT X 5' SPR.	LOW
20		DASYLIRION WHEELERI DESERT SPOON	5-GAL.	4' HT X 4' SPR.	LOW
27		FALLUGIA PARADOXA APACHE PLUME	5-GAL.	6' HT X 6' SPR.	LOW
14		HESPERALOE PARVIFLORA RED FLOWERING YUCCA	5-GAL.	3' HT X 3' SPR.	MEDIUM
25		JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER	5-GAL.	5' HT. X 8' SPR.	LOW +
25		JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL.	2' HT X 6' SPR.	MEDIUM
26		PRUNUS GLANDULOSA FLOWERING ALMOND	5-GAL.	4' HT X 4' SPR.	MEDIUM
29		RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	6' HT X 6' SPR.	LOW +
44		SALVIA DORRII DESERT PURPLE SAGE	5-GAL.	2' HT X 3' SPR.	LOW
51		SPHAERALCEA INCANA SCARLET GLOBEMALLOW	5-GAL.	3' HT X 3' SPR.	LOW +
MULCHES/BOULDERS					
4,234 SF		2"-4" MOUNTAINAIR BLUSH COBBLE MULCH (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
28,944 SF		1" MOUNTAINAIR BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
32		MOSS ROCK LANDSCAPE BOULDERS (18 CF TO 27 CF TYPICAL)			

GENERAL LANDSCAPE NOTES

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (2.6 AC.):	111,056 SF
BUILDING AREA:	- 16,015 SF
LANDSCAPED R.O.W.	- 2,211 SF
NET AREA	92,830 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA):	13,925 SF
PROVIDED LANDSCAPE AREA	32,634 SF
REQUIRED VEGETATIVE COVERAGE (75 %):	24,476 SF
PROVIDED VEGETATIVE COVERAGE:	39,490 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA. THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES
LAS LOMITAS PLAZA IS PROVIDING 98 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 10
PARKING LOT TREES PROVIDED: 24

STREET TREES
STREET TREE REQUIREMENTS PER THE SITE PLAN FOR SUBDIVISION SPECIFY THE AVERAGE SPACING BETWEEN TREES TO BE 25'.

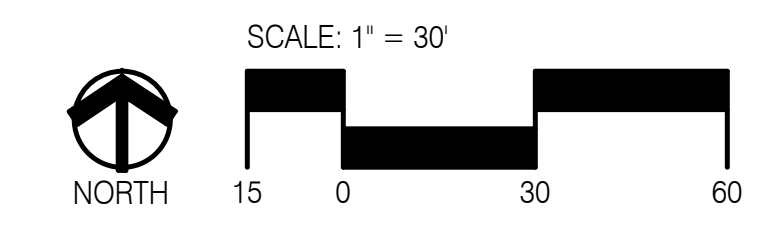
UNSER BOULEVARD FRONTAGE IS 364'.
STREET TREES REQUIRED: 15
STREET TREES PROVIDED: 15

LA MORADA PLACE FRONTAGE IS 297'.
STREET TREES REQUIRED: 12
STREET TREES PROVIDED: 12

VISTA OESTE FRONTAGE IS 221'.
STREET TREES REQUIRED: 9
STREET TREES PROVIDED: 9

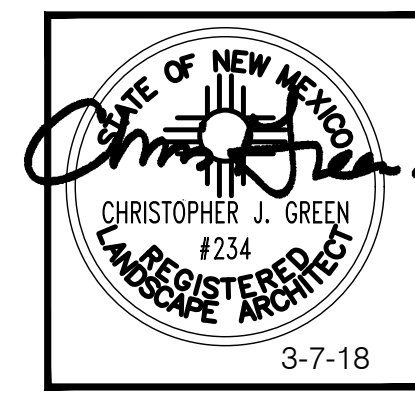
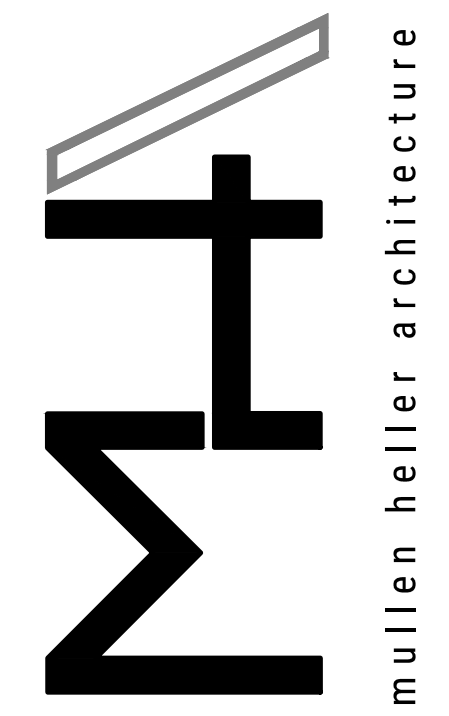
DECIDUOUS/EVERGREEN MIX (60/40 REQUIRED)
DECIDUOUS PROVIDED: 24
EVERGREEN PROVIDED: 12

1 Planting Plan
Scale: 1"=30'-0"



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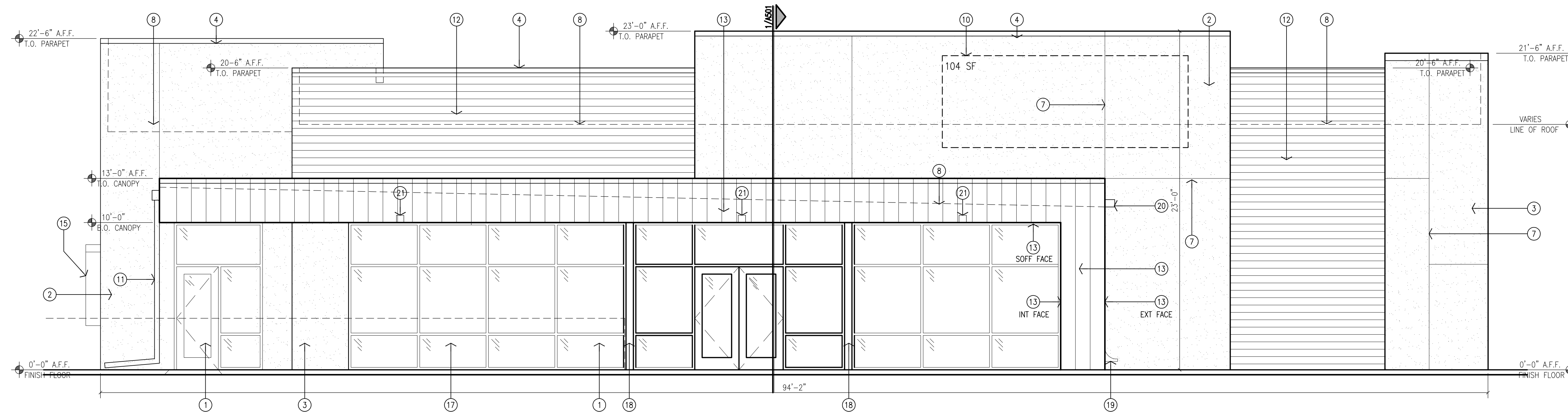
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DATE	
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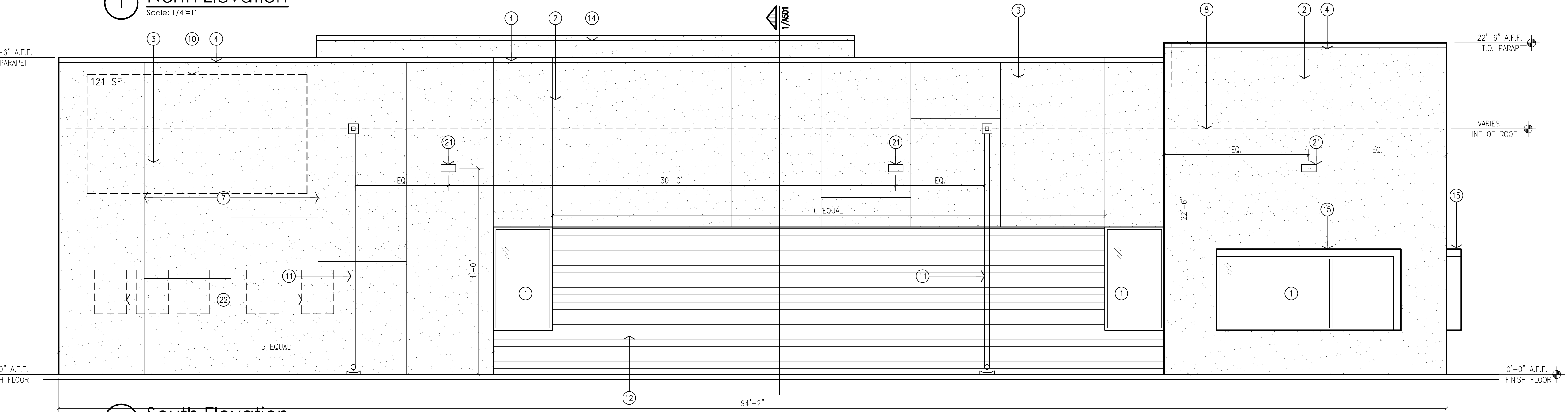
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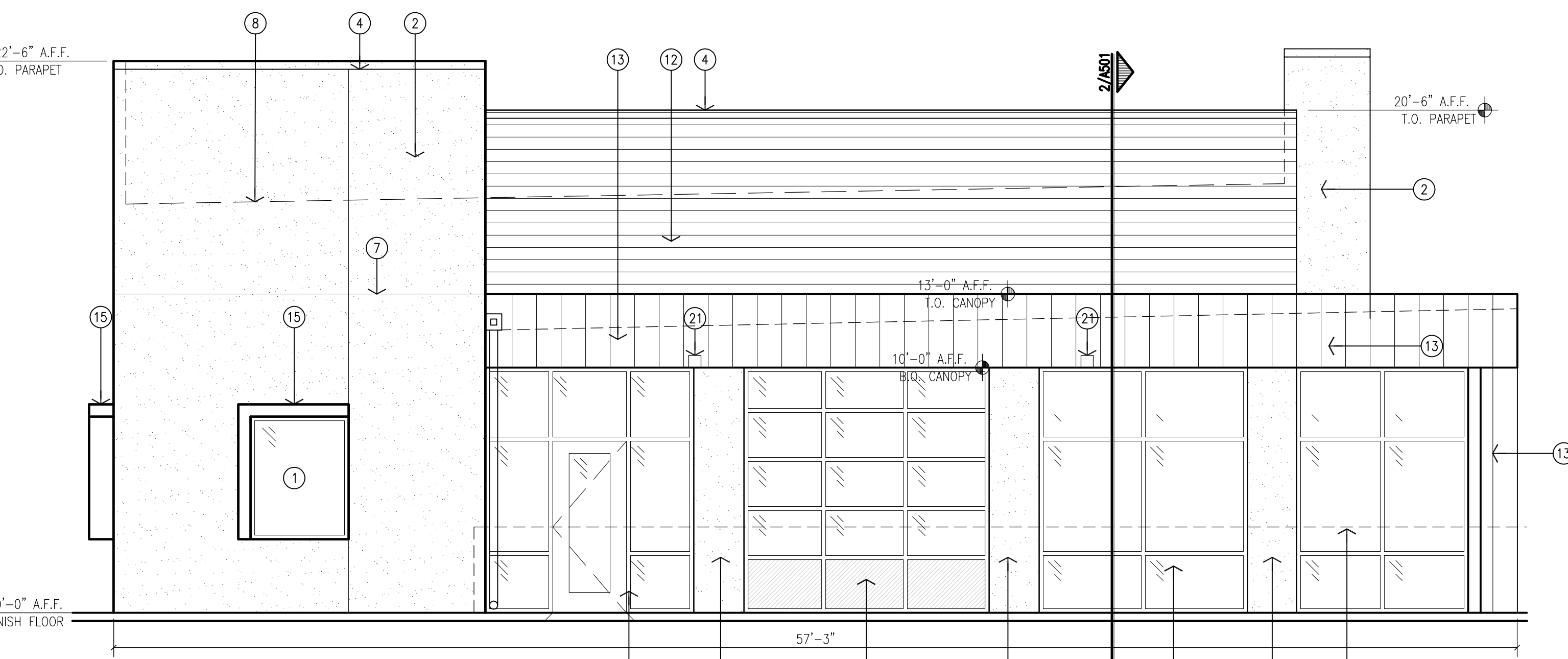
PROJECT **Shell Building at Los Lomas Plaza**
2101 Vista Oeste Building 1
Albuquerque, NM 87120
TITLE **Planting Plan**



