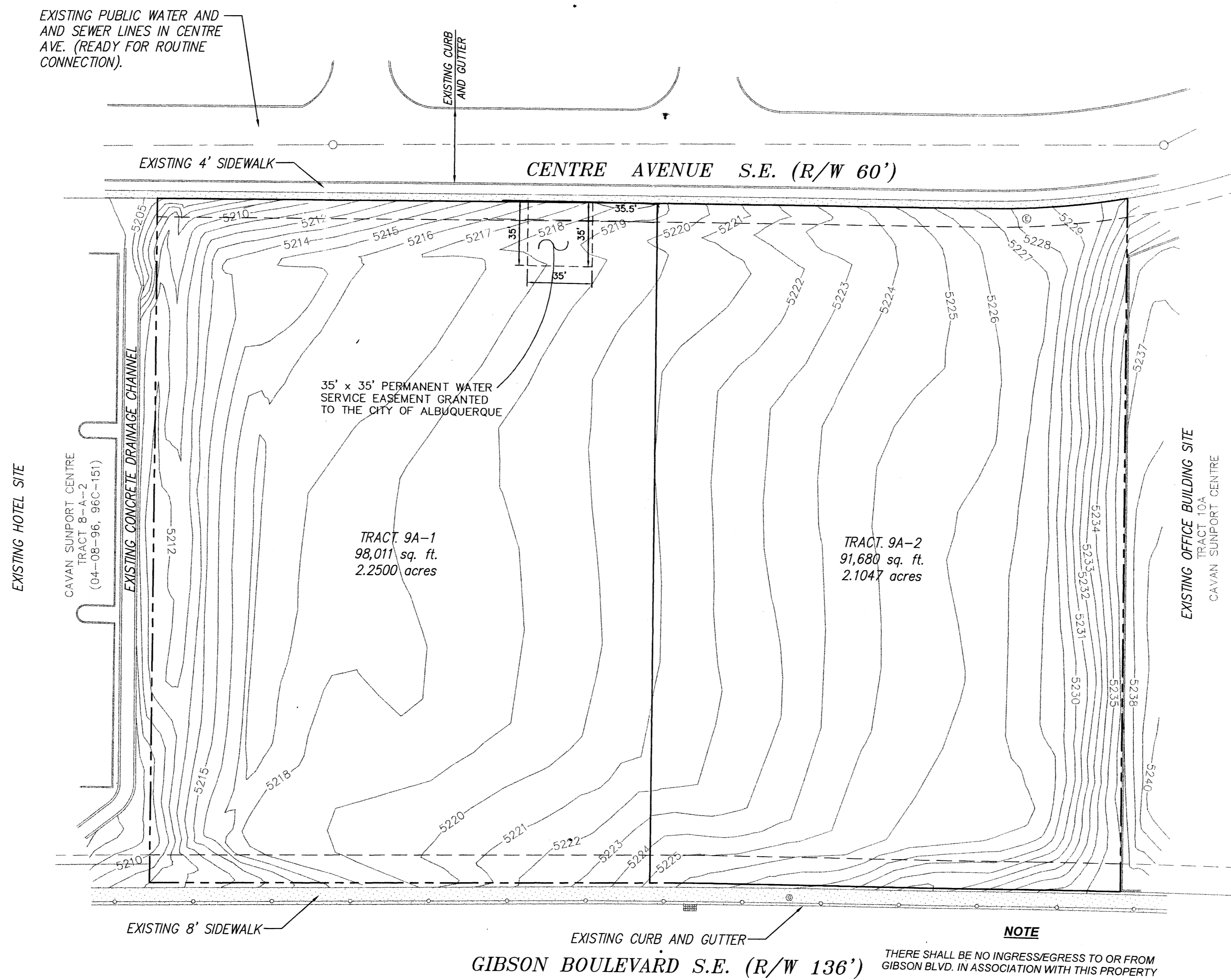


VICINITY MAP ZONE MAPS: L-16

EXISTING PUBLIC WATER AND SEWER LINES IN CENTRE AVE. (READY FOR ROUTINE CONNECTION).



**SITE PLAN FOR SUBDIVISION**

THIS SITE PLAN FOR SUBDIVISION COVERS ALL OF TRACT 9A, YALE BUSINESS PARK, (LEGAL DESCRIPTION IS TRACT 9-A CAVAN SUNPORT CENTRE). SITE AREA IS 4.35 ACRES.

**PROPOSED USE**

THE SITE IS ZONED SU-1 FOR PERMISSIVE O-1, C-2 OR IP USES.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS**

TRAILS AND SIDEWALKS: PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING CENTRE AVE. RIGHT-OF-WAY. SEE ATTACHED DESIGN GUIDELINES FOR FURTHER INFORMATION.

