

PROJECT # 1001524

BUILDING CRITERIA

PROJECT: TOWNPLACE SUITES BY MARRIOTT
 OWNER: CAMPBELL PROPERTIES, INC.
 1020 E. IMPERIAL HWY, SUITE 120
 IRVINE, CALIFORNIA 92612
 ARCHITECT: CLAUDIO VIGIL ARCHITECTS
 1601 RIO GRANDE BOULEVARD, NW SUITE 2
 ALBUQUERQUE, NEW MEXICO 87102
 LEGAL DESCRIPTION:
 LOT 13, CAYAN SUNPORT CENTRE
 ZONING CLASSIFICATION: SU-1 FOR PERMISSIVE
 C-1, C-2 AND IP USES
 ZONING ATLAS MAP: L-16-Z
 APPLICABLE BUILDING CODE:
 1998 UNIFORM BUILDING CODE 4 (ICC/ANSI A117.1-1998)
 BUILDING TYPE: HOTEL, 108 GUEST ROOMS
 CONSTRUCTION TYPE: TYPE V-ONE HOUR CONSTRUCTION
 WITH 100% AUTOMATIC FIRE
 SPRINKLER SYSTEM.

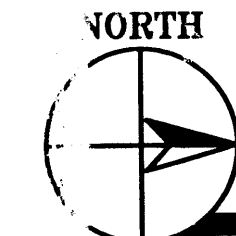
OCCUPANCY GROUP: GROUPS R-1 AND A-3 OCCUPANCIES.
 ALLOWABLE AREA:
 R-1 OCCUPANCY 4 V-1 HOUR CONSTRUCTION = 10,300 SQ. FT.
 INCREASE FOR MULTI STORY BUILDING = X 2
 SUB-TOTAL = 21,000 SQ. FT.
 SIDE YARD INCREASE
 SEPARATION ON THREE SIDES 87.5% INCREASE
 AREA 3: SEPARATION WALLS = ONE - 2 HOUR
 TOTAL ALLOWABLE AREA = 41,475 SQ. FT. (PER FLOOR)
 10,368 SQ. FT. (PER FLOOR)

NUMBER OF FLOORS: 4
 BUILDING HEIGHT: 50'-3 1/2" MAX
 GROSS SQUARE FOOTAGE: 65,245 SF.
 HOTEL
 FIRST FLOOR = 16,645 SF. AREA 1/AREA 2
 SECOND FLOOR = 16,200 SF. 10,276 SF./6,348 SF.
 THIRD FLOOR = 16,200 SF. 10,274 SF./6,176 SF.
 FOURTH FLOOR = 16,200 SF. 10,274 SF./6,176 SF.
 TOTAL = 65,245 SF. 40,348 SF./24,897 SF.

PARKING ANALYSIS:
 1 PER GUEST ROOM, (6 ACCESSIBLE)
 108 GUEST ROOMS
 TOTAL REQUIRED = 108
 SUB-TOTAL PROVIDED = 108 STANDARD SPACES
 8 ACCESSIBLE SPACES
 116 SPACES
 TOTAL PROVIDED

