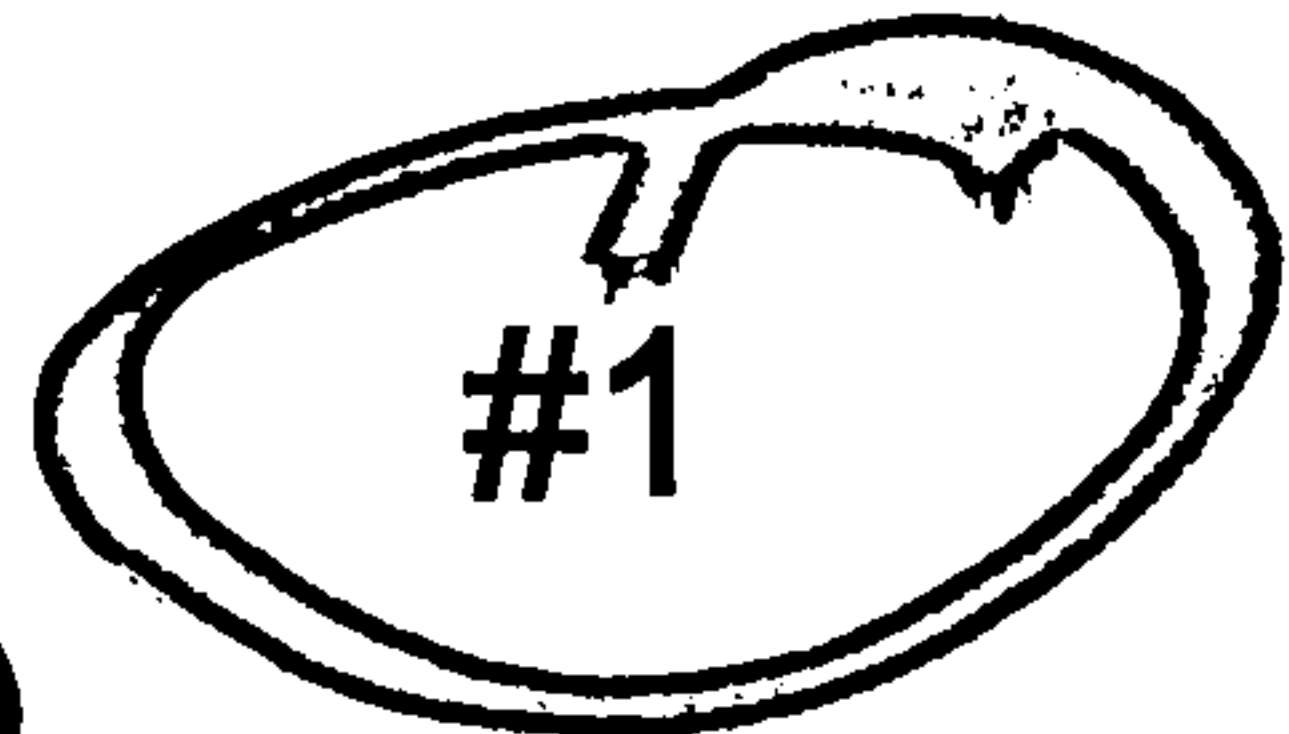




all  
Planned  
6/24/06



**DRB CASE ACTION LOG (SITE PLAN SUBD.)**

REVISED 9/28/05

COMP 12/13/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01709 (SPS)  
Project Name: QUARTERS PLAZA OFFICE BLDG.  
Agent: Martin Grummer

Project # 1001623  
Phone No.: \_\_\_\_\_

Project Number

1001623

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): 3 Copies  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



#2

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

COMP 12/13/05 Y/S

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01710 (SBP) Project # 1001623
Project Name: QUARTERS PLAZA OFFICE BLDG.
Agent: Martin Grummer Phone No.:

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: [checkbox] [checkbox] [checkbox] [checkbox] [checkbox]

UTILITIES: [checkbox] [checkbox] [checkbox] [checkbox]

CITY ENGINEER / AMAFCA: [checkbox] [checkbox] [checkbox]

PARKS / CIP: [checkbox] [checkbox] [checkbox]

PLANNING (Last to sign): 3 Copies [checkbox] [checkbox] [checkbox]

- Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE:
-Tax printout from the County Assessor.
3 copies of the approved site plan. Include all pages.
County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
Property Management's signature must be obtained prior to Planning Department's signature.
AGIS DXF File approval required.
Copy of recorded plat for Planning.

Project Number

1001623



#3

# DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

comp K5 12/12/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>05DRB-01708 (P&amp;F)</u>	Project # <u>1001623</u>
Project Name: <u>QUARTERS PLAZA OFFICE BLDG</u>	
Agent: <u>Martin Grummer</u>	Phone No.: _____

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**

~~Copy of recorded plat for Planning~~

OKay

Project Number

1001623



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01709 (SPS)  
Project Name: QUARTERS PLAZA OFFICE BLDG.  
Agent: Martin Grummer

Project # 1001623  
Phone No.: \_\_\_\_\_

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): 3 Copies  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk) RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001623



#2

# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01710 (SBP)

Project # 1001623

Project Name: **QUARTERS PLAZA OFFICE BLDG.**

Agent: Martin Grummer

Phone No.:

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PLANNING (Last to sign): 3 Copies
- \_\_\_\_\_
- \_\_\_\_\_

#### Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1001623



#3

# DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01708 (P&F)  
Project Name: QUARTERS PLAZA OFFICE BLDG  
Agent: Martin Grummer

Project # 1001623  
Phone No.: \_\_\_\_\_

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/30/05 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

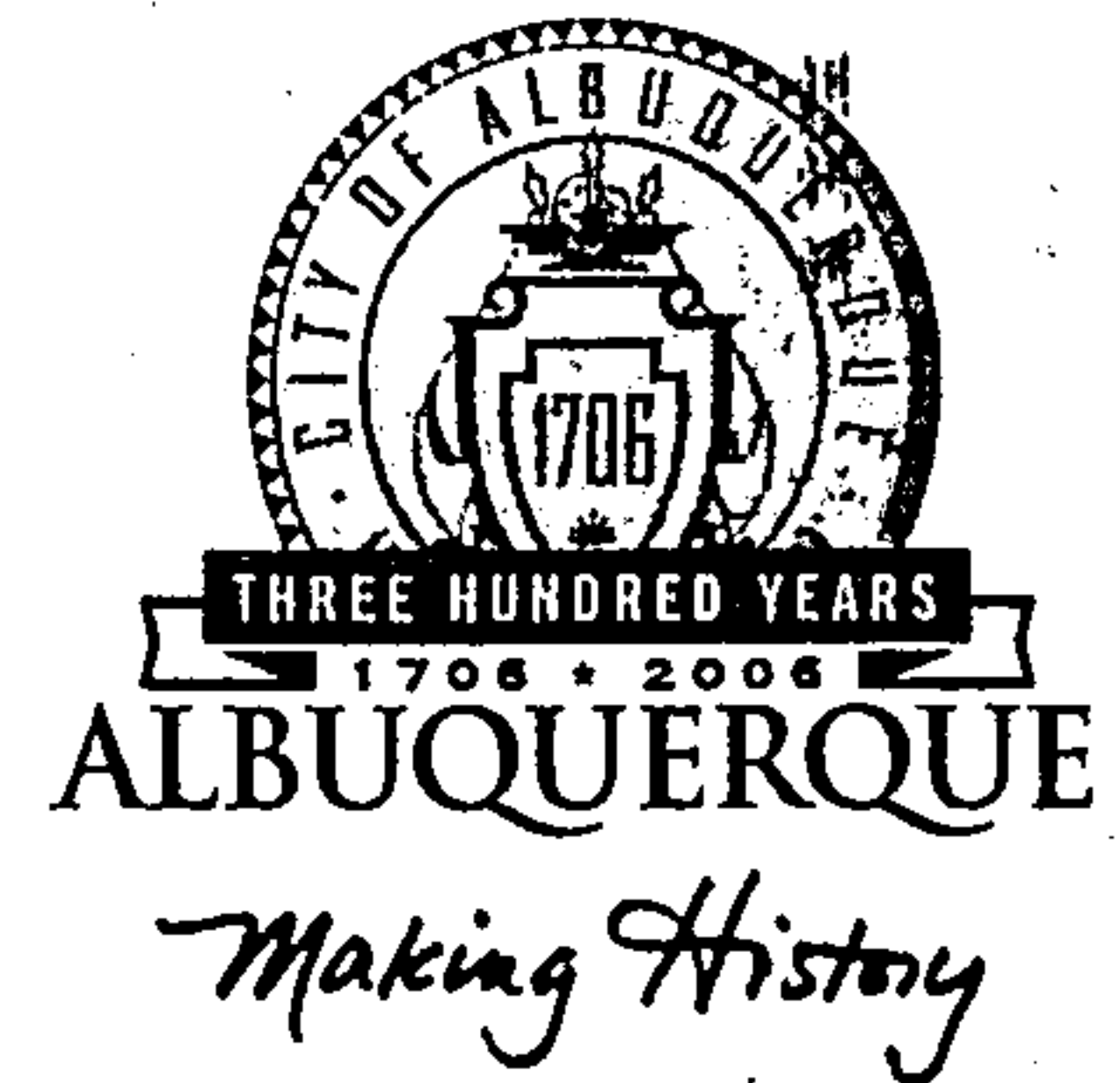
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.

~~Copy of recorded plat for Planning~~

*Key*

Project Number 1001623

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1001623**

**AGENDA ITEM NO: 10**

**SUBJECT:**

Site Plan for Subd  
Site Plan for BP  
Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

**ENGINEERING COMMENTS:**

No adverse comments on Site Plans.  
Minor comments on plat.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

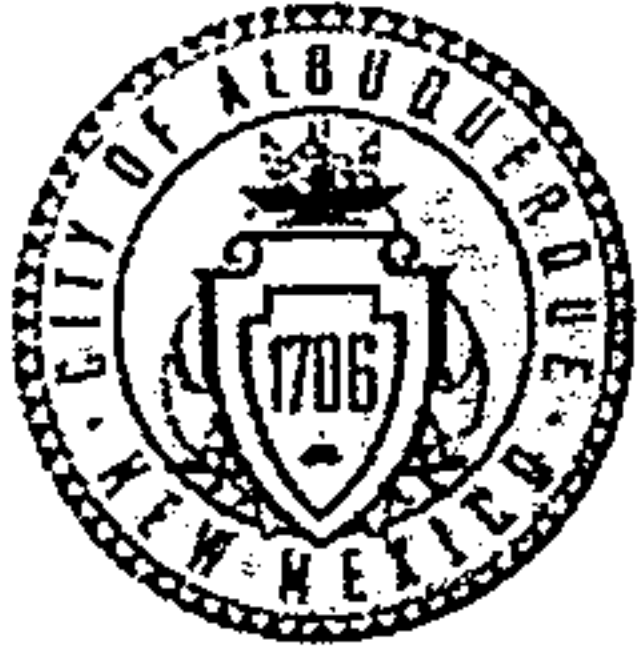
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 30, 2005



11  
11  
11

**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

November 30, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:55 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000934**  
05DRB-01696 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for LONGFORD @ 106<sup>TH</sup> STREET LP request(s) the above action(s) for all or a portion of Tract(s) B, SUNRISE RANCH WEST, UNIT 1 (to be known as **SUNRISE RANCH WEST, UNIT 2**) zoned RD, located on SUNSET GARDEN AVE SW, between 106<sup>TH</sup> ST SW and 98<sup>TH</sup> ST SW containing approximately 9 acre(s). (L-8) **TWO-YEAR SIA WAS APPROVED.**



2. **Project # 1004361**  
05DRB-01698 Major-Preliminary Plat  
Approval

D DUDLEY ARCHITECT agent(s) for CHESHIRE ENT INC request(s) the above action(s) for all or a portion of Block(s) 1, Lot(s) 2 - 5, MONTGOMERY HEIGHTS, (to be known as **TULANE TOWNHOUSES**) zoned R-3, located on TULANE NE, between COMANCHE NE and DELMAR NE containing approximately 1 acre(s). [REF: 05DRB01247] (G-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/30/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/4/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: ZHE VARIANCE APPROVAL FOR LOTS NOT FRONTING A STREET IS REQUIRED. PEDESTRIAN ACCESS EASEMENTS ARE REQUIRED. P-1 LOT DESIGNATION IS REQUIRED.**

3. **Project # 1002556**  
05DRB-01636 Major-Vacation of Pub  
Right-of-Way

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) D, **PARADISE HEIGHTS, BLACK ARROYO DAM**, zoned C-2 community commercial zone, located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 8 acre(s). [REF: Z-98-19, Z-97-88] [*Deferred from 11/16/05*] (A-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004341**  
05DRB-01634 Major-Preliminary Plat  
Approval  
05DRB-01635 Minor-Temp Defer  
SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **MESA DEL RIO SUBDIVISION**) zoned R-2

10. ~~Project # 1001623~~  
05DRB-01709\_Minor-SiteDev Plan  
Subd/EPC  
05DRB-01710 Minor-SiteDev Plan  
BldPermit/EPC  
05DRB-01708 Minor-Prelim&Final Plat  
Approval

MARTIN GRUMMER agent(s) for CONSTANTINE NELLOS request(s) the above action(s) for all or a portion of Tract(s) G-2A, SEVEN BAR RANCH, (to be known as **QUARTERS PLAZA OFFICE BUILDING**) zoned SU-1, located on ELLISON DR NW, between STATE HIGHWAY 528 NW and COORS BLVD NW containing approximately 7 acre(s). [REF: 01EPC-01743, 02DRB-00353] [Russell Brito for Debbie Stover, EPC Case Planner] [Deferred from 11/16/05] (A-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1000551**  
05DRB-01544 Minor-SiteDev Plan  
BldPermit/EPC

DAC ENTERPRISE INC agent(s) for MOHAMED KASSAM request(s) the above action(s) for all or a portion of Tract(s) A2A & A2B, PARK SQUARE ADDITION, (to be known as **UPTOWN HOTEL**) zoned SU-3, located on AMERICAS PARKWAY NE, between I-40 and INDIAN SCHOOL RD NE containing approximately 4 acre(s). [REF: Z-95-70, DRB-98-176, 04EPC-00690] [Carmen Marrone, EPC Case Planner] [Deferred from 10/12/05 & 10/26/05 & 11/9/05 & 11/16/05] (J-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/30/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND UTILITIES DEVELOPMENT FOR CORRECTIONS ON THE UTILITY PLAN.**

8. **Project # 1004462**  
05DRB-01525 Major-Vacation of  
Public Easements  
05DRB-01524 Major-Preliminary Plat  
Approval  
05DRB-01526 Minor-Sidewalk Waiver  
05DRB-01527 Minor-Temp Defer  
SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [*Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/7/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

9. **Project # 1000766**  
05DRB-01755 Minor-SiteDev Plan  
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 3B, TOWN OF ATRISCO GRANT (to be known as **AVALON OFFICE BUILDING**) zoned SU-1 FOR C-1 OR 0-1, located on UNSER BLVD SW, between TOWER SW and JAVELINA SW containing approximately 5 acre(s). [REF: 05EPC01387] [**Stephanie Shumsky, EPC Case Planner**] (L-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/30/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT, NEED PLAT TO SHOW 15-FOOT RIGHT-OF-WAY EASEMENT AND TO CHECK IF UNSER IS A 156-FOOT RIGHT-OF-WAY.**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

NOVEMBER 16, 2005

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

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A. Call to Order: 9:00 A.M.