VEHICULAR ACCESS: VEHICLES ARE TO ACCESS INDIVIDUAL TRACTS VIA DRIVEWAY CUTS ONTO CENTRE AVE. INGRESS/EGRESS TO AND FROM GIBSON BLVD. SHALL NOT BE ALLOWED.

BICYCLE ACCESS: SEE ATTACHED DESIGN GUIDELINES.

LANDSCAPE PLAN: THE DESIGN GUIDELINES OUTLINE THE LANDSCAPE REQUIREMENTS FOR THE SITE.

**MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS**

MAXIMUM BUILDING HEIGHT AND SETBACK REQUIREMENTS ARE CONTAINED IN THE DESIGN GUIDELINES.

**MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NON-RESIDENTIAL F.A.R.**

SEE ATTACHED DESIGN GUIDELINES.

**GENERAL NOTES**

1. IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAN WILL BE PROVIDED AT DRB.
2. APPROVAL OF A CONCEPTUAL GRADING AND DRAINAGE PLAN, IN COMPLIANCE WITH THE CAVAN SUNPORT MASTER DRAINAGE PLAN, WILL BE REQUIRED BEFORE SITE PLAN SIGN-OFF AT DRB.
3. DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THE DESIGN GUIDELINES FOR THE YALE BUSINESS PARK (2-93-122) ATTACHED HERETO.

**APPROVED AND ACCEPTED BY:**

Project No. **01128-01413 / 02500-00034**

Application No.

*Jan 30* 2/11/02  
Planning Department

*Brady L. Bingham* 1-30-02  
City Engineer

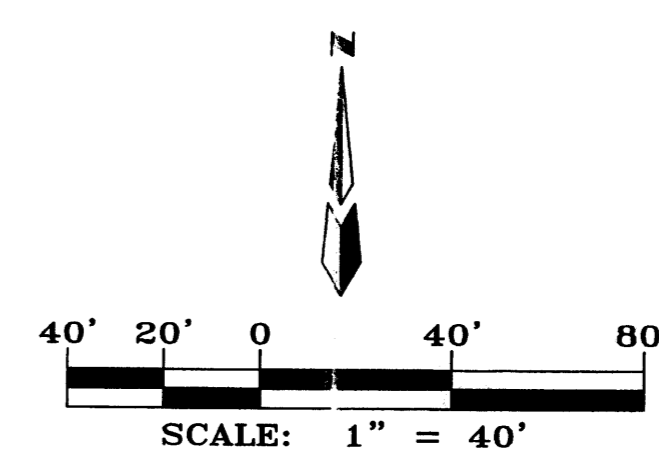
*Phil Lane* 1-30-02  
Transportation Development

