

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Ladera Business Park, Lot 27
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 27, Ladera Industrial Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

AND SITE PLAN FOR SUBDIVISION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			TRANSPORTATION						
		40' FF	* Pavement/ C & G (south side)	Vista Oriente		Lot 27 Frontage	/	/	/
		6'	* Conc. SW (south side)				/	/	/
			PUBLIC UTILITIES						
		10"	* WL	Vista Oriente		Lot 27 Frontage	/	/	/
		8"	* SAS	Vista Oriente		Lot 27 Frontage	/	/	/

\$1583.47 + 3% TIS modified C cash payment (off-site)

- Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA)
- Grading & Drainage Plan Certification Required before release of financial guarantee
- Water/ SAS infrastructure to include valves, fittings, manholes etc.

** All items are included already with DRB Project 1001523 (The SIA)*

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

John Mackenzie
NAME (print)

Sharon Nelson 11/17/04 *Christina Sandoval* 11/17/04
DRB CHAIR - date PARKS & GENERAL SERVICES - date

Mark Goodwin
FIRM

[Signature] 11-17-04
TRANSPORTATION DEVELOPMENT - date

_____- date
AMAFCA - date

John Mackenzie 11/9/04
SIGNATURE - date

[Signature] 11/17/04
UTILITY DEVELOPMENT - date

_____- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

Bradley B. Bly 11/17/04
CITY ENGINEER - date

_____- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

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FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 10/8/03
Date Site Plan Approved: 10/8/03
Date Preliminary Plat Approved: 10/8/03
Date Preliminary Plat Expires: 10/8/04
DRB Project No.: 1001523
DRB Application No.: 03-07360

Ladera Business Park
PROPOSED NAME OF PLAT AND/OR ~~SITE DEVELOPMENT PLAN~~

Lot 2, Ladera Industrial Center
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

AND SITE PLAN FOR SUBDIVISION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Unit I Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		40' FF	TRANSPORTATION Pavement/ C & G	La Morada Pl.	Unser	Tract 7 cul-de-sac	/	/	/
		12'	DeceI Lane (east side)	Unser	La Morada Pl.	220' South of La Morada Pl.	/	/	/
		6'	Conc. SW				/	/	/
		8'	Paved bike path				/	/	/
		40' FF	Pavement, C & G (Private Street)	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/
		40' FF	Pavement C & G	Vista Oriente	La Morada Pl.	W. End Tract 2	/	/	/
			PUBLIC UTILITES				/	/	/
		8"	WL	La Morada Pl.	Unser	Vista Oriente	/	/	/
		10"	WL	La Morada Pl.	Vista Oriente	S. Side Mirehaven Ch.	/	/	/
		10"	WL	Vista Oriente	SW corner Tract 2	La Morada Pl.	/	/	/
		8"	SAS	La Morada Pl.	Vista Oeste	Stoneham Place	/	/	/
		8"	SAS	Vista Oriente	SW Corner Tract 2	La Morada Pl.	/	/	/
		8"	WL	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/
		8"	SAS	Vista Oeste	La Morada Pl.	N. End Tract 16	/	/	/

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NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			DRAINAGE						
		42"	RCP	Mirehaven Channel	SE Corner Tract 12	Mirehaven Thalweg	/	/	/
		36"	RCP	Tract 11/12 Boundary	La Morada Pl.	Mirehaven Channel	/	/	/
		36"	RCP	Vista Oriente	Tract 2	La Morada	/	/	/
		36"	RCP	La Morada	Vista Oriente	Midpoint of Tract 3	/	/	/
		36"	RCP	Tract 8 AC Swale	E. end of Tract 8 Swale	La Morada cul-de-sac	/	/	/
		42"	RCP	La Morada	Mid point of Tract 3	La Morada cul-de-sac	/	/	/
		60"	RCP	La Morada extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
		25"	Paved Channel/ Access	La Morada PL Extension	La Morada cul-de-sac	Mirehaven Channel	/	/	/
			Private Improvements (to be financially guaranteed)						
		20'	AC Channel Swale	Vista Oriente	SE Corner Tract 1	SE Corner Tract 2	/	/	/
		20'	AC Drainage Swale	E. Side Tract 13	Tract 14	Mirehaven Channel	/	/	/
		20'	AC Drainage Swale	S. Side Tract 12	Tract 13	Tract 11	/	/	/
		20'	AC Drainage Swale	W. Side Tract 24	Tract 21	La Morada	/	/	/
		20'	AC Drainage Swale	N. Side Tract 25	Tract 29	La Morada	/	/	/
		20'	AC Drainage Swale	S. Side Tracts 7-10	Tract 11	La Morada Extension	/	/	/