Adjourned: 12:20 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002556**  
05DRB-01636 Major-Vacation of Pub  
Right-of-Way

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) D, **PARADISE HEIGHTS, BLACK ARROYO DAM**, zoned C-2 community commercial zone, located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 8 acre(s). [REF: Z-98-19, Z-97-88] [Deferred from 11/16/05] (A-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**

2. **Project # 1004341**  
05DRB-01634 Major-Preliminary Plat  
Approval  
05DRB-01635 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **MESA DEL RIO SUBDIVISION**) zoned R-2 residential zone, located on 76<sup>TH</sup> STREET NW, between FORTUNA RD NW and GLEN RIO RD NW containing approximately 6 acre(s). *[Deferred from 11/16/05]* (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**

3. **Project # 1004508**  
05DRB-01630 Major-Vacation of Pub  
Right-of-Way

RICHARD MABRY agent(s) for FOUR HILLS PRIVATE COMMUNITY request(s) the above action(s) for Parcel(s) 1, Unit(s) 1-5 and Parcel(s) 2, Unit(s) 1-5, **FOUR HILLS MOBILE HOME PARK**, zoned SU-1 special use zone, located on SINGING ARROW SE, between JUAN TABO SE and WESTERN SKIES SE. (L-22) **VACATION DENIED.**

4. **Project # 1002254**  
05DRB-01642 Major-SiteDev Plan Subd  
05DRB-01643 Major-SiteDev Plan  
BldPermit

JEFF MORTENSEN & ASSOCIATES INC agent(s) for PALMER INVESTMENTS & CORTLAND WALKER CONSTRUCTION INC., request(s) the above action(s) for all or a portion of Tract(s) 2A, BUENA VISTA ESTATES, UNIT 1 (to be known as **BEEHIVE VILLAGE**) zoned SU-2 IP, located on SAN PEDRO DR NE, between WILSHIRE AVE NE and CORONA AVE NE containing approximately 3 acre(s). [REF: 02DRB-01502, 02DRB-01503] *[Deferred from 11/16/05]* (C-18) **SITE PLAN FOR SUBDIVISION WAS WITHDRAWN AT THE AGENT'S REQUEST. THE SITE PLAN FOR BUILDING PERMIT WAS DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

7. **Project # 1001623**  
05DRB-01709 Minor-SiteDev Plan  
Subd/EPC  
05DRB-01710 Minor-SiteDev Plan  
BldPermit/EPC  
05DRB-01708 Minor-Prelim&Final Plat  
Approval

MARTIN GRUMMER agent(s) for CONSTANTINE NELLOS request(s) the above action(s) for all or a portion of Tract(s) G-2A, SEVEN BAR RANCH, (to be known as **QUARTERS PLAZA OFFICE BUILDING**) zoned SU-1, located on ELLISON DR NW, between STATE HIGHWAY 528 NW and COORS BLVD NW containing approximately 7 acre(s). [REF: 01EPC-01743, 02DRB-00353] **[Russell Brito for Debbie Stover, EPC Case Planner]** *[Deferred from 11/16/05]* (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 11/30/05.**
  
8. **Project # 1002513**  
05DRB-01715 Minor-Amnd SiteDev Plan  
BldPermit

DEKKER/ PERICH/ SABATINI agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **TRIANGLE REALTY CO**, zoned C-3, located on SAN MATEO BLVD NE, between OSUNA NE and I-25 NE containing approximately 9 acre(s). [REF: V-86-148, 03EPC00318, 03DRB00739, 05EPC01390] **[Catalina Lehner, EPC Case Planner]** (E-17) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**
  
9. **Project # 1004365**  
05DRB-01717 Minor-SiteDev Plan  
BldPermit/EPC

TIERRA WEST LLC agent(s) for KEVIN DAVIS request(s) the above action(s) for all or a portion of Tract(s) 6A, **DAIRY QUEEN @ BOSQUE PLAZA**, zoned C-1 SC, located on BOSQUE PLAZA LANE NW, between COORS BLVD NW and LA ORILLA NW containing approximately 1 acre(s). [REF: 02DRB-01925, 05DRB-01042] **[Catalina Lehner, EPC Case Planner]** (E-12) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

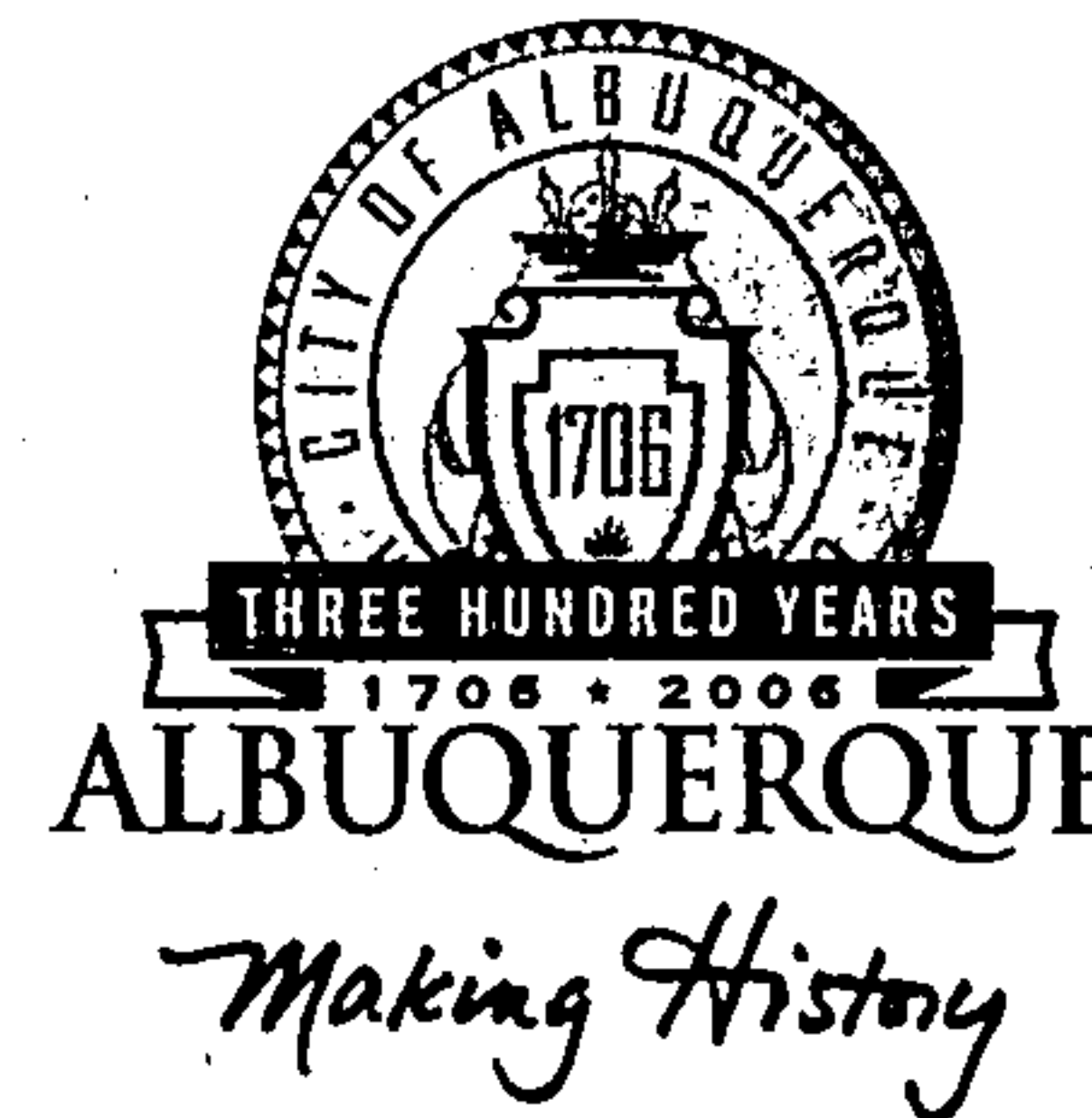
5. **Project # 1002196**  
05DRB-01646 Major-Vacation of Pub  
Right-of-Way  
05DRB-01647 Minor-Prelim&Final Plat  
Approval

THOMPSON ENGINEERING CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 42-P1, **LOS ANTEPASADOS**, zoned SU-1 MH, located on SUNSET GARDENS SW, between CORREGIDOR ST SW and SANTA CLARA CEMETERY containing approximately 1 acre(s). [REF: 04DRB00873, 04DRB00875, 04DRB00877, 04DRB-01000, 05DRB-00610] (K-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO CORRECT THE DRAINAGE EASEMENT AND PLANNING FOR 15-DAY APPEAL PERIOD AND THE AGIS DXF FILE.**

6. **Project # 1004462**  
05DRB-01525 Major-Vacation of Public  
Easements  
05DRB-01524 Major-Preliminary Plat  
Approval  
05DRB-01526 Minor-Sidewalk Waiver  
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [*Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1001623**

**AGENDA ITEM NO: 7**

**SUBJECT:**

Site Plan for Subd  
Site Plan for BP  
Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

P.O. Box 1293

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

Albuquerque

**ENGINEERING COMMENTS:**

Need private drainage easements for ponds and maintenance agreements.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** November 16, 2005



# MEMO

Date: 15 November 2005  
To: Sheran Matson, DRB Chair  
From: Russell Brito, Senior Planner  
RE: Project # 1001623: 05DRB-01709 / 01710 / 01708

#7

RS

The submitted site development plan for building permit meets and addresses all of the EPC conditions of approval and complies with the design of the larger development.

Please ensure that all City Engineer and Transportation requirements are met by the submittal.

**1623**

### DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:


Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:

  
\_\_\_\_\_  
Approved

11-8-2005  
\_\_\_\_\_  
Date

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\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**

Copied fc **1623** to agiscov on **11/8/2005** Contact person notified on **11/8/2005**



# DRB CASE TRACKING LOG

REVISED 5/18/2000

This sheet must accompany your plat or site plan to obtain delegated signatures. Return with site plan/plat once comments are addressed.

4/25/02  
Complete  
RECEIVED  
MAR 29 2002  
THOMSEN NELLOS ENGINEERING, INC.

02500 -  
Application No.: 00353 (SBP)  
Project Name: **Seven Bar Ranch**  
Agent: Thomsen Nellos Engineering  
Your request for (SDP for SUB), (SDP for BP) (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/20/02 by the DRB with delegation of signature(s) to the following Departments.

EPC 01128-01743  
Project # 1001623  
Fee:  
Phone No. # 888-5808

## OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: See comments dated 3-20-02
- UTILITIES: \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- PLANNING (Last to sign): EPC (D. Stover)

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

## CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

- TRANSPORTATION  
Dates: Routed: 3-27-02 Disapproved: \_\_\_\_\_ Approved: 3-27-02
- UTILITIES  
Dates: Routed: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Approved: \_\_\_\_\_
- CITY ENGINEER / AMAFCA  
Dates: Routed: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Approved: \_\_\_\_\_
- PARKS / CIP  
Dates: Routed: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Approved: \_\_\_\_\_
- PLANNING (Last to sign)  
Dates: Routed: 4-3-02 Disapproved: \_\_\_\_\_ Approved: 4/4/02

## PLANS RELEASED TO APPLICANT OR AGENT

Date Released: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Signed: \_\_\_\_\_

Date Returned: 1 APR 02  
Firm: MARTIN FM GROMMER ARCH.

Date Released: 175 APR 02  
Print Name: MARTIN FM GROMMER  
Signed: [Signature]

Date Returned: \_\_\_\_\_  
Firm: \_\_\_\_\_

4/5/02  
Called agent  
for P.U.  
Agent

1001623



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1001623**

**AGENDA ITEM NO: 9**

**SUBJECT:**

- |                         |                              |                              |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd      | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | <b>(06)</b> Site Plan for BP | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation                | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat              | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List     | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An approved conceptual grading and drainage plan dated 3-12-02 is on file for site plan sign-off by the City Engineer / AMAFCA.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) BY: **(UD)** **(CE)** (TRANS) **(PKS)** (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) **(TRANS)** (PKS) **(PLNG)**

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** March 20, 2002

CITY OF ALBUQUERQUE

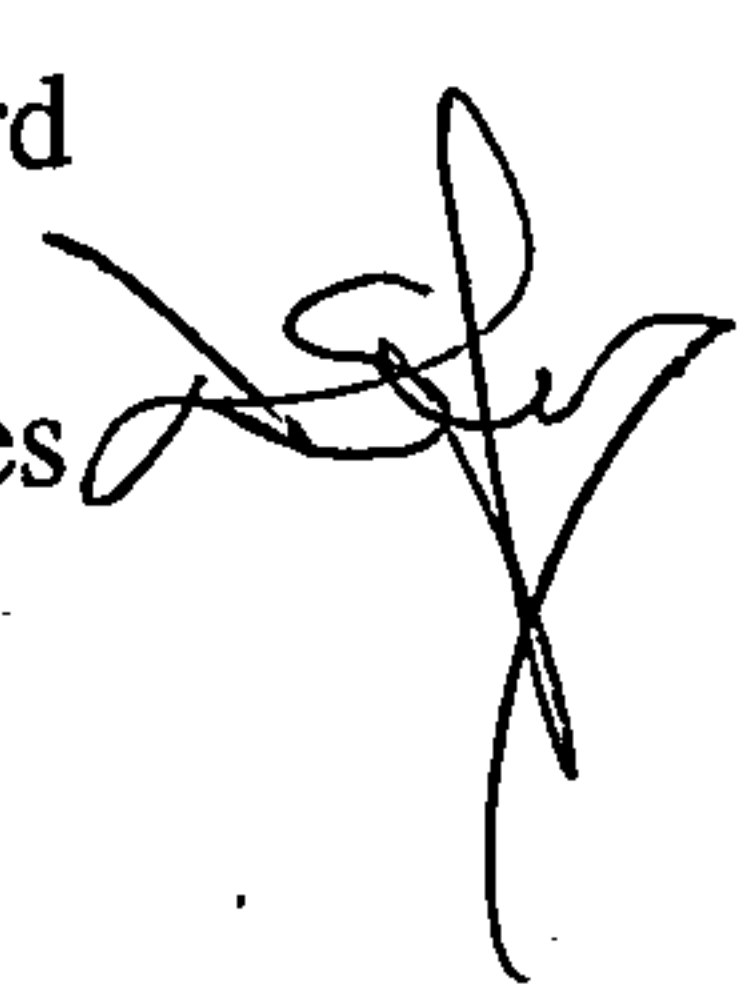
#9

Planning Department

Development Services Division

**TO:** Janet Stephens, Chair, Development Review Board

**FROM:** Deborah L. Stover, Planner, Development Services



**DATE:** 3-19-02

**SUBJECT: EPC CONDITIONS FOR PROJECT 1001623**

The purpose of this memo is to address the itemized letter from Nick Nellos for the above referenced case:

**Site Development Plan for Building Permit**

All conditions of approval have been met.

Staff defers to Transportation Development Services regarding conditions related to traffic and transportation issues.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT

### Standard Comment Sheet

DRB-1001623      Item No. 9      Zone Atlas A-14

DATE ON AGENDA 3-20-02

INFRASTRUCTURE REQUIRED (X) YES ( ) NO

CROSS REFERENCE: \_\_\_\_\_

TYPE OF APPROVAL REQUESTED:

( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION

(X) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
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- Infrastructure list will be needed for the offsite improvements.
- Is Public Right-of-Way dedication on Cottonwood Park needed?
- Provide 24" white bar where stop sign is proposed.
- You have 6 feet of existing sidewalk at Ellison Drive entrance?
- Provide all keyed notes on sheet C1.1.
- Strip all pedestrian crossings with 4" solid white stripe.
- A minimum radius of 15 feet is needed on all aisle islands.
- Label all wheelchair ramps either unidirectional or multidirectional ramp.
- Make sure all radii's are labeled and dimensioned.
- All delivery truck maneuvering must be accomplished within the site.
- In some areas, it is not apparent what exists versus what is proposed.
- Striping/delineation is needed at the Ellison Drive entrance.
- Refuse approval is needed for the proposed enclosure.
- It is not apparent whether wheelchair ramps are needed for the ADA easting parking area.
- For sign R7-8a-18, isn't blue on white sufficient? Instead of G/W-RB? And R7-8-12 should just be G-bl/W, not RB.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

March 20, 2002

9:00 a.m.

**MEMBERS:**

Janet Stephens, DRB Chair  
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Adrienne Candelaria, Parks & Recreation

\*\*\*\*\*  
**NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.**

**NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.**

**NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.**

- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. Announcements

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000195**  
02DRB-00255 Major-Two Year SIA

MARK GOODWIN & ASSOC agent(s) for N Z CORP request the above action(s) for Tract A-M, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 / PID, located on BROADWAY BLVD NE, between MENAUL NE and CLAREMONT NE containing approximately 15 acre(s). [REF: DRB-98-197, Z-98-116] (H-16) A 6-MONTH EXTENSION OF THE SIA WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 9/20/02.

