FIGURE 12

Date Submitted Date Site Plan Approved: Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.: 1001523

DRB Application No. 24 DRB-01746

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

			DEVELOPMENT REVIEW BOAR	D (D.R.B.) REQUIRED INFR	ASTRUCTURE LIST		•••				
				dera Business Park, Lo							
	PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN										
	Y)			: <b>27, Ladera industriai C</b> RIPTION PRIOR TO PLATTI							
and/or in the r items in the list portions of the administrative	eview of the constru- sting and related fina e financial guarantee:	ction drawing ncial guarante s. All such re inforeseen ite	AND SITE frastructure required to be constructed or final s, if the DRC Chair determines that appurtenal ee. Likewise, if the DRC Chair determines that visions require approval by the DRC Chair, the ms which arise during construction which are r	nt Items and/or unforeseen ite t appurtenant or non-essentia e User Department and agent	ems have not been includ I Items can be deleted fo owner. If such approva	ded in the infrastructure listing from the listing, those items mals are obtained, these revision	g, the DRC Ch nay be deleted ons to the listin	air may include as well as the g will be incorp	those related orated		
SIA	COA DRC	Size	Type of Improvement	Location	From	То	Private	City	City Cnst		
Sequence #	Project #	18	TRANSPORTATION				Inspector	Inspector	Engineer		
		40' FF	Pavement/ C & G (south side)	Vista Oriente	Lot 2	27 Frontage					
		6'	Conc. SW (south side)				,	,	,		
			PUBLIC UTILITES					<u> </u>			
		10"	¥ WL	Vista Oriente	Lot 2	27 Frontage					
		8" 4	¥ sas	Vista Oriente	Lot 2	27 Frontage					
1 8		e Manholes, I	TIS Modified C aterals, Inlets & outfalls- all outlets to AMAFCA tion Required before release of financial guaran		by AMAFCA prior to work	(off-site) k order or Final Plat (SIA)					
3 × 1	Vater/ SAS infrastruc	cture to includ	le valves, fittings, manholes etc.	4. 1.7 1	OR Prois	+ 1001502	The	514			
/	AGENT / OWNER	Sav	I MANGE WITE		EVIEW BOARD MEMB	BER APPROVALS	(Ine	<i>&gt;11</i> + )			
John	Madles NAME (print)	13ie	JALIAN DRB CH	HAIR - date	1/17/0 Ehris	tina Sand ks & GENERAL SERVICES	oval - date	ורואנו	9		
Ma	1 FIRM	dwin	TRANSPORTATION	DEVELOPMENT - date	4	AMAFCA - date					
ohn A	SIGNATURE - date	12	19/04 STEAN DEVE	LOPMENT - date	or	date					
	TIME ALLOWED TO CO		CITY ENG		4	date					
EXTEN	ISION:		14.1 V					_			
			DESIGN	REVIEW COMMITTEE REV	ISIONS						
	REVISION	DATE	DRC CHAIR	USER DEP	ARTMENT	AGENT	r/owner				
						-					
								-	-		

Current E	RC		
Project N	umber	r <u>.                                    </u>	_
ORI	G	INAL	

FIGURE 12

Date Submitted: 10/8/03	
Date Site Plan Approved: 10/8/03  Date Preliminary Plat Approved: 10/6/03	6
Date Preliminary Plat Approved.  Date Preliminary Plat Expires: 10 8 10 15 15 15 15 15 15 15 15 15 15 15 15 15	

DRB Application No.: 03

# INFRASTRUCTURE LIST EXHIBIT "A"

## TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Ladera Business Park	
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN	
Lot 2, Ladera Industrial Center	
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION	

AND SITE PLAN FOR SUBDIVISION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing, buring the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be

be incorporated	administratively.	in addition, any	d close out by the City.		•		II.			
required as a co	ondition of project		1 Clode out by the out.	Unit I		_	То	Private	City	City Cnst
SIA Sequence #	COA DRC Project #	Size	Type of Improvement TRANSPORTATION	Location		From	Tract 7 cul-de-sac	inspector	Inspector	Engineer /
		40' FF	Pavement/ C & G	La Morada Pl		Unser	Tract / cui-de-sac			
		12'	Decel Lane (east side)	Unser		La Morada Pl.	220' South		/	
		6'	Conc. SW				of La Morada Pl.	ł.		
		8'	Paved bike path					1	1	
		40' FF	Pavement, C & G (Private Street)	Vista Oeste		La Morada Pl.	End Tract 16			
		40' FF	Pavement C & G	Vista Oriente		La Morada Pl.	E.M. End Tract 2			
		8"	PUBLIC UTILITES WL	La Morada PI.		Unser	Vista Oriente			
		10"	WL	La Morada Pl.	Δ -	Vista Oriente	S. Side Mirehaven Ch			
		10"	WL	Vista Oriente	<sup>™</sup> S	Corner Tract 2	La Morada PI.			
		8"	SAS	La Morada Pl.		Vista Oeste	Stoneham Place		/	
		8"	SAS	Vista Oriente		SW Corner Tract 2	La Morada PI.			
		8"	WL	Vista Oeste		La Morada Pl	S M End Tract 16			
		8"	SAS	Vista Oeste		La Morada Pl.	S M End Tract 16		/	
4		III								