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NAME OF PLAT AND/OR SITE PLAN Ladera Business Park

SIA		COA DRC		Size	Type of Improvement	Location	From	To	Private	City	City Cnst
				40' FF	TRANSPORTATION Pavement / C & G	Vista Oriente	SW Corner Tract 1	SE Corner Tract 1 ² / Δ	/	/	/
				40' FF	Pavement, C & G, median (S. 1/2 only - Temporary Paving N. Side as Nec.)	Vista Oriente	Exist. Unser Impvts.	SW Corner Tract 1	/	/	/
				40'	PRIVATE IMPROVEMENTS Pavement/ C & G	Vista Oeste	Vista Oriente	S.W. End Tract 16	/	/	/
				8"	PUBLIC UTILITIES Waterline	Vista Oeste	Vista Oriente	S.W. End Tract 16	/	/	/
				8"	SAS	Vista Oeste	Vista Oriente	S.W. End Tract 16	/	/	/
				10"	Waterline	Vista Oriente	Unser	SE SW Corner Tract 2	/	/	/
				8"	SAS	Vista Oriente	NE SE Corner Tract 29 SE Corner Let 1 (LIC)	SE SW Corner Tract 2	/	/	/

NOTES

- Storm Drain to include Manholes, laterals, inlets & outfalls- all outlets to AMAFCA facilities shall be approved by AMAFCA prior to work order or Final Plat (SIA)
- Grading & Drainage Plan Certification Required before release of financial guarantee
- Water/ SAS infrastructure to include valves, fittings, manholes etc.

AGENT / OWNER

John M. Mackenzie

NAME (print)

MARK GODWIN & ASSOC.

FIRM

John M. Mackenzie 10-1-03

SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Sharon Watson 10/8/03 DRB CHAIR - date
Christina Sandoral 10/8/03 PARKS & GENERAL SERVICES - date

John Godwin 10/8/03 TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

Roger Dean 10/8/03 UTILITY DEVELOPMENT - date

_____ - date

Brad D. Bigham 10/8/03 CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
Δ	9/10/04	<i>John Mackenzie</i>	<i>John Mackenzie</i>	<i>John Mackenzie</i>

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Ladera Business Park



PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 2, Ladera Industrial Center

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

ANSO SITE PLAN FOR SUB'D

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location Unit I	From	To	Private Inspector	City Inspector	City Cnst Engineer
TRANSPORTATION									
		40' FF 4' *	Pavement / C & G sidewalk (both sides)	La Morada Pl. Pl.	Unser	Tract 7 cul-de-sac	/	/	/
		12' 6'	Decel Lane Conc. SW (east side)	Unser	La Morada Pl.	100' South of La Morada Pl.	/	/	/
		40' FF 4' *	Pavement, C & G Sidewalk (both sides) Private	 Vista Deets	La Morada Pl.	SE Comer Tract 16	/	/	/
		40' FF 4' *	Pavement C & G Sidewalk (both sides)	 Vista Deets <i>oriente</i>	La Morada Pl.	SE Comer Tract 2	/	/	/
PUBLIC UTILITIES									
		8"	WL	La Morada Pl.	Unser	Vista Oriente	/	/	/
		10"	WL	La Morada Pl.	Vista Oriente	S. Side Mirehaven Ch.	/	/	/
		10"	WL	Vista Oriente	SE comer Tract 2	La Morada Pl.	/	/	/
		8"	SAS	La Morada Pl.	Unser	Stoneham Place.	/	/	/
		8"	SAS	Vista Oriente	SE comer Tract 2	La Morada Pl.	/	/	/
DRAINAGE									
		42"	RCP	Mirehaven Channel	SE Comer Tract 12	Mirehaven Thalweg	/	/	/
		36"	RCP	Tract 11/12 Boundary	La Morada Pl.	Mirehaven Channel	/	/	/
		24" <i>36"</i>	RCP	Vista Oriente	Tract 2	La Morada	/	/	/

