

VICINITY MAP: K-10-Z

PARKING WILL BE PROVIDED PER CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE 2000, CHAPTER 14, ARTICLE 18.

OFF STREET PARKING

ONE (1) SPACE IS PROVIDED FOR EACH OF THE EIGHTEEN (18) SINGLE BEDROOM / SINGLE BATHROOM DWELLING UNITS.

REQUIRED: EIGHTEEN (18)
PROVIDED: EIGHTEEN (18)

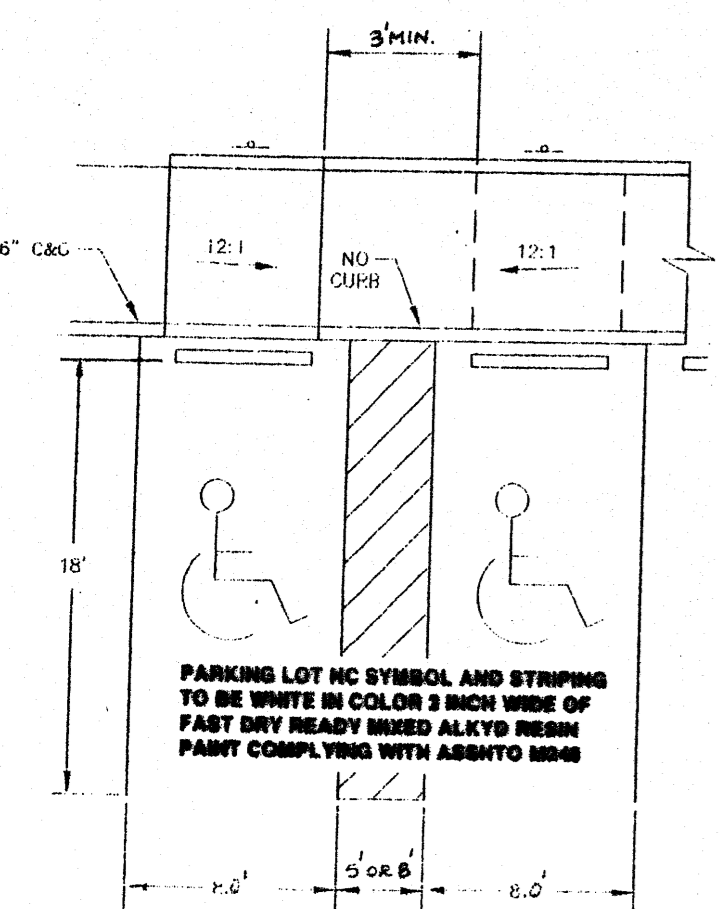
ACCESSIBLE SPACES REQUIRED: ONE (1)
ACCESSIBLE SPACES PROVIDED: TWO (2)

TOTAL OFF-STREET PARKING REQUIRED: EIGHTEEN (18)
TOTAL OFF-STREET PARKING PROVIDED: EIGHTEEN (18)