## ORIGINAL

AC Drainage Swale

AC Drainage Swale

AC Drainage Swale

AC Drainage Swale

20'

20'

20'

20'

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	То	Private inspector	City Inspector	City Cnst Engineer
Sequence #		42"	DRAINAGE RCP	Mirehaven Channel	SE Corner Tract 12	Mirehaven Thalweg			
		36"	RCP	Tract 11/12 Boundary	La Morada Pl.	Mirehaven Channel			
		36"	RCP	Vista Oriente	Tract 2	La Morada			
		36"	RCP	La Morada	Vista Oriente	Midpoint of Tract 3			
		36"	RCP	Tract 8 AC Swale	E. end of Tract 8 Swal	e La Morada cul-de-sac			
		42"	RCP	La Morada	Mid point of Tract 3	La Morada			
		60"	RCP	La Morada	La Morada	cul-de-sac Mirehaven Channel			
		25"	Paved Channel/ Access	extension La Morada PL Extension	cul-de-sac La Morada cul-de-sac	Mirehaven Channel			
			Private Improvements (to be financially guaranteed)						
		20'	AC Channel Swale	Vista Oriente	SE Corner Tract 1	SE Corner Tract 2			
		20'	AC Drainage Swale	E. Side Tract 13	Tract 14	Mirehaven Channel			

PAGE \_2 \_ OF \_ 3 \_

S. Side Tract 12

W. Side Tract 24

N. Side Tract 25

S. Side Tracts 7-10

Tract 11

La Morada

La Morada

La Morada Extension

Tract 13

Tract 21

Tract 29

Tract 11

ORIGINAL

NAME OF PLAT AND/OR SITE PLAN Ladera Business Park **UNIT II** City Cnst City Private To From Location Type of Improvement **COA DRC** Size SIA **TRANSPORTATION** SE Corner Tract YA SW Corner Tract 1 Vista Oriente Pavement / C & G 40' FF SW Corner Tract 1 Exist. Unser Impvts. Vista Oriente Pavement, C & G, median (S, 1/2 only -40' FF Temporary Paving N. Side as Nec.) PRIVATE IMPROVEMENTS S M End Tract 16 Vista Oriente Vista Oeste Pavement/ C & G 40' **PUBLIC UTILITIES** S N End Tract 16 Vista Oriente Vista Oeste Waterline S M End Tract 16 Vista Oriente Vista Oeste SAS SE SW Corner Tract 2 Unser Vista Oriente Waterline 10" NE Tract 29 SE SE Corner Let 1(LIC) SW Corner Tract 2 Vista Oriente SAS NOTES Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA) Grading & Drainage Plan Certification Required before release of financial guarantee 2 Water/ SAS infrastructure to include valves, fittings, manholes etc. DEVELOPMENT REVIEW BOARD MEMBER APPROVALS AGENT / OWNER PARKS & GENERAL SERVICES - date MARK GOODWING ASS AMAFCA - date TRANSPORTATION DEVELOPMENT - date - date UTILITY DEVELOPMENT - date SIGNATURE date MAXIMUM TIME ALLOWED TO CONSTRUCT - date CITY ENGINEER - date THE IMPROVEMENTS WITHOUT A DRB EXTENSION DESIGN REVIEW COMMITTEE REVISIONS AGENT /OWNER **USER DEPARTMENT** DRC CHAIR DATE REVISION 9/10/04 PAGE \_\_3\_\_ OF \_3\_\_\_

at the same	Current DRC Project Number:
0	~
ORIG	

INFRASTRUCTURE LIST

Date Submitted:

Date Site Plan Approved Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.:\_\_\_1001523 DRB Application No.: 02 De B-00518

### EXHIBIT "A" TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Ladera Business Park PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 2, Ladera Industrial Center

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of

SIA equence #	COA DRC	Size	Type of Improvement TRANSPORTATION	Location Unit I	From	То	Private Inspector	City	City Cnst
		40' FF 4' *	Pavement / C & G sidewalk (both sides)	La Morada Pl. Pl.	Unser	Tract 7 cul-de-sac			
		12' 6'	Decel Lane Conc. SW (east side)	Unser	La Morada PI,	100' South of La Morada Pl.			
		40' FF 4' *	Pavement, C & G Sidewalk (both sides) Private	Vista Docto	La Morada PI,	SE Comer Tract 16			
		40' FF 4'*	Pavement C & G Sidewalk (both sides)  PUBLIC UTILITIES	Vista Poste victor 4.02	La Morada PI.	SE Comer Tract 2			
		8"	WL	La Morada PI.	Unser	Vista Oriente			
		10"	WL	La Morada PI.	Vista Oriente	S. Side Mirehaven Ch.			/
		10"	WL	Vista Oriente	SE comer Tract 2	La Morada PI.			1
		8*	SAS	La Morada PI.	Unser	Stoneham Place		/	1
		8"	SA <b>S</b>	Vista Oriente	SE comer Tract 2	La Morada Pl.	1		1
			DRAINAGE						
		42"	RCP	Mirehaven Channel	SE Comer Tract 12	Mirehaven Thalweg			- 1
		36"	RCP	Tract 11/12 Boundary	La Morada PI	Mirehaven Channel	,		
		2436"	RCP	Vista Oriente	Tract 2	La Morada	1	1	1

