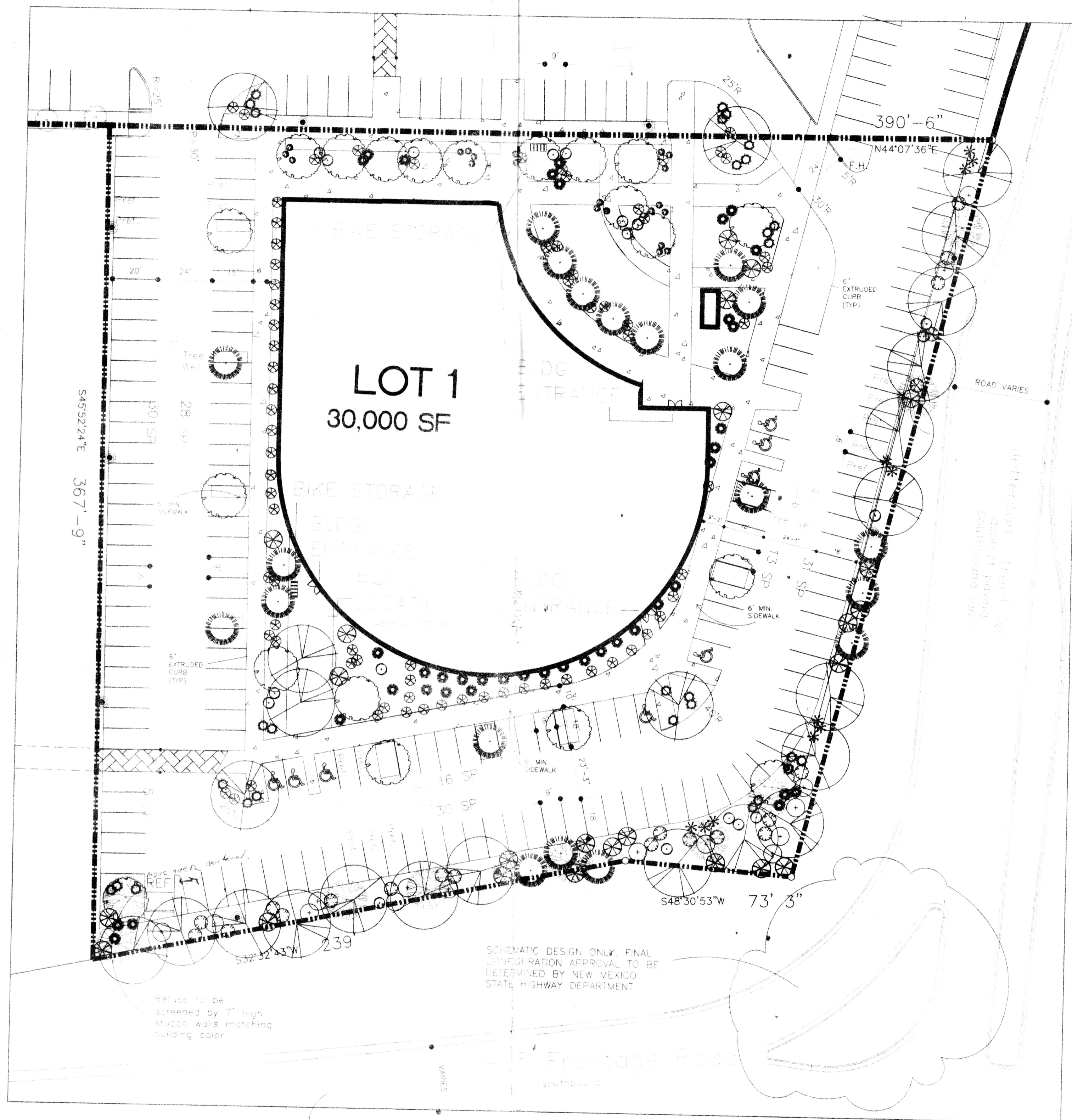


PROJECT DATA- XXXX JEFFERSON ST. NE
 NAME: LOT 1
 ADDRESS: XXXX JEFFERSON ST. N.E.
 DESCRIPTION: OFFICE BUILDING
 LEGAL: LOT 1, JEFFERSON COMMONS 2

OCCUPANCY= B
 FLOOR AREA TOTAL= 30,000 SF
 TYPE OF CONSTRUCTION= INN, SPRINKLERED
 HEIGHT= 30 FEET, ONE STORY
 ARCHITECTURAL FEATURE= 30 FEET
 PROPOSED USE= IP

GENERAL NOTES:

1. LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHOULD BE THE FULL CUT-OFF SHOEBOX TYPE AND SHALL BE NO HIGHER THAN 20 FEET. SITE LIGHTING THAT IS WITHIN 150 FEET OF RESIDENTIAL DEVELOPMENT SHALL BE 30' MAXIMUM. NO LIGHT SOURCE SHALL BE VISUAL FROM THE SITE PERIMETER.
2. SITE LIGHTING SHALL NOT HAVE OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. SIGN LETTERS SHALL BE CHANNELIZED OR NEON. BACKLIT PANEL OR BOX SIGNS SHOULD NOT BE USED.
4. THE HEIGHT OF ROOF MOUNTED EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SHALL NOT BE VISIBLE FROM ADJACENT PROPERTIES AND RIGHT OF WAYS.
5. PEDESTRIAN CROSSING OF VEHICLE CIRCULATION AREAS SHALL BE MINIMUM 6' WIDE, OF AN ALTERNATIVE TEXTURED MATERIAL AND SLIGHTLY RAISED.
6. THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION / CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
7. PROVISIONS OF ADEQUATE PEDESTRIAN CIRCULATION WITH HANDICAPPED FEATURES WITHIN THE SITE AND TO THE ADJACENT STREETS. UNIDIRECTIONAL RAMPS ARE NEEDED AT PEDESTRIAN SIDEWALKS AND ENTRANCES.
8. PROPOSED STREETS CIRCULATION DRIVES AND INTERNAL PARKING AREAS MUST BE PAVED AS PER DPM STANDARDS.
9. LOCATIONS OF WALLS, FENCES AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE.
10. THERE SHALL BE NO BACKLIT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
11. SHRUBS AND GROUND COVER SHALL BE PROVIDED ALONG SLOPED PERIMETER AREAS OF THE SITE TO ENSURE 75% COVERAGE OF LIVING LANDSCAPE.
12. SEE MASTER UTILITY PLAN FOR EASMENT LOCATION.
13. LANDSCAPING TO BE CONSISTENT WITH EXISTING LOTS 5 & 6 LANDSCAPING DESIGN.
14. PATIO/ PICNIC AREA TO BE CONSISTENT WITH LOTS 5 & 6.
15. HANDICAP ACCESSIBLE PATHS TO HAVE MAX SLOPE OF 1:20
16. SITE TO HAVE WAY FINDING SIGN SYSTEM
17. NO CHAINLINK, RAZOR WIRE (CONCERTINA) OR PLASTIC VINYL FENCING IS PERMITTED.
18. All spaces denoted as Pref. shall be for rideshare

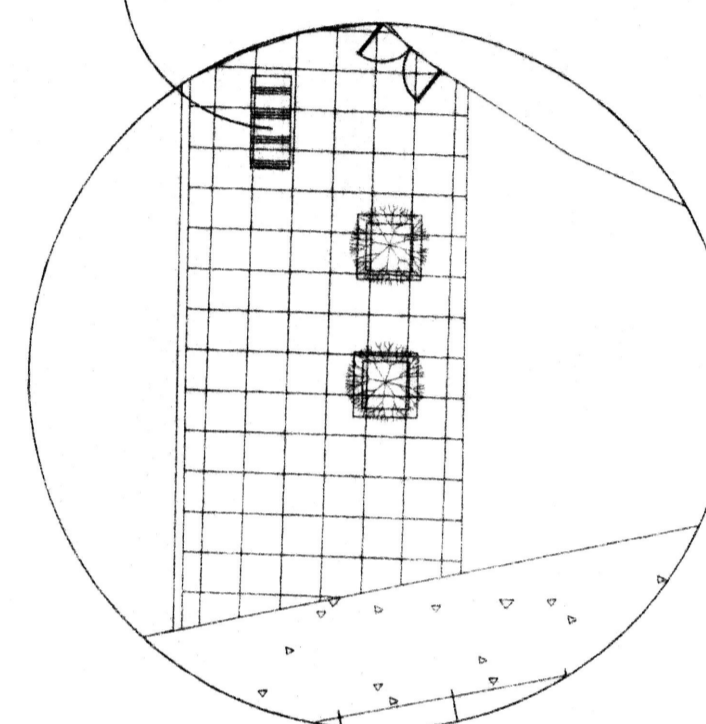


SITE DATA TABLE

LOT	AREA A.C.	BUILDING AREA (SF) 1 STORY	ZONING	MAX. BLDG. HEIGHT
1	2.7	30,000	IP	30'