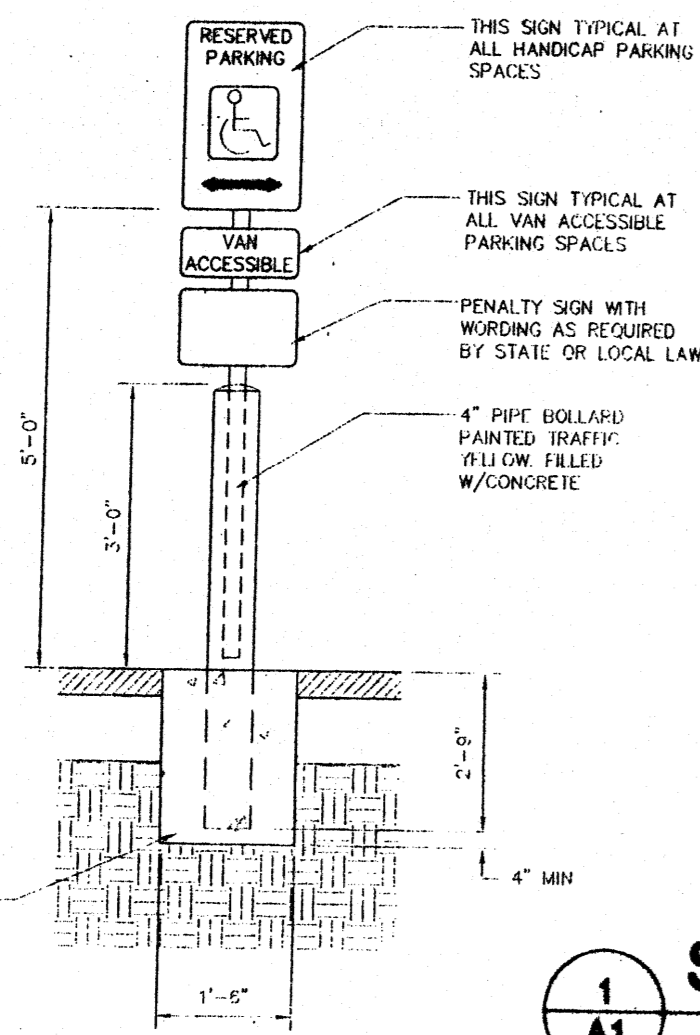
BICYCLE PARKING

ONE (1) BICYCLE PARKING SPACE IS PROVIDED FOR EACH TWO OF THE EIGHTEEN (18) SINGLE BEDROOM DWELLING UNITS.

REQUIRED: NINE (9)
PROVIDED: TEN (10)