2. **Project # 1001206**  
02DRB-00247 Major-Vacation of  
Public Easements  
02DRB-00249 Major-Bulk Land  
Variance  
02DRB-00246 Minor-Prelim&Final Plat  
Approval  
02DRB-00248 Minor-Vacation of  
Private Easements

SURV-TEK, INC. agent(s) for BLACK  
DEVELOPMENT & AMAFCA request the above  
action(s) for Tract 2, **BLACK RANCH**, zoned SU- for  
C-1 permissive, located on the SOUTH SIDE OF  
COORS BLVD NW, between COORS BLVD. NW and  
PASEO DEL NORTE NW containing approximately  
14 acre(s). [REF: CZ-88-12] (C-13) **DEFERRED AT  
THE AGENT'S REQUEST TO 4/3/02.**

3. **Project # 1001747**  
02DRB-00251 Major-Street Name  
Change

PROPERTY OWNER agent(s) FRANK KOVACICH  
requests the above action(s) for **MONTGOMERY  
BLVD NE to MONTGOMERY TRAIL NE** from  
LARCHMONT AVENUE NE, East to SUNSET  
CANYON AVENUE NE. [REF: SN-68-4] (G-23)  
**COMMENTS WILL BE FORWARDED TO THE  
ENVIRONMENTAL PLANNING COMMISSION.**

4. **Project # 1001349**  
01DRB-01809 Major-SiteDev Plan  
Subd  
01DRB-01810 Major-Preliminary Plat  
Approval  
01DRB-01811 Minor-Sidewalk Waiver  
01DRB-01812 Minor-Temp Defer  
SDWK

MARK GOODWIN & ASSOC agent(s) for ALPHA  
EQUITIES LLC request the above action(s) for Lot  
7A,8 (to be known as Calle Tranquilo Subd),  
**ALVARADO GARDENS**, zoned RA-2 residential and  
agricultural zone, located on CAMPBELL RD NW,  
between RIO GRANDE BLVD NW and TRELIS DR  
NW containing approximately 4 acre(s). [REF: DRB-  
94-75 ZA-81-308][Deferred from 3/20/02] (G-12)  
**DEFERRED AT THE AGENT'S REQUEST TO  
3/27/02.**



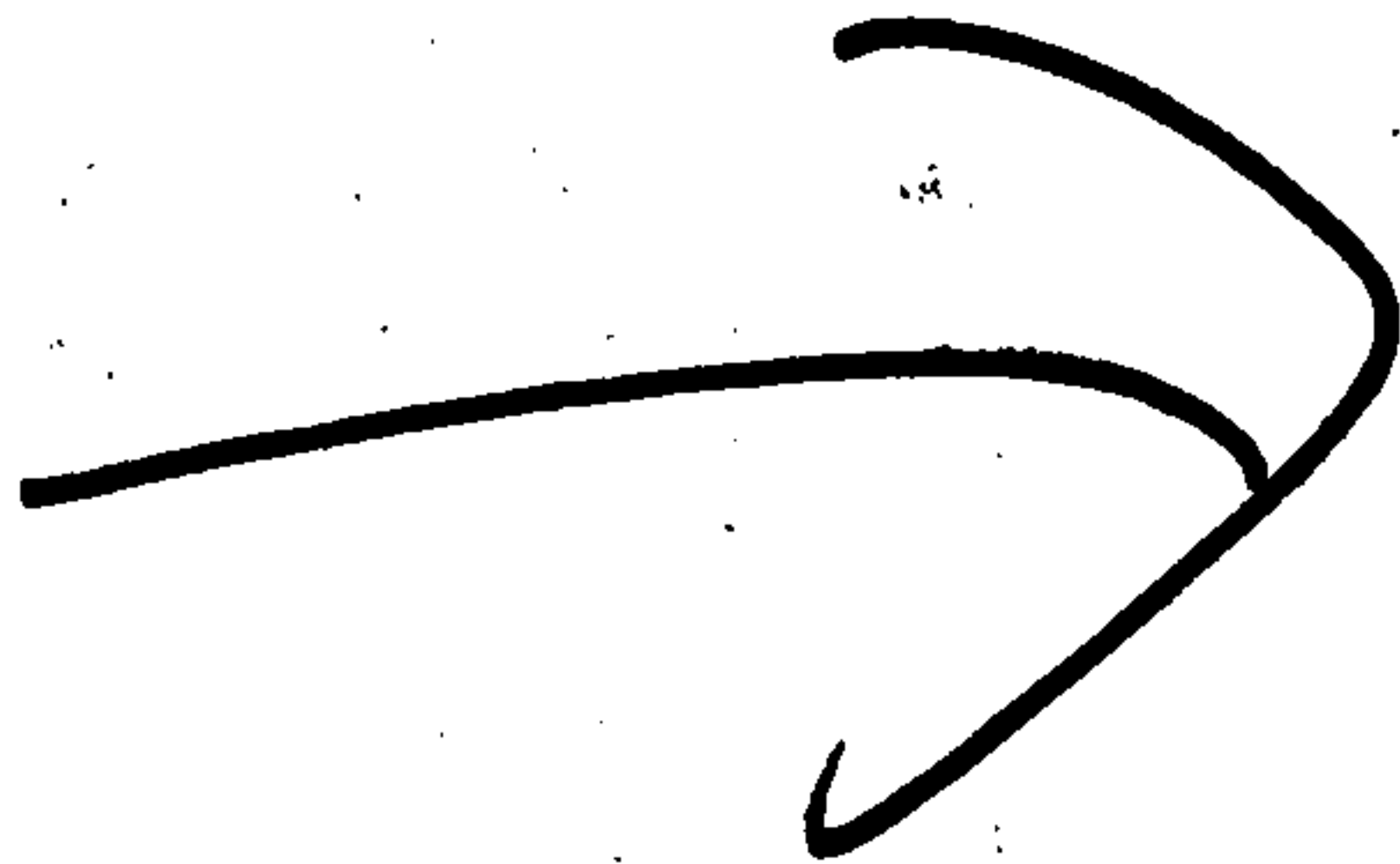
**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,  
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1001525**  
02DRB-00355 Minor-SiteDev Plan  
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES INC. request the above action(s) for Lot 1, Tract A, **WAL MART ADDITION & VALLEY VIEW ADDITION**, zoned C-2, located on SAN MATEO BLVD. NE, between SILVER AVE SE and HIGHLAND AVE. SE containing approximately 18 acre(s). [REF: DRB-92-0091/V-92-11, 01400 0718/01400 0171910170574, 94] (K-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO TRANSPORTATION DEVELOPMENT, UTILITIES DEVELOPMENT AND PLANNING. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LIST DATED 3/20/02 AND THE GRADING PLAN ENGINEER STAMP DATED 3/8/02.**

9. **Project # 1001623**  
02DRB-00353 Minor-SiteDev Plan  
BldPermit/EPC



THOMSEN NELLOS ENGINEERING agent(s) for CONNIE NELLOS OF NELLOS BROS. INC. request the above action(s) for Tract G-2A-1, **SEVEN BAR RANCH**, zoned SU-1 for IP Use, located on ELLISON DRIVE NW, between NEW MEXICO 528 and COTTONWOOD DR. containing approximately 6 acre(s). [REF: DRB--94-318, V-94-61] (A-14) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. THIS INCLUDES APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/12/02.**

10. **Project # 1000419**  
02DRB-00165 Minor-SiteDev Plan  
BldPermit/EPC  
02DRB-00164 Minor-SiteDev Plan  
Subd/EPC  
02DRB-00356 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM-93-2 request the above action(s) for Tract 1B1A, 1B1B and Tract 1B1C, **RENAISSANCE CENTER**, zoned SU-1 for Auto Sales & C-1 Uses, located on RENAISSANCE BLVD NE, between MONTANO ROAD NE and UNION WAY ROAD NE containing approximately 3 acre(s). [REF: 00110 00460/00128 00461, 00450 01380/00450 01381, 00440 01419, 01128 01765/ 01767/01110 01768](F-16) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN FF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. SITE DEVELOPMENT PAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT, UTILITIES DEVELOPMENT AND PLANNING. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LIST DATED 3/20/02 AND THE GRADING PLAN ENGINEER STAMP DATED 1/30/02.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1001453**  
02DRB-00357 Minor-Final Plat  
Approval

BOHANNAN HUSTON, INC. agent(s) for D. R. HORTON HOMES request the above action(s) for Tract D-1-A, **SEDONA SUBDIVISION @ VENTANA RANCH**, zoned R-LT residential zone, located on E. OF UNIVERSE BLVD NW, between IRVING BLVD. NW and PARADISE BLVD. NW containing approximately 18 acre(s). [REF: 01410-01608] [Project # changed from #1000132 to #1001453] (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

*all  
planned  
11/2/05*

Supplemental form **S** Supplemental form **Z**

**SUBDIVISION**

Major Subdivision action  
 Minor Subdivision action  
 Vacation  
 Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

...for Subdivision Purposes  
 ...for Building Permit  
 IP Master Development Plan  
 Cert. of Appropriateness (LUCC)

**ZONING & PLANNING**

Annexation  
 Zone Map Amendment (Establish or Change Zoning)  
 Sector Plan (Phase I, II, III)  
 Amendment to Sector, Area, Facility or Comprehensive Plan  
 Text Amendment (Zoning Code/Subdivision Regulations)

**APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: CONSTANTINE NERLOS PHONE: 299.9264  
 ADDRESS: 4516 WYOMING BLVD NE FAX: 271.2381  
 CITY: ALBUQ. STATE NM ZIP 87111 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: PRESIDENT OF NERLOS BROS. INC  
 AGENT (if any): MARTIN GRUMMER PHONE: 265.2507  
 ADDRESS: 331 WENDELL PL NE FAX: 265.2507  
 CITY: ALBUQ. STATE NM ZIP 87109 E-MAIL: MGRUMMER@QNET.NE

DESCRIPTION OF REQUEST: Dividing Tracts G-2A Seven-Bar Ranch into 2 separate Lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. G-2A Block: N/A Unit: N/A  
 Subdiv. / Addn. Seven-Bar Ranch  
 Current Zoning: SU-1 SMC-1 Proposed zoning: SU-1 SMC  
 Zone Atlas page(s): A-14 No. of existing lots: 1 No. of proposed lots: 2  
 Total area of site (acres): 6.13 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No  
 UPC No. 101406611212630121 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: Ellison Drive  
 Between: State Highway 528 and Coors Blvd. N.W.

CASE HISTORY: Russell Burtzgr D Storer EPC and Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):  
SP #95-80 EPC-01121-01743, 02DRB-00553, 1001623

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_  
 SIGNATURE Martin Grummer DATE 7/22/05  
 (Print) \_\_\_\_\_ Applicant  Agent

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	05DRB - 01708	P4F	5(3)	\$ 275.00
<input checked="" type="checkbox"/> All fees have been collected	05DRB - 01710	SBP	P(3)	\$ 0.00
<input checked="" type="checkbox"/> All case #s are assigned	05DRB - 01709	SPS	2(3)	\$ 0.00
<input checked="" type="checkbox"/> AGIS copy has been sent		CMF		\$ 20.00
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
				Total
				\$ 305.00

Hearing date 11/16/05  
 Project # 1001623  
 Planner signature / date Lin Jis 11/2/05

SKETCH PLAT REVIEW AND COMMENT

**YOUR ATTENDANCE IS REQUIRED.**

- \_\_\_ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

**Your attendance is required.**

- \_\_\_ Preliminary Plat reduced to 8.5" x 11"
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Copy of previous D.R.B. approved infrastructure list
- \_\_\_ Copy of the Official D.R.B. Notice of approval
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

**Your attendance is required.**

- \_\_\_ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing
- \_\_\_ SIA financial guaranty verification
- \_\_\_ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- \_\_\_ Any original and/or related file numbers are listed on the cover application
- \_\_\_ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

**Your attendance is required.**

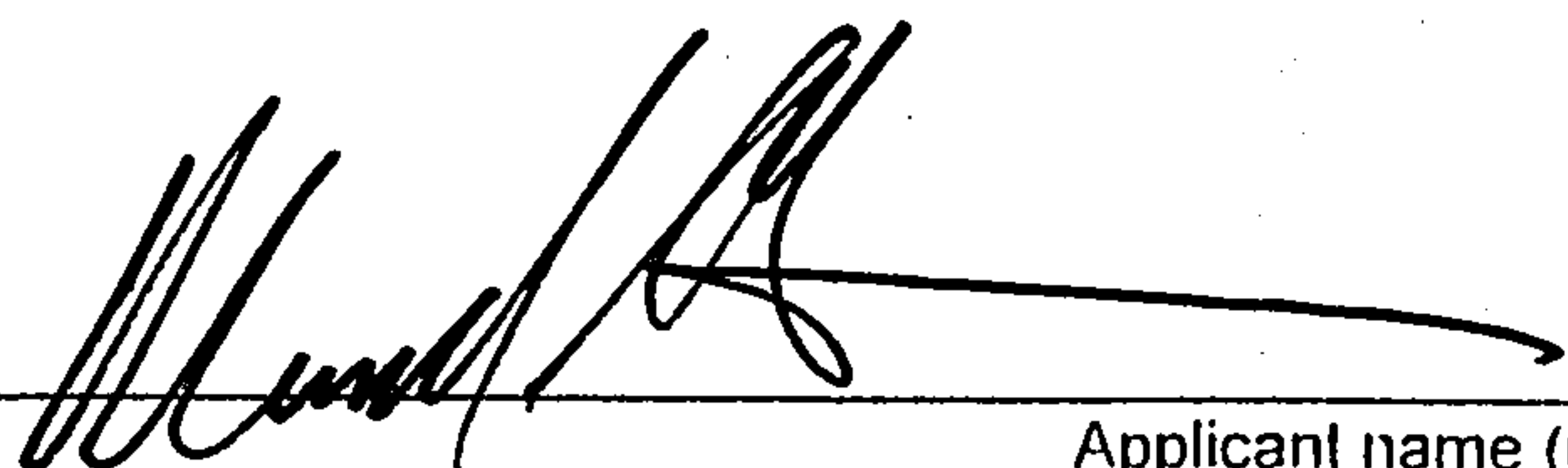
AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 \_\_\_\_\_ Applicant name (print)  
**MARTIN GUERRERO 7 NOV 05**  
 \_\_\_\_\_ Applicant signature / date



Form revised MARCH 2003

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
05DR3 - 01708

  
 \_\_\_\_\_ Planner signature / date  
**Project # 1001623**

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MARTIN GRUMMER  
 Applicant name (print)  
7/10/05  
 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
05DRB 01710 - 5BP

Di Sis 11/7/05  
 Planner signature / date  
**Project # 1001623**

4 Nov 2005

**City of Albuquerque  
Development Review Board  
Planning Department Development Services Center  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102**

**Project: Quarters Plaza Office Building  
Re: Site Development Plan for Building Permit**

Carlos Torrebiarte has hired our firm, Martin Grummer – Architect, to design an office building next to the Quarters Restaurant and Package Liquor Store located on Ellison Dr. south of NM 528. He is purchasing the land from Nellos Bros. Inc.

We are requesting review and approval of this site for phase 2 of the original EPC submittal which has been delegated to the DRB.

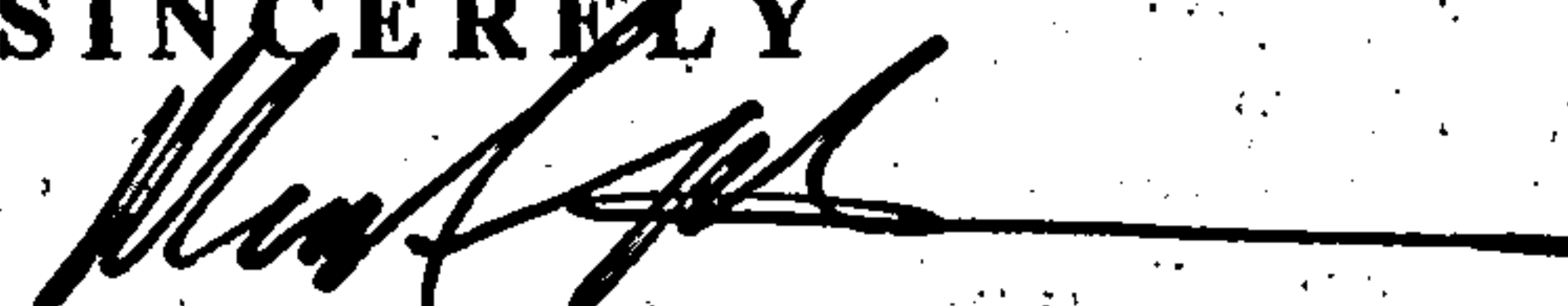
With the use of dark stucco, pitched roof of the entry porch, and use of metal roofing we are consistent with the Quarters Restaurant design and feel.

Related file numbers:

Project # 1001623  
EPC 01128-01743  
DRB 02500-00353

Thank you for your consideration.

SINCERELY



**Martin FM Grummer**

**M A R T I N F M G R U M M E R  
A R C H I T E C T  
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106  
505-265-2507 505-265-2507 fax mgrummer@qwest.net**

4 Nov 2005

**City of Albuquerque  
Development Review Board  
Planning Department Development Services Center  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102**

**Project: Quarters Plaza Office Building  
Re: Site Development Plan for Subdivision**

Carlos Torrebiarte has hired our firm, Martin Grummer – Architect, to design an office building next to the Quarters Restaurant and Package Liquor Store located on Ellison Dr. south of NM 528. He is purchasing the land from Nellos Bros. Inc.

We are requesting review and approval of subdivision of this site into two sites to facilitate phase 2 of the original EPC submittal which has been delegated to the DRB.