*Roger L. Dean* 1-30-02  
Utility Development

*Adrienne E. Candelaria* 1/31/02  
Parks and Recreation

*John G. Post* 2-8-02  
EPC Case Planner

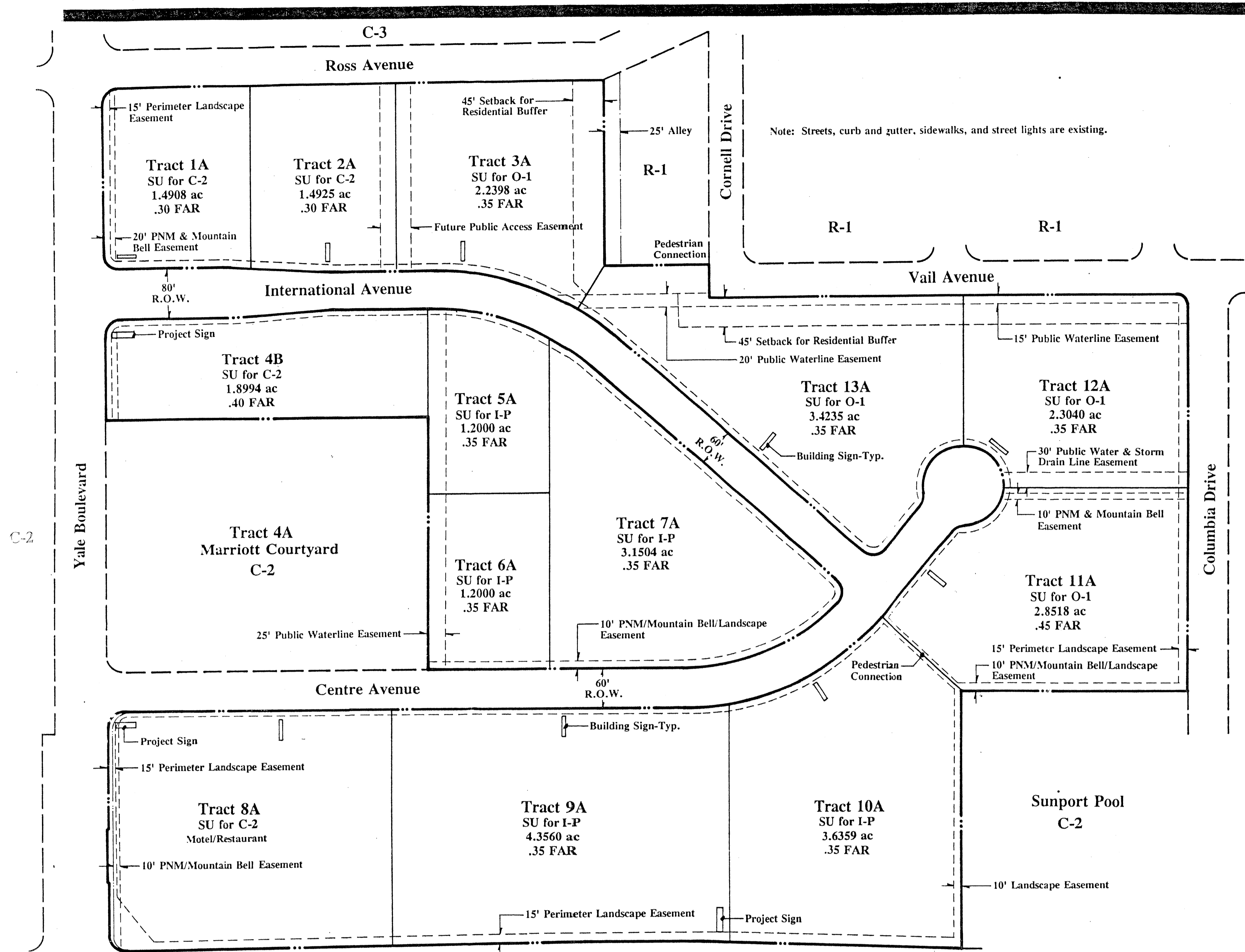
PROJ 1001524



**YALE BUSINESS PARK, TRACT 9A**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: KJS	Checked: DMG	Sheet 1 of 3
Scale: 1" = ?	Date: 08-27-01	Job: A01078	



**Amended Site Plan**

**LAND USE ALLOCATIONS**

TRACT	ZONING (SU for)	LAND AREA (ACRES)	MAXIMUM F.A.R.	BUILDING AREA (SF)
1A	C-2	1.4908	.30	19,602
2A	C-2	1.4925	.30	19,602
3A	O-1	2.2398	.35	33,541
4B	C-2	1.8994	.40	31,363
5A	I-P	1.2000	.35	17,290
6A	I-P	1.2000	.35	18,769
7A	I-P	3.1504	.35	45,500
8A	C-2	3.6250	.50	78,953
9A	I-P	4.3560	.35	68,607
10A	I-P	3.6359	.35	56,410
11A	O-1	2.8518	.45	54,886
12A	O-1	2.3040	.35	38,115
13A	O-1	3.4235	.35	54,886
<b>Totals</b>		<b>32.8691</b>		<b>537,524</b>

**DESIGN GUIDELINES**

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the Owner's goals and objectives for high quality development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Yale Business Park. These standards are to be used as a supplement to the City of Albuquerque Comprehensive City Zoning Code and other pertinent City ordinances. These standards shall apply to all properties within the Yale Business Park.

**LANDSCAPE CONCEPT**

The development of an overall landscape concept will establish a framework that unifies the individual sites within the Yale Business Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

- A minimum of 20 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.
- A minimum of 30 percent and a maximum of 50 percent of the provided landscape area shall be covered with turf grasses. Areas of turf should be located at prominent visual points to create view corridors into specific sites.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar material which extends completely under the plant material.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.

- One tree is required for each twenty-five linear feet of roadway. The required trees should be informally clustered with no more than a fifty foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- In addition to the street trees, one tree for every thirty linear feet of the remaining site perimeter is required. Included in this area are the rear and side yard setbacks.
- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten parking stalls with no stall being more than 85 feet from a tree.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way.
- As a minimum, a 15 foot landscaped buffer is required between commercial/office uses and residential properties. The buffer shall consist primarily of evergreen trees which must be at least 10 feet tall when planted and be capable of reaching a mature height of twenty-five feet. The trees shall be spaced at an average of thirty feet on center.
- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 feet in height; shrubs and groundcovers shall be a one gallon container; and, turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.

**PLANT PALETTE**

The plant materials for this project were selected based on qualities such as, cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, aesthetic appeal, etc.