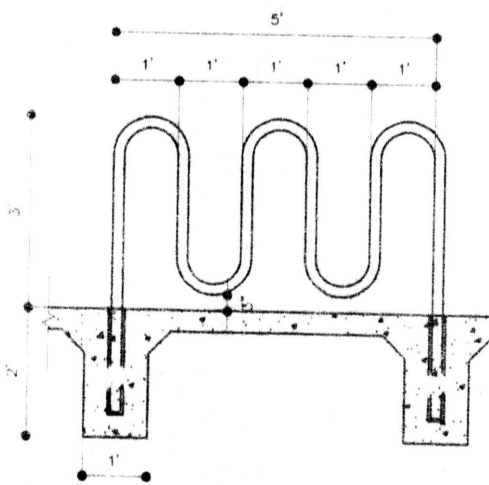
LOT	PRKG. REQ.	PRKG. PROV.	H.C. PRKG. REQ.	H.C. PRKG. PROV.	BIKE SPACES PROV.
1	150	153	8	8	8

Bike Rack to match existing on lots 5 & 6



LANDSCAPING WILL PROVIDE SHADED AREA. TABLES/SEATING TO BE PROVIDED BY TENANT. PAVING TO BE EXPOSED AGGREGATE

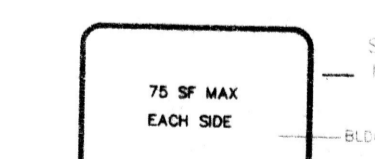
PATIO DETAIL NTS



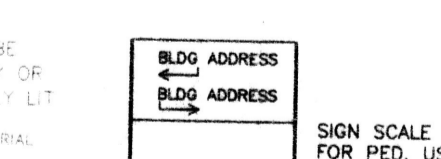
BIKE RACK DETAIL NTS

LEGEND

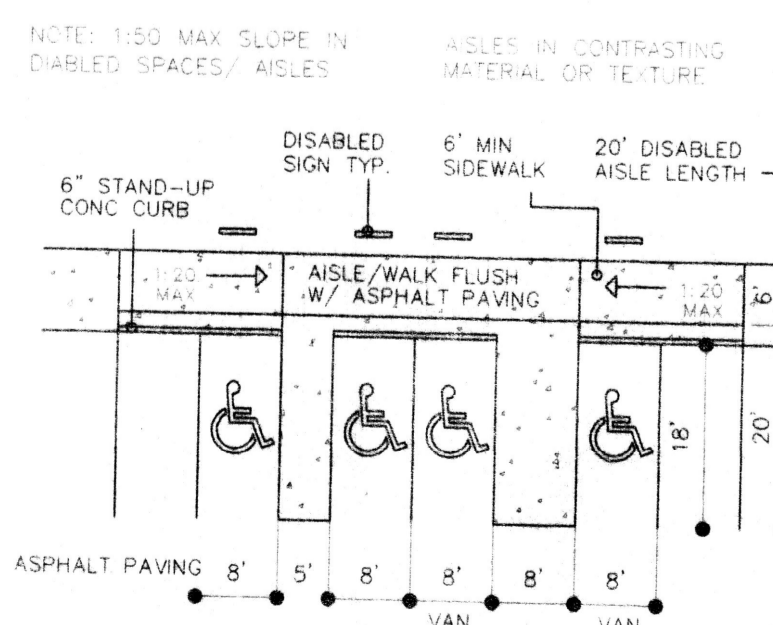
- PROPERTY LINE
- PROPOSED PEDESTRIAN WALK/ACCESSIBLE ROUTE (6' MIN.)
- PROPOSED SIDEWALK
- PATIO AREA
- CONCRETE PAVING
- PROPOSED BIKE RACK
- PARKING LOT LIGHTING-30' HIGH-



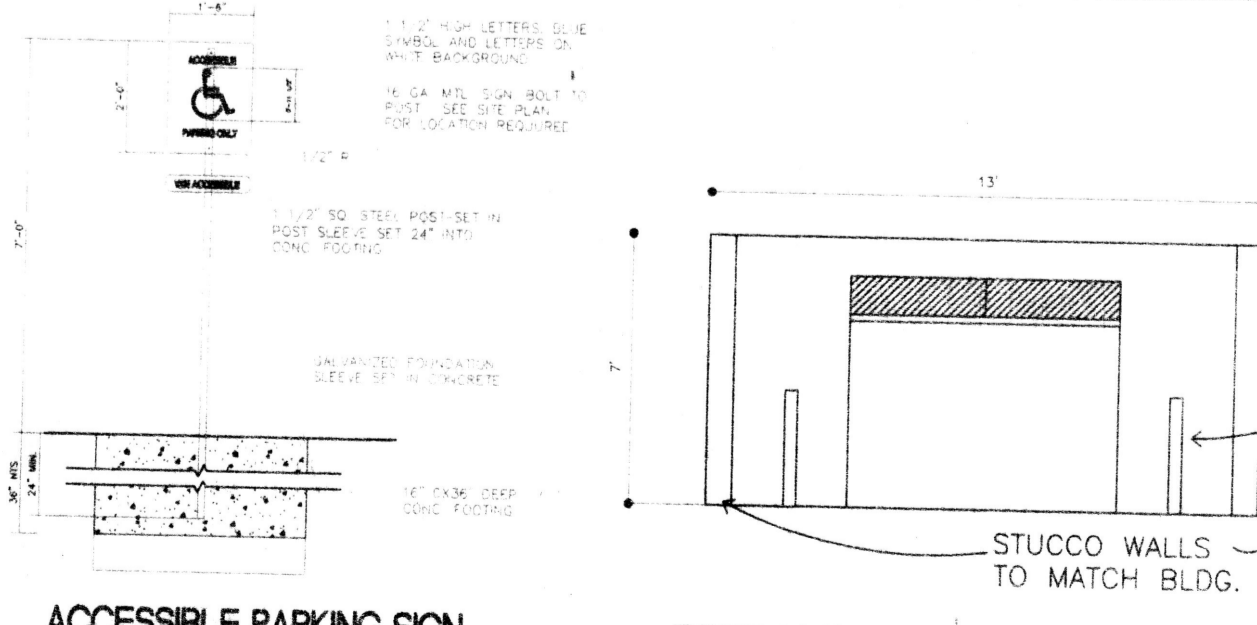
MONUMENT SIGN



WAY FINDING SIGN



ACCESS. PARKING- TYP. DETAIL NTS



ACCESSIBLE PARKING SIGN

REFUSE ENCLOSURE NTS

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 SIGNATURE: [Signature]

DRB CASE NUMBER:
 1001569
 SITE DEVELOPMENT PLAN
 [Signatures and dates for various approvals]

JEFFERSON COMMONS PHASE 2 LOT 1

PROJ 1001569

North
 SITEPLAN FOR BUILDING PERMIT - LOT 1
 SCALE: 1"=30'

SITE DATA TABLE

LOT	AREA A.C.	BUILDING AREA (SF)	ZONING	MAX. BLDG. HEIGHT	PRKG. REQ.	PRKG. PROV.	H.C. PRKG. REQ.	H.C. PRKG. PROV.	BIKE SPACES
1	2.7	30,000	IP	30'	150	154	8	8	8
5	4.1235	50,540	IP	30'	253	253	8	8	13
6-A	3.236	29,560	IP	30'	148	184	3	3	6
6-B	5.382	63,000	IP	30'	315	360	7	7	12
6-C	5.430	55,000	IP	30'	276	315	7	7	12
6-D	2.908	22,000	IP	30'	110	151	3	3	6