Related file numbers:  
Project # 1001623  
EPC 01128-01743  
DRB 02500-00353

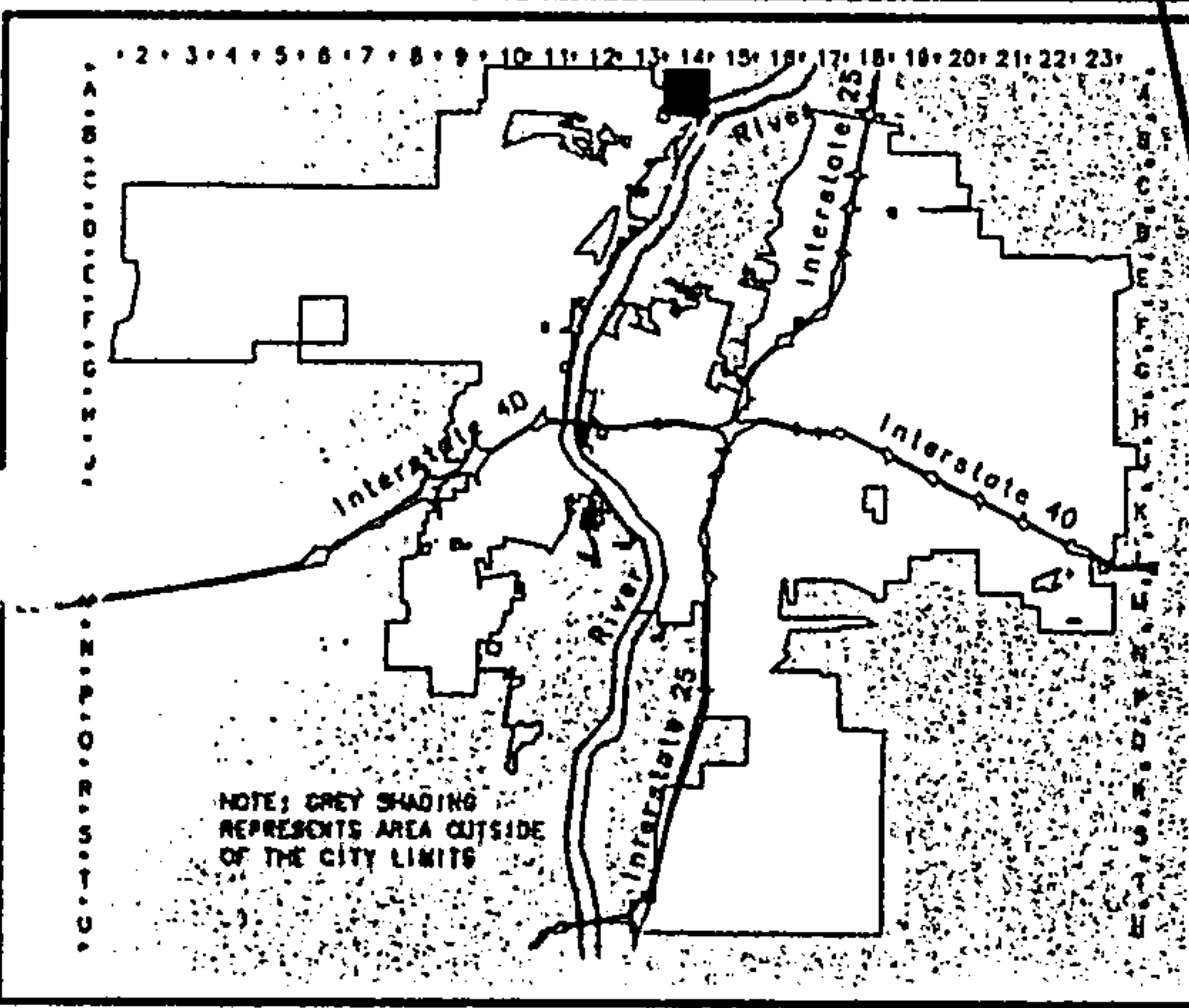
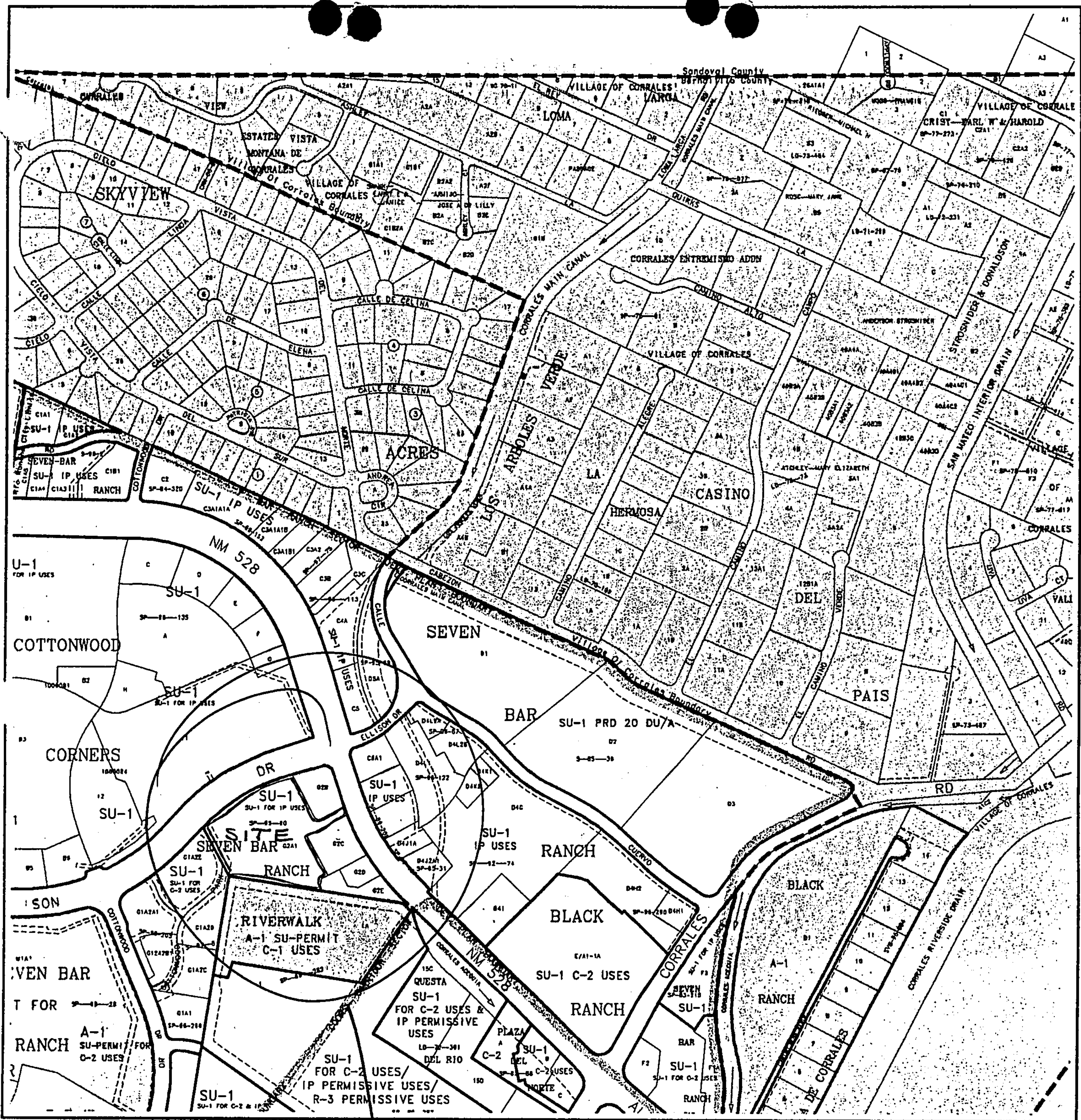
Thank you for your consideration.

SINCERELY



Martin FM Grummer

M A R T I N F M G R U M M E R  
A R C H I T E C T  
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106  
505-265-2507 505-265-2507 fax mgrummer@qwest.net

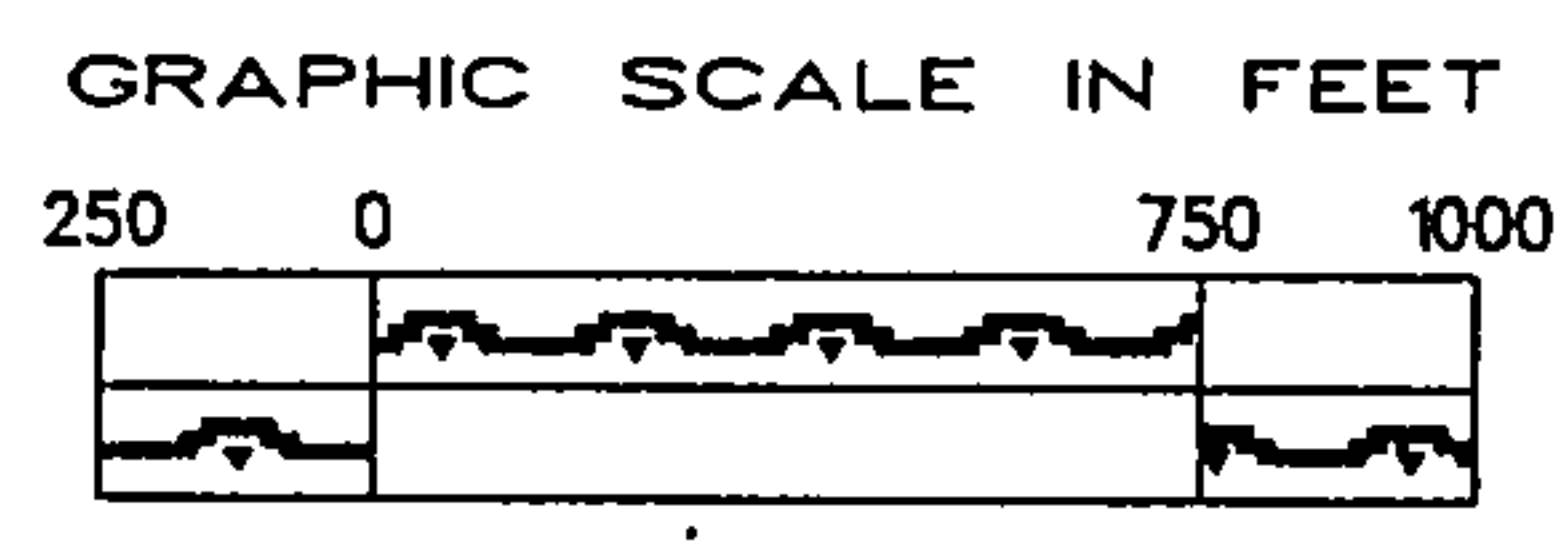


*SITE*



**CITY OF Albuquerque**  
**Albuquerque Geographic Information System**  
**PLANNING DEPARTMENT**

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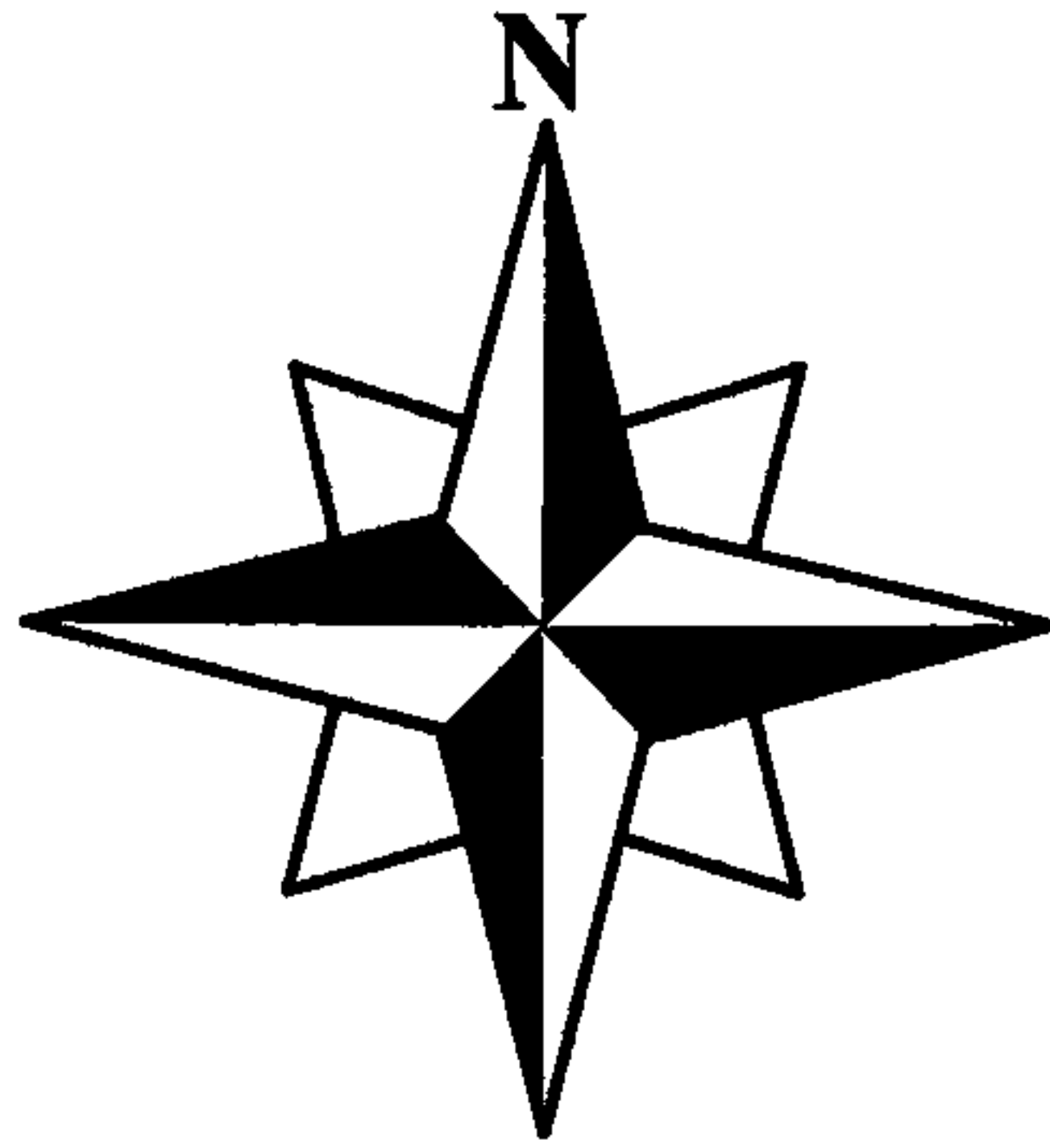