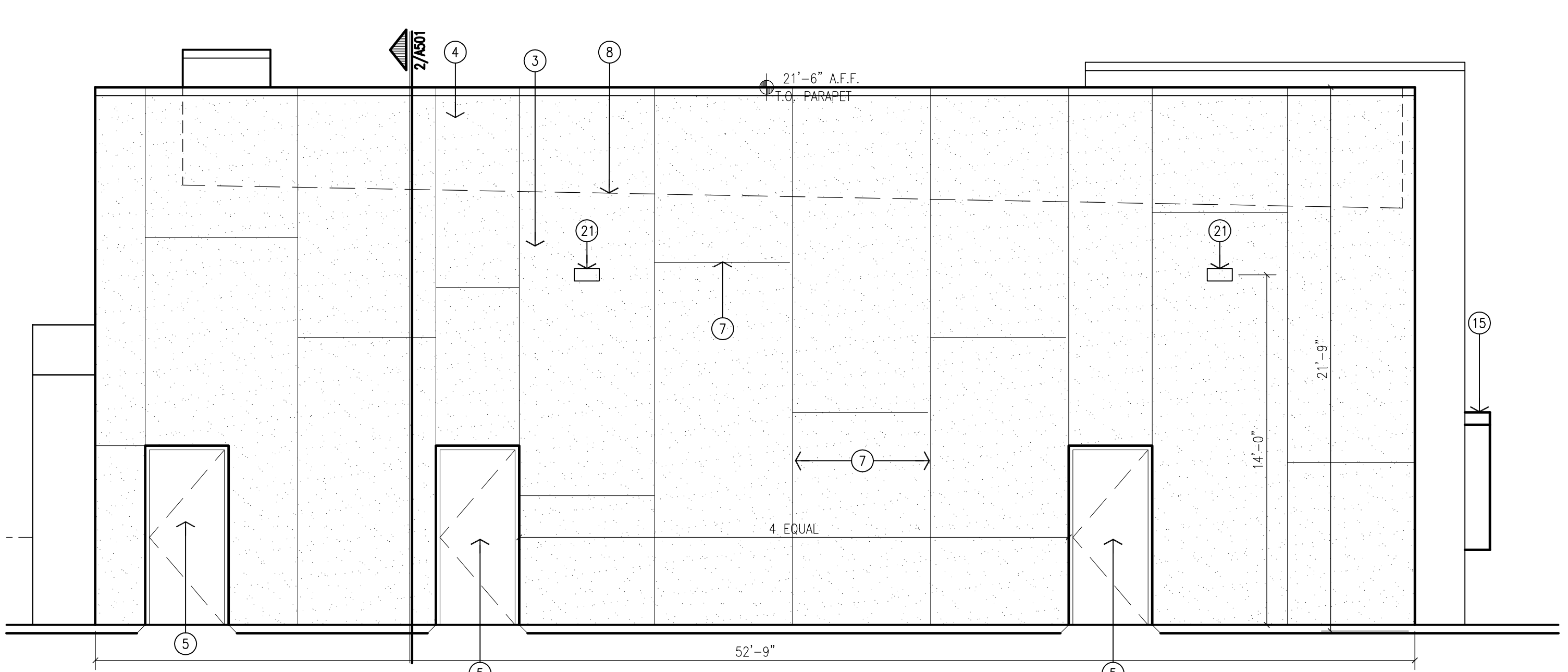
1 North Elevation
Scale: 1/4"=1'



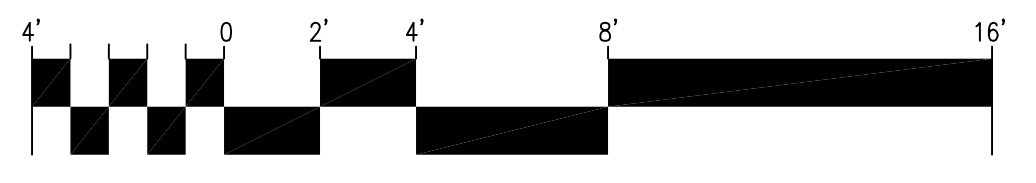
2 South Elevation
Scale: 1/4"=1'



3 East Elevation
Scale: 1/4"=1'



4 West Elevation
Scale: 1/4"=1'



- GENERAL NOTES:**
- [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
 - [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
 - [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
 - [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
 - [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

- KEYED NOTES:**
- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
 - [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 1 LIGHT TAN.
 - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: 2 MEDIUM BEIGE.
 - [4] PRE-FINISHED SHEET METAL PARAPET CAP TO MATCH STUCCO FINISH COLOR.
 - [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
 - [6] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [7] STUCCO CONTROL JOINT.
 - [8] LINE OF ROOF LEVEL BEYOND.
 - [9] LINE OF EXTERIOR FINISH GRADE.
 - [10] OWNER PROVIDED SIGNAGE, PROVIDE POWER.
 - [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
 - [12] PREFINISHED FIBER CEMENT WALL PANELS OVER A RAINSCREEN SYSTEM, NICHHA: VINTAGE WOOD - CEDAR, AWP 3030 HORIZONTAL INSTALLATION (OR EQUAL).
 - [13] PREFINISHED METAL PANEL SYSTEM WITH CONCEALED FASTENERS OVER A RAINSCREEN SYSTEM, CENTRIA: IW-10A VERTICAL INSTALLATION, RICH BLACK 9916.
 - [14] PARAPET BEYOND.
 - [15] STUCCO WINDOW TRIM.
 - [16] OVERHEAD GARAGE DOOR.
 - [17] PATIO RAILING. SEE SITE DETAILS.
 - [18] SHEET METAL TO MATCH SF.
 - [19] ROOF DRAIN NOZZLE.
 - [20] PREFINISHED SHEET METAL OVERFLOW SCUPPER.
 - [21] LIGHT FIXTURE. SEE ELECTRICAL.
 - [22] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.

SIGNAGE CALCULATIONS:

BUILDING MOUNTED:

NORTH ELEVATION - 1,745 SF X 6%
104 SF ALLOWED
104 SF ILLUMINATED PROVIDED

SOUTH ELEVATION - 2,024 SF X 6%
121 SF ALLOWED
121 SF ILLUMINATED PROVIDED

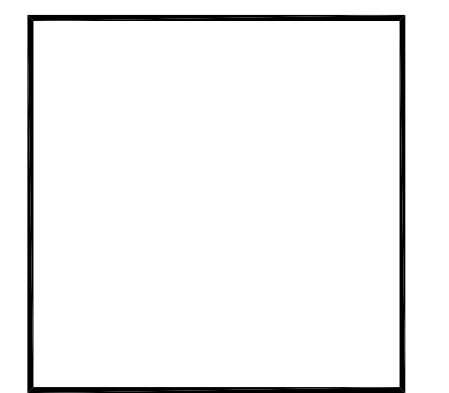
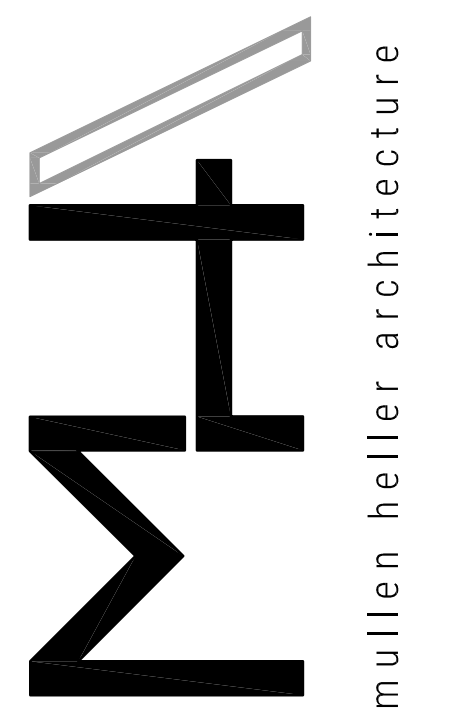
NOTE: ONLY 1 BUILDING MOUNTED SIGN IS PERMITTED PER FACADE PER BUSINESS.

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2		
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BY _____

DATE _____

REV 1 2 3 4 5

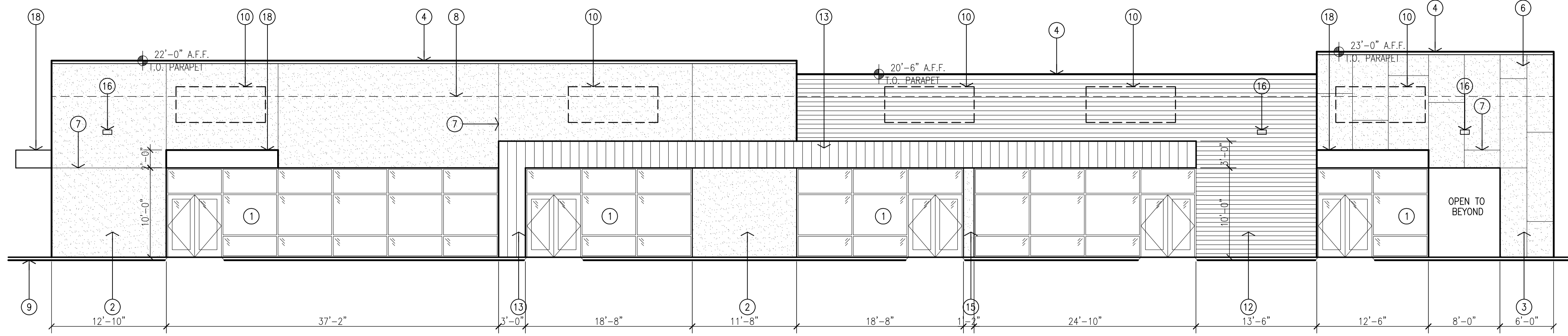


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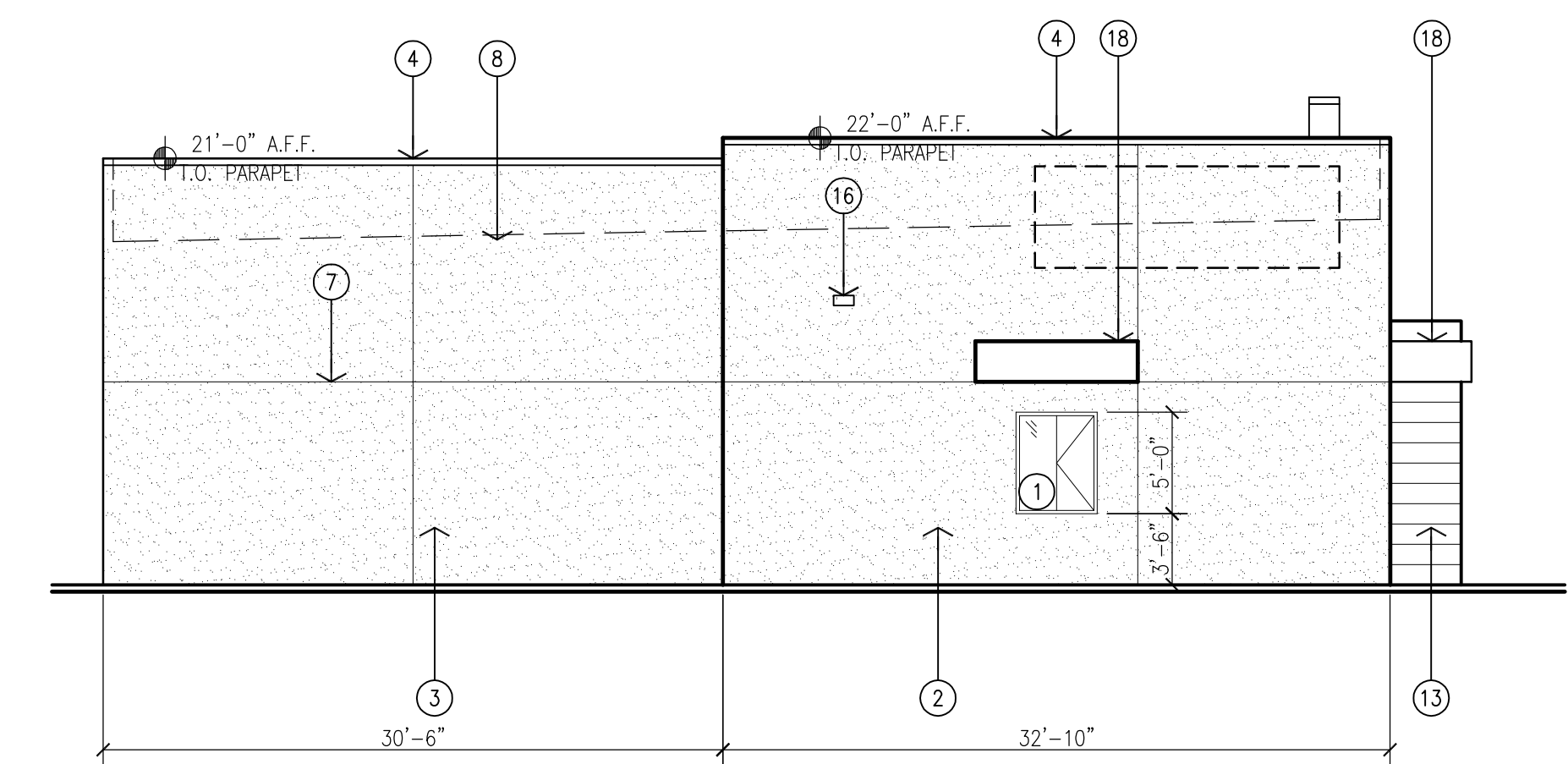
JOB NUMBER	16-53
DRAWN BY	AV
PROJECT MGR	JDH
DATE	2-9-2018
PHASE	CD