- Street Trees**
- Fraxinus spp.
  - Gleditsia spp.
  - Pinus flexilis
  - Pinus sp.
  - Pinus sylvestris
  - Platanus wrightii
  - Prunus spp.
- Ash varieties**
- Honeylocust varieties
  - Limber Pine
  - Austrian Pine
  - Scotch Pine
  - Arizona Sycamore
  - Flowering Plum varieties

- Parking Area Plant Materials**
- Trees**
- Fraxinus spp.
  - Gleditsia spp.
  - Pinus flexilis
  - Zelkova serrata
- Ash varieties**
- Honeylocust varieties
  - Limber Pine
  - Japanese Zelkova

- Shrubs and Groundcovers**
- Atriplex canescens
  - Chrysothamnus nauseosus
  - Juniper chinensis
  - Juniperus horizontalis
  - Juniperus sabina
  - Potentilla fruticosa
  - Rhus microphylla
  - Ribes aureum
- Four-wing Salt Bush**
- Chamisa
  - Juniper varieties
  - Juniper varieties
  - Juniper varieties
  - Shrubby Cinquefoil
  - Littleleaf Sumac
  - Golden Currant

- General Use Plant Materials**
- Trees**
- Acer grandidentatum
  - Acer saccharinum
  - Cercis occidentalis
  - Chilopsis linearis
  - Craegus phaeopyrum
  - Eleagnus angustifolia
  - Forestiera neomexicana
  - Fraxinus spp.
  - Gleditsia spp.
  - Koeleruteria paniculata
  - Pinus flexilis
  - Pinus nigra
  - Pinus sylvestris
  - Pistache chinensis
  - Platanus acerfolia
  - Platanus wrightii
  - Populus alba
  - Populus fremontii
  - Prunus spp.
  - Pyrus calleryana
  - Zelkova serrata
- Ash varieties**
- Big Tooth Maple
  - Silver Maple
  - Western Redbud
  - Desert Willow
  - Washington Hawthorn
  - Russian Olive
  - New Mexico Olive
  - Ash varieties
  - Honeylocust varieties
  - Goldrain Tree
  - Limber Pine
  - Austrian Pine
  - Scotch Pine
  - Chinese Pistache
  - London Planetree
  - Arizona Sycamore
  - White Poplar
  - Fremont Cottonwood (Male)
  - Flowering Plum/Cherry varieties
  - Ornamental Pear
  - Japanese Zelkova

- Shrubs, Groundcovers, and Vines**
- Abelia varieties
  - Artemesia tridentata
  - Atriplex canescens
  - Baccharis pilularis
  - Berberis thunbergii
  - Buxus spp.
  - Caesalpinia gilliesii
  - Chrysothamnus nauseosus
- Abelia varieties**
- Big Leaf Sage
  - Four-wing Saltbush
  - Dwarf Coyotebush
  - Japanese Starberry
  - Baxwood varieties
  - Bird of Paradise
  - Chamisa

- Clematis ligusticifolia
  - Coloneaster varieties
  - Euonymus spp.
  - Forsythia intermedia
  - Genista hispanica
  - Hedera spp.
  - Hemorocallis spp.
  - Hibiscus syriacus
  - Ilex spp.
  - Juniperus chinensis spp.
  - Juniperus horizontalis spp.
  - Juniperus sabina spp.
  - Ligustrum japonica
  - Lonicera japonica halliana
  - Mahonia aquafolium
  - Mahonia repens
  - Mirabilis multiflora
  - Nandina domestica spp.
  - Parthenocissus inserta
  - Photinia fraseri
  - Photinia glabra
  - Potentilla fruticosa
  - Pyracantha varieties
  - Raphiolepis indica
  - Rhus microphylla
  - Rhus trilobata
  - Ribes aureum
  - Ribes cereum
  - Salvia dorrii
  - Salvia greggii
  - Santolina chamaecyparissus
  - Spiraea spp.
  - Syringa spp.
  - Verbena bipinnatifida
  - Verbena rigida
  - Wiegela spp.
  - Wisteria spp.
- Lawn Grasses**
- Festuca spp.
  - Poa spp.
- Prohibited Plant Materials**
- Celtis spp.
  - Populus spp.
  - Populus spp.
  - Quercus spp.
  - Sophora japonica
  - Tamarix spp.
  - Thuja spp.
  - Ulmus spp.
- Hackberry varieties**
- Poplar varieties
  - Cotton Bearing Cotowood varieties
  - Oak varieties
  - Japanese Pagoda
  - Salt Cedar varieties
  - Arborvitae varieties
  - Elm varieties

- Western Virginsbower
- Cooneaster varieties
- Euonymus varieties
- Forsythia
- Spanish Broom
- Ivy varieties
- Daylily varieties
- Rose of Sharon
- Holly varieties
- Juniper chinensis spp.
- Juniper horizontalis spp.
- Juniper varieties
- Juniper varieties
- Juniper varieties
- Wax-leaf Privet
- Hall's Honeysuckle
- Oregon Grape
- Creeping Mahonia
- Giant Four O'clock
- Heavenly Bamboo varieties
- Virginia Creeper
- Photinia
- Japanese Photinia
- Shrubby Cinquefoil
- Pyracantha varieties
- India Hawthorn
- Littleleaf Sumac
- Threeleaf Sumac
- Ribes aureum
- Golden Currant
- Wax Currant
- Desert Sage
- Cherry Sage
- Lavender Cotton
- Spiraea varieties
- Lilac varieties
- Syringa varieties
- Verbena bipinnatifida
- Verbena rigida
- Verbena
- Wiegela varieties
- Wisteria varieties

- Tall Fescue varieties
- Kentucky Bluegrass varieties

Note: No Cottonwoods shall be allowed within 100' of the property line adjacent to the City of Albuquerque Sunport Swimming Pool.