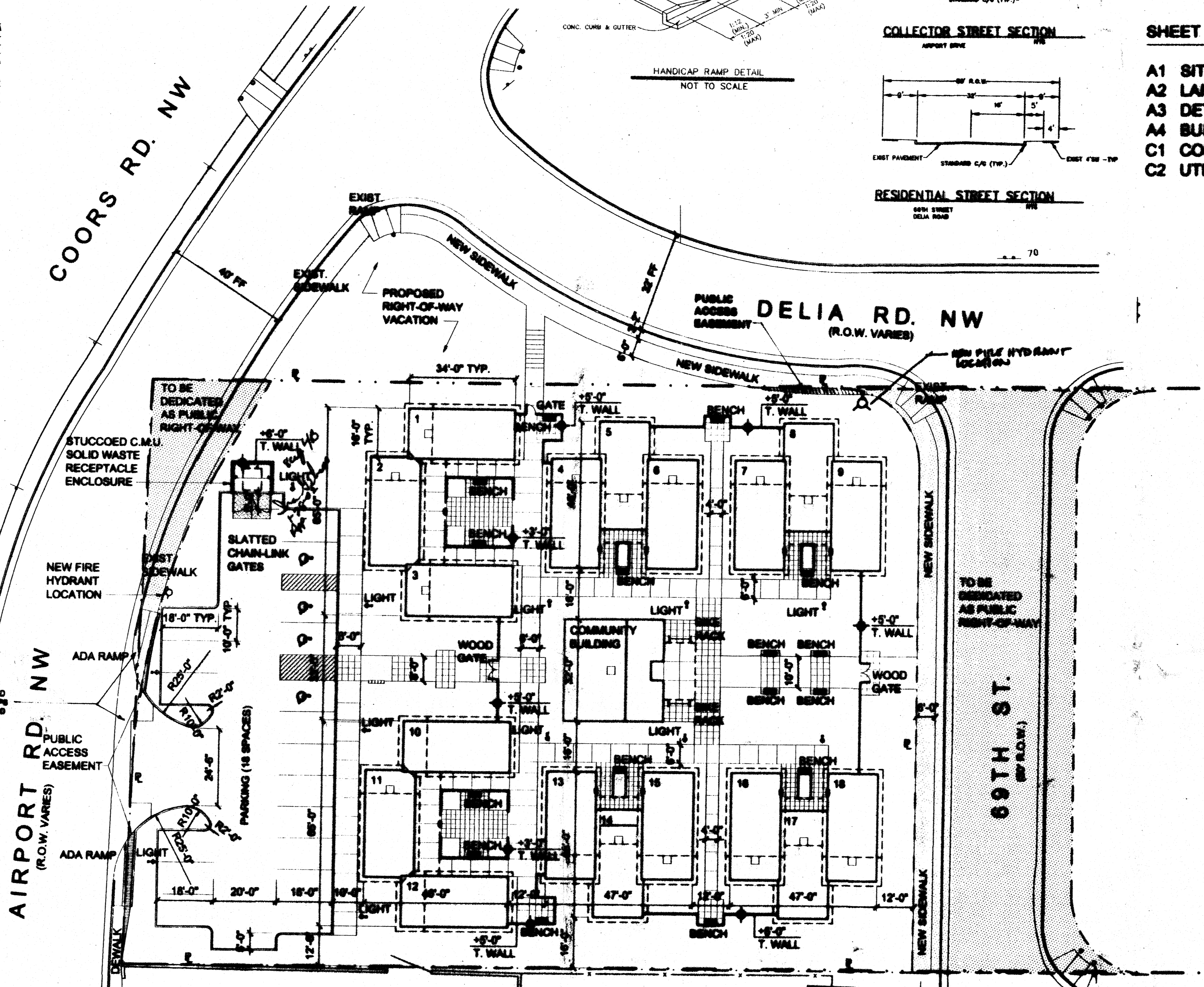


HANDICAP PARKING LAYOUT DETAIL
NTS



HANDICAP SIGN ASSEMBLY DETAIL
NOT TO SCALE

1 SITE PLAN



NEIGHBORING RESIDENCES

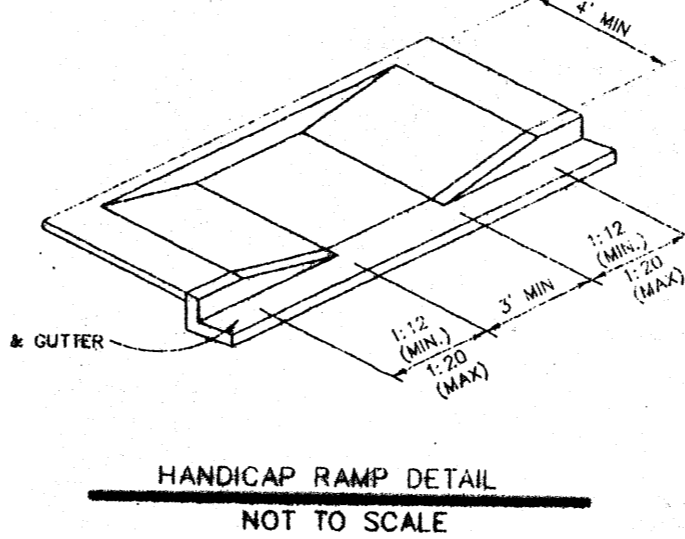
GWIN ST.

AIRPORT RD. NW
(R.O.W. VARIES)

COORS RD. NW

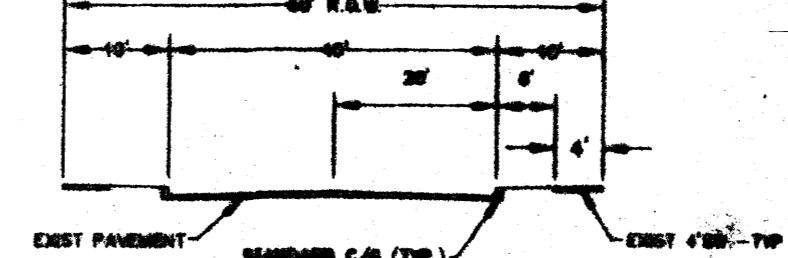
DELIA RD. NW
(R.O.W. VARIES)

69TH ST.
(R.O.W.)

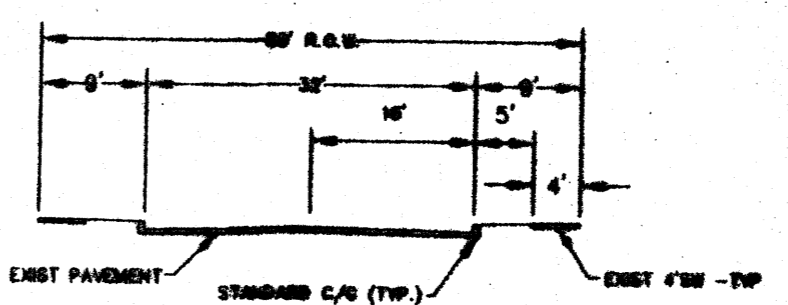


HANDICAP RAMP DETAIL
NOT TO SCALE

COLLECTOR STREET SECTION



RESIDENTIAL STREET SECTION



SHEET INDEX:

- A1 SITE PLAN
- A2 LANDSCAPE PLAN
- A3 DETAILS
- A4 BUILDING ELEVATIONS
- C1 CONCEPTUAL GRADING & DRAINAGE PLAN
- C2 UTILITY PLAN

SITE DATA:

PROPOSED USAGE: RESIDENTIAL APARTMENTS
LOT AREA: 1.87 ACRES
BUILDING AREA: 8,782 SF RESIDENTIAL APTS.
1,194 SF COMMUNITY BLDG.
9,976 SF TOTAL
PARKING: 8,182 SF

BUILDING AREA CALCULATIONS:

UNIT AREA: 544 SF
18 UNITS: 10,000 SF
RESIDENTIAL: 8,782 SF
COMM. BLDG.: 1,194 SF
TOTAL AREA: 10,976 SF

SYMBOL LEGEND:

- WALL LIGHT
- ⊙ POLE LIGHT
- ▬ BENCH
- ⊞ BIKE RACK
- MAIL BOXES
- ◆ HEIGHT MARKER

PAVING MATERIALS:

COURTYARDS: STAINED PATTERNED CONCRETE

SIDEWALKS: GRAY CONC. W/ STAINED AND PATTERNED CONCRETE AREAS

APPL # 02500-00121
PARKING LOT ASPHALT

PROJECT #
CASE NUMBER: 20021026

(Signatures and stamps)

DATE: 01.24.02
SCALE: 1"=30'-0"
DRAWN BY: E.J.F.

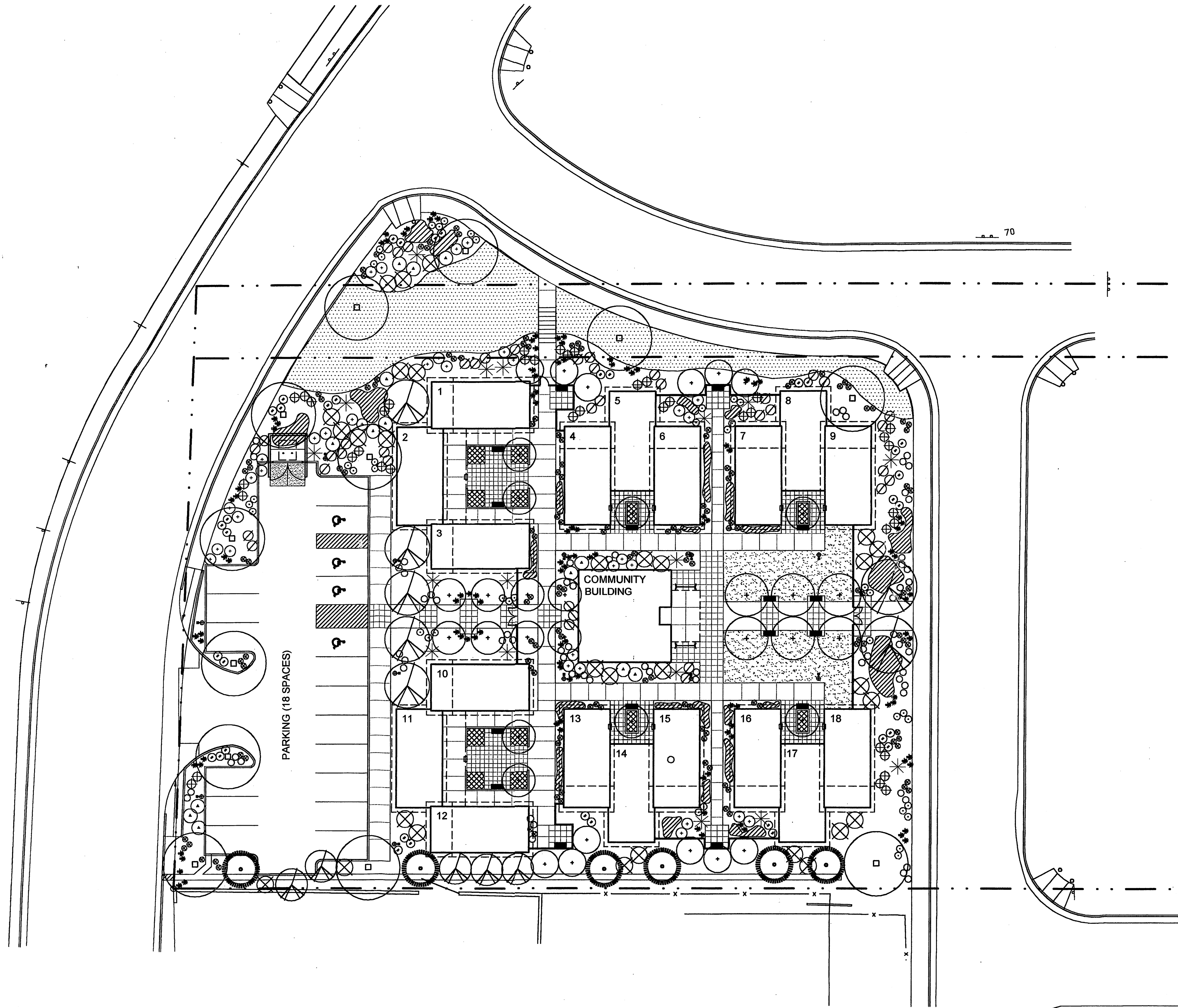
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0 10 20 40