PROJECT
Las Lomitas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

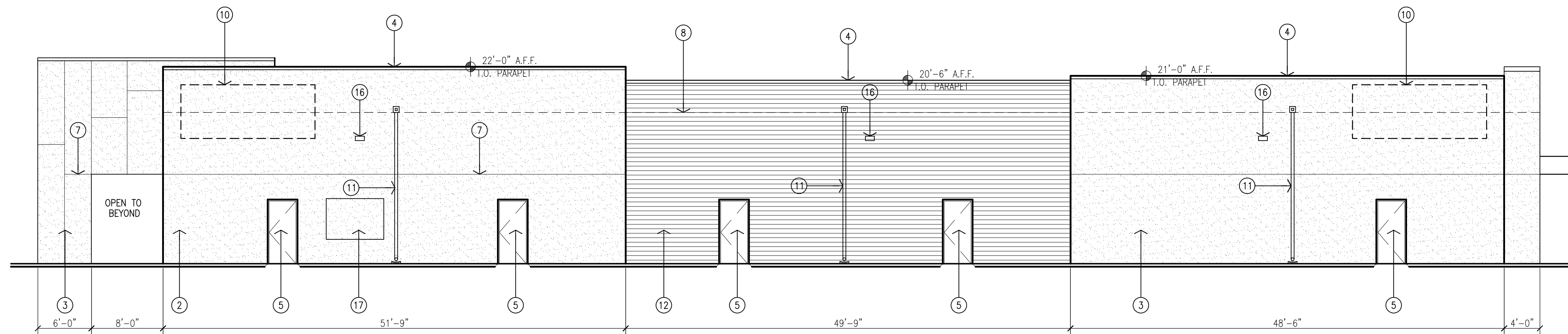
TITLE
Exterior Elevations - Building 3



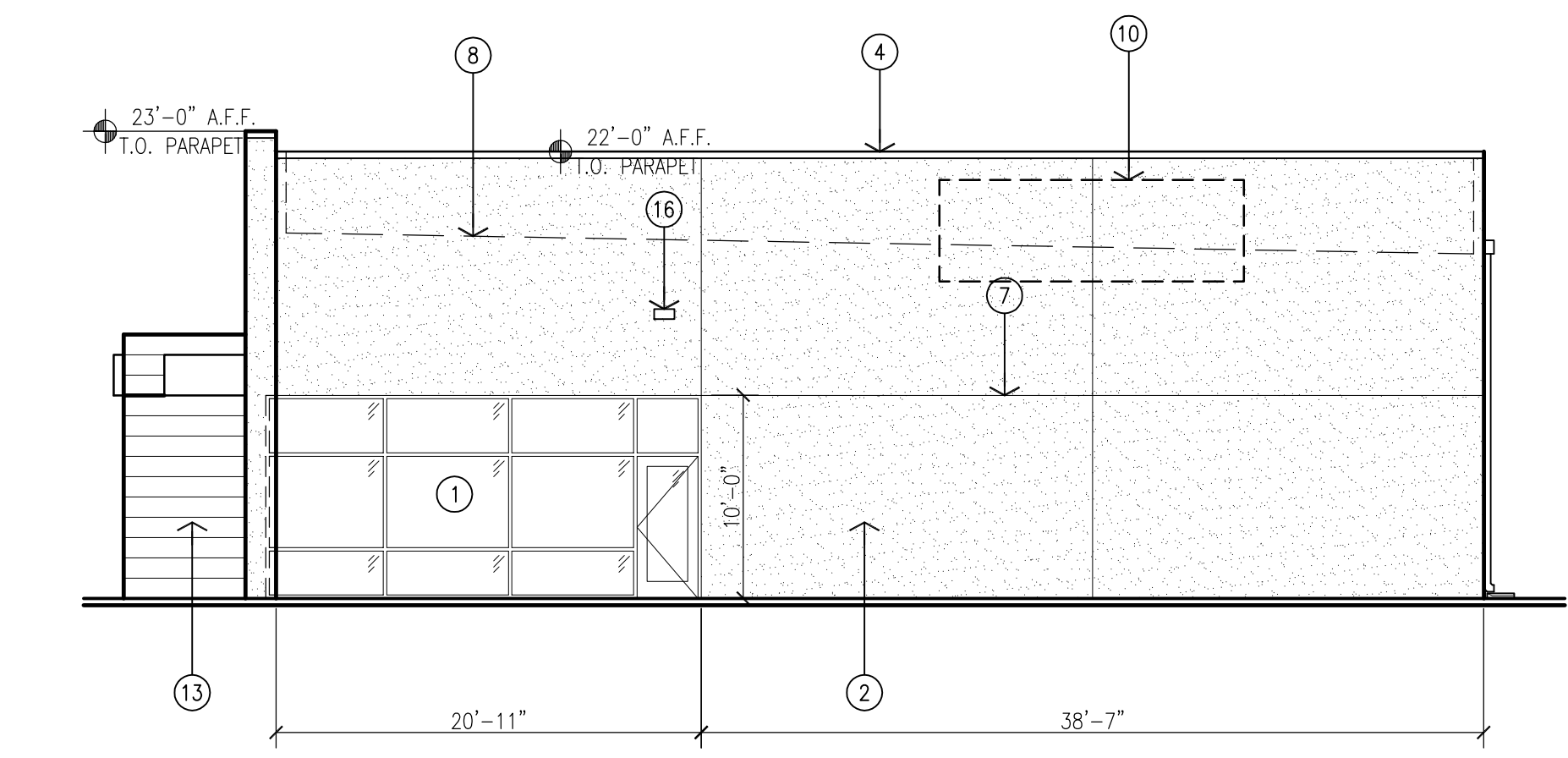
1 South Elevation
Scale: 1/8"=1'



2 West Elevation
Scale: 1/8"=1'



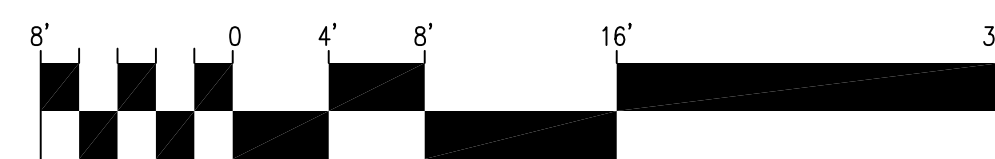
3 North Elevation
Scale: 1/8"=1'



4 East Elevation
Scale: 1/8"=1'

KEYED NOTES:

- [1] ALUMINUM STOREFRONT SYSTEM, CLEAR ANODIZED FRAME WITH TINTED GLAZING.
- [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 1 LIGHT TAN.
- [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: 2 MEDIUM BEIGE.
- [4] PRE-FINISHED SHEET METAL PARAPET CAP TO MATCH STUCCO FINISH COLOR.
- [5] HOLLOW METAL DOOR PAINTED TO MATCH STUCCO.
- [6] 12" HIGH ADDRESS CHANNEL LETTERS.
- [7] STUCCO CONTROL JOINT.
- [8] LINE OF ROOF LEVEL BEYOND.
- [9] LINE OF EXTERIOR FINISH GRADE.
- [10] POTENTIAL OWNER PROVIDED SIGNAGE. PROVIDE POWER.
- [11] PREFINISHED SHEET METAL COLLECTOR BOX AND DOWNSPOUT.
- [12] PREFINISHED FIBER CEMENT WALL PANELS OVER A RAINSCREEN SYSTEM. NICHHA: VINTAGE WOOD - CEDAR, AWP 3030 HORIZONTAL INSTALLATION (OR EQUAL).
- [13] PREFINISHED METAL PANEL SYSTEM WITH CONCEALED FASTENERS OVER A RAINSCREEN SYSTEM. CENTRA: IW-10A VERTICAL INSTALLATION, RICH BLACK 9916.
- [14] PARAPET BEYOND.
- [15] SHEET METAL TO MATCH SF.
- [16] LIGHT FIXTURE. SEE ELECTRICAL.
- [17] ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- [18] STEEL FRAMED OPEN AIR CANOPY.



GENERAL NOTES:

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- [E] PARAPET HEIGHTS HAVE BEEN INCREASED TO SCREEN ROOFTOP MECHANICAL EQUIPMENT. ADDITIONAL SCREENING MAY BE ADDED IF NOT SUFFICIENT.

SIGNAGE CALCULATIONS:

BUILDING MOUNTED:

- NORTH ELEVATION- 3,555 SF X 6%
213 SF ALLOWED
213 SF ILLUMINATED PROVIDED
- EAST ELEVATION- 1,300 SF X 6%
78 SF ALLOWED
78 SF ILLUMINATED PROVIDED
- SOUTH ELEVATION- 3,176 SF X 9%
190 SF ALLOWED
190 SF ILLUMINATED PROVIDED
- WEST ELEVATION- 1,300 SF X 6%
78 SF ALLOWED
78 SF ILLUMINATED PROVIDED

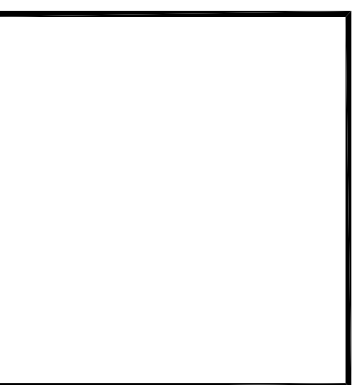
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DESCRIPTION

BY

DATE

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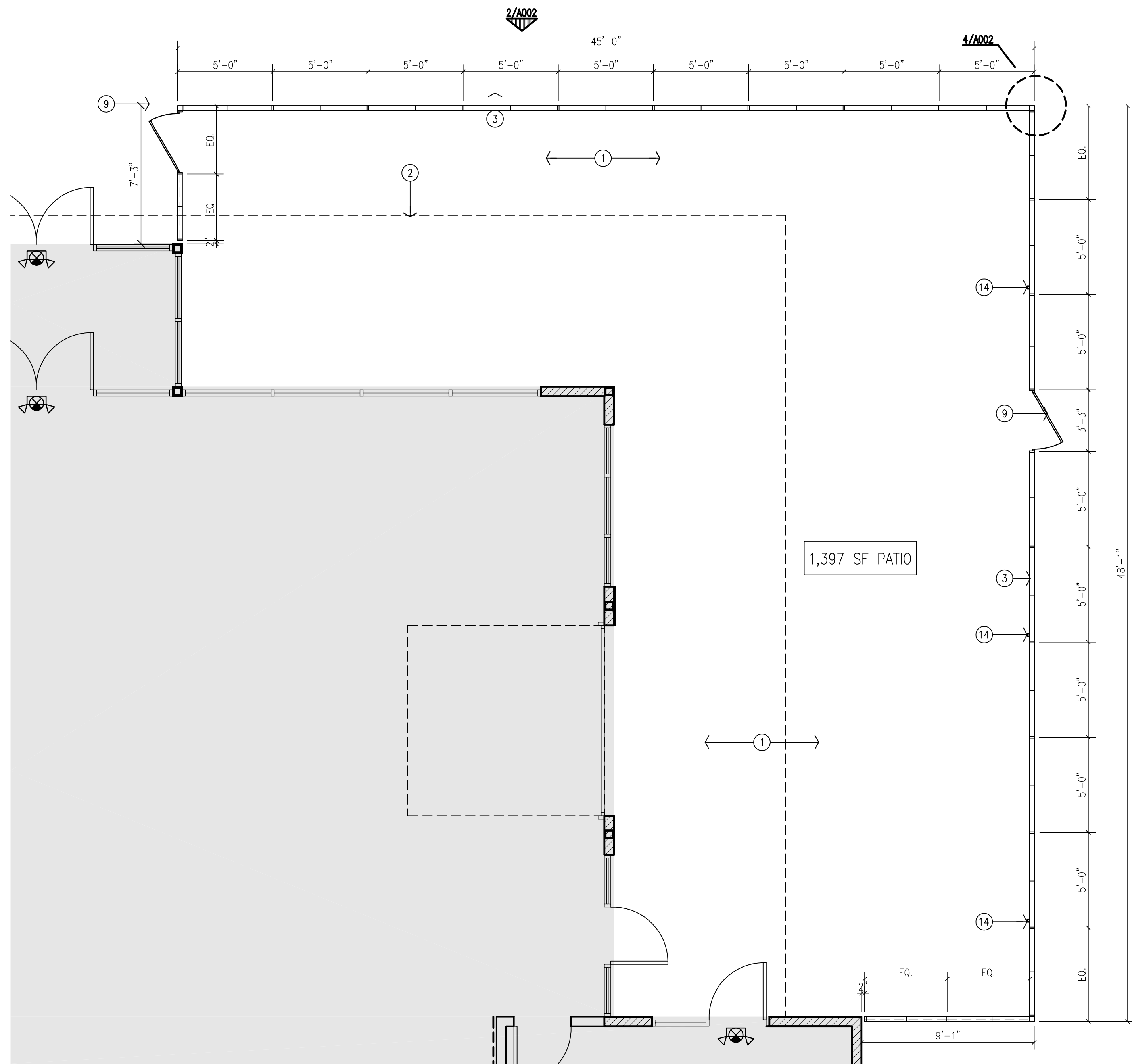
PROJECT MGR JDH