EPC Case #Z-93-122

Approved by the City of Albuquerque Environmental Planning Commission on December 16, 1993.

**Design Guidelines for Yale Business Park**

Prepared For: Sunwest Bank  
Special Assets Department  
303 Roma Avenue NW  
Albuquerque, NM 87102

Prepared By: Consensus Planning, Inc.  
718 Central Avenue SW  
Albuquerque, NM 87102



## SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Yale Business Park.

### Building Setbacks

Buildings shall be located on each site according to the following setback dimensions:

- 63' from the R.O.W. line of Gibson and Yale Boulevards
- 25' from the R.O.W. line of the internal loop road
- 50' from the property line of an R-1 zone
- 60' from the property line of other residential zones
- 15' from the property line of a commercial zone
- 15' from internal lot lines

### Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 30' from the R.O.W. line of Gibson and Yale Boulevards
- 15' from the R.O.W. line of the internal loop road

## SIDEWALKS/BIKEWAYS

To encourage and enhance the pedestrian nature of the Yale Business Park, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. In accordance with the City of Albuquerque's Sidewalk Ordinance, all streets within the site are required to have sidewalks on both sides of the street. Two pedestrian connections are identified on the site plan to physically connect the business park to the surrounding neighborhoods. In the southeast corner of the site one connection links the park to the City of Albuquerque's Sunport Pool. The second path to the northeast allows pedestrian/bicycle access for potential worker commuting.

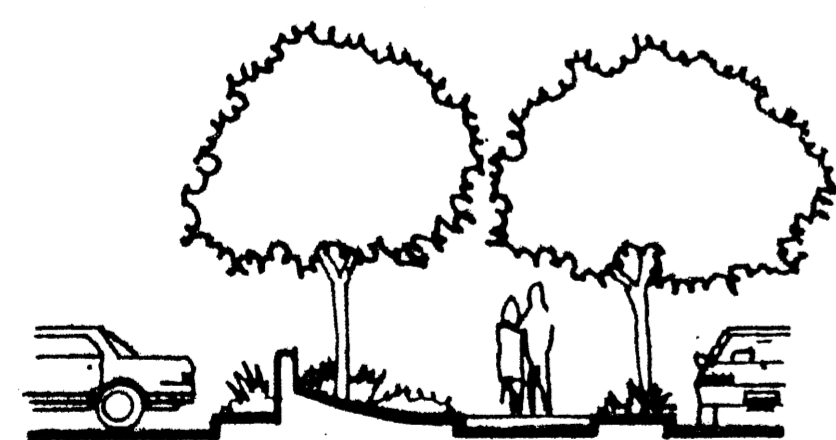
In addition to the required sidewalks, the City of Albuquerque has established a bikeway network which identifies several routes adjacent to the site (Albuquerque Metropolitan Bicycle Map, April 1992). A bike lane exists along Gibson Boulevard beginning at Yale and heading east to Carlisle Boulevard. A bike lane is a designated lane for bicycles within the roadway. A bike route exists to the north and east of the site along Cornell, Vail, and Columbia. Bike routes provide for a shared use of the street by automobiles and bicyclists. Generally, the routes will be marked with identifying signage.

## SCREENING / WALLS AND FENCES

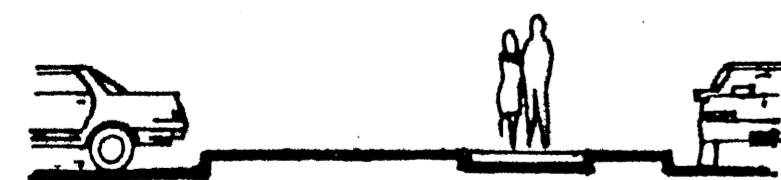
The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of the above service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function within the Yale Business Park landscape. However, if walls are not required for a specific screening or security purpose, they should not be utilized. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

The following are standards to ensure effective screening of negative elements:

- Employee and customer/client parking areas shall be screened from adjacent streets and properties with a combination of plant materials, walls, and earthen berming. Such screening shall have a minimum height of 3 feet. Visitor parking should not be completely screened from adjacent streets. Appropriate signage and/or highlighted landscaping should be used to direct visitors.