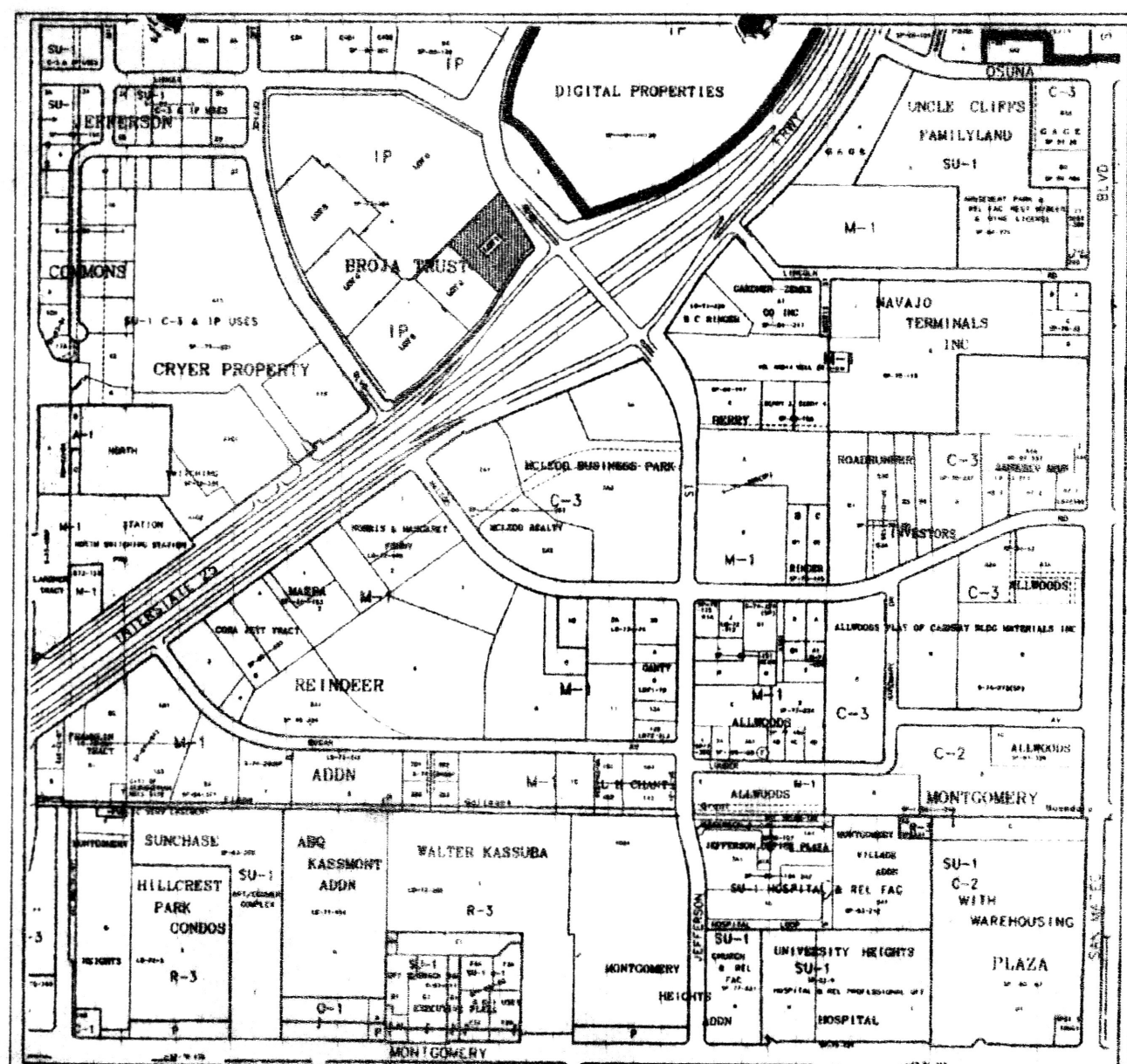
PARKING FOR BICYCLES WILL BE PROVIDED PER ZONING ENFORCEMENT REQUIREMENTS FROM DEC.3 STAFF REPORT
 TENANTS SHALL BE RESPONSIBLE FOR PROVIDING A SECURE AREA FOR BIKE STORAGE
 SHOWERS TO BE DETERMINED PER CONDITIONS

WAY-FINDING SIGNS WILL BE PLACED IN STRATEGIC DECISION MAKING LOCATIONS, i.e. ENTRY POINTS AND BE NO BIGGER THAN 25 SF

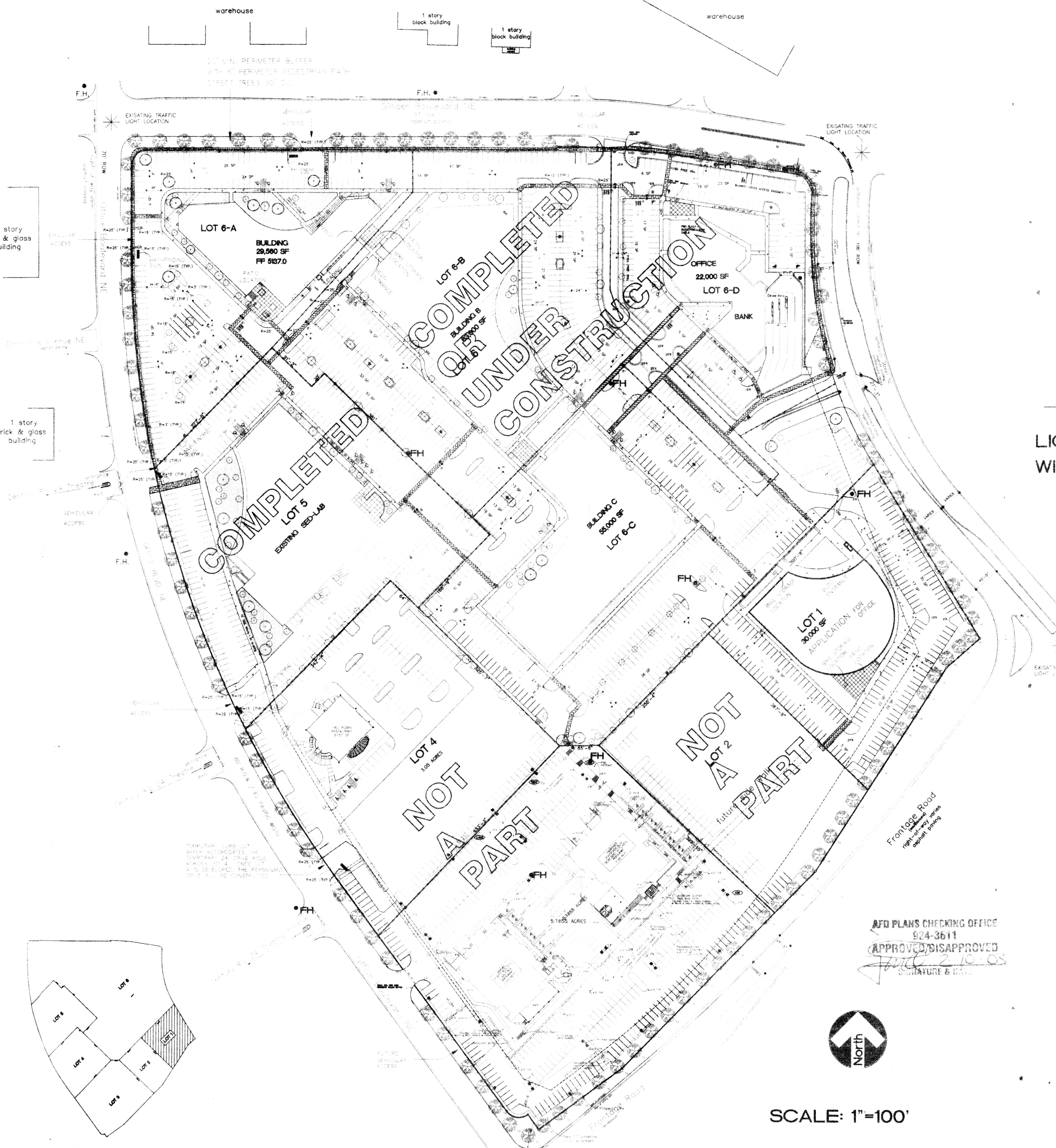
LOADING AREA WILL BE SCREENED
 HVAC EQUIP. WILL BE SCREENED AND/OR BELOW BLDG. PARAPETS