DATE 2-9-2018

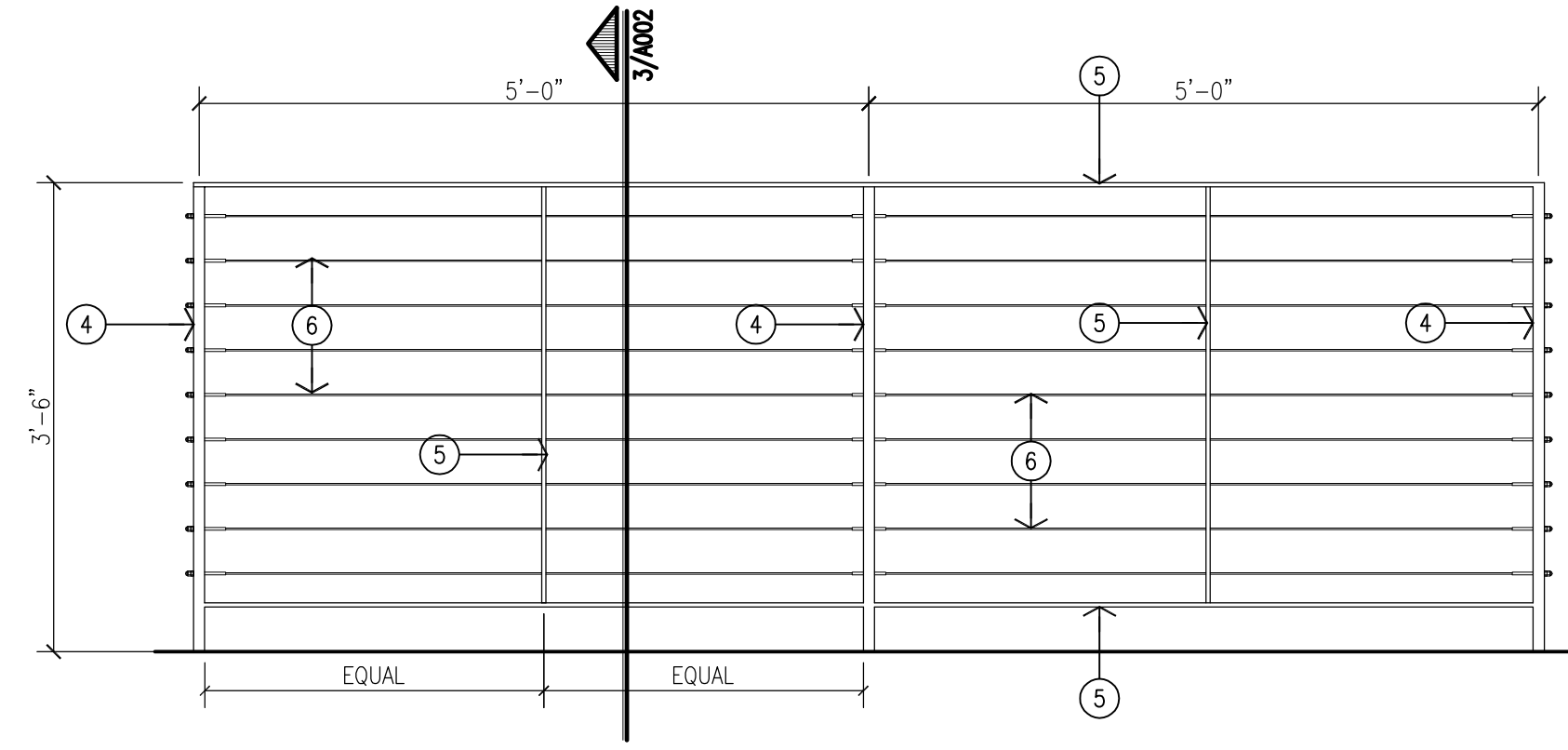
PHASE CD

PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

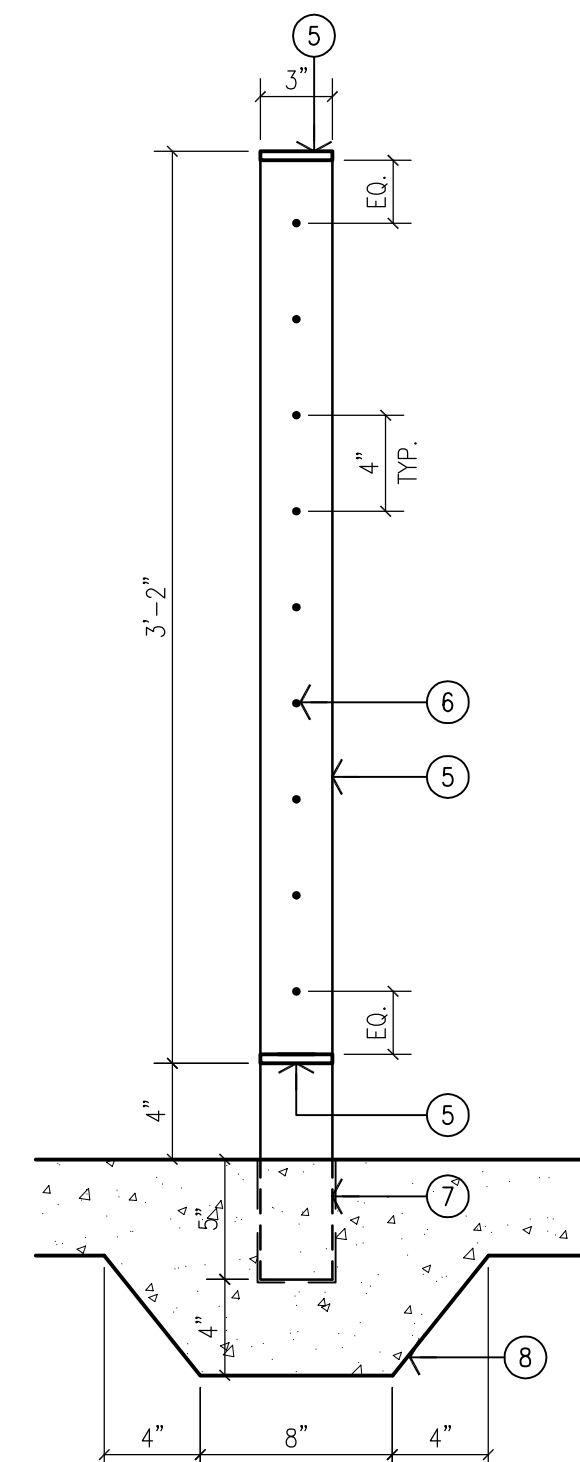
TITLE
Exterior Elevations - Building 1



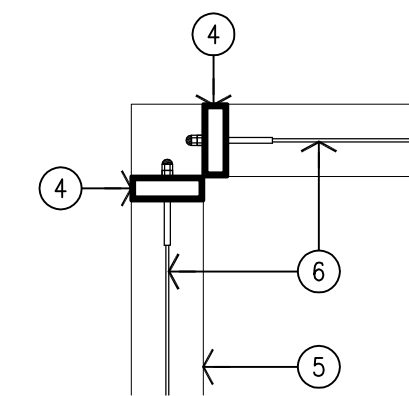
1 Enlarged Site Plan
Scale: 1/4"=1'-0"



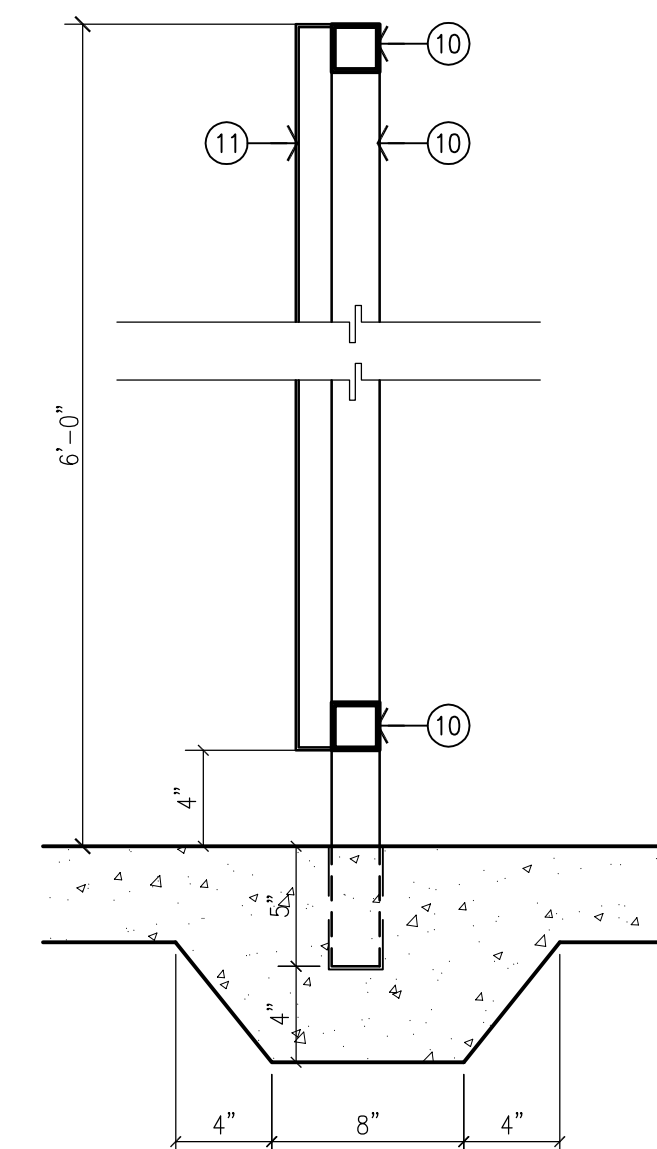
2 Typical Railing Elevation
Scale: 3/4"=1'-0"