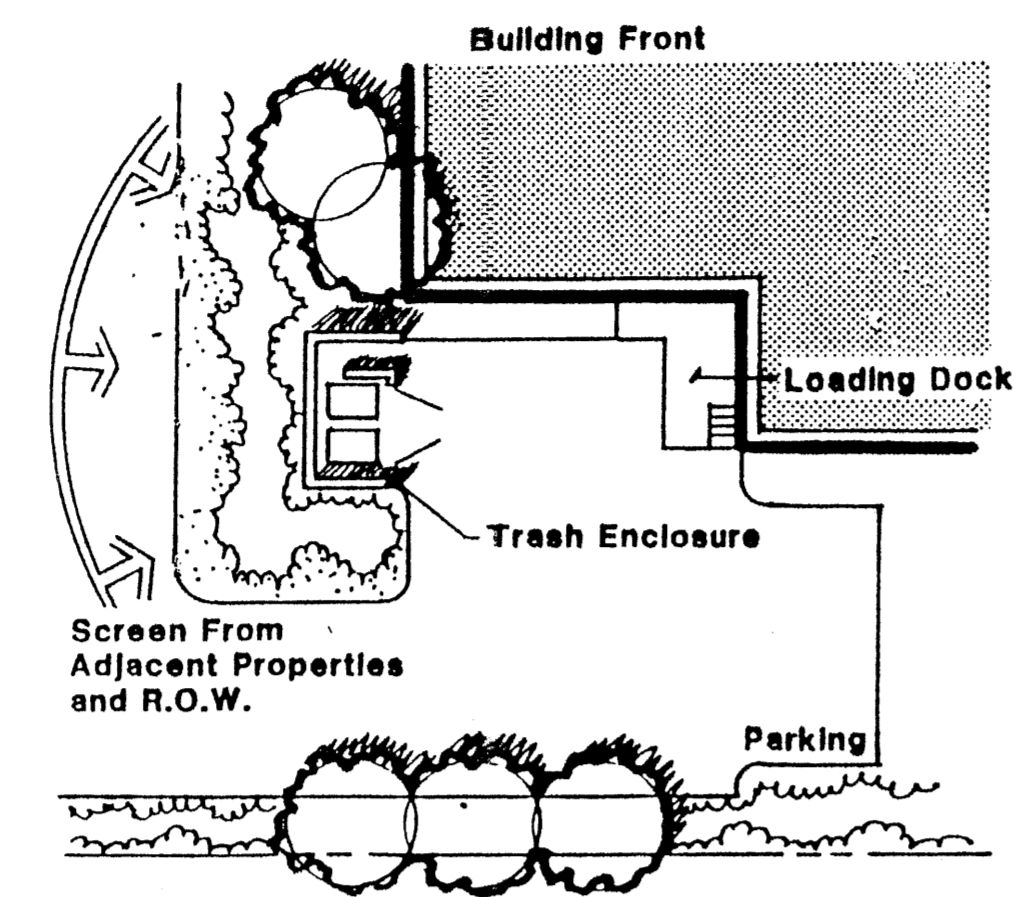
Do This



Don't Do This

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated between collections.



- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.
- No refuse collection areas shall be allowed between any street and building front.
- When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable.)
- Barbed wire or concertina wire are not allowed in the Yale Business Park.

## LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Yale Business Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards should blend with the architectural character of the building and other site fixtures.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.
- The height of parking area lights may range from 20 to 30 feet.
- Area lighting should be used to highlight public spaces and walkways. Area lighting standards may range from 10 to 15 feet in height. The use of walkway level lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either ground level "bullet" lights concealed by plant materials, flush mounted "can" lights with waterproof enclosure, or be mounted in trees to "moonlight" areas.

## SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Yale Business Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:

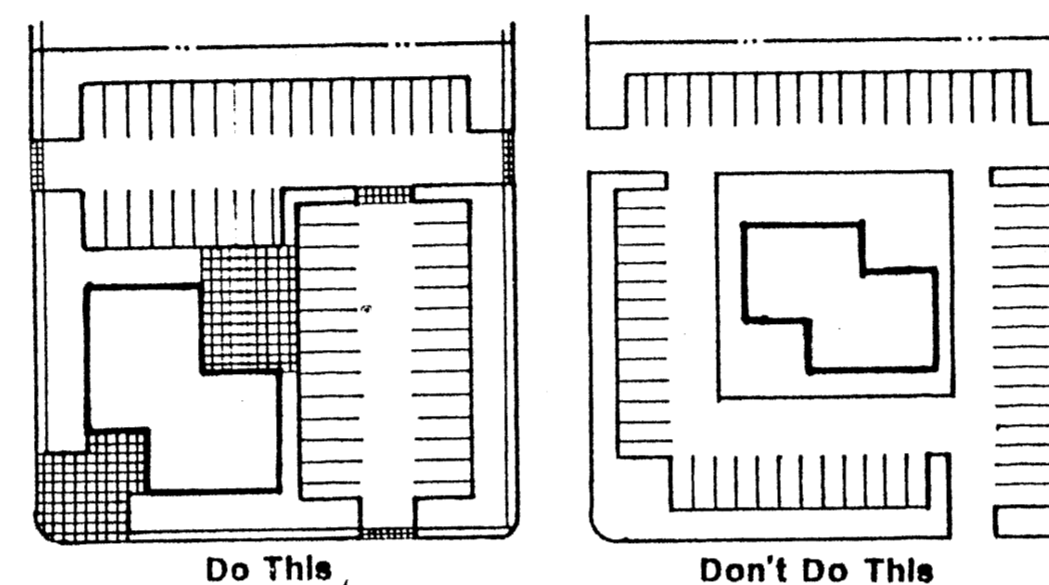
- All elements of a sign shall be maintained in a visually appealing manner.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.