SIDEWALKS REMAIN AS EXPOSED
 AGGREGATE WHEN CROSSING PARKING AREA AND DRIVE AISLES

SEE DRC PLANS
 WORK ORDER # 583081 + 583082
 FOR JEFFERSON + SINGER
 PAVE WIDTH

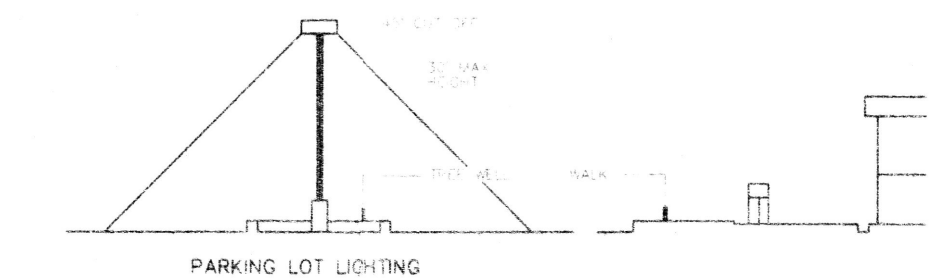


VICINITY MAP



KEY PLAN NTS
 Jefferson Commons Phase II

- DRAWING INDEX
- A1- SITE PLAN FOR SUBDIVISION
 - A2- SITE PLAN SHEET
 - A3- GRADING SHEET
 - A4- LANDSCAPE SHEET
 - A5- ELEVATIONS
 - A6- UTILITY SHEET
 - A7-A11- MASTER DEVELOPMENT PLAN (FOR REF. ONLY)



LIGHTING TO BE CONSISTENT WITH EXISTING LOTS 5 + 6

LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PEDESTRIAN WALK/ACCESSIBLE WALK (F.H.)
[Symbol]	SEWER
[Symbol]	PATIO AREA
[Symbol]	CONCRETE PAVING
[Symbol]	BIKE LANE
[Symbol]	PARKING LOT LIGHTING BY HIGH

DRB CASE NUMBER:
 This is a site plan for subdivision for Lot 6, and for site plan for building permit for Lot 1.
 This plan has been approved by the Environmental Planning Commission (EPC) on:

1001649 EPC Case No. 03DR-00006

SITE DEVELOPMENT PLAN

Richard D. ... 2/19/03
 Traffic Engineer, Transportation Division Date

Christina Sandoral 2/19/03
 City Engineer, Parks & Recreation Date

Roger A. ... 2/19/03
 Public Works, Utilities Development Division Date

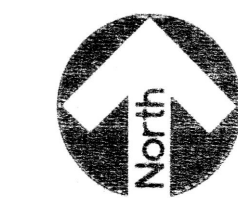
Brad D. Blym 2/19/03
 City Engineer, Engineering Division/AMAFCA Date

Solid Waste Department Date

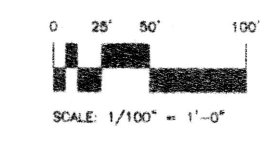
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

James Wilson 2/19/03
 City Planner, Albuquerque Planning Department Date

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 2/19/03
 SIGNATURE & DATE



SCALE: 1"=100'

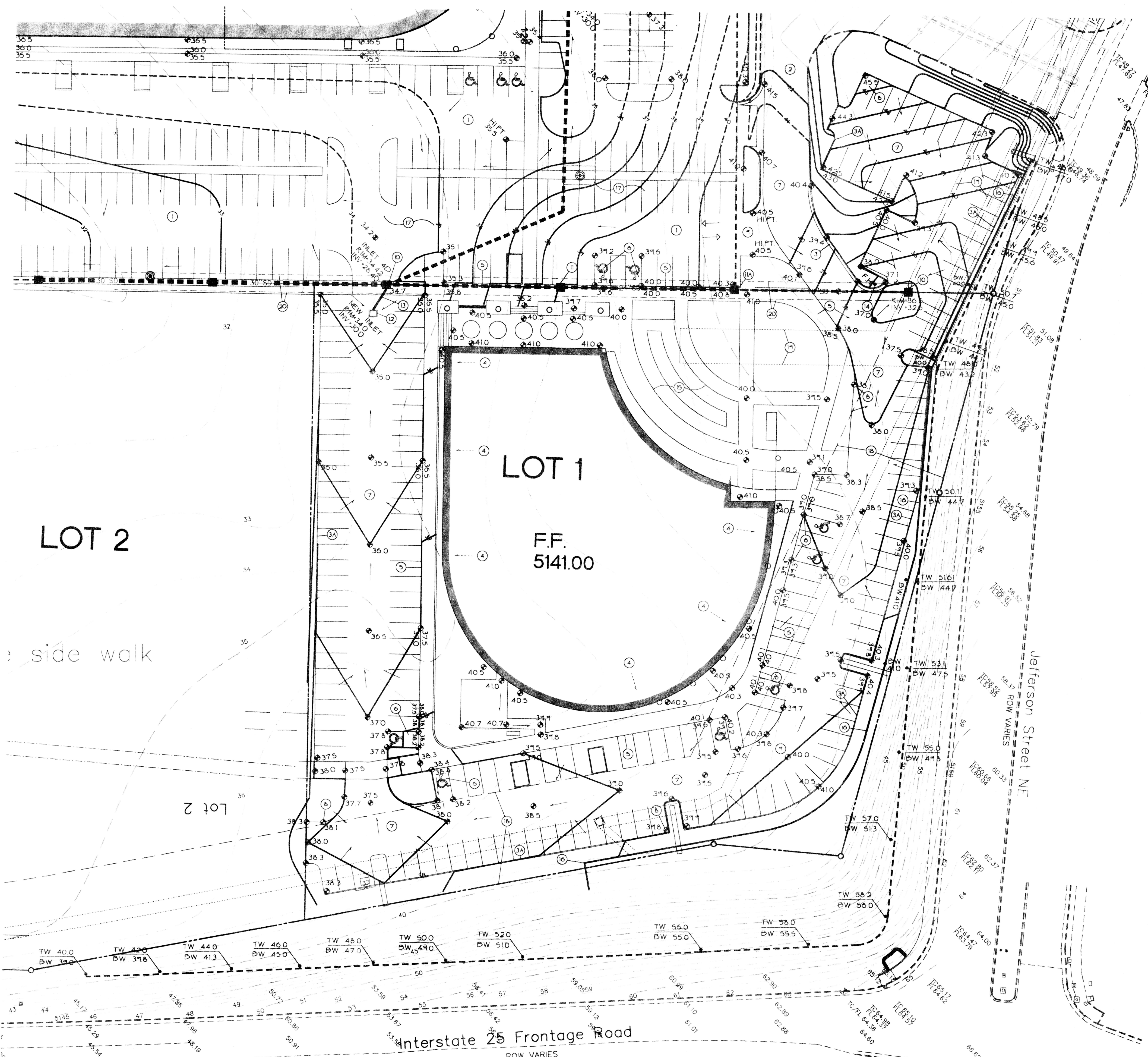


SITE PLAN FOR SUBDIVISION

JEFFERSON COMMONS PHASE 2

LOT 1

ASSOCIATES
 Post Office Box 3529 / Albuquerque, New Mexico 87150
 (505) 244-1655



- ### KEYNOTES
- 17 GRADES THIS AREA LOT 1 - SAME OWNER - CURRENTLY UNDER CONSTRUCTION HAVE BEEN MODIFIED FROM THE APPROVED DRAINAGE / GRADING PLAN TO ACHIEVE THE REQUIRED LOT 1 GRADES THE LOT 1 AS-BUILT SHALL REFLECT THESE CHANGES
 - 18 EXISTING PERMANENT EASEMENT (DRAINAGE)
 - 19 EXISTING 20" PUBLIC WATERLINE EASEMENT
 - 20 EXISTING 10" PRIVATE STORM SEWER EASEMENT

- ### LEGEND
- SIDEWALK CURB AND GUTTER (EXISTING, PROPOSED)
 - PROPOSED PAVED DRIVE
 - BUILDING (EXISTING, PROPOSED)
 - PROPERTY LINE
 - EXISTING ELECTRIC / PP
 - + 05.7 EXISTING SPOT ELEVATION
 - 20 EXISTING CONTOUR
 - 75.2 PROPOSED SPOT ELEVATION
 - 75.2 ADJ. PROJECT SPOT ELEVATION
 - ▲ ENTRY / EXIT LOCATION
 - PROPOSED CONTOUR
 - SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)
 - LA LANDSCAPED AREA
 - TW TOP OF RETAINING WALL
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - FL FLOW LINE
 - FF FINISHED FLOOR
 - R/W RIGHT OF WAY
 - PL PROPERTY LINE
 - PP POWER POLE
 - EXISTING / PROPOSED LIGHT FIXTURE