3 Railing Section
Scale: 1 1/2"=1'-0"

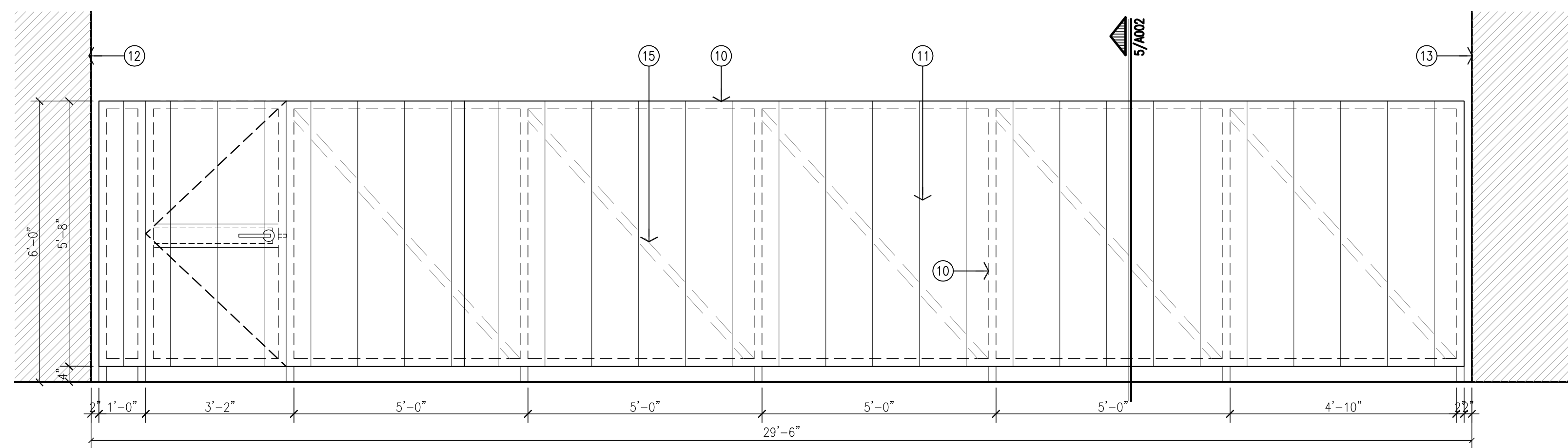


4 Railing Plan Detail
Scale: 1 1/2"=1'-0"

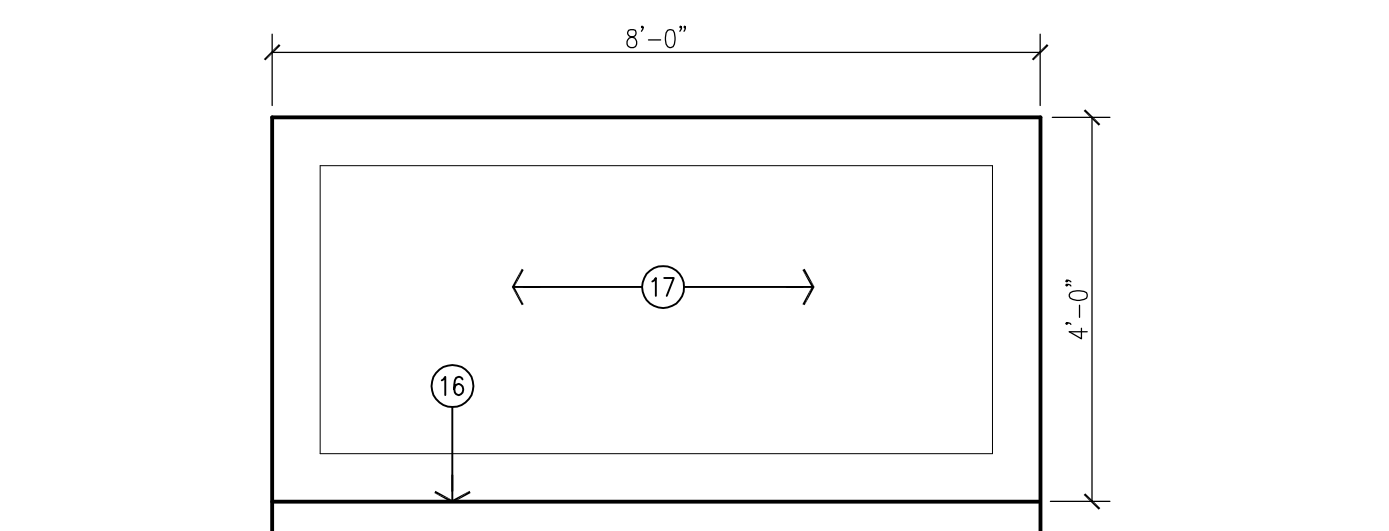


5 Railing Section
Scale: 1 1/2"=1'-0"

- KEYED NOTES:**
- [1] CONCRETE PATIO. REFER TO CIVIL.
 - [2] LINE OF CANOPY ABOVE.
 - [3] STEEL RAILING, PAINTED. REFER TO ELEVATIONS & DETAILS.
 - [4] 1"x3" TUBE STEEL FRAME, PAINTED.
 - [5] 3"x3/8" STEEL BAR, PAINTED.
 - [6] 1/8" STAINLESS STEEL CABLE RAIL WITH STAINLESS STEEL STANDARD ASSEMBLY PARTS.
 - [7] STEEL SLEEVE IN CONCRETE.
 - [8] THICKENED CONCRETE SIDEWALK AT RAILING.
 - [9] PATIO EXIT GATE WITH PASSAGE LEVER SET ON OUTSIDE AND PANIC DEVICE FROM INSIDE PATIO SIDE.
 - [10] 2"x2" TUBE STEEL FRAME, PAINTED.
 - [11] METAL PANEL SYSTEM WITH CONCEALED FASTENERS (TO MATCH BUILDING STANDARD) ATTACHED TO TUBE STEEL FRAME.
 - [12] LINE OF SHELL BUILDING.
 - [13] LINE OF FUTURE BUILDING.
 - [14] WELD 1 1/2" X 1 1/2" TUBE STEEL FRAME TO 9' FOR FUTURE ROPE LIGHT CONNECTION. PAINT.
 - [15] 2X2 STEEL ANGLE BRACING.
 - [16] CONCRETE SIGN BASE.
 - [17] 32SF INTERNALLY ILLUMINATED MONUMENT SIGN WITH FINISH TO MATCH METAL PANEL ON BUILDING.



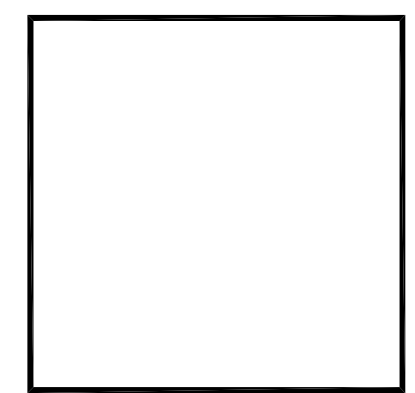
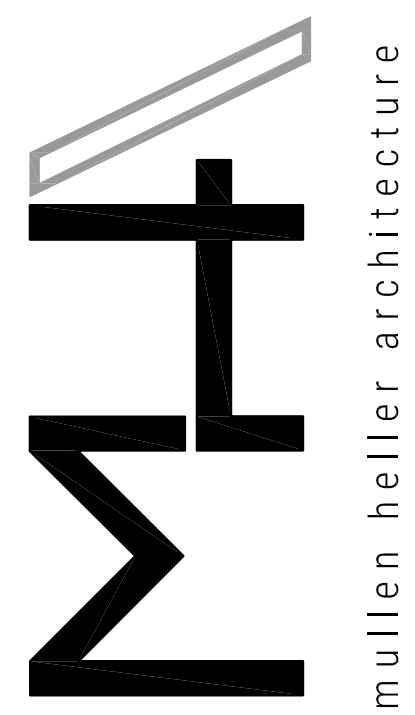
6 Fence Elevation
Scale: 1/2"=1'-0"



7 Monument Sign Elevation
Scale: 1/2"=1'-0"

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

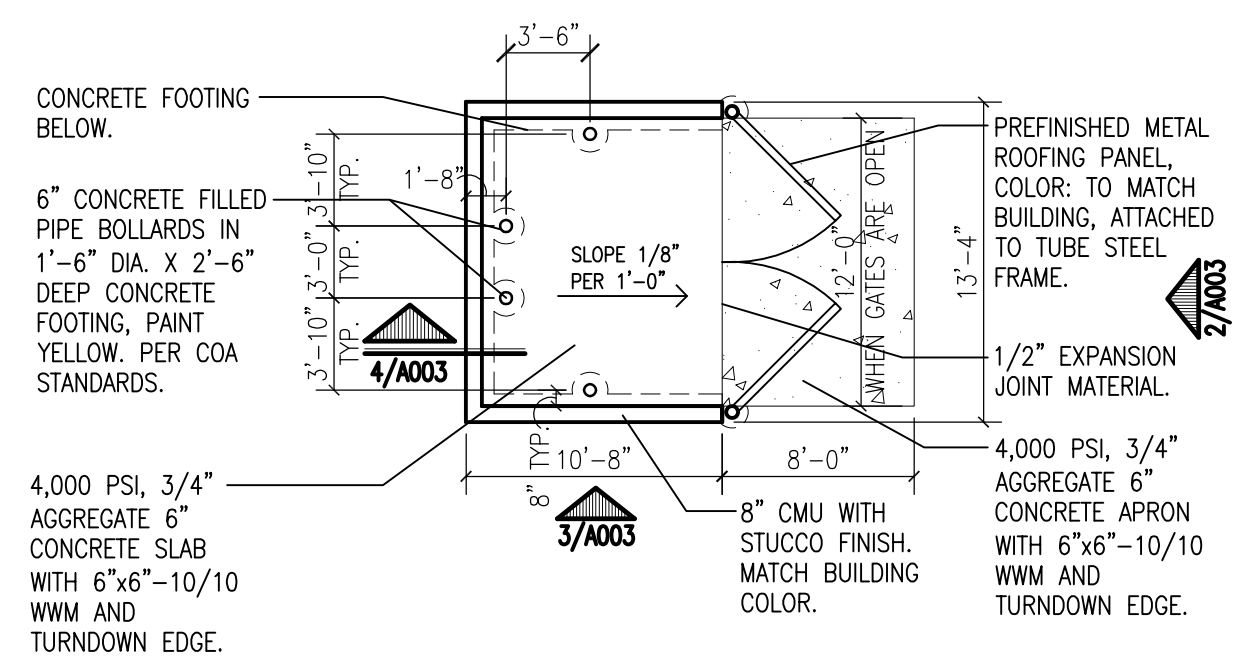


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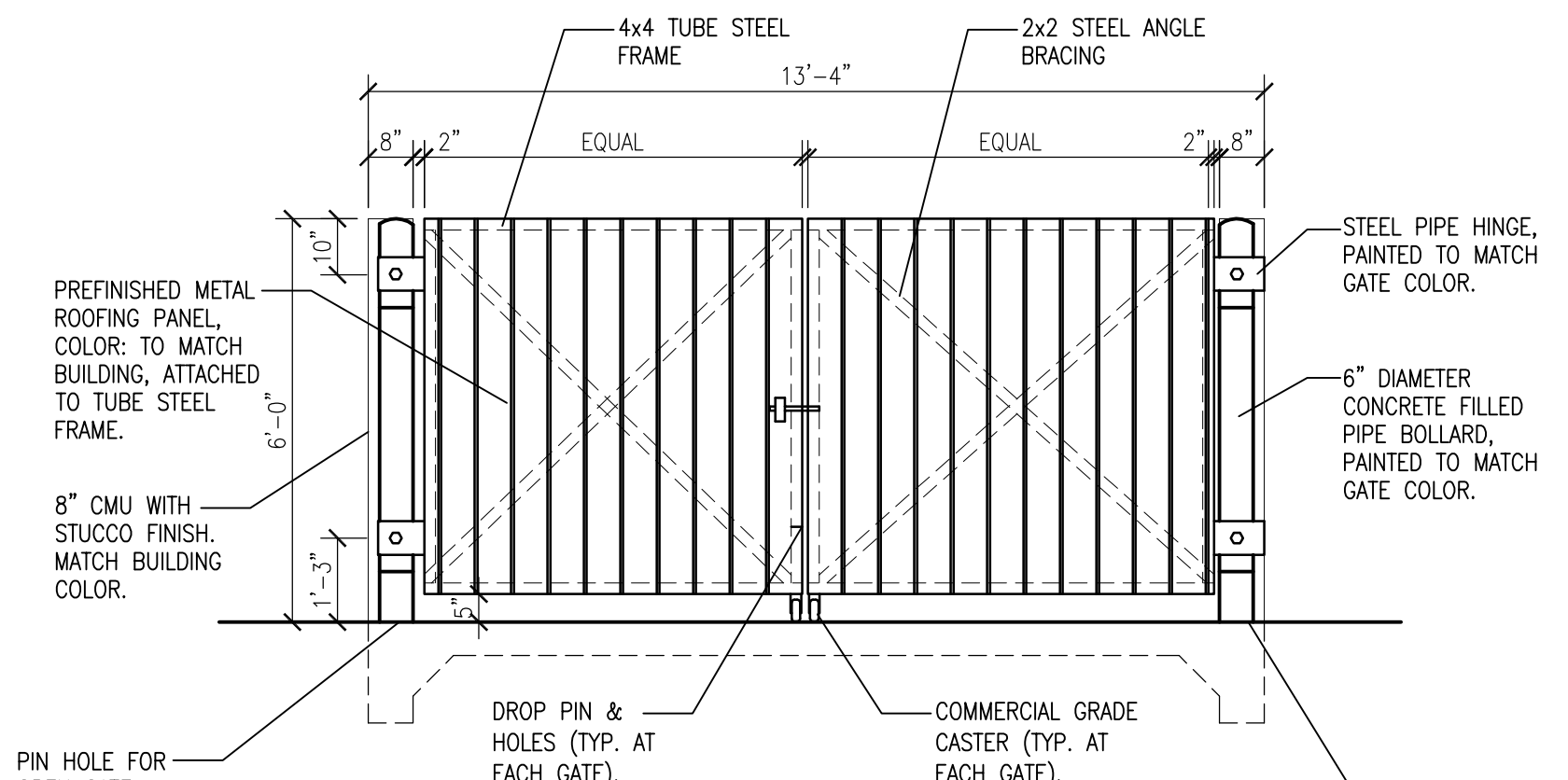
JOB NUMBER 16-53
DRAWN BY AV
PROJECT MGR JDH
DATE 2-9-2018
PHASE CD

PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

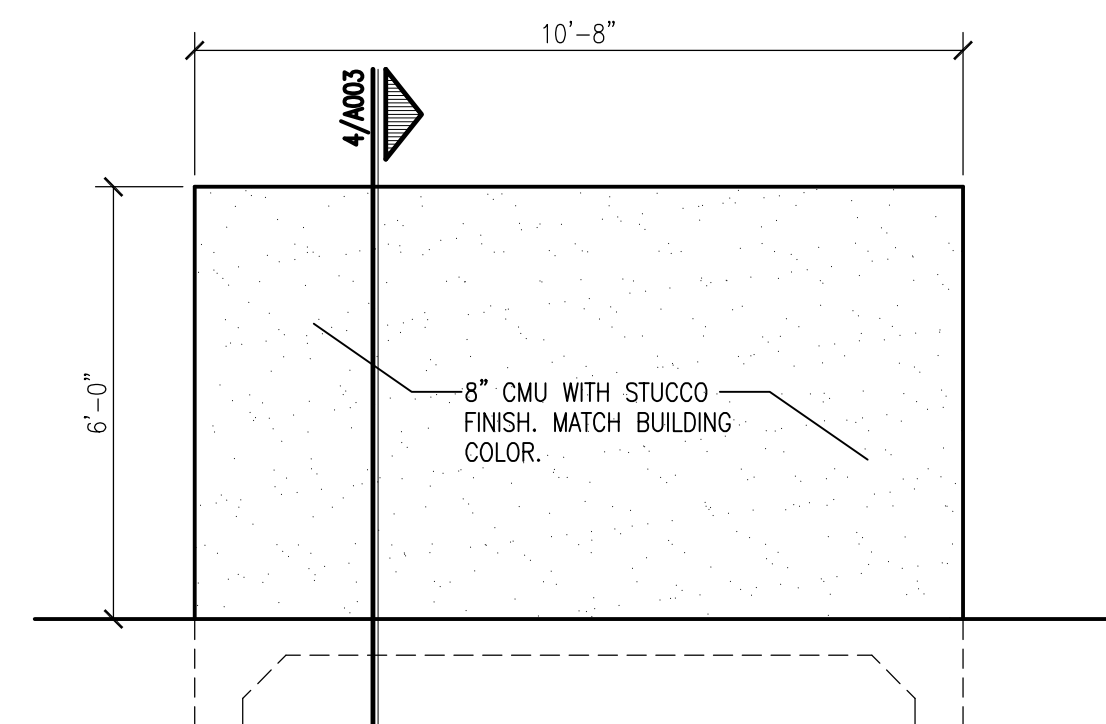
TITLE
Enlarged Patio Plan & Details



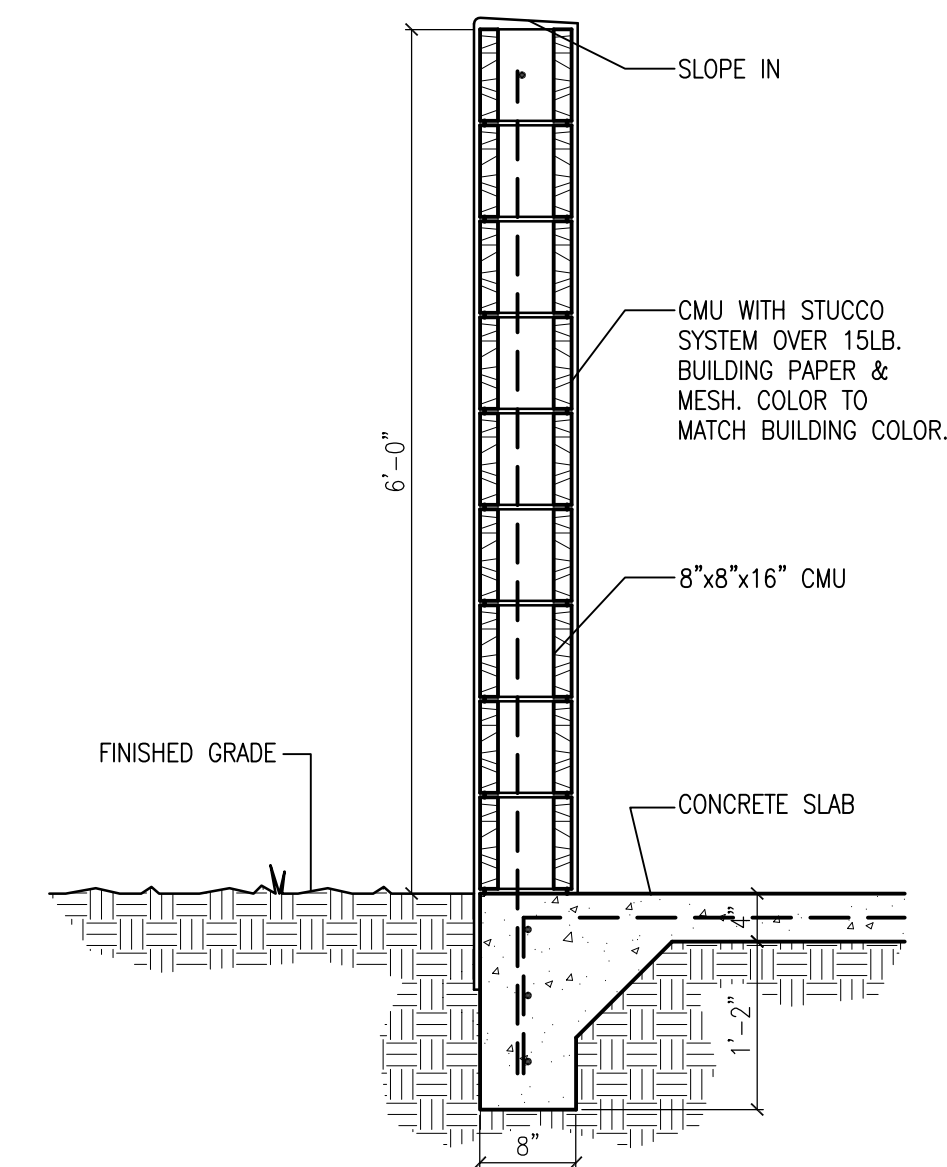
1 Dumpster Enclosure Plan
Scale: 1/8"=1'-0"



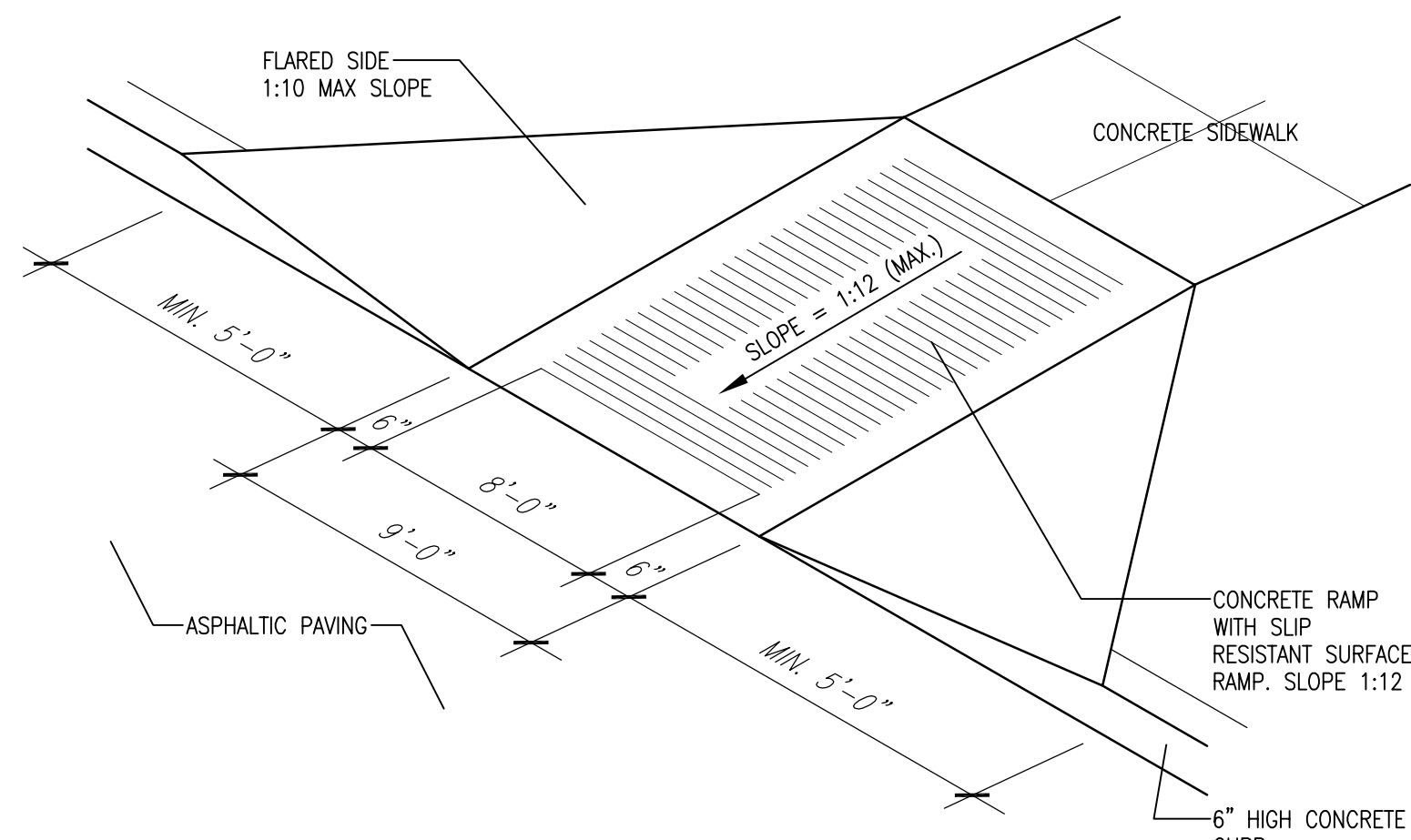
2 Dumpster Enclosure Front Elevation
Scale: 3/8"=1'-0"



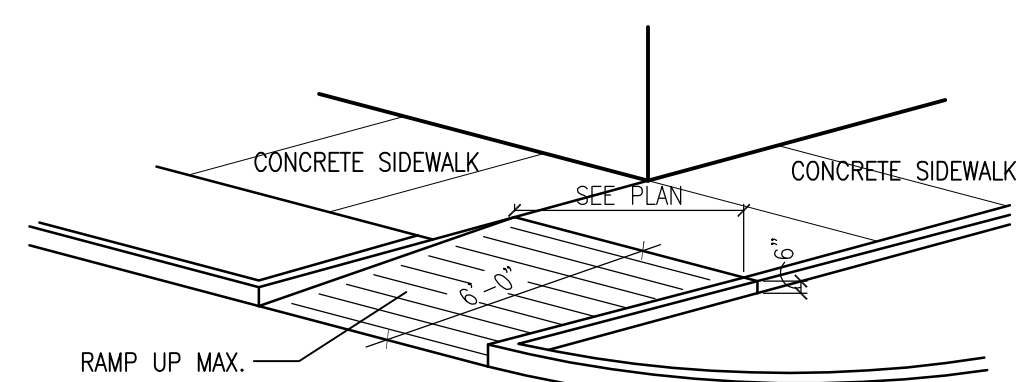
3 Dumpster Enclosure Side Elevation
Scale: 3/8"=1'-0"