514 CENTRAL NW
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NEW MEXICO
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505/766-6968
FAX/243-4500

GARRETT SMITH LTD
GENERAL ARCHITECTURE & INTERIORS

PROJECT # 1001626

NEW LIFE HOMES
John Blumhardt / ALUJD



GENERAL NOTES

1. The design and provision of landscaping features within the Newlife Homes site will utilize water conservation, environmentally sound landscape principles in addition to providing an aesthetically pleasing environment for residents and visitors.
2. All trees shall be a minimum 2" caliper, or 10 to 12 feet in height, at the time of planting as required by the City's Zoning Code.
3. Planting areas shall be top dressed with 3" layer of Santa Ana Tan rock mulch.

PLANT PALETTE

- Deciduous Trees (1 1/2" Caliper Min.)**
 Chaste tree/Vitex agnus-castus
 Desert willow/Chionopsis linearis
 Mimosa/Albizia julibrissin
 Modesto ash/Fraxinus velutina 'modesto'
 Purple robe locust/Robinia 'purple robe'
- Evergreen Trees (6' Min. Height)**
 Austrian Pine/Pinus nigra
 Mugo pine/Pinus mugo
- Shrub Mix 1 (1 & 5 Gallon)**
 Autumn joy sedum/Sedum telephium
 Autumn sage/Salvia greggii
 Cinquefoil/Potentilla fruticosa
 Gayfeather/Liatris punctata
 Heavenly bamboo/Nandina domestica
 Powis castle sage/Artemisia atriplicifolia
 Red yucca/Hesperaloe parviflora
- Shrub Mix 2 (1 & 5 Gallon)**
 Bird of paradise/Caesalpinia gilliesii
 Blue mist spirea/Caryopteris clandonensis 'blue mist'
 India hawthorne/Raphiolepis indica
 Russian sage/Perovskia atriplicifolia
 Fraser's photinia/Photinia fraseri
 Snowball bush/Viburnum zauschneria
- Ground Covers**
 Blue flax/Linum lewisii
 Buffalo juniper/Juniperus sabina
 Butterfly weed/Asclepias tuberosa
 Paperflower/Psiloctrope tagentina
 Vinca/Vinca minor
- Grasses**
 Buffalo/Blue grama seed mix
 Kentucky bluegrass/Fescue lawn mix
- Annual Mix**

LEGEND

- WALL LIGHT
- POLE LIGHT
- BENCH
- BIKE RACK

IRRIGATION SYSTEM

A fully automated drip irrigation system will be utilized to irrigate tree, shrub, and groundcover planting areas, single outlet and multi-outlet drip emitters will irrigate plant materials.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

LANDSCAPE AREA REQUIREMENTS

Site Area	46,609 s.f.
Building Area	10,916 s.f.
Total	35,693 s.f.
Landscape Area Required (15%)	5,354 s.f.
Landscape Area Provided	21,087 s.f.