**Zone Atlas Page**

**A-14-Z**

Map Amended through July 27, 2000





**Harris Surveying, Inc.**  
**2412-D Monroe Street NE**  
**Albuquerque, NM 87110**

*Phone (505) 889-8056 \* Fax (505) 889-8645*

November 7, 2005

To: DRB Members

Re: Replat of Seven-Bar Subdivision

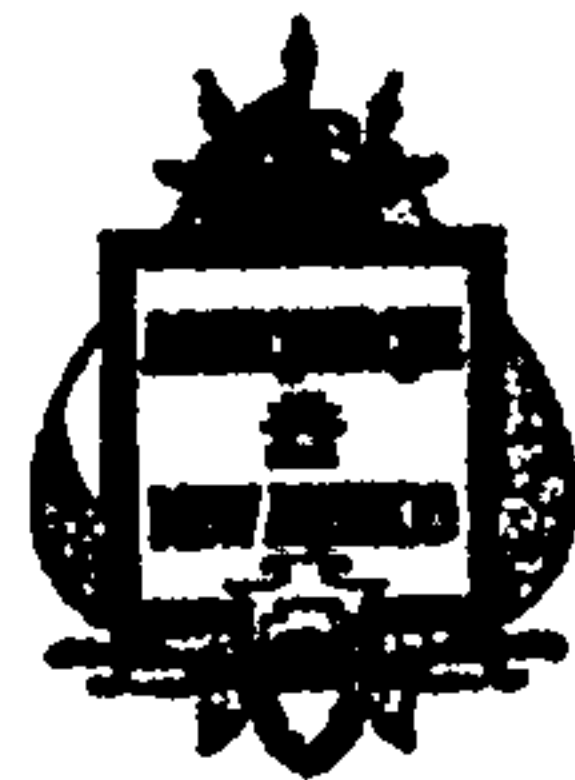
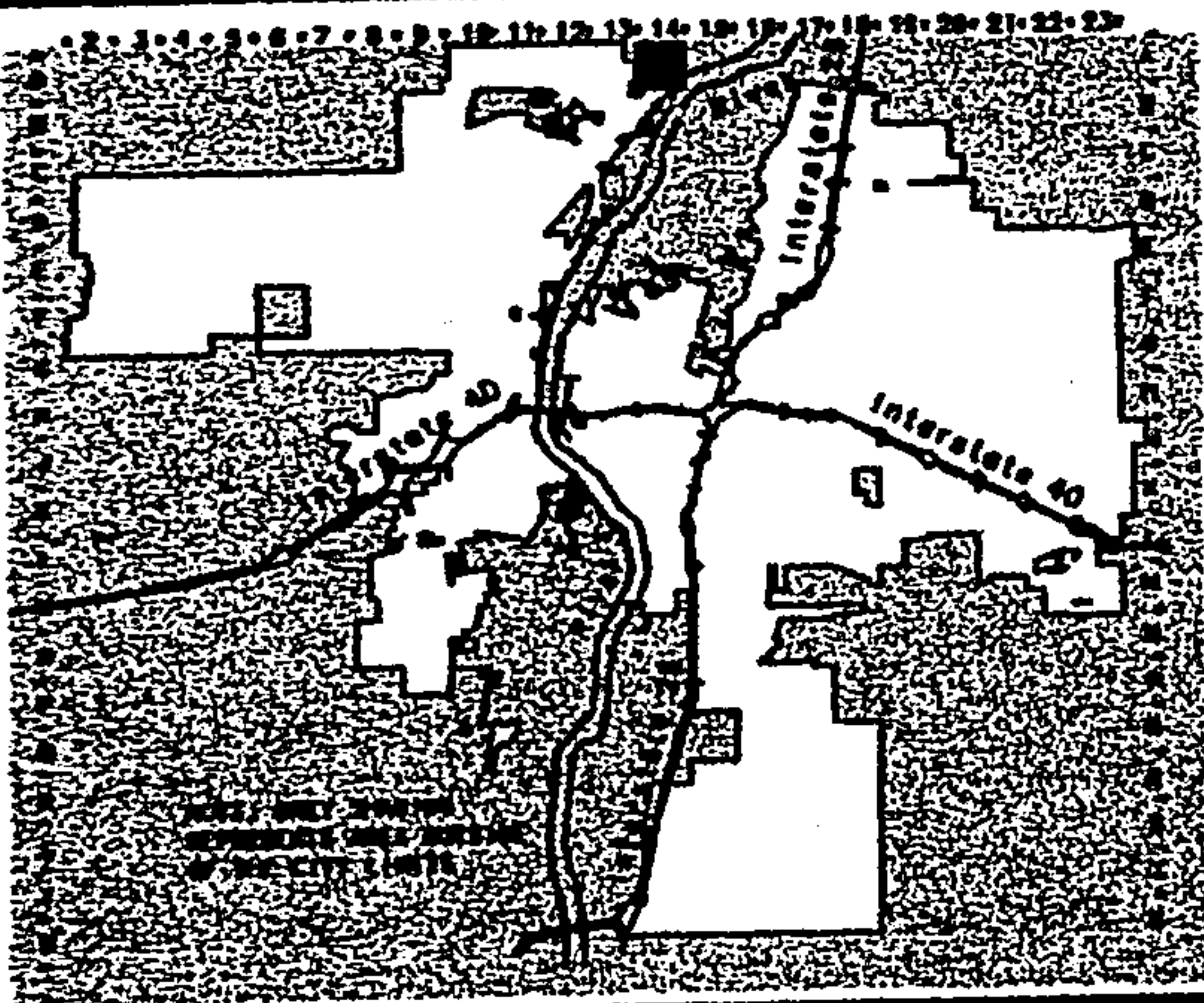
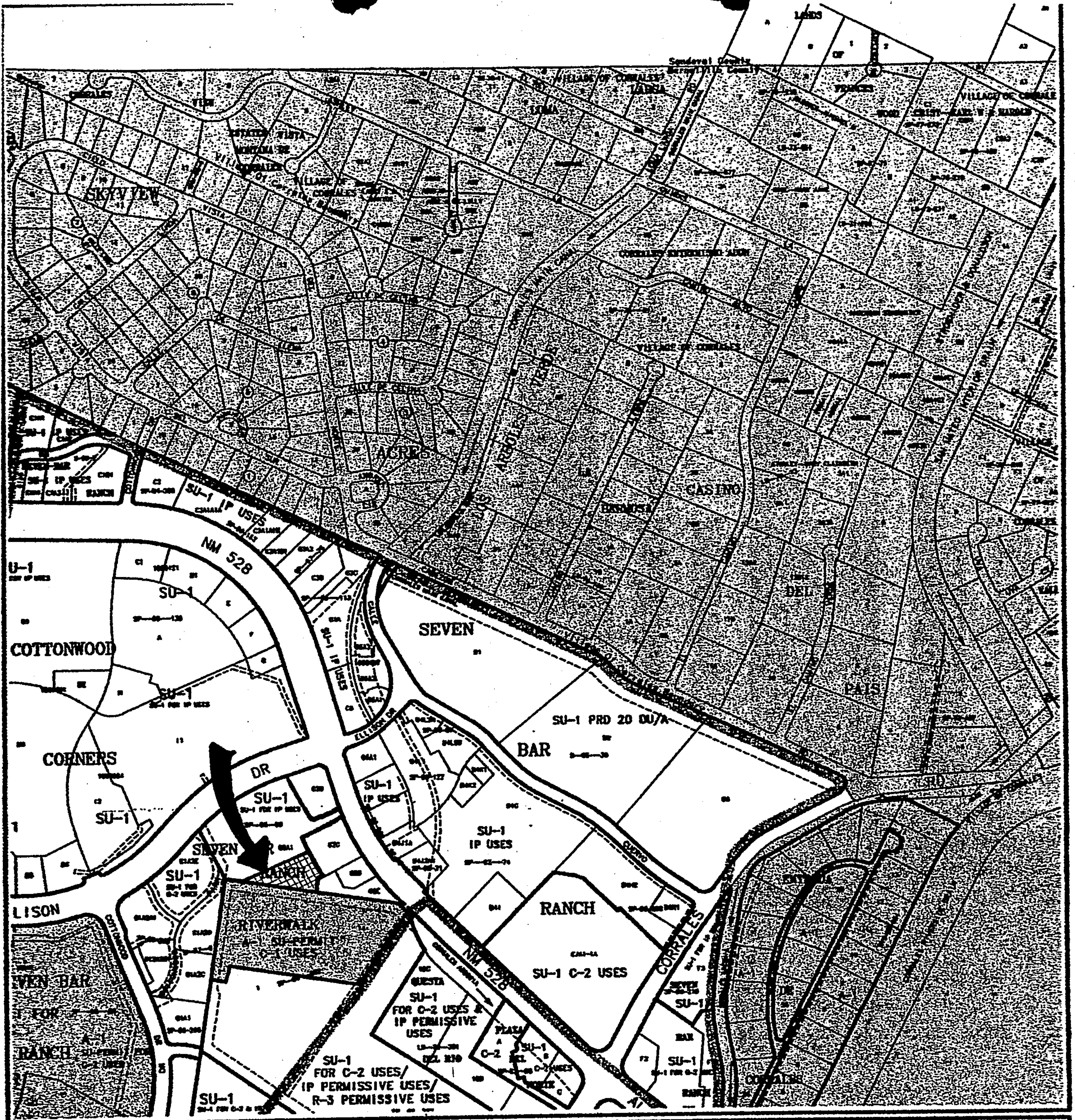
Dear: Members

The purpose of this plat is to subdivide the existing tract into 2 tracts and grant a waterline and access easement.

If there are any questions, please contact me at my office.

Sincerely,

Anthony L. Harris



CITY OF  
Albuquerque

Albuquerque Geographic Information System  
DEPARTMENT OF CITY PLANNING & DEVELOPMENT

© Copyright 2001



Zone Atlas Page

**A-14-Z**

Map Amended through July 24, 2011

Nellos Bros. Inc.  
The Quarters BBQ Restaurant and Discount Liquor  
4516 Wyoming Blvd. NE  
Albuquerque, New Mexico 87111  
Ph. (505) 299-9864 Fax. (505) 271-8381

---

October 28, 2005

City of Albuquerque  
Planning Department Development Services Center  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

**Project: Office Building at Quarters Westside Site**  
**Re: Authorized Agent**

As President of Nellos Bros., Inc. I authorize Martin Grummer of Martin Grummer-Architect to act as my authorized agent for processing and administering the said project with regards to the DRB and City requirements.

Please call if you have any questions.

Sincerely,



Constantine Nellos  
President, Nellos Bros., Inc

Cottonwood Orthodontics PC  
Carlos Torrebiarte  
3612 Silver Ave SE  
Albuquerque, New Mexico 87108  
Ph. (505) 232-4311

---

Nov 4, 2005

City of Albuquerque  
Planning Department Development Services Center  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

**Project: Office Building at Quarters Westside Site**  
**Re: Authorized Agent**

As President of Cottonwood Orthodontics PC, I authorize Martin Grummer of Martin Grummer-Architect to act as my authorized agent for processing and administering the said project with regards to the DRB and City requirements.

Please call if you have any questions.

Sincerely,

  
Carlos Torrebiarte  
Cottonwood Orthodontics PC



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 18, 2002

### OFFICIAL NOTIFICATION OF DECISION

FILE: 01128 01743 (Project 100i623)

Connie Nellos of Nellos Bros., Inc.  
4516 Wyoming Blvd., NE  
Albuquerque, NM 87111

**LEGAL DESCRIPTION:** Request approval of a Site Development Plan for Building Permit for Tract G-2A-1, Seven Bar Ranch, zoned SU-1 for IP uses and located on Ellison Drive NW between New Mexico 528 and Cottonwood Drive, NW, containing approximately 6 acres. (A-14) Deborah Stover, Staff Planner

On January 17, 2002, the Environmental Planning Commission voted to approve 01128 01743, a site development plan for building permit, based on the following Findings and subject to the following Conditions:

#### FINDINGS:

1. This is a request for approval of a site development plan for building permit for a 29,920 square foot restaurant with package liquor, a 450 square foot storage building and a future (Phase II) office building office on a 6-acre site located on Ellison Drive between New Mexico 528 and Cottonwood Drive NW.
2. This request is consistent with surrounding development and will not be harmful to adjacent property, the neighborhood or the community.
3. This request conforms to the *Albuquerque/Bernalillo County Comprehensive Plan* by providing variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The submittal complies with the *West Side Strategic Plan* which calls for the area to continue to develop as a center with primary uses as offices, retail, commercial and potential uses as public/institutional, convenience retail and higher density housing.
5. This request is consistent with *Resolution 91-1998 (R-70)* which encourages infill development.

#### CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Proposed phase II office building shall be delegated to the DRB and shall be consistent with the restaurant in architecture, style, colors and materials.
3. Pedestrian and Bicycle Conditions:
  - a. All internal pedestrian walkways and sidewalks shall be concrete with a minimum 6-foot width
  - b. Pedestrian crossings that are a minimum width of 6-feet that are clearly demarcated with slightl raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrance and drive aisles.
  - c. A bicycle rack shall be conveniently located near the building entrance but not within pedestrian pathways or landscape areas.
4. A detail of the light poles shall be included with the plan that states that all light fixtures shall be fully shielded horizontal lamps so that no light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light. No light source shall be visible from the site perimeter.
5. Landscape Plan Conditions:
  - a. Planting areas over 36 square feet in size shall have 75% coverage of living, vegetative material. (Gravel and shade tree canopies do not count toward this requirement when calculating the 75% coverage.)
  - b. Groundcover material for the ponding areas shall be stated on the landscape plan.
  - c. The area that is proposed for a future office shall be treated with landscape until the office facility is built. Landscape treatment shall be shown in this area, with the office building shown as a future use.
  - d. In the east parking area on the landscape plan and south of the restaurant in the parking area numbered 13 on the landscape plan, one shade tree shall be added to each of these two areas to ensure that no parking space shall be more than 100-feet from a tree.
  - e. The outdoor patio area shall have shade trees and/or an architecturally integrated shade structure within and around the patio area. Trees shall be spaced at intervals of 20 feet on center to provided shade for outdoor dining and shall be planted in planters that are a minimum of 5-feet by 5-feet.
6. No chain link, razor wire or plastic/vinyl fencing is permitted.
7. Signage:
  - a. No more than one wall sign per facade per business activity limited to 3 total signs signs per facade shall be permitted.
  - b. Building mounted signage shall consist of individual channel letters not to exceed 2-feet in height.
  - c. Monument signs that are integrated with building colors and materials are the only free standing signs allowed and shall be limited to one 16-foot high monument sign with 100-square feet face area and two 6-foot high monument signs with 75 square feet face area.
  - d. All letters shall be specified as to height, color and materials.
  - e. Raceway signs are not allowed.

8. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground-mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
9. A detail of the refuse enclosure shall be shown on the site plan and shall be compatible in design, color and material with building architecture. The gates shall be opaque. Chain link gates are not allowed.
10. Loading areas shall have screen walls and covers that are architecturally integrated with the building.
11. Public Works Department Transportation Conditions:
  - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for. Completion of the required TIS mitigation measures, per Transportation Development Staff, for the adjacent sites must be completed if assumed to be in place for the current TIS for this site.
  - b. Dedication of additional right-of-way on NM528 to provide a 78' half width (total right-of-way for 28 is designated as 156'). Easement is okay. Sign or anything in the easement requires an encroachment agreement.
  - c. Provide common access agreements.
  - d. Dimension drive aisles at 24' per DPM.
  - e. Label all site radii per DPM.
  - f. Reference City Standard Drawings for curb, curb & gutter, sidewalk, etc.
  - g. Dimension all parking spaces (standard, small car, handicap/standard & van accessible) per DPM.
  - h. Provide details for handicap parking (both standard and van accessible), signing and striping.
  - i. Check with Solid Waste for dumpster location.
  - j. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval required prior to placement on DRB agenda.
12. The Phase II development of 10,000 square feet of offices be delegated to the DRB.

**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY FEBRUARY 1, 2002 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

**Appeal to the City Council:** Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

01128 01743 (Project 1001623)

January 17, 2002

Page 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



for Victor J. Chavez  
Planning Director

VJC/DS/nat

cc: Nick Nellos, Thomsen Nellos Eng, 2403 San Mateo Blvd NE Ste W-25, Abq., NM 87110





**THOMSEN NELLOS ENGINEERING, INC.**  
MECHANICAL CONSULTING FOR BUILDING SYSTEMS

2403 San Mateo N.E. Suite W-25, Albuquerque, New Mexico 87110  
ph (505) 888-5808 fax (505) 888-5809 e-mail: tne@lobo.net

---

March 11, 2002

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico  
87103

RE: File # 01128 01743 (project 1001623)

Dear Sirs:

This letter is in response to the conditions set by the Environmental Planning Commission on January 17, 2002.

**LEGAL DESCRIPTION:** Request approval on a Site Development Plan for Building Permit for Tract G-2A-1, Seven Bar Ranch, zoned SU-1 for IP uses and located on Ellison Drive NW between New Mexico 528 and Cottonwood Drive NW, containing approximately 6 acres. (A-14)  
Deborah Stover, Staff Planner.

CONDITIONS:

- 1) This letter accompanies the submittal.
- 2) Proposed Phase II is not being built at this time. It will be consistent with the restaurant in architecture, style, colors, and materials.
- 3) Pedestrian and Bicycle Conditions:
  - a. Pedestrian walkways and sidewalks will be concrete with a minimum 6-foot width. See Sheet C-1.1
  - b. Pedestrian crossings will be a minimum 6-foot wide exposed aggregate concrete at pedestrian paths where they cross vehicular entrances and drive aisles. See Sheet C-1.1
  - c. Bicycle racks have been moved closer to the main building entrance without being in the pedestrian path or landscaped areas. The surface will be crusher fines. See Sheet C-1.1.

4) **Light Poles:**

Please find attached a cutsheet showing the Contour Series light by Lithonia Lighting. This sheet shows the light fixture is fully shielded horizontal lamps with full-cutoff type lighting. No light source will be visible from the site perimeter.

5) **Landscape Plan Conditions:**

- a. Planting areas over 36 square feet in size will have minimum 75% coverage of living, vegetative material. See Sheet L-1.
- b. Groundcover material in ponding areas will be as shown on L-1.
- c. The area that is proposed for future office building will have native grasses as shown on Sheet L-1.
- d. In the east parking area, behind the refuse enclosure, we have added a tree in a new planting area. See Sheet L-1.
- e. The outdoor patio area is mainly covered by the high roof structure with trees in the planters within the curved low wall structure. See the floor plan on Sheet C-5 for further clarification. The elevations on Sheet C-3 show the upper roof structure as it covers the outdoor dining area.

6) No chain link, razor wire or plastic/vinyl fencing will be used.

7) **Signage:**

- a. No more than one wall sign per facade per business activity limited to 3 total signs per facade will be used. See Building Elevations on Sheet C-3.
- b. Building mounted signage will be individual channel letters limited to 2-feet in height.
- c. Monument signs will be integrated with building colors and materials - one is a maximum 16-feet high at the main entrance and two are 6-foot high (one on 528 and one on the secondary entrance off Ellison).
- d. Letter heights are indicated on the building elevations, sheet C-3. A plexiglass type material will be used with an aesthetic quality color selected.
- e. Raceway signs will not be used.

8) Rooftop equipment will be screened by the parapet and painted to match building stucco color so as not to be seen from the site perimeter.

9) A detail of the refuse enclosure is shown on the site plan. See Sheet C-4 for design, color and materials of enclosure. Gates will be covered by metal to match building porch covers.

- 10) Loading Area will be screened by planting as shown on Sheet L-1. Roof cover at loading area will match porch covers on the north facade of building.
- 11) Public Works Department Transportation Conditions:
- a. See attached letter to Tony Lloyd for requirements of previous actions taken by the EPC and the DRB and their completion status.
  - b. We will provide an easement on NM 528 to provide a 78 ft half width for a right-of-way.
  - c. Common access agreements are shown in Document #94132336 filed with the Bernalillo County Clerks Office. A copy of this document can be provide if required.
  - d. Drive aisles at 24 ft are shown on Sheet C-1.1.
  - e. See Sheet C-1.1 for site radii.
  - f. See Sheet C-1.1 for reference to City Standard Drawings for curb, curb & gutter, sidewalk, etc.
  - g. Parking spaces are dimensioned on Sheets C-1.1 as per DPM.
  - h. See Sheet C-1.1 for details for handicap parking, signing and striping.
  - i. Dumpster location is as per conversation with T.L. Baca, Solid Waste Management Department.
  - j. Bohanan Huston has submitted the conceptual grading and drainage plan and has tentative approval from Brad Bingham (City of Albuquerque).
- 12) The Phase II development of 10,000 square feet of offices is delegated to the DRB.

Should there be any questions on this submittal, please call me at 888-5808.