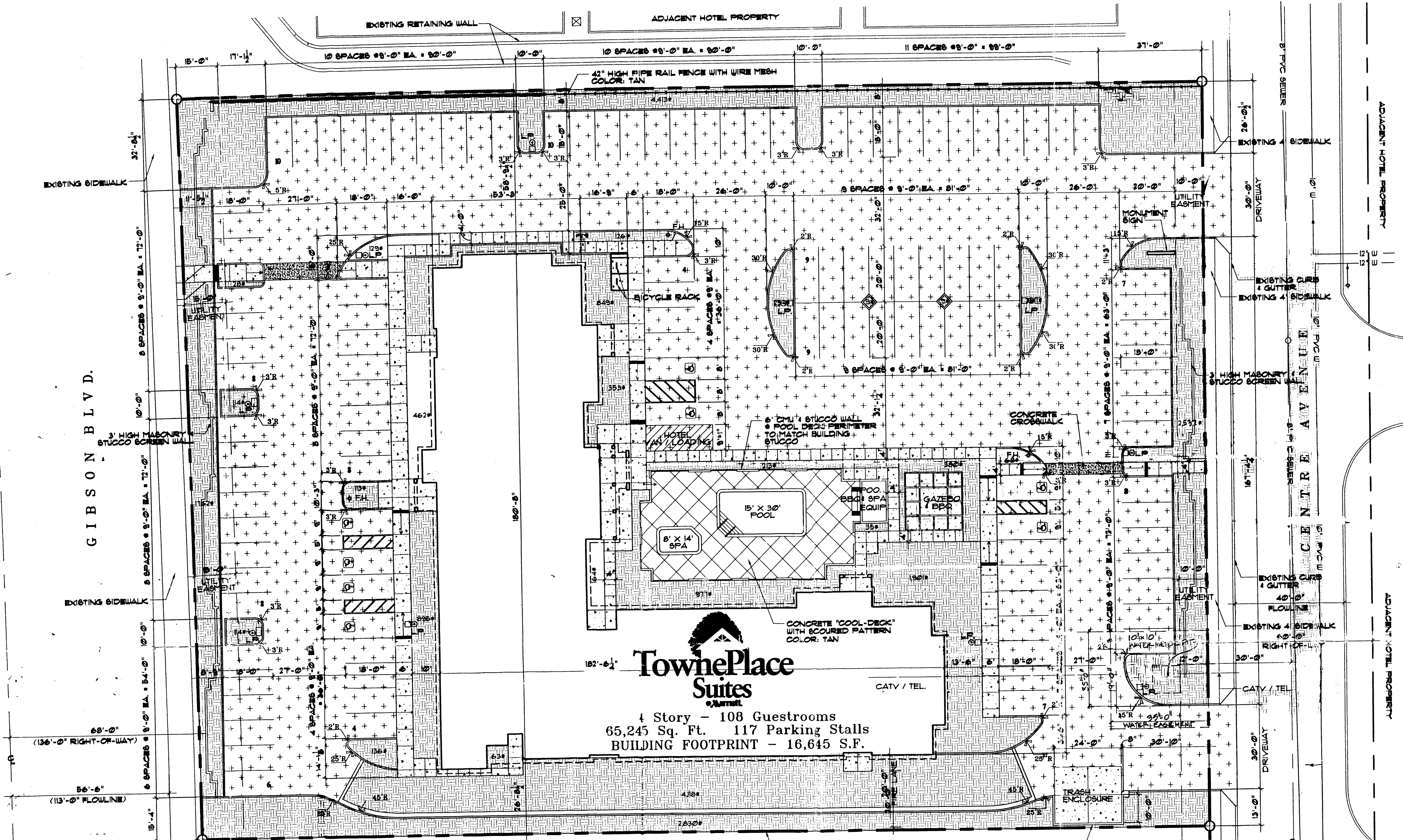
PARKING SPACE SIZES:
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.
 VAN ACCESSIBLE HANDICAP PARKING SPACE =
 9'-0" x 16'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

BICYCLE SPACES:
 1 BICYCLE SPACE PER 20 PARKING SPACES; 116/20 = 6 SPACES
 TOTAL LOT AREA: 91,419 SQUARE FEET, 2.25 ACRES
 NET LOT AREA: 20,334 SQUARE FEET
 TOTAL PARKING/PAVED AREA: 48,040 SQUARE FEET
 TOTAL LANDSCAPE AREA REQUIRED: 12,125 SF.
 TOTAL LANDSCAPE AREA PROVIDED: 23,527 SF.
 LANDSCAPE TO PARKING AREA RATIO: 5 TO 1



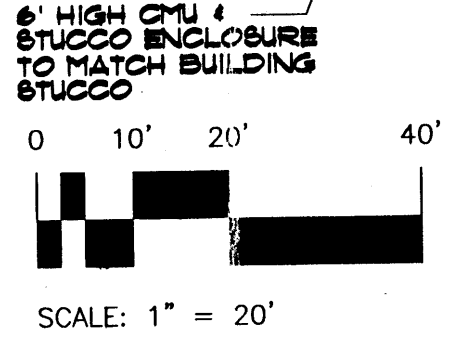
SITE PLAN

DECEMBER 27, 2001 SCALE: 1" = 20'



TownPlace Suites
 4 Story - 108 Guestrooms
 65,245 Sq. Ft. 117 Parking Stalls
 BUILDING FOOTPRINT - 16,645 S.F.

AFD PLANS CHECKING OFFICE:
 24-3611
 APPROVED/DISAPPROVED
 SIGNATURE & DATE



SIGNATURE BLOCK

EPIC 01128-01406 E.P.C. CASE NO. 201500-01650
 Project # 1001524 D.B. CASE NO. 201500-01650

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 11/16/01 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

Richard Dent 1/30/02 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

Adrienne E. Paulsen 1/24/02 DATE
 PARKS & RECREATION DEPARTMENT

Roger A. Sheen 1/30/02 DATE
 PUBLIC WORKS, WATER UTILITIES DIVISION

Bradley L. Brigham 2/26/02 DATE
 CITY ENGINEER, ENGINEERING DIVISION / AMARCA

... 1/30/01 DATE
 SOLID WASTE DEPARTMENT / REFUSE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