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GARRETT SMITH, L.L.D.
 DESIGN, ARCHITECTURE & DEVELOPMENT

EPC SUBMITTAL

NEWLIFE HOMES
 John Bloomfield / H.U.D.
 LANDSCAPE PLAN

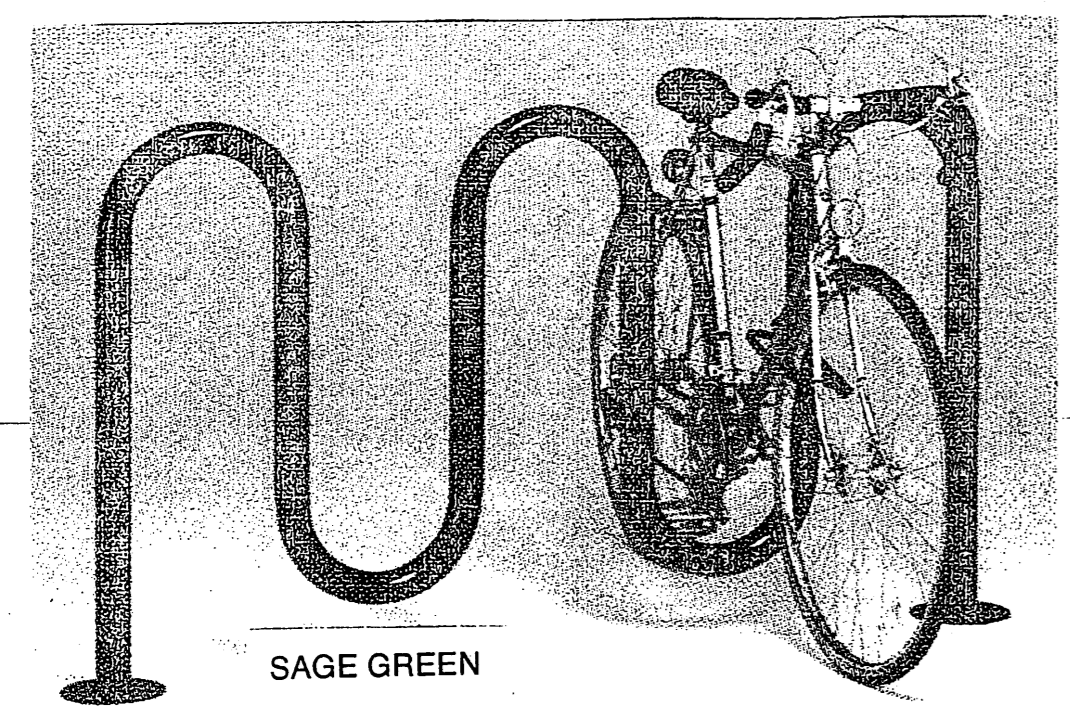
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 DRN. BY KMP/MA

A2

1 LANDSCAPE PLAN
 A1.0

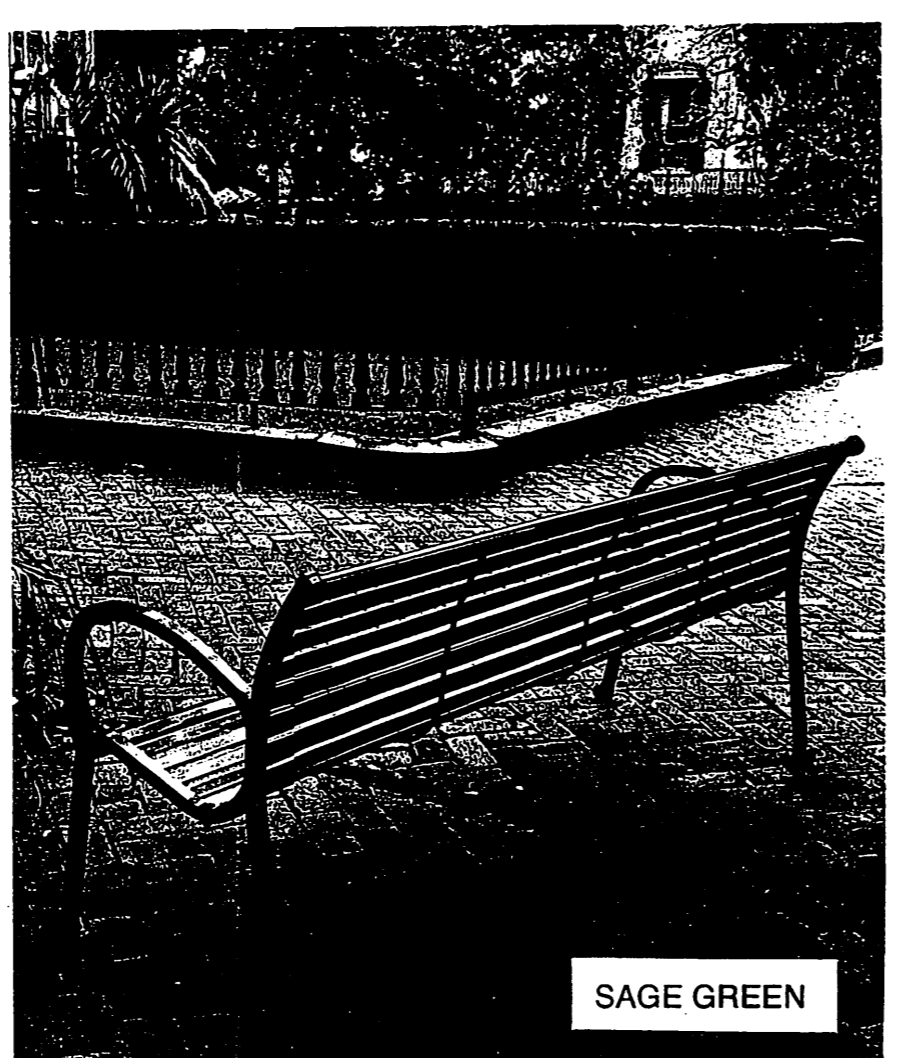
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CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com