Sincerely,



Nick C. Nellos, P.E.  
NCN/mda

attachment

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME CONSTANTINE NELLOS  
AGENT MARTIN GRUMMER  
ADDRESS 331 WELLESLEY  
PROJECT & APP # \_\_\_\_\_  
PROJECT NAME T BAR RANCH

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee  
\$ 285.<sup>00</sup> 441006/4983000 DRB Actions  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 305.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

11/8/2005 8:06AM LOC: ANNX  
RECEIPT# 00052780 WSH 007 TRANSH 0002  
Account 441006 Fund 0110  
Counterreceipt.doc 6/21/04  
ACTIVITY 4703000 TRSCMG  
Trans Amt \$305.00  
J24 Misc \$285.00  
CK \$305.00  
CHANGE \$0.00  
Thank You

City Of Albuquerque  
Treasury Division

11/8/2005 8:06AM LOC: ANNX  
RECEIPT# 00052779 WSH 007 TRANSH 0002  
Account 441032 Fund 0110  
Activity 3424000 TRSCMG  
Trans Amt \$305.00  
J24 Misc \$20.00  
Thank You

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME \_\_\_\_\_  
AGENT MARTIN GRUMMER  
ADDRESS \_\_\_\_\_  
PROJECT & APP # 1001623  
PROJECT NAME \_\_\_\_\_

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 50.00 441006/4983000 DRB Actions DEFERRAL  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 50.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

MARTIN F. M. GRUMMER 02-91  
ARCHITECT  
331 WELLESLEY PL. NE 505-265-2507  
ALBUQUERQUE, NM 87106-2159

2964  
95-681/1070

29 NOV 05

Pay to the Order of CITY OF ALBUQUERQUE \$ 50.00  
FIFTY & NO/100 Dollars

CITY OF ALBUQUERQUE  
Treasury Division

BANK OF AMERICA  
Carlisle Office  
1-800-488-2265

11/29/2005  
RECEIPT# 000  
Account

City of Albuquerque  
Treasury Division  
WS# 006 TRANS#

MP

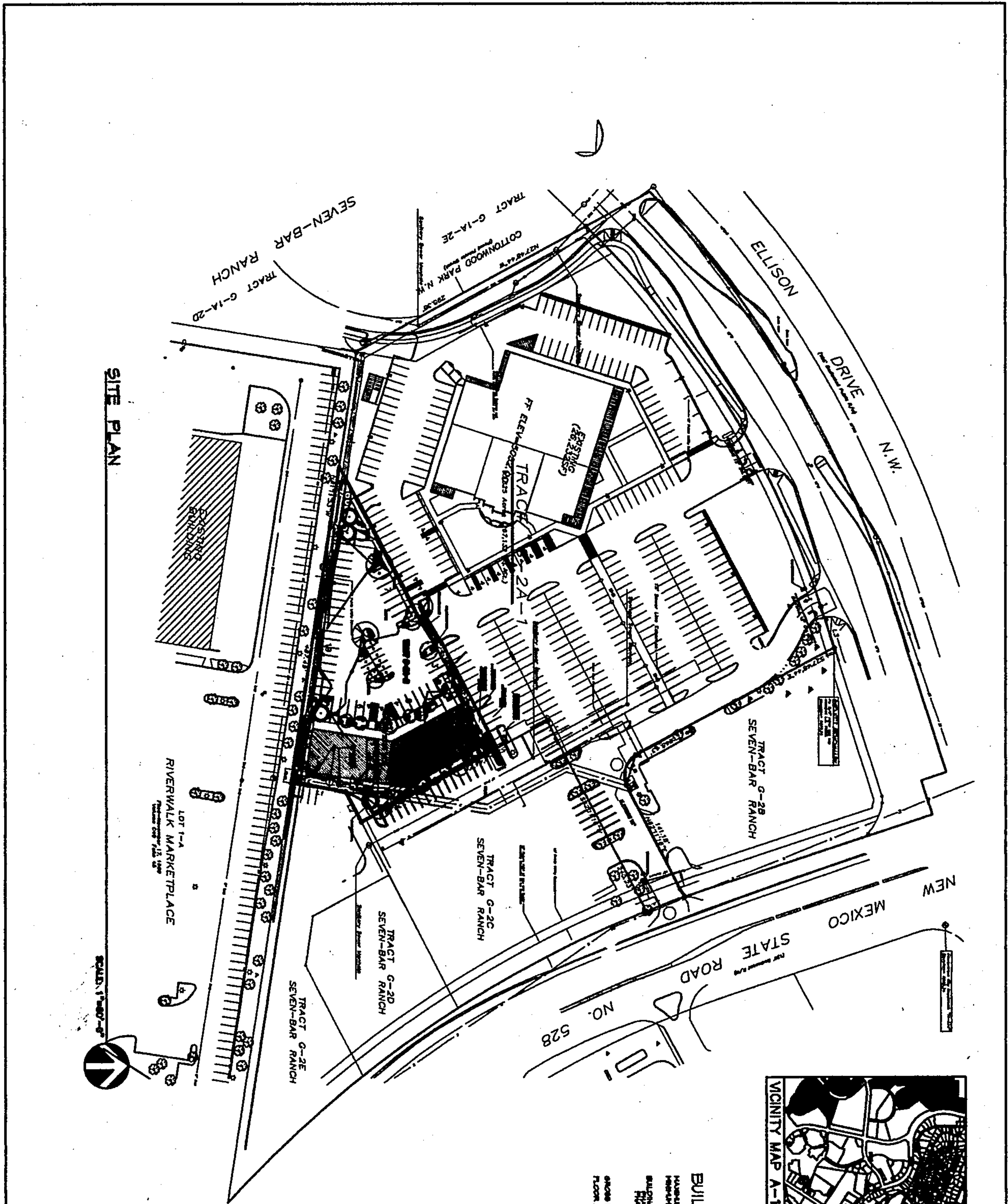
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Counterrecei

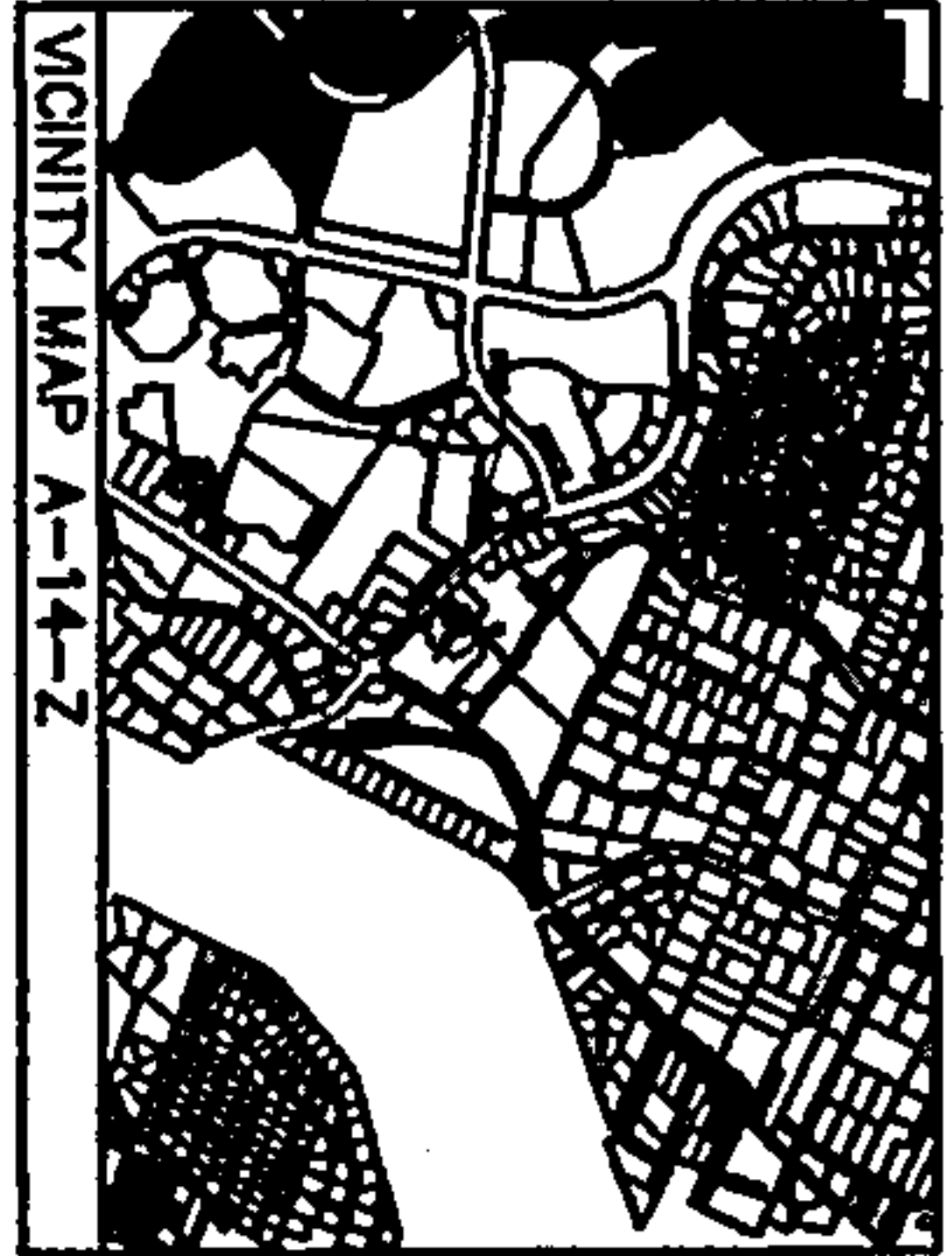
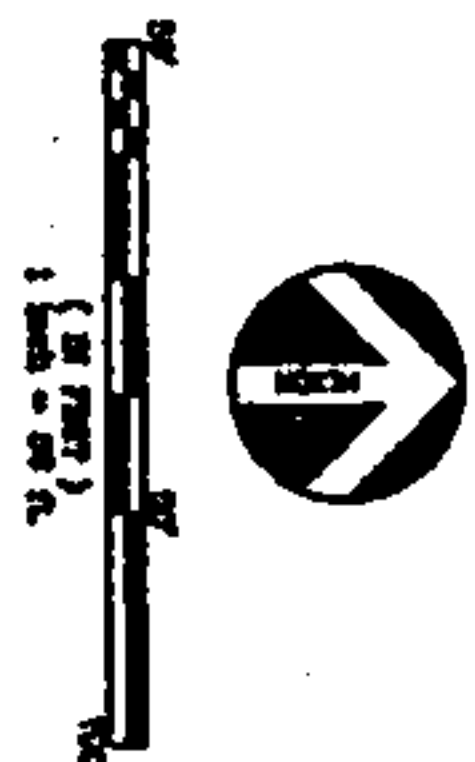
CK  
CHANGE

\$50.00  
\$0.00

Thank You




SITE PLAN



**BUILDING DATA**

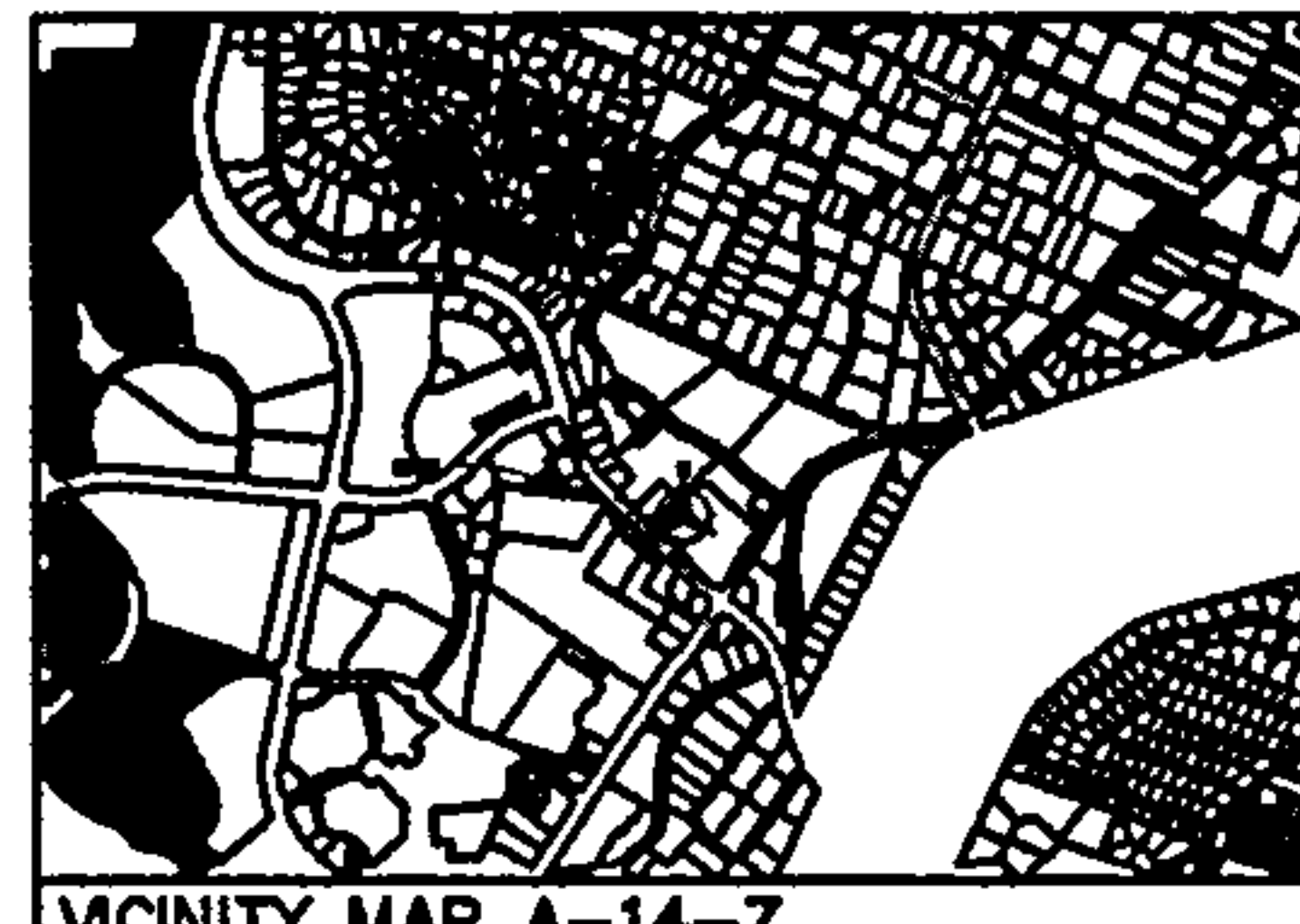
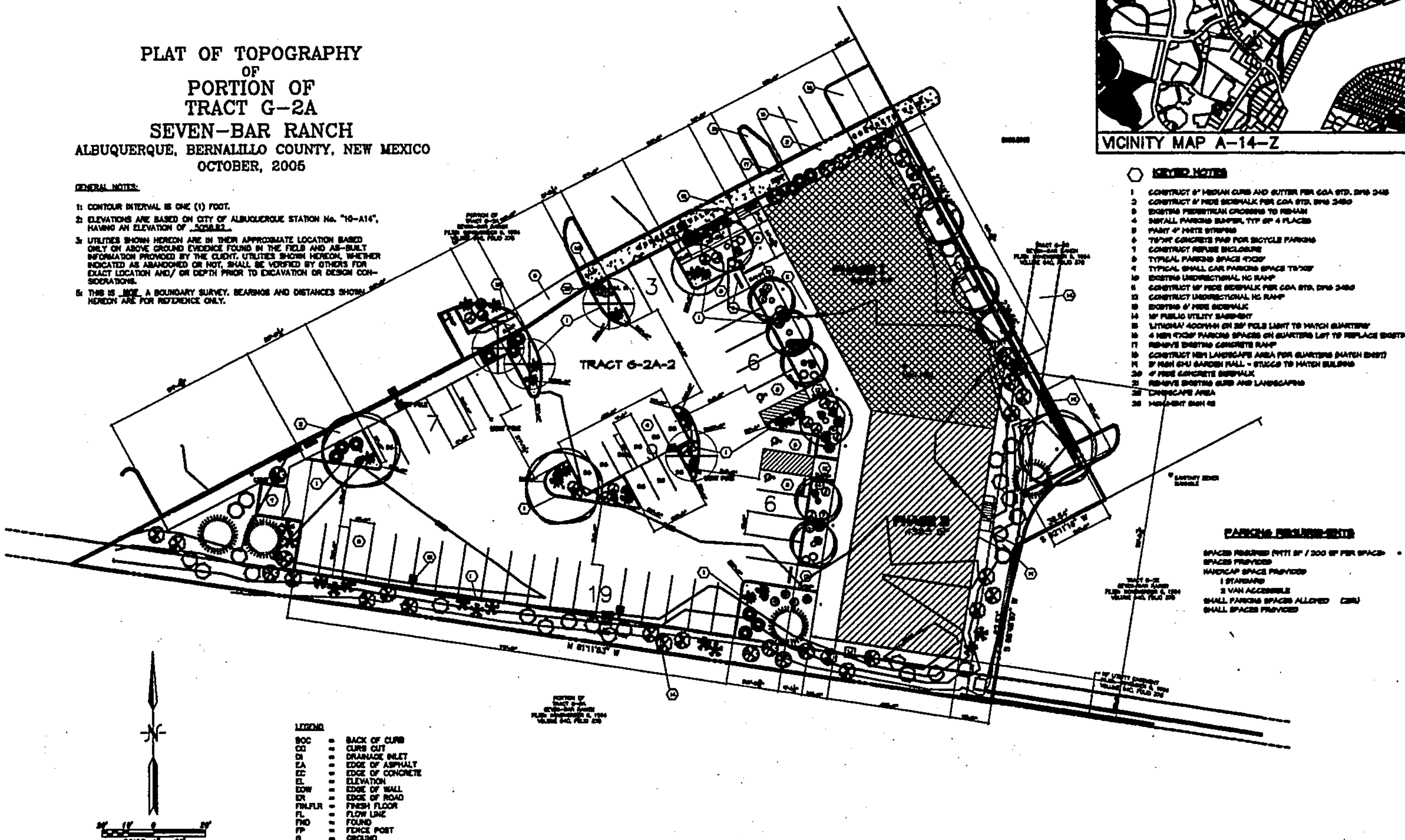
MAXIMUM BUILDING HEIGHT	30 FT
MINIMUM BUILDING SETBACK	0 FT
BUILDING AREA	232,500 SF
FLOOR 1	475,000 SF
TOTAL	475,000 SF
GRADE LOT AREA	475,000 SF
FLOOR AREA RATIO	0.218

<p>SHEET NO:</p> <h1 style="margin: 0;">A.1.1</h1>	<p>DATE:</p> <p>11/14/05</p> <p>DRAWN BY:</p> <p>MDG</p> <p>CHECKED BY:</p> <p>MDG</p> <p>APPROVED BY:</p> <p>XXX</p>	<p>PROJECT:</p> <h2 style="margin: 0;">CARLOS TORREBIARTE OFFICE BUILDING</h2> <p>TITLE:</p> <h3 style="margin: 0;">SITE PLAN</h3>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>													 <p>MARTIN PA GRUMER ARCHITECT ARCHITECTS &amp; PLANNERS 1000 N. 10TH ST. SUITE 200 DENVER, CO 80202</p>

PLAT OF TOPOGRAPHY  
OF  
PORTION OF  
TRACT G-2A  
SEVEN-BAR RANCH  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2005

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "10-A14", HAVING AN ELEVATION OF 5088.82.
- 3: UTILITIES SHOWN HEREIN ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREIN, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREIN ARE FOR REFERENCE ONLY.