ORICAINAL SI

HL		60" R		La Morada Extension	La Morad cui de sac	Mirehave La Morad	n Chan	nel	
		42"RC	P	La Morada	Mid Point	La Morad	a Cul	desac	
SIA Sequence#	COA DRC Project #	Size	Type of Improvement  DRAINAGE (cont.)	Location	Tract 3	Milpoint of	Private Inspector	City Inspector	City Cnst Engineer
		36"	RCP	La Morada	Vista Oriente	Tract 7 Tract 3 Cul de sac			
		48"	RCP	La Morada Extension	La Morada Cul-de-sac	Mirehaven Channel			
		36" 25'	RCP Paved Channel/ Access	Tr. 8 AC Swde La Morada PI Extenstion	E. End 7r. 8 La Morada Cul-de-sac	La Morcala Mirehaven Channer			
		+0 20'	Private Improvements To be financially gu AC Channel swale	avanteed) Vista Oriente	SE Comer Tract 1	SE Comer Tract 2		1	<u> </u>
		1020	AC Drainage swale	E, Side Tract 13	Tract 14	Mirehaven Channel			
		10-20'	AC Drainage swale	S. side Tract 12	Tract 13	Tract 11			
		10 20'	AC Draiange suale	W. side Tract 24	Tract 21	La Morada			
		1020	AC Drainage swale	N. Side Tract 25	Tract 29	La Morada			
		10-15:20	AC Drainage swale	S. side Tracts 7-10	Tract 11	La Morada Extension			
			Unit II TRANSPORTATION						
		40' FF 4'*	Pavement / C & G sidewalk both sides	Vista Oriente	SE comer Lot 1	SE Corner Tract 2			
		24' FF 4'*	Pavement. C&G, median/south 1/2 only) sidewalk (south side only)	Vista Oriente	Unser	SE Comer Lot 1	1		
		40' FF 4' *	(PRIVATE IMPROVEMENTS) Pavement /C & G sidewalks both sides	Vista Oeste	Vista Oriente	SE Corner Tract 16			/

PAGE \_2\_\_ OF \_3\_\_\_

Hr												
			PUBLIC UTILITIES									
		] 8"	WATER LINE	Vista Oeste	La Morada PI.	Vista Oriente	1					
		] 10"	WATER LINE	Vista Oriente	Unser	SE comer Tract 2	1 1	1				
		] 8"	SAS	Vista Oeste	La Morada Pl	SE Comer of Tr. 19	1 1					
		8"	SAS	Vista Oriente	SE Comer Lot 1	SE Comer Tract 2	<i>I I</i>					
1	To Work Order or Find Plat (S/A)  Sidewalks to be deferred. Off-site traffic mitigation contributions required at the time of individual tract development in accordance with											
3	-											
4												
			DEVELOPMENT, REVIEW BOARD MEMBER APPROVALS									
	NAME (print)		Planelin Description Delonal Dilyand 6/26/07 OF Planelin Description Planelin Delonal Dilyand 6/26/07 OF PARKS & GENERAL SERVICES - date									
00	A FIRM	V -	N RANSPORT	AT ON DEVELOPMENT - date	AMAFCA - date							
MAXIM	0-25-6	2	12/04 Coget Alex 6/26/02 -date  Utility DEVELOPMENT -date 12/4/p2 -date									
	IMPROVEMENTS WITH	OUT A DRB	CITY ENGINER - date date									
	4 24		DI	ESIGN REVIEW COMMITTEE R	EVISIONS							
	REVISION	DATE	DRC CHAIR	/ user/	EPART ENT	AGEN	NT /OWNER					
		12/4/02	/m/cm	/ / / / / / / / / / / / / / / / / / /	7	4. Macke	uzie					
	1 2 3 4 Mark C	2 *Sidewalks to be Traffic Impact Students of Tr	1 Storm Drain to include Manholes, Into North State No	1 Storm Drain to include Manholes, Injets & Outfalls — All outflet To Warfer Drades or Final Control of Sidewalks to be deferred. Off-site traffic mitigation contributions required Traffic Impact Study by Bohannon-Huston, (3/31/99) and analysis letter by 3 Grading & Drainage Plan Certification Required before release of financia 4 Water/SAS infrastructure to include vavles, fittings, Manhole etc.  AGENT / OWNER  John MacKenzie, PE NAME (print)  Mark Goodwin & Associates P.A.  FIRM  MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 6-26-94  DIRECTION DATE DRC CHAIR	NOTES	B* WATER LINE   Vista Oeste   La Morada Pl.	WATER LINE	BT WATER LINE				

PAGE \_3\_ OF \_3\_\_