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60" RCP
42" RCP

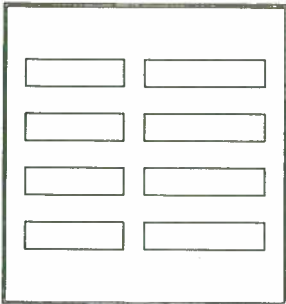
La Morada
Extension
La Morada

La Morada
Cul de sac
Mid Point
Tract 3
From

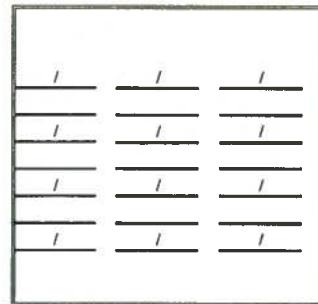
Mirehaven Channel
La Morada Culdesac
To

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		36"	DRAINAGE (cont.) RCP	La Morada	Vista Oriente	Tract 7 Cul de sac	/	/	/
		48"	RCP	La Morada Extension	La Morada Cul-de-sac	Mirehaven Channel	/	/	/
		36" 25'	RCP Paved Channel/ Access	La Morada PI Extension	La Morada Cul-de-sac	Mirehaven Channel	/	/	/
Private Improvements (to be financially guaranteed)									
		20'	AC Channel swale	Vista Oriente	SE Comer Tract 1	SE Comer Tract 2	/	/	/
		20'	AC Drainage swale	E. Side Tract 13	Tract 14	Mirehaven Channel	/	/	/
		20'	AC Drainage swale	S. side Tract 12	Tract 13	Tract 11	/	/	/
		20'	AC Drainage swale	W. side Tract 24	Tract 21	La Morada	/	/	/
		20'	AC Drainage swale	N. Side Tract 25	Tract 29	La Morada	/	/	/
		15-20'	AC Drainage swale	S. side Tracts 7-10	Tract 11	La Morada Extension	/	/	/
Unit II TRANSPORTATION									
		40' FF 4"	Pavement / C & G sidewalk both sides	Vista Oriente	SE comer Lot 1	SE Comer Tract 2	/	/	/
		24' FF 4"	Pavement, C&G, median(south 1/2 only) sidewalk (south side only)	Vista Oriente	Unser	SE Comer Lot 1	/	/	/
(PRIVATE IMPROVEMENTS)									
		40' FF 4"	Pavement /C & G sidewalks both sides	Vista Oeste	Vista Oriente	SE Comer Tract 16	/	/	/

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PUBLIC UTILITIES					
8"	WATER LINE	Vista Oeste	La Morada Pl.	Vista Oriente	
10"	WATER LINE	Vista Oriente	Unser	SE corner Tract 2	
8"	SAS	Vista Oeste	La Morada Pl.	SE Corner of Tr. 19	
8"	SAS	Vista Oriente	SE Corner Lot 1	SE Corner Tract 2	



NOTES

- Storm Drain to include Manholes, Inlets & Outfalls - *All outlets to AMAFCA facilities shall be approved by AMAFCA prior to Work Order or Final Plat (SIA)*
- * Sidewalks to be deferred. Off-site traffic mitigation contributions required at the time of individual tract development in accordance with Traffic Impact Study by Bohannon-Huston, (3/31/99) and analysis letter by Terry O. Brown (5/31/02), totaling \$54,414.58 to be prorated based upon individual tract size (see site plan)
- Grading & Drainage Plan Certification Required before release of financial guarantee.
- Water/ SAS infrastructure to include vavles, fittings, Manhole etc.

AGENT / OWNER

John MacKenzie, PE
NAME (print)

Mark Goodwin & Associates P.A.
FIRM

John MacKenzie
SIGNATURE - date

6-25-02
MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: **6-26-04**

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Sheray Milton 6/24/02
Planning DRC CHAIR - date

Deborah Uilyand 6/26/02 OS 12/4/02
PARKS & GENERAL SERVICES - date

6-26-02
TRANSPORTATION DEVELOPMENT - date

6-26-02
UTILITY DEVELOPMENT - date

6-26-02
CITY ENGINEER - date

6-26-02
CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
Δ	12/4/02	<i>John MacKenzie</i>	<i>John MacKenzie</i>	<i>J. MacKenzie</i>