VICINITY MAP A-14-Z

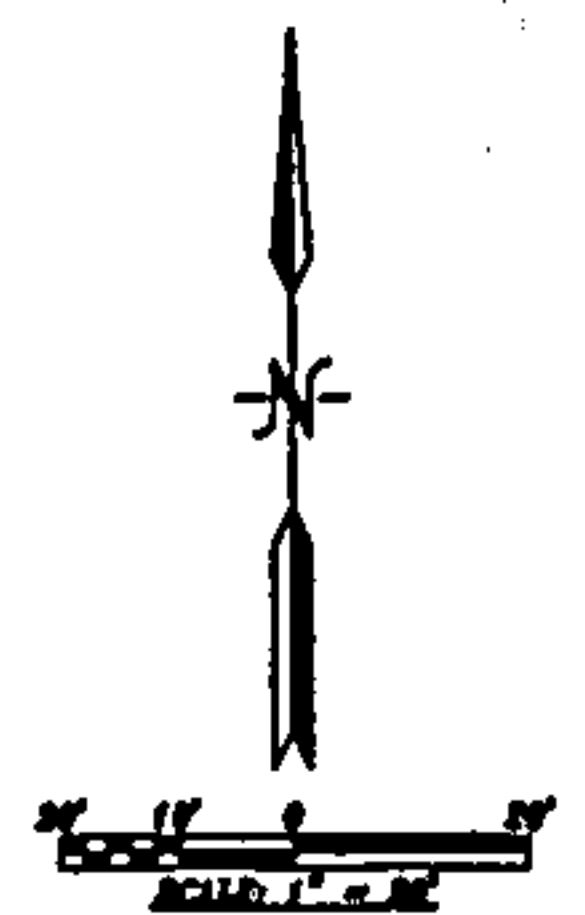
NOTED NOTES

1. CONSTRUCT 6" MEDIAN CURB AND GUTTER PER GOA STD. DWS 248
2. CONSTRUCT 6" FINE GRANULAR PER GOA STD. DWS 248D
3. CONSTRUCT FURROWS CROSSING TO FURROW
4. INSTALL PARKING BARRIER TYP. OF 4 PLACES
5. PAINT 4" WHITE STRIPES
6. 10"X10" CONCRETE PAD FOR BICYCLE PARKING
7. CONSTRUCT REFUSE ENCLOSURE
8. TYPICAL PARKING SPACE 4'X20'
9. TYPICAL SMALL CAR PARKING SPACE 7'X20'
10. EXISTING UNIDIRECTIONAL HO RAMP
11. CONSTRUCT 10" FINE GRANULAR PER GOA STD. DWS 248D
12. CONSTRUCT UNIDIRECTIONAL HO RAMP
13. EXISTING 6" FINE GRANULAR
14. 10" PUBLIC UTILITY SADDLE
15. LITHONIA 400VAIN ON 30' POLE LIGHT TO MATCH EXISTING
16. 4 NEW 4'X20' PARKING SPACES ON EXISTING LOT TO REPLACE EXISTING DRIVE
17. REMOVE EXISTING CONCRETE RAMP
18. CONSTRUCT NEW LANDSCAPE AREA FOR EXISTING MATCH EXIST
19. 3" HIGH 6"x4" GARDEN WALL - STUCCO TO MATCH BUILDING
20. 4" FINE GRANULAR SIDEWALK
21. REMOVE EXISTING CURB AND LANDSCAPE
22. LANDSCAPE AREA
23. MAINTAIN EXISTING

PARKING REQUIREMENTS

- SPACES PROVIDED 10'X20' 10'X20' PER SPACE - 20
- SPACES PROVIDED
- HANDICAP SPACE PROVIDED 1 STANDARD
- 3 VAN ACCESSIBLE
- SMALL PARKING SPACES ALLOWED - 20
- SMALL SPACES PROVIDED

- LEGEND
- BOC = BACK OF CURB
  - CC = CURB CUT
  - DI = DRAINAGE INLET
  - EA = EDGE OF ASPHALT
  - EC = EDGE OF CONCRETE
  - EL = ELEVATION
  - EDW = EDGE OF WALL
  - ER = EDGE OF ROAD
  - FF = FRESH FLOOR
  - FL = FLOW LINE
  - FLD = FLOOD LINE
  - FP = FENCE POST
  - G = GROUND
  - SV = SERVICE



ENLARGED SITEPLAN

1" = 20'-0"



SEAL: [Signature]

SOLID WASTE DEPT. DATE

MARTIN FM GRUMMER  
ARCHITECT  
200 UNIVERSITY BLVD NE  
ALBUQUERQUE, NM 87102  
(505) 262-2007

CARLOS TORREBLARTE  
OFFICE BUILDING

ENLARGED SITEPLAN

PROJECT: TITLE:

REVISIONS	

DATE: 11/4/05  
DRAWN BY: MFM  
CHECKED BY: MFM  
APPROVED BY:

SHEET NO:  
**A1.2**

# City of Albuquerque

*All scanned 6/26/06*



## DEVELOPMENT REVIEW APPLICATION

**SUBDIVISION** Supplemental form **S**

Major Subdivision action  
 Minor Subdivision action  
 Vacation  
 Variance (Non-Zoning)

**ZONING** Supplemental form **Z**

Annexation & Zone Establishment  
 Sector Plan  
 Zone Change  
 Text Amendment

**SITE DEVELOPMENT PLAN** **P**

...for Subdivision Purposes  
 ...for Building Permit  
 IP Master Development Plan  
 Cert. of Appropriateness (LUCC) L

**APPEAL / PROTEST of...** **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Connie Nellos of Nellos Bros. Inc. PHONE: (505) 292-1417  
 ADDRESS: 4516 Wyoming Blvd. NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: BBO Restaurant and Package Liquor Store  
 AGENT (if any): Nick Nellos of Thomsen Nellos Engineering PHONE: (505) 888-5808  
 ADDRESS: 2403 San Mateo Blvd. NE, Ste W-25 FAX: (505) 888-5809  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: tne@lobo.net

DESCRIPTION OF REQUEST: Site development plan for building permit.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract G-2A-1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Seven Bar Ranch  
 Current Zoning: SU-1 for IP use Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): A-14 No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 6 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill?  No  
 UPC No. 101406611212630121 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 3720 Ellison Dr. NW (subject to change)  
 Between: New Mexico 528 and Cottonwood Dr.

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
DRB 94-318\*, V-94-61

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 10/5/01

SIGNATURE Nick C. Nellos DATE 3/10/02  
 (Print) Nick C. Nellos  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>02500 - 00353</u>	<u>SDP BP</u>		\$ <u>0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>March 20, 2002</u>			Total \$ <u>0</u>

April Landa 3/12/02 **Project #** 1001623  
 Planner signature / date



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Nick C Nello  
Applicant name (print)

[Signature] 3/11/02  
Applicant signature / date

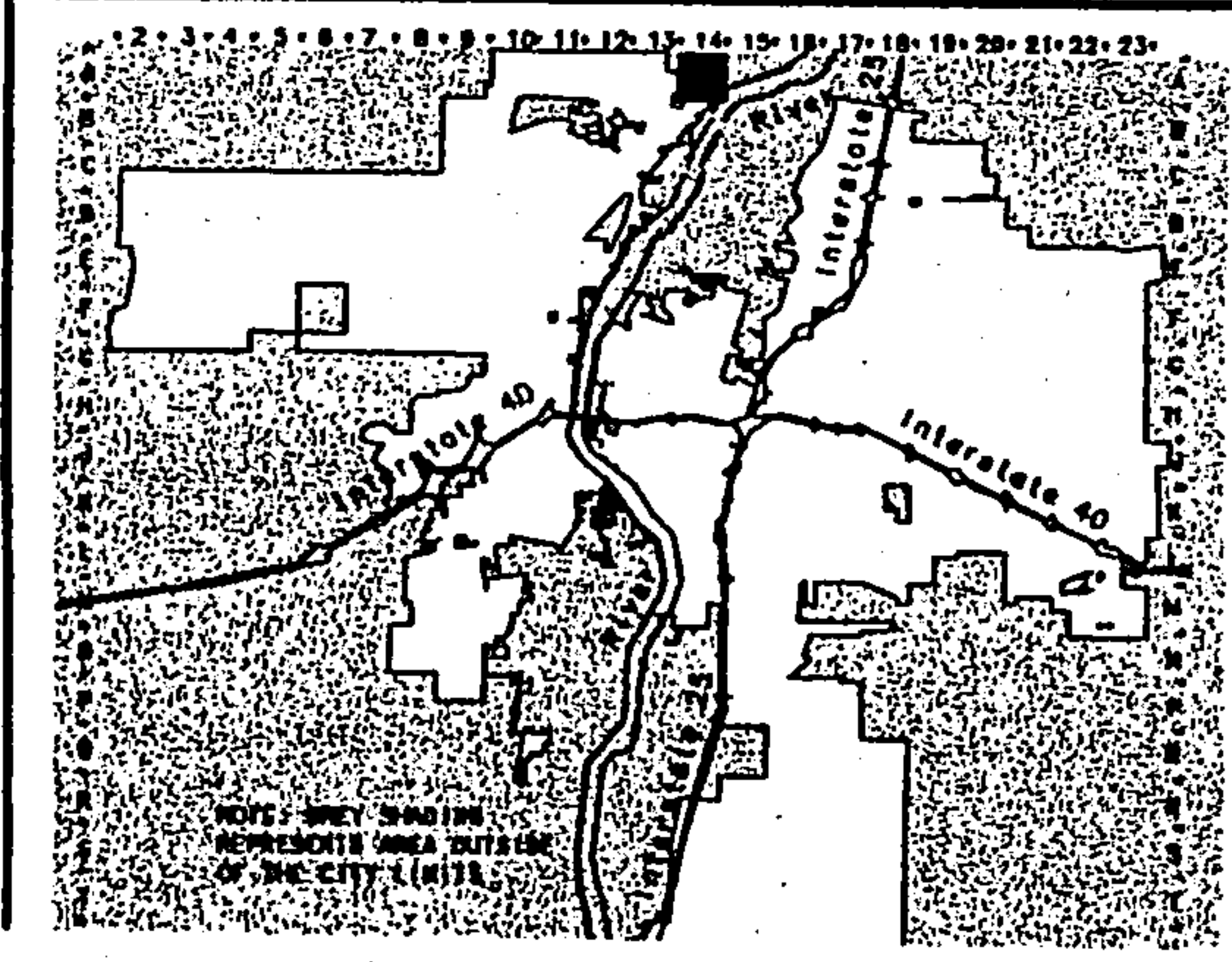
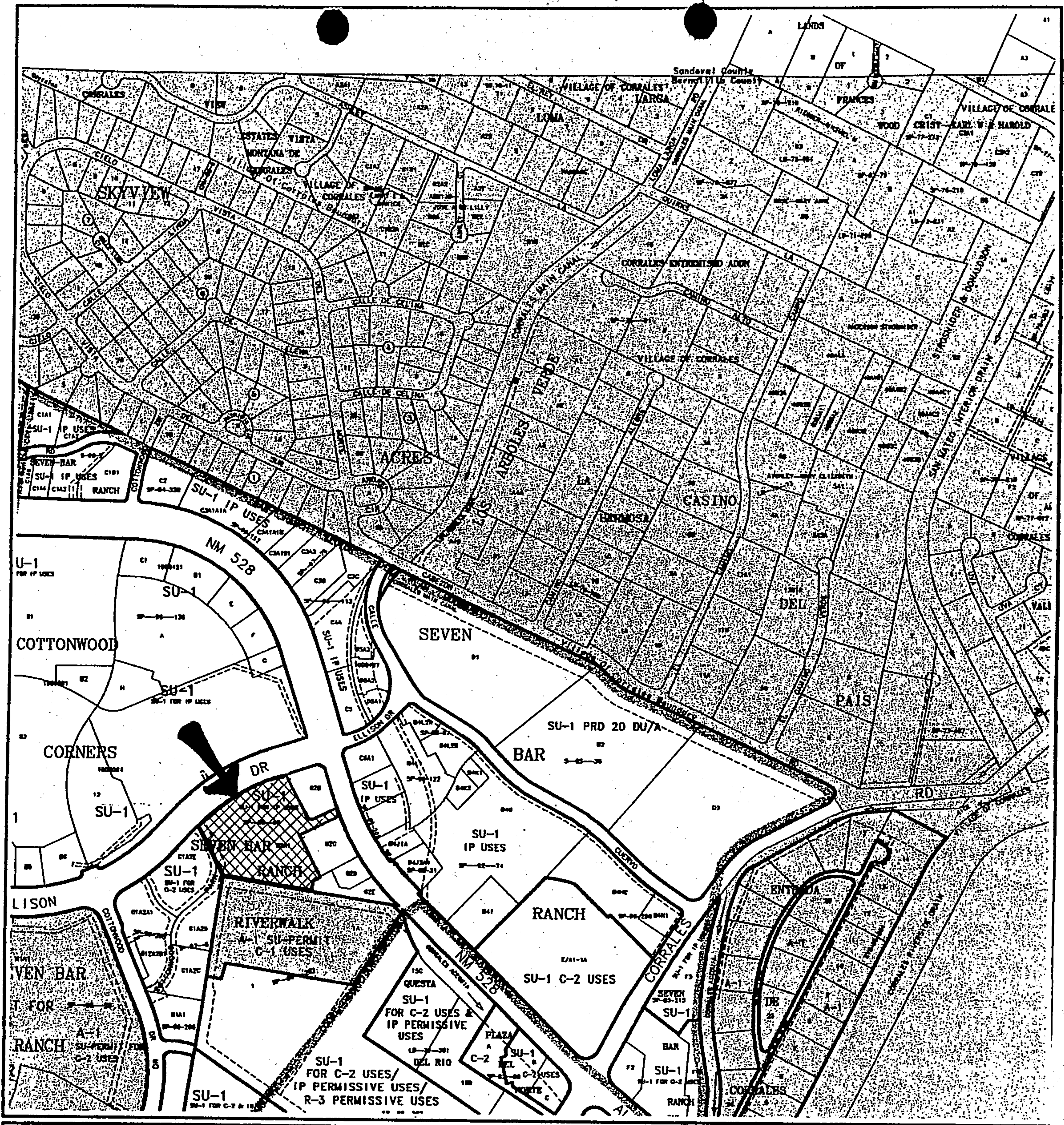


Form revised September 2001

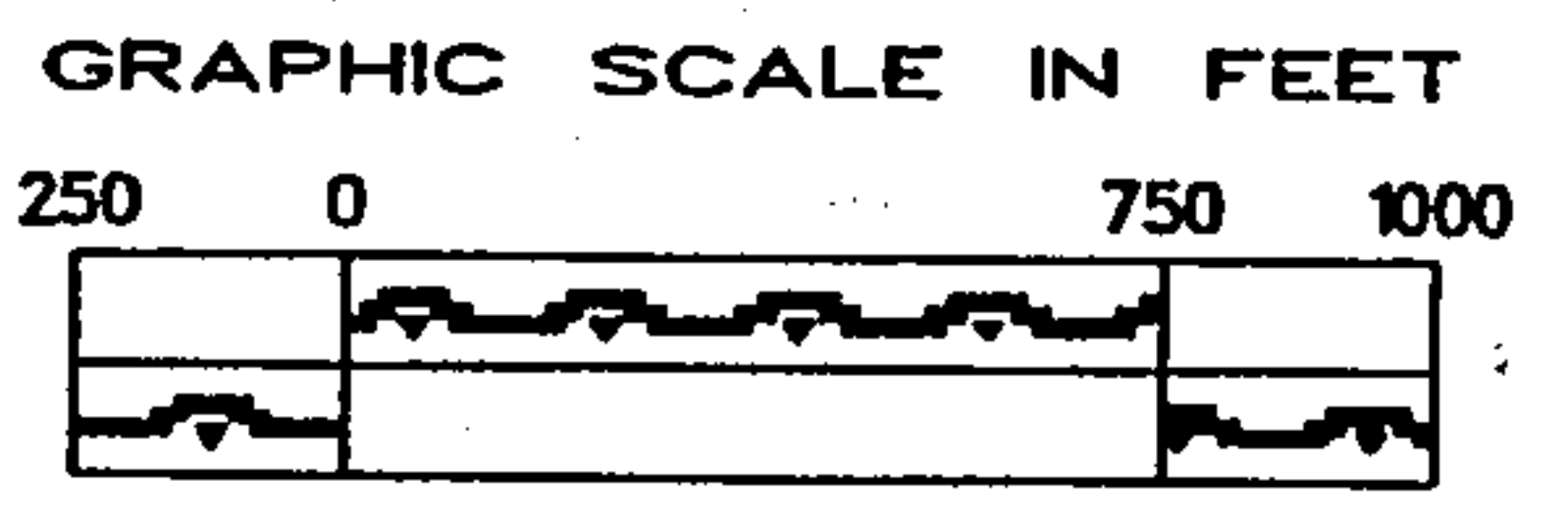
- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
02500 - 00353

[Signature] 3/12/02  
Planner signature / date

**Project #** 1001633



CITY OF  
Albuquerque  
**Albuquerque Geographic Information System**  
PLANNING DEPARTMENT  
© Copyright 2001



**Zone Atlas Page**

**A-14-Z**

Map Amended through July 20, 2001



THOMSEN NELLOS ENGINEERING, INC.  
MECHANICAL CONSULTING FOR BUILDING SYSTEMS

2403 San Mateo N.E. Suite W-25, Albuquerque, New Mexico 87110  
ph (505) 888-5808 fax (505) 888-5809 e-mail: tne@lobo.net

---

March 11, 2002

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico  
87103

RE: File # 01128 01743 (project 1001623)

Dear Sirs:

This letter is in response to the conditions set by the Environmental Planning Commission on January 17, 2002.