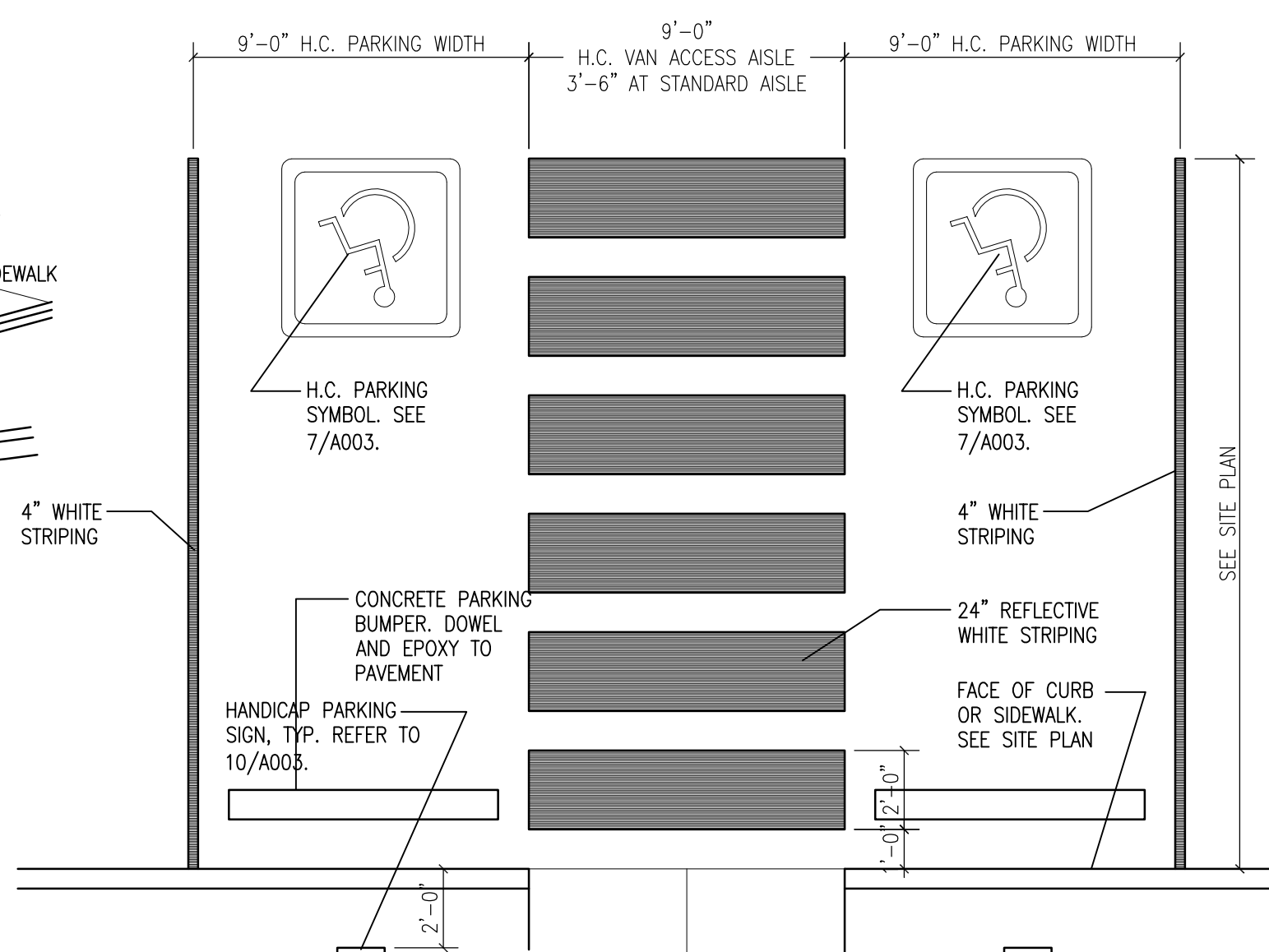
4 Refuse Enclosure Wall Section
Scale: 1"=1'-0"



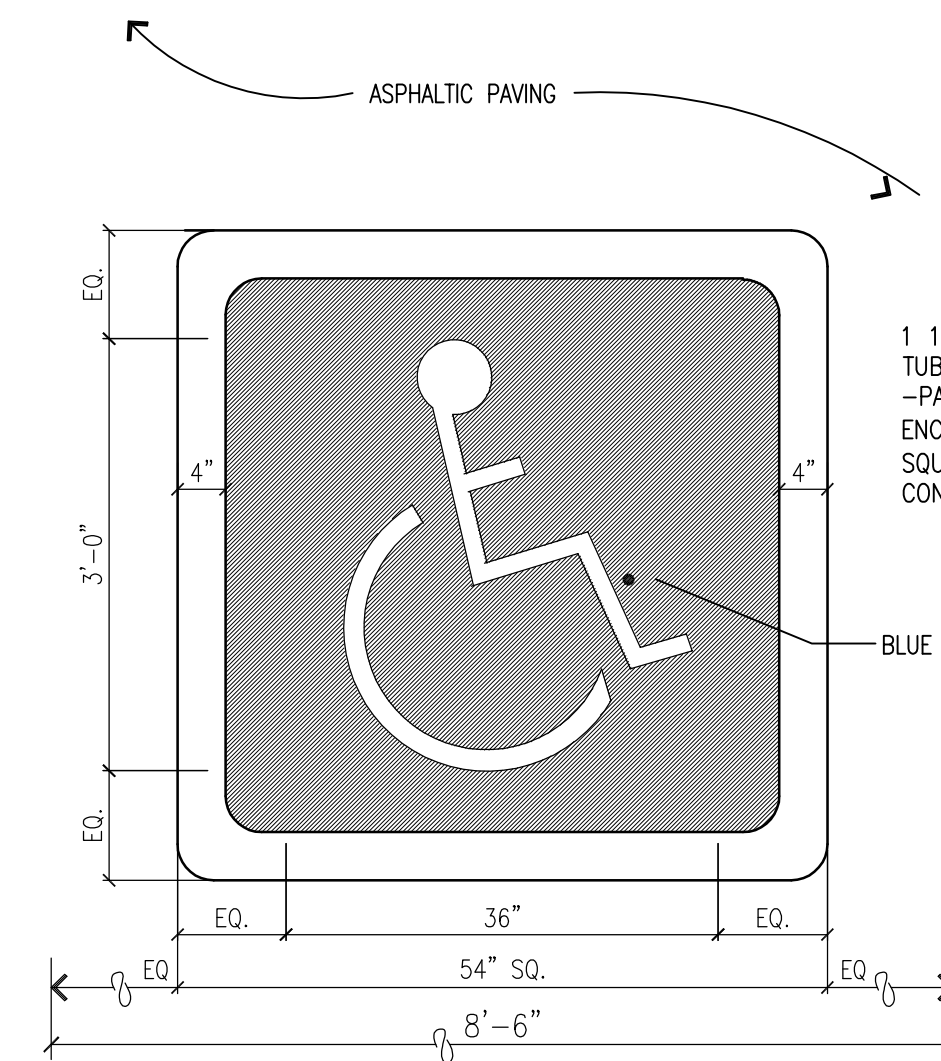
5 H.C. Ramp Detail
Scale: Not To Scale (Isometric)



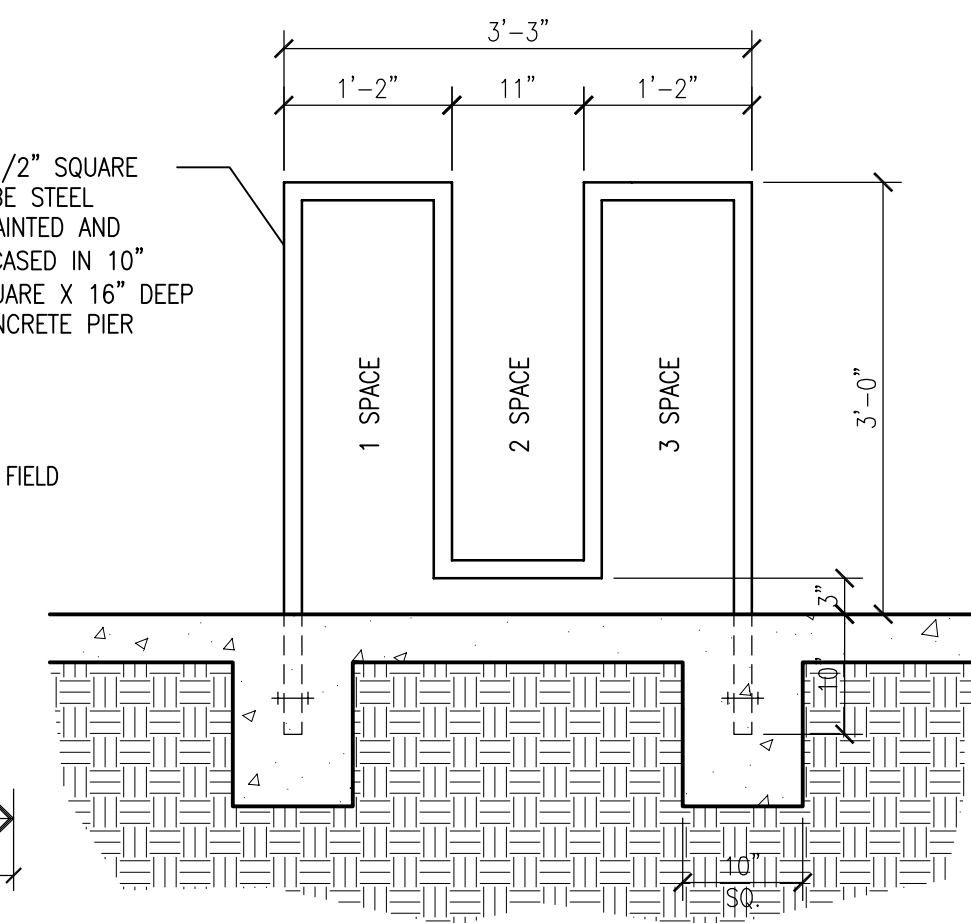
5A H.C. Ramp Detail
Scale: Not To Scale (Isometric)



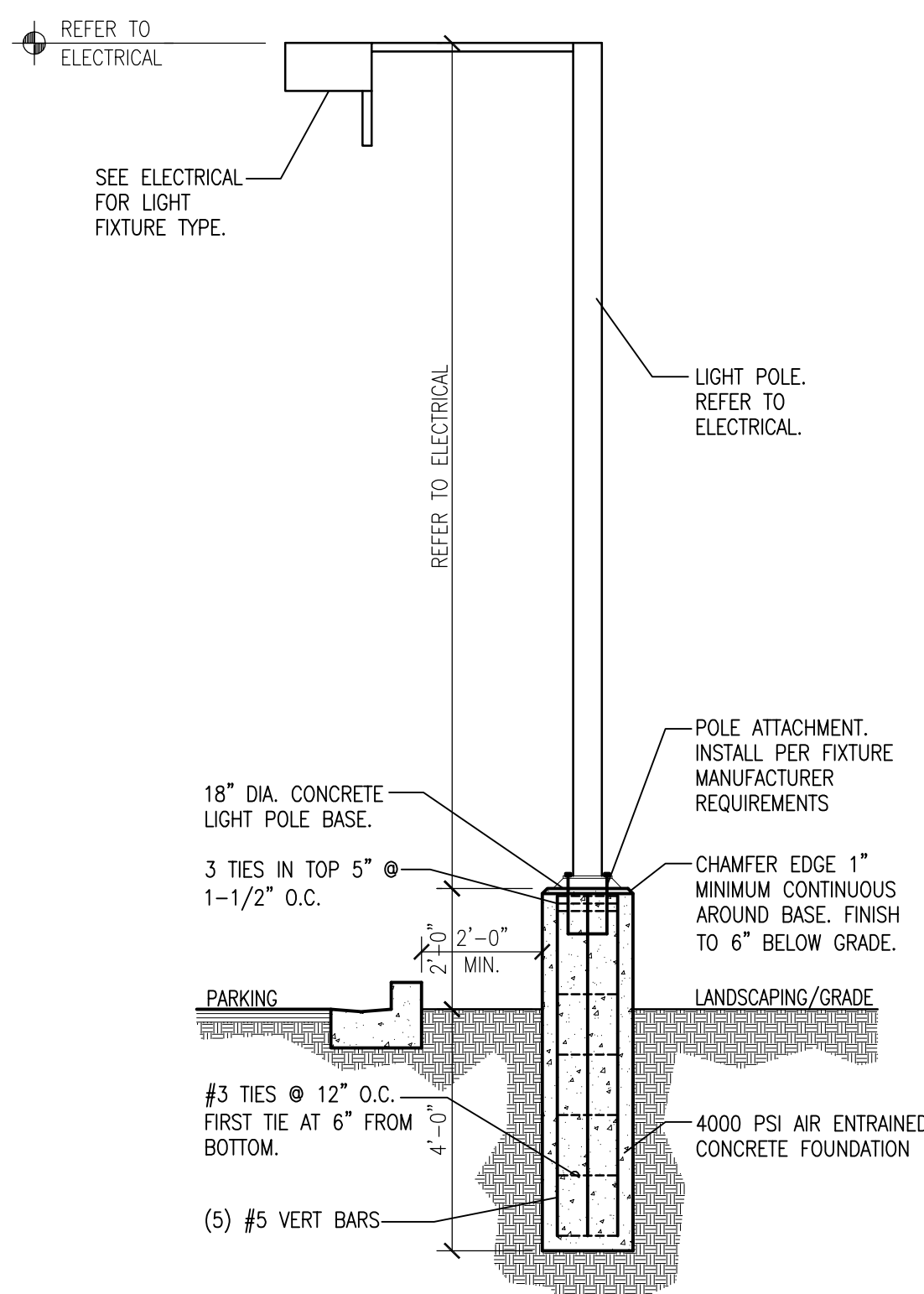
6 HC Parking Striping Detail
Scale: 1/4"=1'-0"