- ### KEYNOTES
- 1 THIS AREA CURRENTLY UNDER CONSTRUCTION UNDER SEPARATE BUILDING PERMIT
 - 2 EXISTING ASPHALT PAVING THIS AREA MATCH TOP OF EXISTING PAVING TO PROVIDE SMOOTH RIDING TRANSITION SAWCUT EXISTING PAVING IF NECESSARY TO PROVIDE CLEAN DRAINAGE EDGE
 - 3 CONSTRUCT STANDARD CURB AND GUTTER THIS AREA TO DIRECT CONCENTRATED FLOWS TO PROPOSED STORM DRAIN INLET
 - 4 OWNER'S OPTION TO CONSTRUCT CONCRETE CURB AND GUTTER OR EXTRUDED CONCRETE CURB ALL AREAS NOT KEYNOTED #3 (SEE DETAIL THIS SHEET)
 - 5 ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED ALL ROOF FLOWS TO BE RELEASED THROUGH FACE OF CURBS DIRECTLY INTO PAVED PARKING LOT - SEE ARCHITECTURAL FOR SPECIFIC LOCATIONS
 - 6 CONSTRUCT CONCRETE WALK WITH TURNED DOWN EDGE ADJACENT TO ASPHALT PAVING THIS AREA RAMP DOWN TO STREET GRADES # 12 MAXI AT ALL INTERSECTIONS AS SHOWN SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION
 - 7 HANDICAP PARKING AREA CONTRACTOR TO RAMP ASPHALT PAVING FLUSH WITH TOP OF WALK OVER ONE ADJACENT PARKING SPACE
 - 8 PROPOSED ASPHALT PAVING CONSTRUCT AT ELEVATIONS SHOWN SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, PAVING SECTION, ETC. PAVING SLOPE VARIES WITH 0.0000' MINIMUM AND 0.0000' MAXIMUM
 - 9 GENERAL NOTE: ALL SPOT ELEVATIONS WITHIN PAVED AREA REPRESENT TOP OF PAVING UNLESS NOTED AS 0.5 TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS
 - 10 HIGH POINT IN PAVEMENT THIS AREA AS SHOWN
 - 11 EXISTING MASTER STORM SEWER INLET PROVIDE SMOOTH TRANSITION BETWEEN NEW ASPHALT PAVING AND EXISTING CONC. INLET RIM
 - 12 EXISTING STORM SEWER INLET TO BE COVERED WITH STEEL PLATE ANCHORED TO CONCRETE BOX PRIOR TO FILLING ABOVE
 - 13 EXISTING STORM SEWER INLET BOX TO BE EXTENDED TO FINISHED GRADE PROVIDE MANHOLE FRAME AND COVER FOR ACCESS
 - 14 NEW TYPE 17 (SINGLE) STORM DRAIN INLET WITH ALBUQUERQUE GRATE ELEVATIONS SHOWN
 - 15 INSTALL 18" DIA METAL STORM PIPE FROM NEW INLET TO EXISTING INLET 4B MAKE ALL CONNECTIONS WATER TIGHT
 - 16 EXISTING FIRE HYDRANT THIS AREA TO BE RELOCATED TO LANDSCAPE ISLAND LOCATE PER C.O.A. STD. DWG. 2347
 - 17 SEE ARCHITECTURAL FOR SITE LANDSCAPING / SITE WALKS THIS AREA
 - 18 CONSTRUCT ON-SITE RETAINING WALL MAX HEIGHT - 5' 3" MIN. BEYOND BACK OF CURB TO ACHIEVE GRADE DIFFERENCES SHOWN SEE ARCHITECTURAL FOR SPECIFIC WALL DIMENSIONS AND PLACEMENT WALL DESIGN BY OTHERS

SCOPE
 THE PROPOSED IMPROVEMENTS INCLUDE APPROXIMATELY 30,000 SF APPROX FOOTPRINT, COMMERCIAL BUILDING WITH ADJACENT CONCRETE AND ASPHALT PAVED WALKWAYS / PARKING AREAS, LANDSCAPED AREAS, GENERAL SITE WORK AND SITE REGRADING.