- Signage may be illuminated in accordance with the City of Albuquerque Sign Regulations, except no illuminated signs shall be placed on the building facade most proximate to a residential area, or on any event within 150 feet of the boundary of a residential zone.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- Each building site is limited to one freestanding monument-type sign of no greater than 50 square feet per face. The sign shall not be higher than 4 feet above adjacent grade.
- Individual buildings are allowed one facade mounted sign whose area shall not exceed 10% of the area of the facade to which it is applied.

## SITE/ARCHITECTURAL OBJECTIVES

### Site

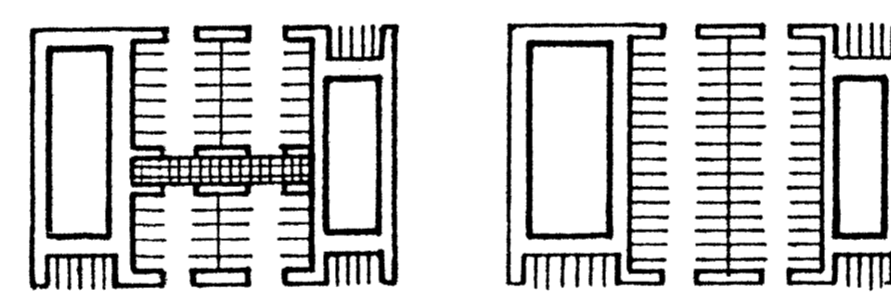
The creation of an active pedestrian environment in the Yale Business Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking, with no pedestrian connection between the structure and the street.



Do This

Don't Do This

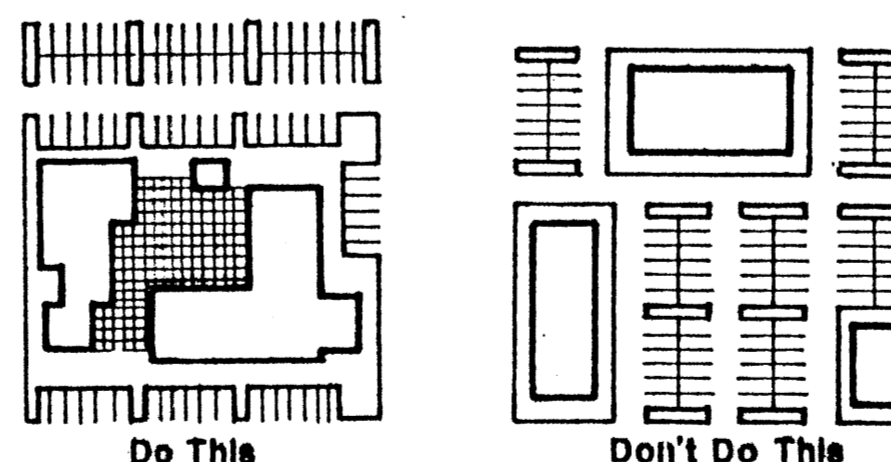
- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles and landscaped islands.
- Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.



Do This

Don't Do This

- Parking areas shall be designed to include a pedestrian linkage to the street sidewalk network.
- Long stretches of parking facilities adjacent to the streets should be avoided whenever possible.
- New structures should be sited in a manner that will act to complement and provide linkages between surrounding structures.
- New structures should be clustered to create plazas or pedestrian malls that include site amenities such as shade, seating, landscaping, etc.



Do This

Don't Do This

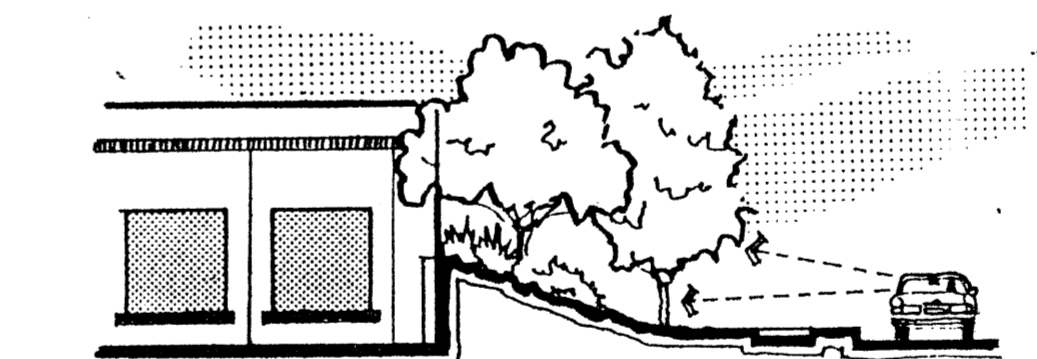
- Locate structures and on-site circulation systems to minimize pedestrian/vehicle conflicts and link structures to the public sidewalk where possible with textured paving, landscaping, etc.
- Structures should be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.
- All pedestrian paths shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