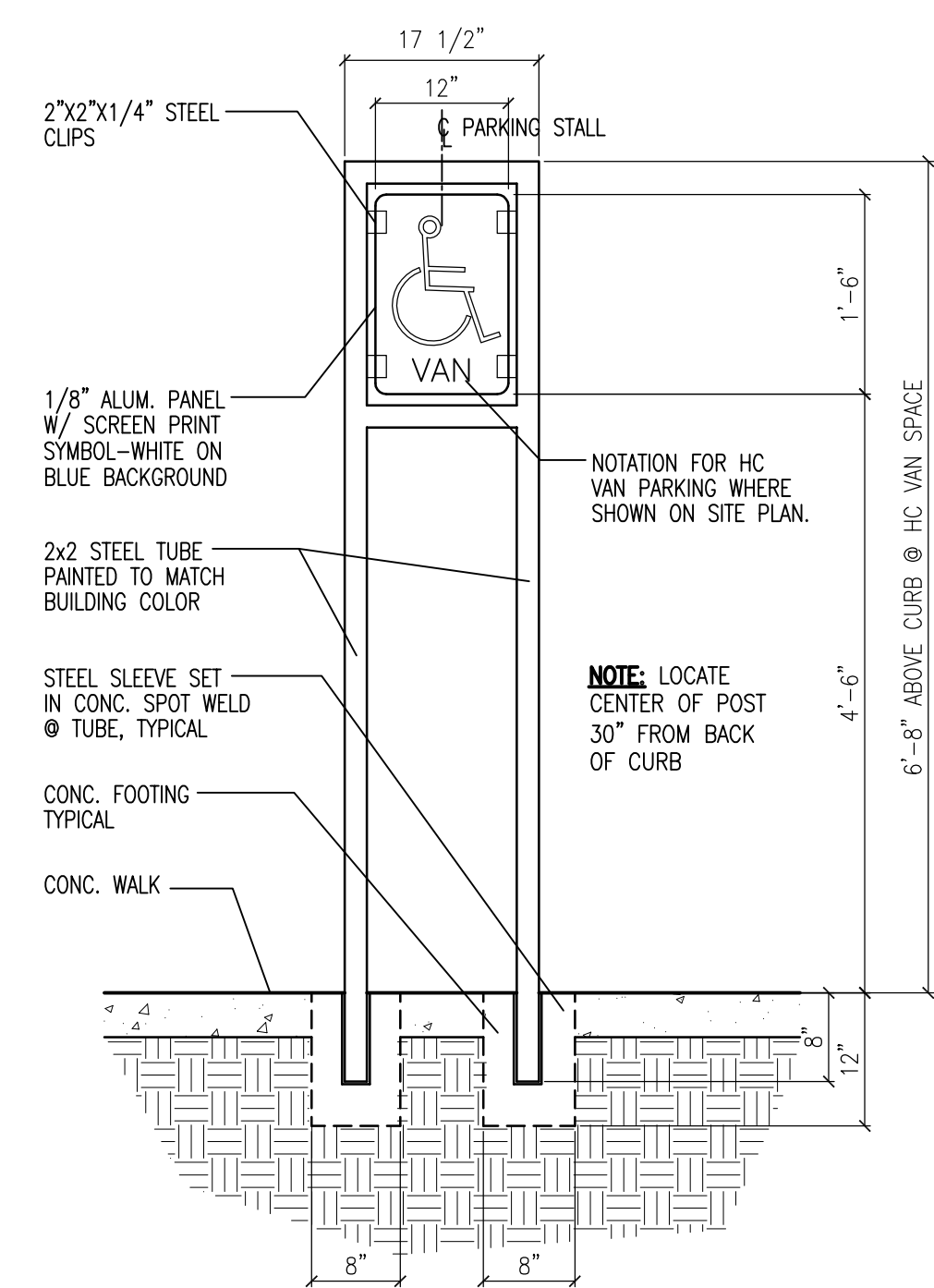
7 HC Pavement Sign Detail
Scale: 3/4"=1'-0"



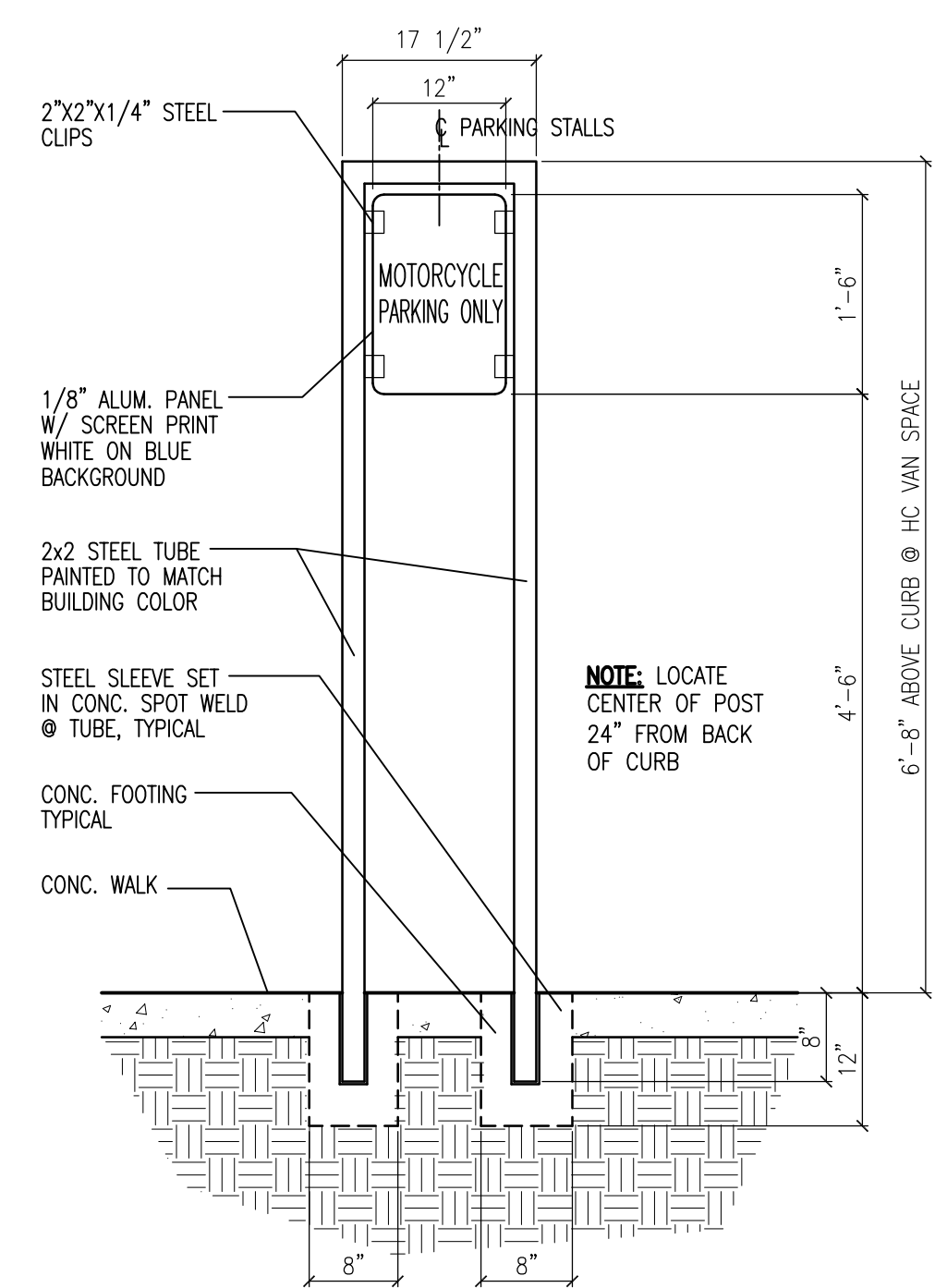
8 Bicycle Rack Detail
Scale: 3/4"=1'-0"



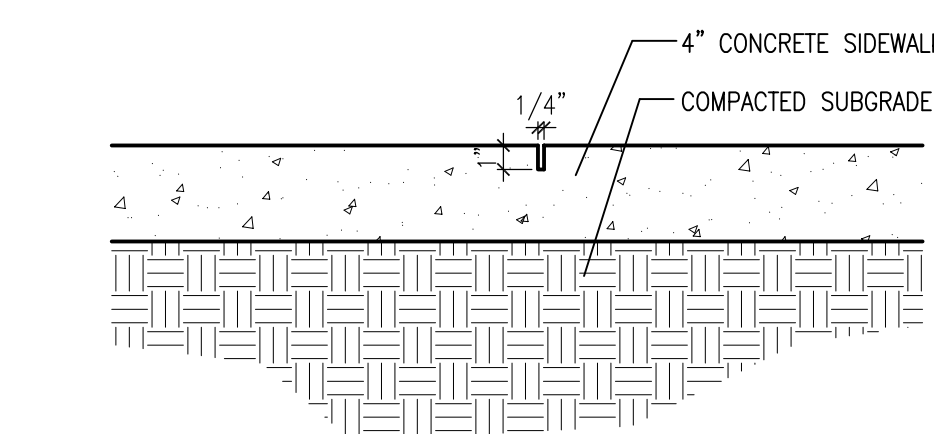
9 Light Pole Detail
Scale: 3/8"=1'-0"



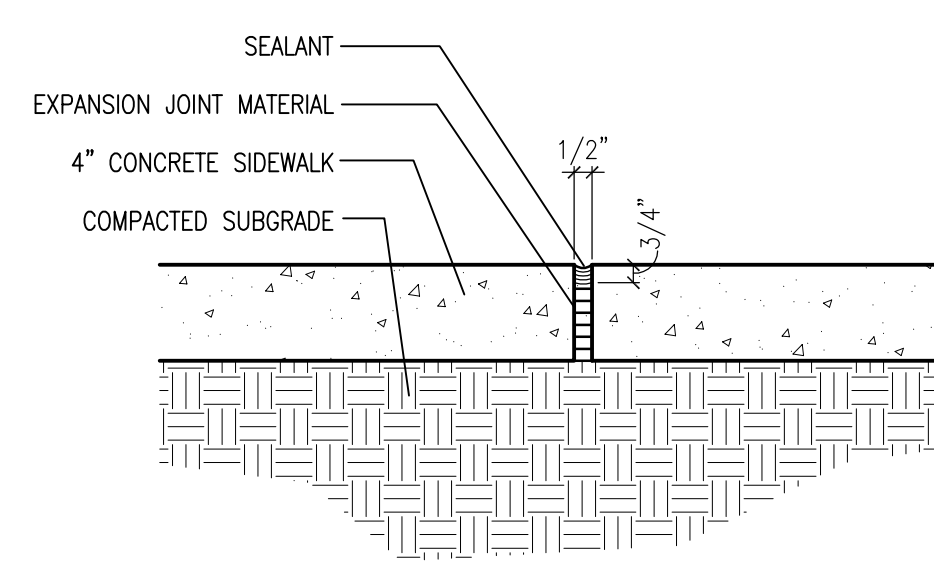
10 HC Parking Sign Detail
Scale: 3/4"=1'-0"



11 MC Parking Sign Detail
Scale: 3/4"=1'-0"



12 Contraction Joint Detail
Scale: 1-1/2"=1'-0"



13 Expansion Joint Detail
Scale: 1-1/2"=1'-0"

DESCRIPTION

BY

DATE

REV

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PROJECT
Las Lomas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

TITLE

Site Details

SHEET

A003
Sheet 9 of 9

JOB NUMBER 16-53

DRAWN BY AV

PROJECT MGR JDH

DATE 2-9-2018

PHASE CD

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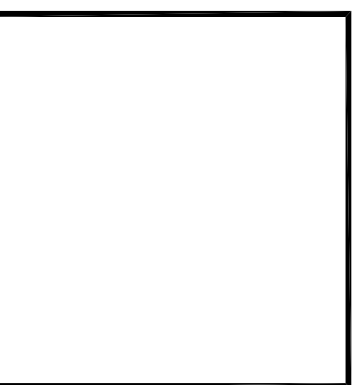
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