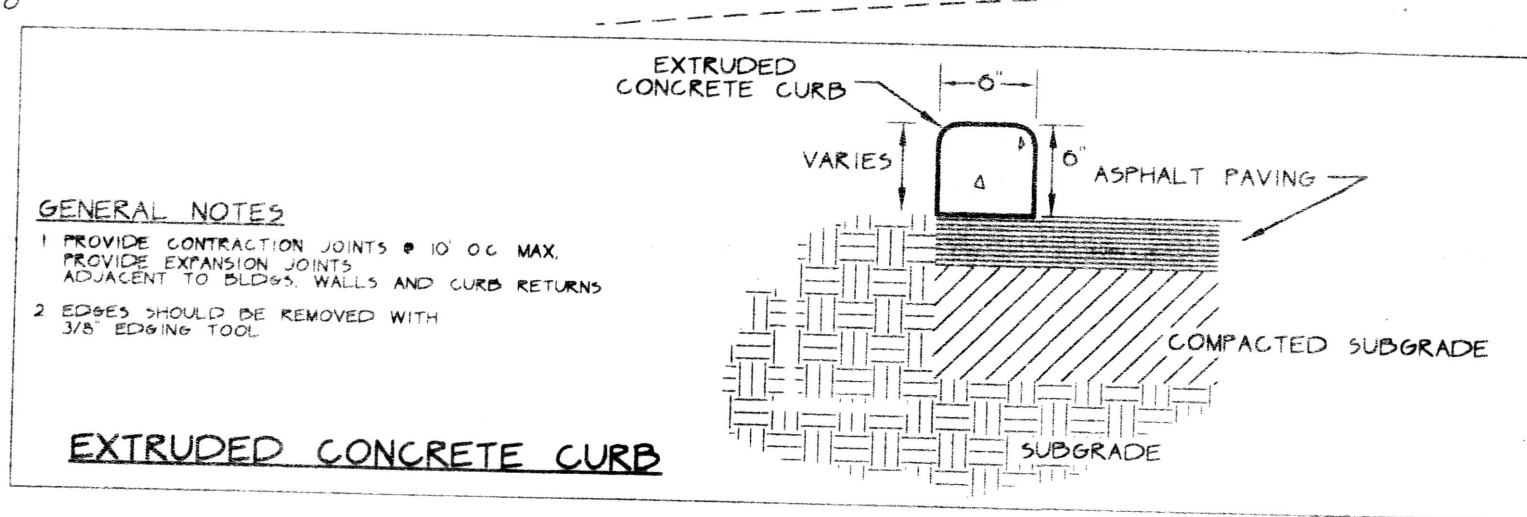
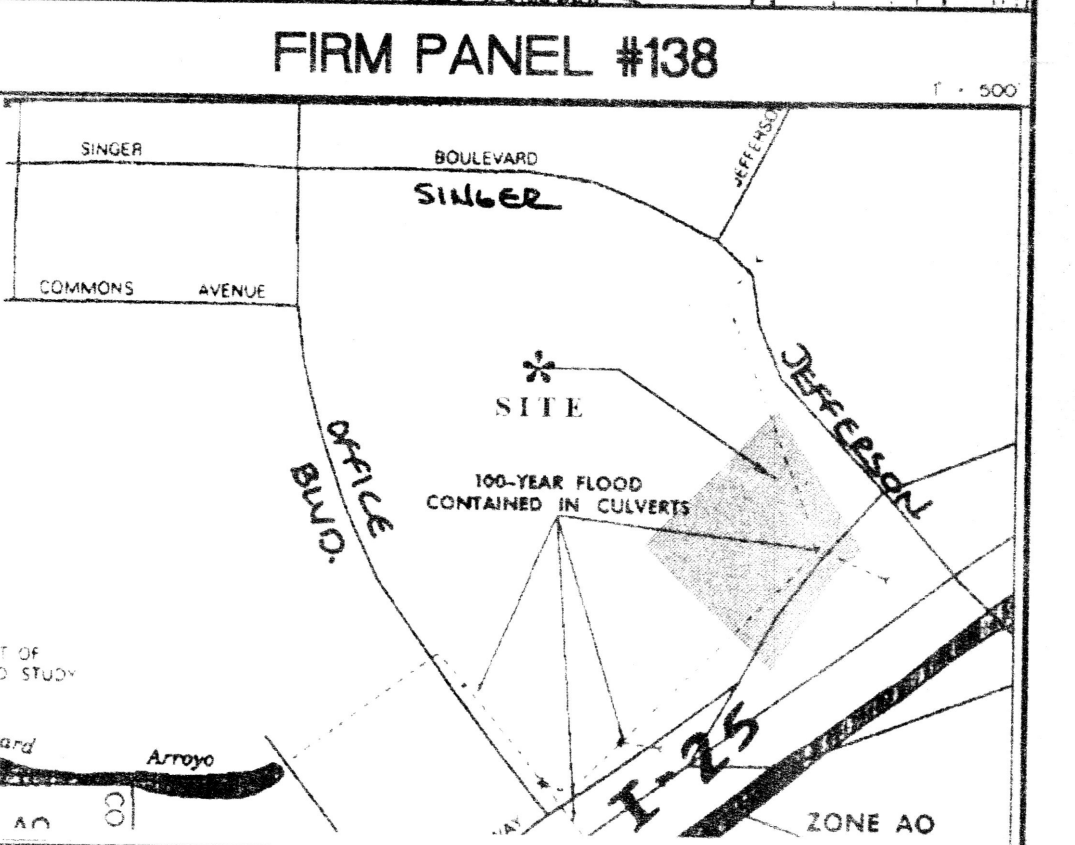
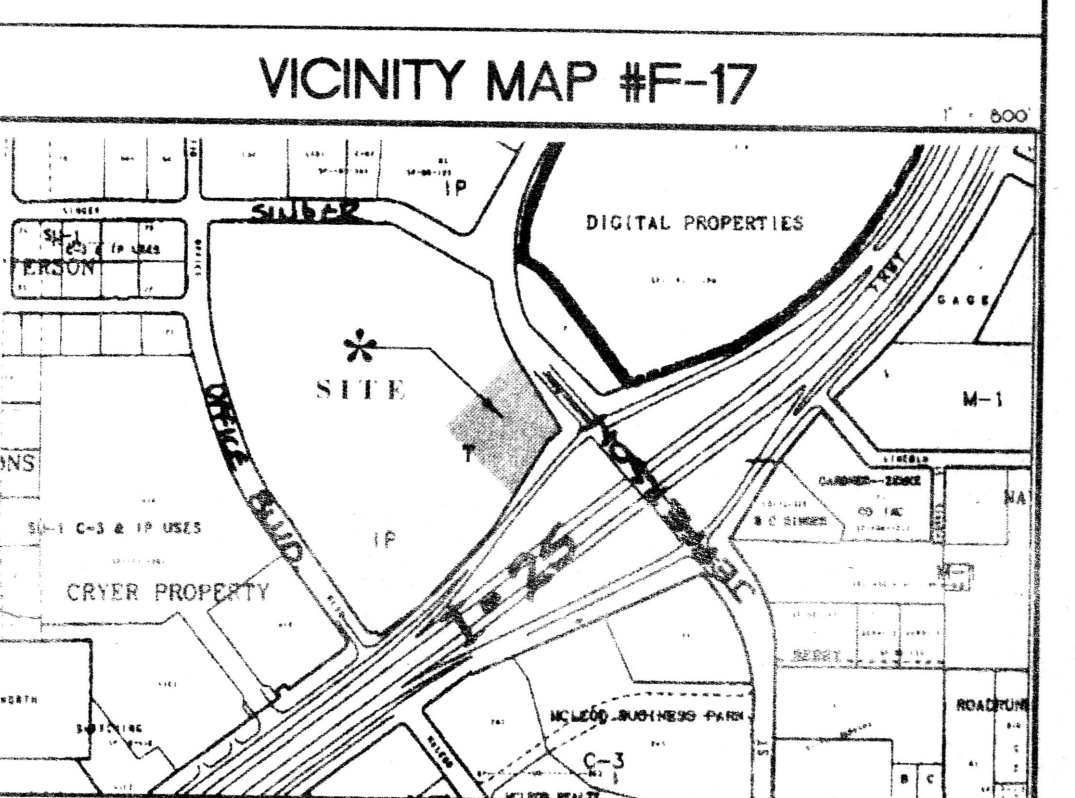
THE PRESENT SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN THE JEFFERSON COMMONS II SUBDIVISION AT THE CORNER OF JEFFERSON BLVD AND I-25 FRONTAGE ROAD. THE SITE SLOPES AT APPX 2.2% TO THE SOUTHWEST. THE PROPERTY TO THE SOUTH IS UNDEVELOPED COMMERCIAL AND TO THE WEST IS DEVELOPED COMMERCIAL (UNDER DEVELOPMENT).

THE INTENT OF THIS PLAN IS TO SHOW:
 1. GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
 2. THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
 3. THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
 4. THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

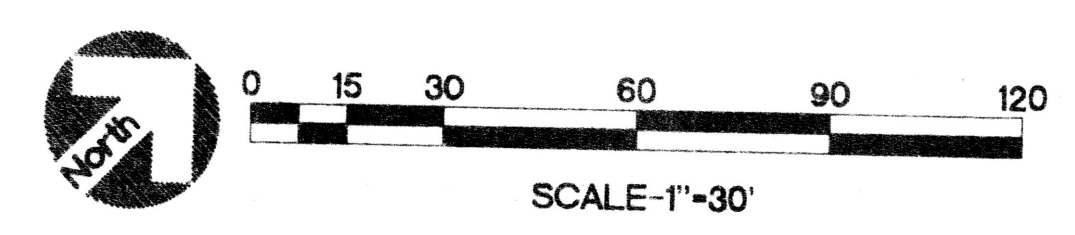
DRAINAGE PLAN CONCEPT
 THE DRAINAGE CONCEPT ESTABLISHED FOR LOT 1 IS COVERED IN THE APPROVED DRAINAGE MASTER PLAN FOR JEFFERSON COMMONS II. THIS MASTER PLAN BY C.L. WEISS ENGINEERING, INC. WAS APPROVED BY THE C.O.A. HYDROLOGY DEPT. ON NOVEMBER 24TH, 1977 (F10-D03).

REFERENCING THE MASTER PLAN IMP. FLOWS FROM LOT 1 ARE TO BE ROUTED FOR COLLECTION INTO THE EXISTING MASTER STORM SEWER (SS) SYSTEM RUNNING ALONG THE NORTHWEST PROPERTY LINE.

OFF-SITE FLOWS NO OFF-SITE BASINS ENTER THIS PROPERTY.



DRAINAGE / GRADING PLAN LOT 1



APPROVED FOR ROUGH GRADING PERMIT

COA HYDROLOGY DEPT _____ DATE _____

C.L. WEISS ENGINEERING, INC.