... 3/13/02 DATE
 CITY PLANNER, ALBUQUERQUE

PLN(10706) 4/98

CLAUDIO VIGIL ARCHITECTS

TownPlace Suites
 2400 CENTRE AVENUE S.E.
 ALBUQUERQUE, NEW MEXICO

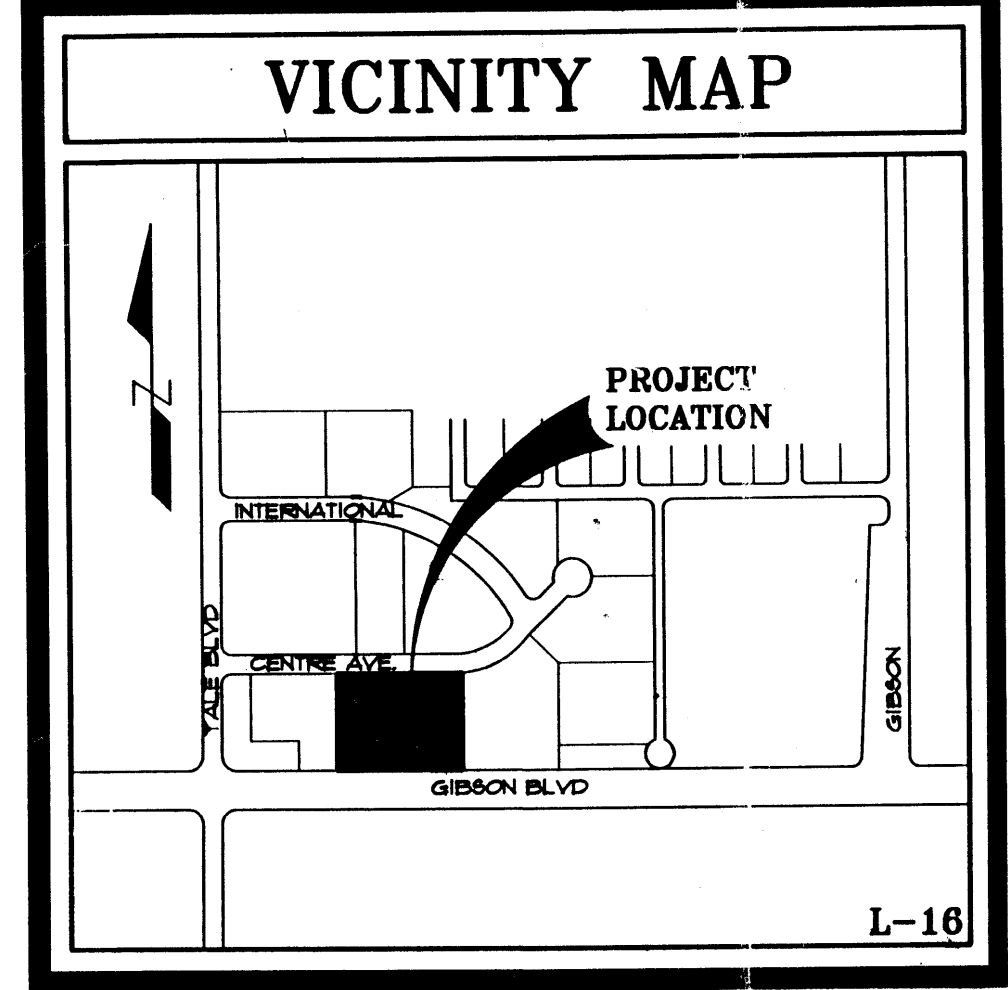
SHEET
 SP-1
 PROJECT NUMBER
 01285

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101 Rio Grande NW, #2, Albuquerque, NM 87104
 Phone: 505/842-1113 Fax: 505/842-1330

SITE PLAN LEGEND

- INDICATES EXTENT OF LANDSCAPE AREA AND SIZE OF EACH AREA.
- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING, 2" OF ASPHALT OVER 4" BASE COURSE. SEE SPECIFICATIONS.
- INDICATES EXTENT OF CONCRETE PAVES AND CONCRETE SIDEWALKS.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.



LIGHTING DETAIL
 NOT TO SCALE

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT CANDLETS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

BIKE RACK
 SCALE: 3/4" = 1'-0"

SECTION
 NOT TO SCALE

NOTE: DO NOT DRILL ANY HOLES IN FACE OF SIGN. ALL ATTACHMENTS SHALL BE BLIND AS DETAILED HERE.

NOTE: NO SCREENS WILL BE USED ON THE FACE OF THE SIGN.

1 1/2" SQUARE STEEL TUBE FRAME, MITER CORNERS
 18" x 6" METAL SIGN - BACKGROUND COLOR TO BE DARK BLUE, SYMBOL TO BE WHITE OR TO CONTRAST - SIGNS ONLY - ATTACH SIGN TO 1/2" BAR STOCK SUPPORTS WITH VANDAL PROOF BOLTS
 1/2" BAR STOCK DECORATIVE MEMBERS
 PAINT SIGN SUPPORT GREY TO MATCH BUILDING
 SET FRAME IN 6" x 6" CONCRETE FOOTING 8" BELOW FINISH GRADE