LEGAL DESCRIPTION: Request approval on a Site Development Plan for Building Permit for Tract G-2A-1, Seven Bar Ranch, zoned SU-1 for IP uses and located on Ellison Drive NW between New Mexico 528 and Cottonwood Drive NW, containing approximately 6 acres. (A-14) Deborah Stover, Staff Planner.

CONDITIONS:

- 1) This letter accompanies the submittal.
- 2) Proposed Phase II is not being built at this time. It will be consistent with the restaurant in architecture, style, colors, and materials.
- 3) Pedestrian and Bicycle Conditions:
  - a. Pedestrian walkways and sidewalks will be concrete with a minimum 6-foot width. See Sheet C-1.1
  - b. Pedestrian crossings will be a minimum 6-foot wide exposed aggregate concrete at pedestrian paths where they cross vehicular entrances and drive aisles. See Sheet C-1.1
  - c. Bicycle racks have been moved closer to the main building entrance without being in the pedestrian path or landscaped areas. The surface will be crusher fines. See Sheet C-1.1.

4) Light Poles:

Please find attached a cutsheet showing the Contour Series light by Lithonia Lighting. This sheet shows the light fixture is fully shielded horizontal lamps with full-cutoff type lighting. No light source will be visible from the site perimeter.

5) Landscape Plan Conditions:

- a. Planting areas over 36 square feet in size will have minimum 75% coverage of living, vegetative material. See Sheet L-1.
- b. Groundcover material in ponding areas will be as shown on L-1.
- c. The area that is proposed for future office building will have native grasses as shown on Sheet L-1.
- d. In the east parking area, behind the refuse enclosure, we have added a tree in a new planting area. See Sheet L-1.
- e. The outdoor patio area is mainly covered by the high roof structure with trees in the planters within the curved low wall structure. See the floor plan on Sheet C-5 for further clarification. The elevations on Sheet C-3 show the upper roof structure as it covers the outdoor dining area.

6) No chain link, razor wire or plastic/vinyl fencing will be used.

7) Signage:

- a. No more than one wall sign per facade per business activity limited to 3 total signs per facade will be used. See Building Elevations on Sheet C-3.
- b. Building mounted signage will be individual channel letters limited to 2-feet in height.
- c. Monument signs will be integrated with building colors and materials - one is a maximum 16-feet high at the main entrance and two are 6-foot high (one on 528 and one on the secondary entrance off Ellison).
- d. Letter heights are indicated on the building elevations, sheet C-3. A plexiglass type material will be used with an aesthetic quality color selected.
- e. Raceway signs will not be used.

8) Rooftop equipment will be screened by the parapet and painted to match building stucco color so as not to be seen from the site perimeter.

9) A detail of the refuse enclosure is shown on the site plan. See Sheet C-4 for design, color and materials of enclosure. Gates will be covered by metal to match building porch covers.

- 10) Loading Area will be screened by planting as shown on Sheet L-1. Roof cover at loading area will match porch covers on the north facade of building.
- 11) Public Works Department Transportation Conditions:
  - a. See attached letter to Tony Lloyd for requirements of previous actions taken by the EPC and the DRB and their completion status.
  - b. We will provide an easement on NM 528 to provide a 78 ft half width for a right-of-way.
  - c. Common access agreements are shown in Document #94132336 filed with the Bernalillo County Clerks Office. A copy of this document can be provide if required.
  - d. Drive aisles at 24 ft are shown on Sheet C-1.1.
  - e. See Sheet C-1.1 for site radii.
  - f. See Sheet C-1.1 for reference to City Standard Drawings for curb, curb & gutter, sidewalk, etc.
  - g. Parking spaces are dimensioned on Sheets C-1.1 as per DPM.
  - h. See Sheet C-1.1 for details for handicap parking, signing and striping.
  - i. Dumpster location is as per conversation with T.L. Baca, Solid Waste Management Department.
  - j. Bohanan Huston has submitted the conceptual grading and drainage plan and has tentative approval from Brad Bingham (City of Albuquerque).
- 12) The Phase II development of 10,000 square feet of offices is delegated to the DRB.

Should there be any questions on this submittal, please call me at 888-5808.

Sincerely,



Nick C. Nellos, P.E.  
NCN/mda

attachment



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: January 18, 2002

### OFFICIAL NOTIFICATION OF DECISION

FILE: 01128 01743 (Project 100i623)

Connie Nellos of Nellos Bros., Inc.  
4516 Wyoming Blvd., NE  
Albuquerque, NM 87111

LEGAL DESCRIPTION: Request approval of a Site Development Plan for Building Permit for Tract G-2A-1, Seven Bar Ranch, zoned SU-1 for IP uses and located on Ellison Drive NW between New Mexico 528 and Cottonwood Drive, NW, containing approximately 6 acres. (A-14) Deborah Stover, Staff Planner

On January 17, 2002, the Environmental Planning Commission voted to approve 01128 01743, a site development plan for building permit, based on the following Findings and subject to the following Conditions:

#### FINDINGS:

1. This is a request for approval of a site development plan for building permit for a 29,920 square foot restaurant with package liquor, a 450 square foot storage building and a future (Phase II) office building office on a 6-acre site located on Ellison Drive between New Mexico 528 and Cottonwood Drive NW.
2. This request is consistent with surrounding development and will not be harmful to adjacent property, the neighborhood or the community.
3. This request conforms to the *Albuquerque/Bernalillo County Comprehensive Plan* by providing variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.
4. The submittal complies with the *West Side Strategic Plan* which calls for the area to continue to develop as a center with primary uses as offices, retail, commercial and potential uses as public/institutional, convenience retail and higher density housing.
5. This request is consistent with *Resolution 91-1998 (R-70)* which encourages infill development.

#### CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

**OFFICIAL NOTIFICATION OF DECISION**

**01128 01743 (Project 1001623)**

**January 17, 2002**

**Page 2**

2. Proposed phase II office building shall be delegated to the DRB and shall be consistent with the restaurant in architecture, style, colors and materials.
3. Pedestrian and Bicycle Conditions:
  - a. All internal pedestrian walkways and sidewalks shall be concrete with a minimum 6-foot width.
  - b. Pedestrian crossings that are a minimum width of 6-feet that are clearly demarcated with slightly raised and/or textured paving shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
  - c. A bicycle rack shall be conveniently located near the building entrance but not within pedestrian pathways or landscape areas.
4. A detail of the light poles shall be included with the plan that states that all light fixtures shall be fully shielded horizontal lamps so that no light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light. No light source shall be visible from the site perimeter.
5. Landscape Plan Conditions:
  - a. Planting areas over 36 square feet in size shall have 75% coverage of living, vegetative material. (Gravel and shade tree canopies do not count toward this requirement when calculating the 75% coverage.)
  - b. Groundcover material for the ponding areas shall be stated on the landscape plan.
  - c. The area that is proposed for a future office shall be treated with landscape until the office facility is built. Landscape treatment shall be shown in this area, with the office building shown as a future use.
  - d. In the east parking area on the landscape plan and south of the restaurant in the parking area numbered 13 on the landscape plan, one shade tree shall be added to each of these two areas to ensure that no parking space shall be more than 100-feet from a tree.
  - e. The outdoor patio area shall have shade trees and/or an architecturally integrated shade structure within and around the patio area. Trees shall be spaced at intervals of 20 feet on center to provided shade for outdoor dining and shall be planted in planters that are a minimum of 5-feet by 5-feet.
6. No chain link, razor wire or plastic/vinyl fencing is permitted.
7. Signage:
  - a. No more than one wall sign per facade per business activity limited to 3 total signs signs per facade shall be permitted.
  - b. Building mounted signage shall consist of individual channel letters not to exceed 2-feet in height.
  - c. Monument signs that are integrated with building colors and materials are the only free standing signs allowed and shall be limited to one 16-foot high monument sign with 100-square feet face area and two 6-foot high monument signs with 75 square feet face area.
  - d. All letters shall be specified as to height, color and materials.
  - e. Raceway signs are not allowed.

**OFFICIAL NOTIFICATION OF DECISION**

**01128 01743 (Project 1001623)**

**January 17, 2002**

**Page 3**

8. The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground-mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
9. A detail of the refuse enclosure shall be shown on the site plan and shall be compatible in design, color and material with building architecture. The gates shall be opaque. Chain link gates are not allowed.
10. Loading areas shall have screen walls and covers that are architecturally integrated with the building.
11. Public Works Department Transportation Conditions:
  - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for. Completion of the required TIS mitigation measures, per Transportation Development Staff, for the adjacent sites must be completed if assumed to be in place for the current TIS for this site.
  - b. Dedication of additional right-of-way on NM528 to provide a 78' half width (total right-of-way for 28 is designated as 156'). Easement is okay. Sign or anything in the easement requires an encroachment agreement.
  - c. Provide common access agreements.
  - d. Dimension drive aisles at 24' per DPM.
  - e. Label all site radii per DPM.
  - f. Reference City Standard Drawings for curb, curb & gutter, sidewalk, etc.
  - g. Dimension all parking spaces (standard, small car, handicap/standard & van accessible) per DPM.
  - h. Provide details for handicap parking (both standard and van accessible), signing and striping.
  - i. Check with Solid Waste for dumpster location.
  - j. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval required prior to placement on DRB agenda.
12. The Phase II development of 10,000 square feet of offices be delegated to the DRB.

**IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY FEBRUARY 1, 2002 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.



OFFICIAL NOTIFICATION OF DECISION

01128 01743 (Project 100162)

January 17, 2002

Page 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,



for Victor J. Chavez  
Planning Director

VJC/DS/nat

cc: Nick Nellos, Thomsen Nellos Eng, 2403 San Mateo Blvd NE Ste W-25, Abq., NM 87110

*Terry O. Brown, P.E.*

P. O. Box 92051  
Albuquerque, NM 87199-2051  
(505) 883-8807 - Voice  
(208) 975-6132 - FAX  
e-mail: tobe@swcp.com



Tuesday, November 20, 2001

**Tony Loyd**  
City of Albuquerque Transportation Development Section  
600 2nd St. NW  
Albuquerque, NM 87102

Re: Quarters West Project (NM 528 / Coors Blvd.)

Dear Tony:

Attached is the Trip Generation Comparison Analysis for the Quarters West Project (NM 528 / Ellison Dr.) that you requested. The Quarters West Project is a parcel of the Seven Bar Ranch, Tract G-2A Development. The Traffic Impact Study for that project was performed by Bohannan-Huston, Inc. and is dated June, 1994.

The attached analysis demonstrates that the full buildout of the development including the Quarters West Project falls within the assumptions made in the 1994 Traffic Impact Study.

Please call me if you have questions or need additional information.

Sincerely Yours,

Terry O. Brown

cc: Nick Nellos, Thomsen Nellos Engineering, 2403 San Mateo NE Suite W-25, Albuquerque, NM 87110

attachment as noted

Catalog Number	Type

## FEATURES

**HOUSING** — Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Extruded 4" soft corner arm for pole or wall mounting is standard.

**DOOR FRAME** — Die-cast door frame has impact-resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone.

**OPTICS** — Anodized, aluminum hydroformed/segmented reflector. Four IES cutoff distributions available: Type II (asymmetric); Type III (asymmetric); Type IV (forward throw); Type V (square).

**ELECTRICAL SYSTEM** — High reactance, high power factor ballast for 100W. Constant-wattage autotransformer for 175-400W. Ballast is copper wound and 100% factory tested.

**FINISH** — Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

**SOCKET** — Porcelain, horizontal, position-oriented, socket with copper alloy, nickel-plated screw shell and center contact. Medium base socket used with 100W & 150W, mogul-base socket used with 175-400W. UL listed 1500W-600V.

**LISTING** — UL 1572 listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options).

**Soft Square Cutoff Lighting**

**CONTOUR**

**KAD**

**METAL HALIDE**  
100W, 150W, 175W, 200W,  
250W, 320W, 350W, 400W  
20' to 35' Mounting

**Standard dimensions**  
EPA: 1.2 ft.<sup>2</sup>  
Weight: 41 lbs (18.6 kg)  
Length: 17-1/2" (44.5 cm)  
Width: 17-1/2" (44.5 cm)  
Depth: 7-1/8" (18.1 cm)

## ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog number.

Example: **KAD 400M R2 120 SPD04**

### KAD 400M

Series	Voltage	Mounting	Options
KAD 100M	120	<b>SPD04</b> Square pole (4" arm) (standard)	<b>Shipped installed</b>
KAD 150M <sup>9</sup>	208 <sup>10</sup>	SPD09 Square pole (9" arm) <sup>3,4</sup>	SE Single fuse (120, 277, 347V, n/a TB)
KAD 175M	240 <sup>10</sup>	RPD04 Round pole (4" arm)	DF Double fuse (208, 240, 480V, n/a TB)
<b>KAD 200M<sup>9</sup></b>	<b>277</b>	RPD09 Round pole (9" arm) <sup>3,4</sup>	PER NEMA twist-lock receptacle only (no photocontrol)
KAD 250M <sup>9</sup>	347	WWD04 Wood pole or wall (4" arm)	QRS Quartz restrike system (250W maximum, lamp not included) <sup>11</sup>
KAD 320M <sup>9</sup>	480 <sup>10</sup>	WWD09 Wood pole or wall (9" arm) <sup>3,4</sup>	CSA Listed and labeled to comply with Canadian Standards
KAD 350M <sup>9</sup>	TB <sup>2</sup>	WBD04 Wall bracket (4" arm)	RJ Socket position for high performance optics (R2, R3, R5) <sup>5</sup>
<b>KAD 400M<sup>9</sup></b>		L/Arm (When ordering KMA, DAD12)	SCWA Super CWA Pulse Start Ballast (TB only)
		<b>Shipped separately</b>	LLRPSL Low Loss Reactor Pulse Start (277V only)
		KMA Mast arm adapter	
		KTMB Twin mounting bar	<b>Shipped separately<sup>4</sup></b>
		DAD12P Degree Arm (Pole)	PE1 NEMA twist-lock PE (120, 208, 240V)
		DAD12WB Degree Arm (Wall)	PE3 NEMA twist-lock PE (347V)
			PE4 NEMA twist-lock PE (480V)
			PE7 NEMA twist-lock PE (277V)
			HS House side shield (R2, R3, R4)
			KADVG Vandal guard
			KADWG Wire guard
			<b>Accessories: Tenon Mounting Slipfitter</b>
			Order as separate catalog number.
			Number of fixtures
			Tenon O.D. One Two@180° Two@90° Three@120° Three@90° Four@90°
			2-3/8" T20-190 T20-200 T20-290 <sup>7</sup> T20-320 <sup>7</sup> T20-390 <sup>7</sup> T20-490 <sup>7</sup>
			2-7/8" T25-190 T25-200 T25-290 <sup>7</sup> T25-320 T25-390 <sup>7</sup> T25-490 <sup>7</sup>
			4" T35-190 T35-200 T35-290 <sup>7</sup> T35-320 T35-390 <sup>7</sup> T35-490 <sup>7</sup>

**NOTES:**

- House side shield available.
- Optional multi-tap ballast (120, 208, 240, 277V).
- The SPD09, RPD09 or WWD09 must be used when two or more luminaires are oriented on a 90° drilling pattern.
- May be ordered as accessory.
- Reduced jacket ED28 lamp must be used.
- Additional architectural colors available; please see paint brochure.
- Must use RPD09.
- May be ordered with SCWA or LLRPSL.
- Must be ordered with SCWA or LLRPSL.
- Consult factory for availability in Canada.
- ORSTD available in select wattages; consult factory.