SANDIA PARK OFFICE
 POST OFFICE BOX 47
 SANDIA PARK, NM 87047
 (505) 261-1800

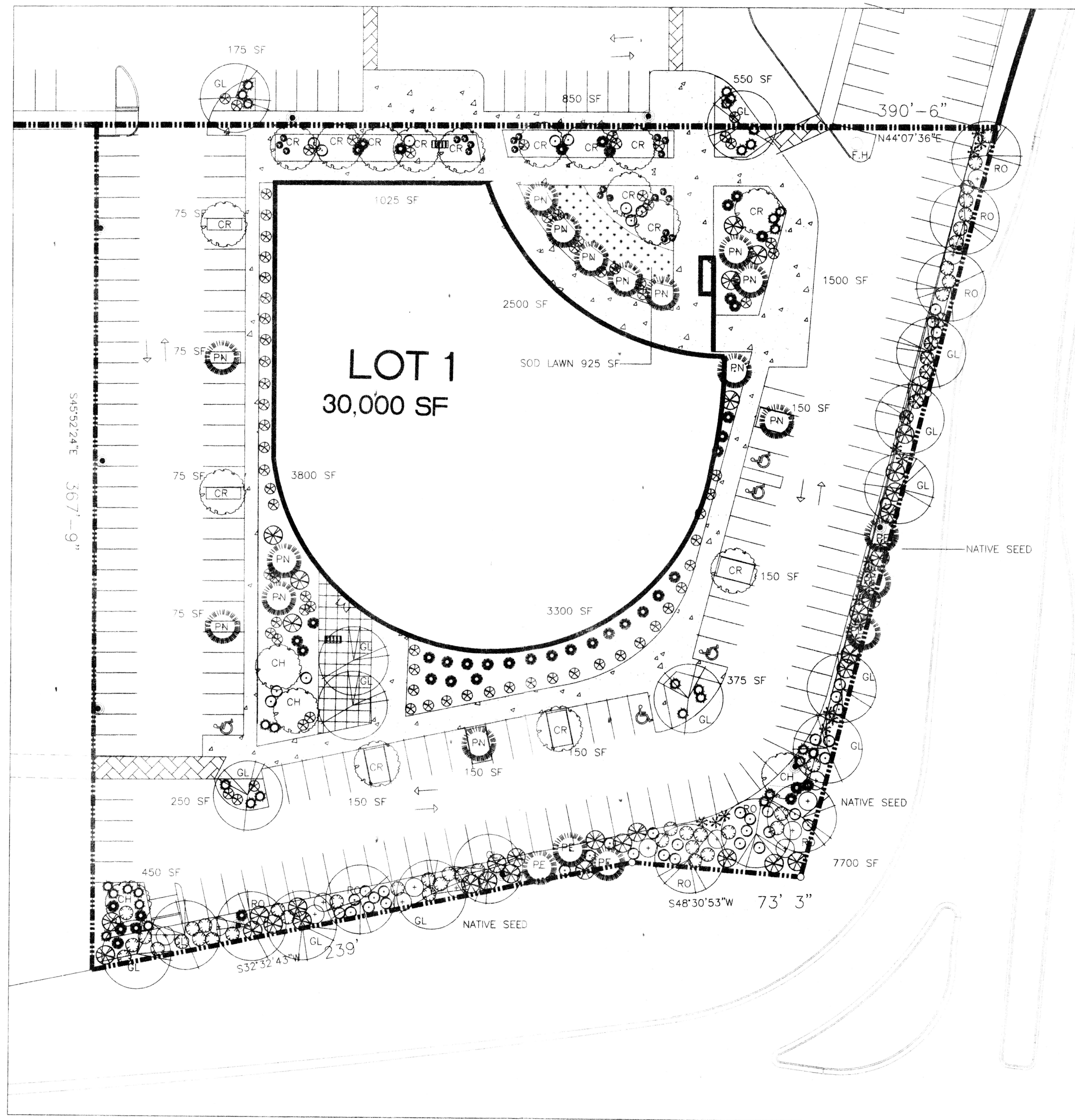
ALVARADO OFFICE
 100 ALVARADO DR NE
 ALBUQUERQUE, NM 87101
 (505) 266-3444

CHRISTOPHER L. WEISS
 NEW MEXICO
 6653
 27103
 REGISTERED PROFESSIONAL ENGINEER

JEFFERSON COMMONS II
 LOT 1
 Chant Associates

Scale: 1" = 20'
 Drawn By: BJB
 Checked By: CLW
 Job Number: _____
 Date: FEB 2003

Drainage and Grading Plan
 C-1
 SH.1 OF 1



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
RO	8	ROBINIA	PURPLE ROBE LOCUST 2" CAL	M	M
GL	16	GLEDITSIA	HONEY LOCUST 2" CAL	M	M
CR	16	CRATAEGUS	HAWTHORN 15 GAL	M	M
CH	4	CHILOPSIS	DESERT WILLOW 15 GAL	L	L
PN	12	PINUS NIGRA	AUSTRIAN PINE 4'-6'	M	M
PE	8	PINUS EDULIS	PINON PINE 4'-6'	M	M
⊙	40	CERCOCARPUS	C.L. MTN. MAHOGANY 1 GAL MIN.	L	L
⊗	39	JUNIPERUS SABINA	BUFFALO JUNIPER	L	L
⊗	77	RAPHIOLEPIS INDICA	INDIA HAWTHORN	M	M
⊗	1	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	L	L
⊗	38	BUDDLEIA DAVIDII	BUTTERFLY BUSH	M	M
⊗	2	PEROVSKIA	RUSSIAN SAGE	M	M
⊗	30	CARYOPTERIS	BLUE MIST	M	M
⊗	19	ROSMARINUS OFFICINALIS	ROSEMARY	L	L
⊗	55	MISCANTHUS SINENSIS	MAIDEN GRASS	M	M
*	30	HESPERALOE PARVIFLORA	RED YUCCA	L	L
●	22	LAVANDULA	LAVENDER	M	M

SITE DATA

GROSS LOT AREA	+/- 117,950 SF
LESS BUILDING	30,000 SF
NET LOT AREA	87,950 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	13,192 SF
PROPOSED LANDSCAPE ON SITE LANDSCAPE	23,525 SF 26%
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	925 SF
PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA	4%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

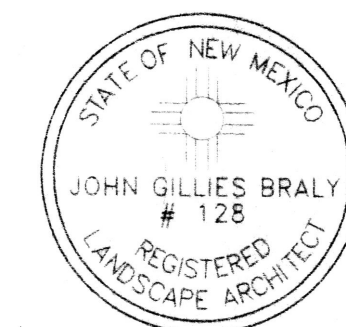
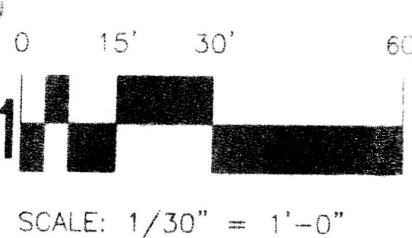
NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP
 IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
 OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
 AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
 AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN
 GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
 OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100'
 FROM A TREE.
 NATIVE SEED MIX TO INCLUDE: BUFFALO GRASS, BLUE GRAMA,
 SAND DROPSEED, DESERT MARI GOLD AND CALIFORNIA POPPY
 SEEDED AT 4 LB. PER 1000 SF



LANDSCAPE PLAN - LOT 1

SCALE: 1"=30'



HeadsUp
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9615
 LICENSE 18899
 www.headsuplandscape.com