## Architectural

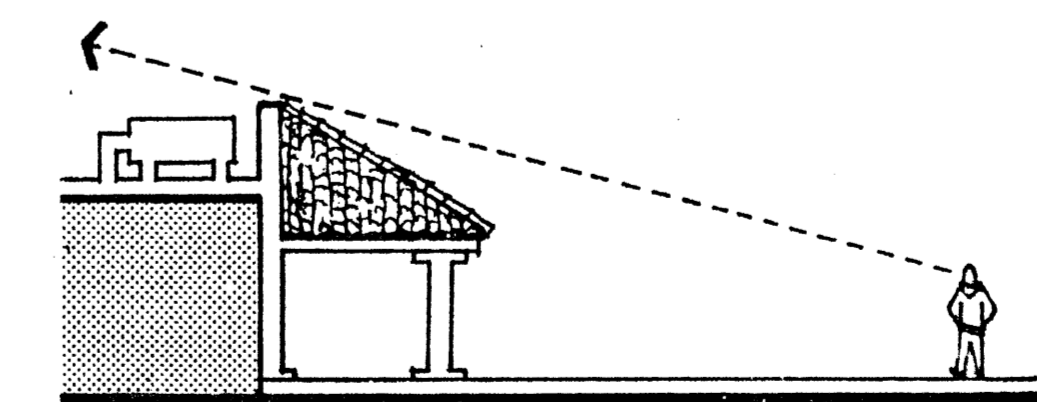
Being the first project developed within the Park, the Marriott Courtyard has established an architectural theme that will be carried out through the remainder of the sites. The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, massing, and color. The recommended architectural styles include Spanish Colonial, Territorial, and Mission. Each style has common detailing and plan form that is related to the environmental design requirements of the region. Common elements and preferred features of these styles include: smooth textured stucco as the primary surface treatment; the use of earth tone colors, such as white, beige, tan, and sand; the use of clay barrel tile on pitched roofs with flat rooflines being acceptable; and, the limited use of accent colors along with tile or brick.

Additionally, all buildings shall conform to the following requirements:

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.
- Building design, and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- Employ variety in structural forms that create visual character and interest. Avoid long, unarticulated facades. Facades should have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3' minimum offset, fenestration, material change, etc.).
- Entries to structures should portray a quality office appearance while being architecturally tied into the overall mass and building composition.
- Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
- Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
- The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of facade.
- Highly reflective surfaces, exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and should be avoided.
- Wall materials should be chosen that will withstand abuse by vandals; easily repaired, or accidental damage by machinery.
- Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.



- The roofline at the top of the structure shall incorporate offsets to prevent a continuous plane from occurring.
- All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials.



## UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of the Yale Business Park:

- All electric distribution lines within the Park shall be placed underground.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure should be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they should be appropriately screened from view by walls and/or landscaping.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

## SU-1 FOR I-P: PERMISSIVE USES

This zone will provide suitable sites for a limited variety of industrial and business park uses, provided such uses are conducted in a compatible and harmonious manner within the Yale Business Park environment.

- Laboratory - experimental, testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- Manufacturing, assembling, treating, repairing, or rebuilding articles except those conditional or otherwise limited in this zone.
- Office.
- Office machine equipment sales and repairs.
- Printing, publishing, lithographing, blueprinting, or photostating.
- Public utility use or structure.
- Retail sales of food and drink, for consumption on premises.
- Sales and display rooms or buildings for wholesalers, distributors, warehouses, or manufacturers.
- Services:
  - Banking. Drive-in facilities permitted on the condition the vehicle movement plan is approved by the Traffic Engineer.
  - Clinic.
  - Day care center.
  - Dry cleaning, laundry, clothes pressing.
  - Photography, except adult studio.
- Warehouse, only in conjunction with another permissive use. Warehousing may not exceed 75 percent of the uses on any individual tract.
- Wholesaling.
- Hotel or motel, including incidental uses.
- Auditorium, place of assembly, and meeting facilities.
- Health gymnasium.

EPC Case #Z-93-122

Approved by the City of Albuquerque Environmental Planning Commission on December 16, 1993.

## Design Guidelines for

# Yale Business Park

Prepared For: Sunwest Bank  
Special Assets Department  
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