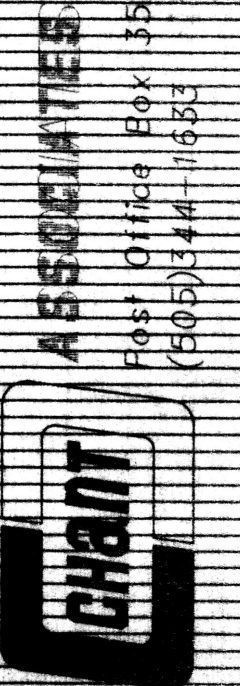
JEFFERSON COMMONS PHASE 2

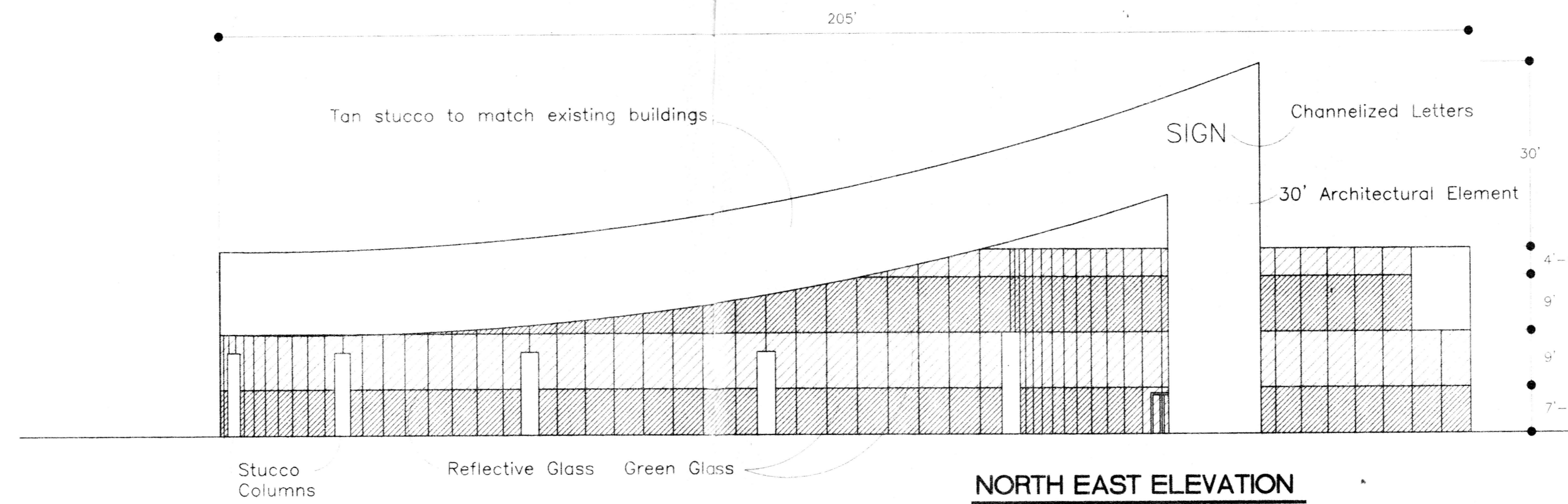
LOT 1

A4

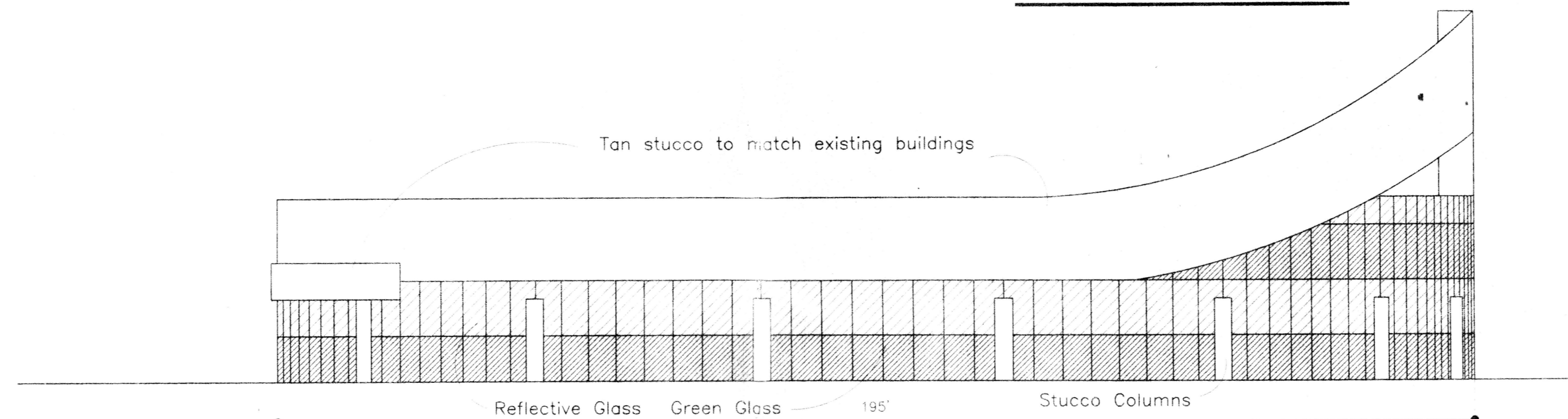
4 of 6

10/16/01

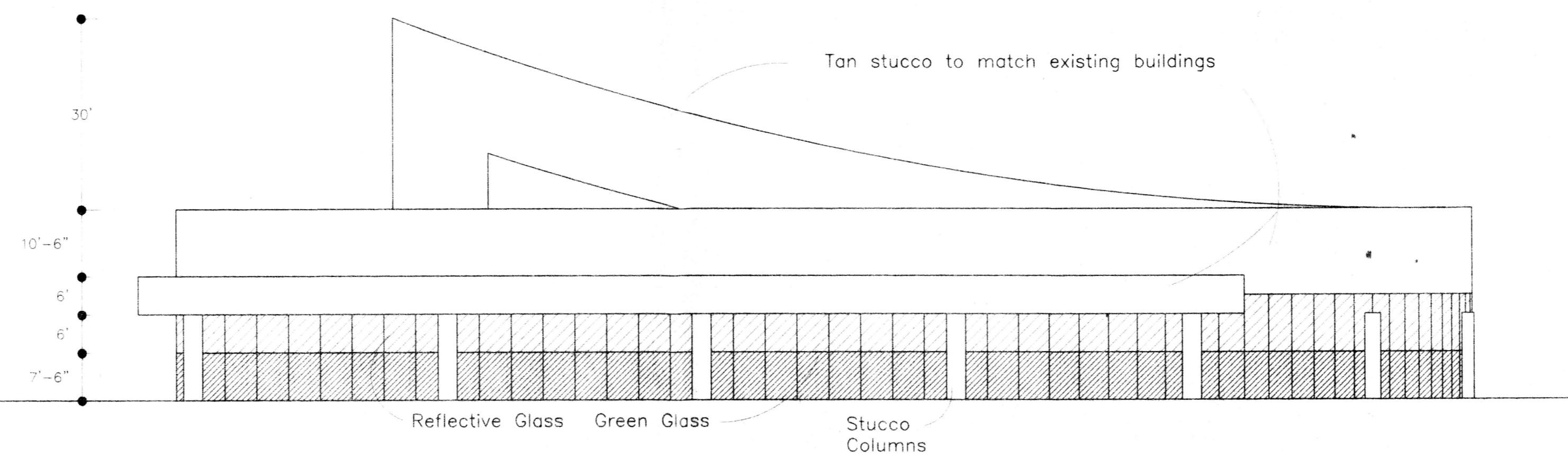




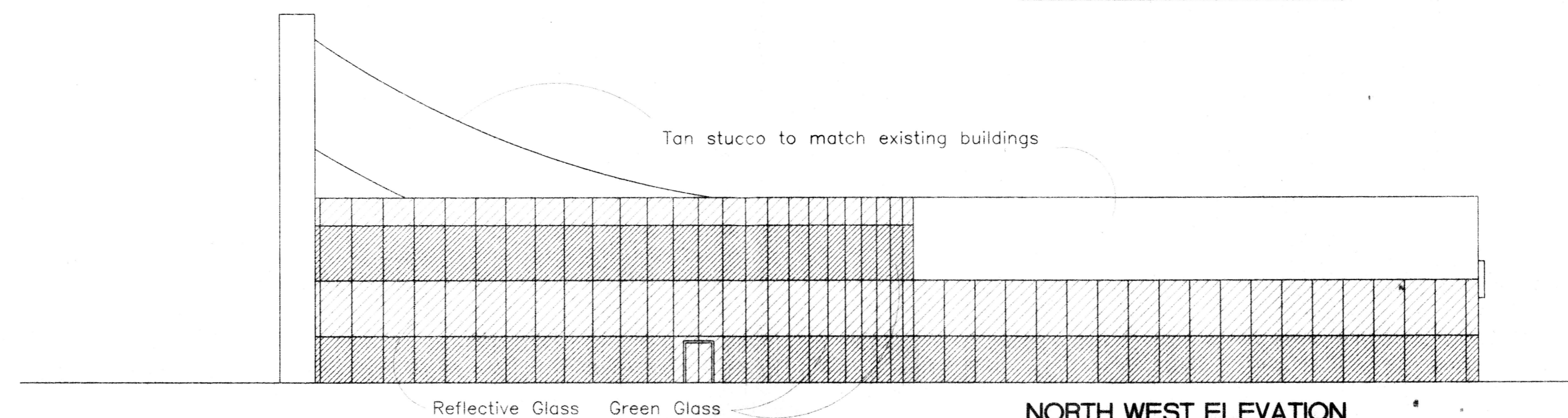
NORTH EAST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



NORTH WEST ELEVATION

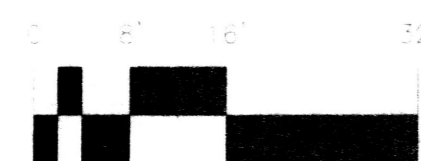
1) NOTE: CHANNELIZED SIGN LETTERS COLORS AND SIZE TO BE CONSISTENT WITH EXISTING SIGNAGE ON LOTS 5 + 6.
 2' MAXIMUM LETTER HEIGHT FOR LETTERS.

2) NOTE: LIGHTING FOR SIGNS SHALL BE INTERNALLY LIGHTED WITH INDIVIDUAL CHANNELLED LETTERING OR IF EXTERNALLY LIGHTED, THEY SHALL BE DOWN LIGHTED

3) NOTE: ALL ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW FROM PROPERTY LINE. SCREENS WILL MATCH THE PROMINENT BUILDING COLOR. ANY ANTENNA SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

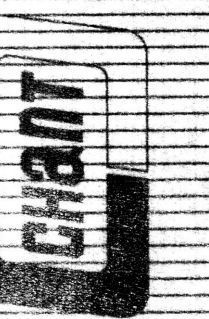
LOT 1 ELEVATIONS

SCALE: 1/16"=1'



SCALE: 1/16" = 1'-0"

ASSOCIATES
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JEFFERSON COMMONS PHASE 2

LOT 1