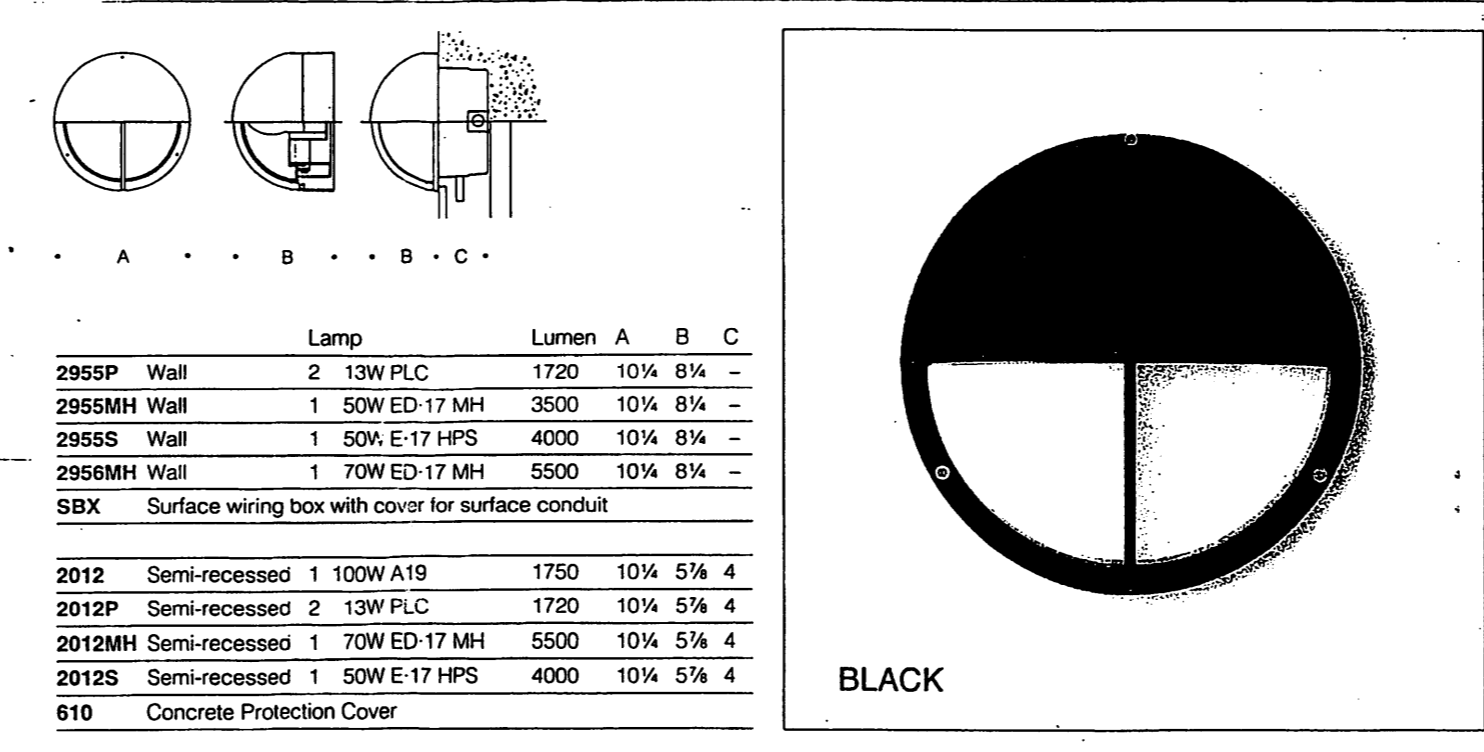
BICYCLE RACK

NO SCALE



BENCH

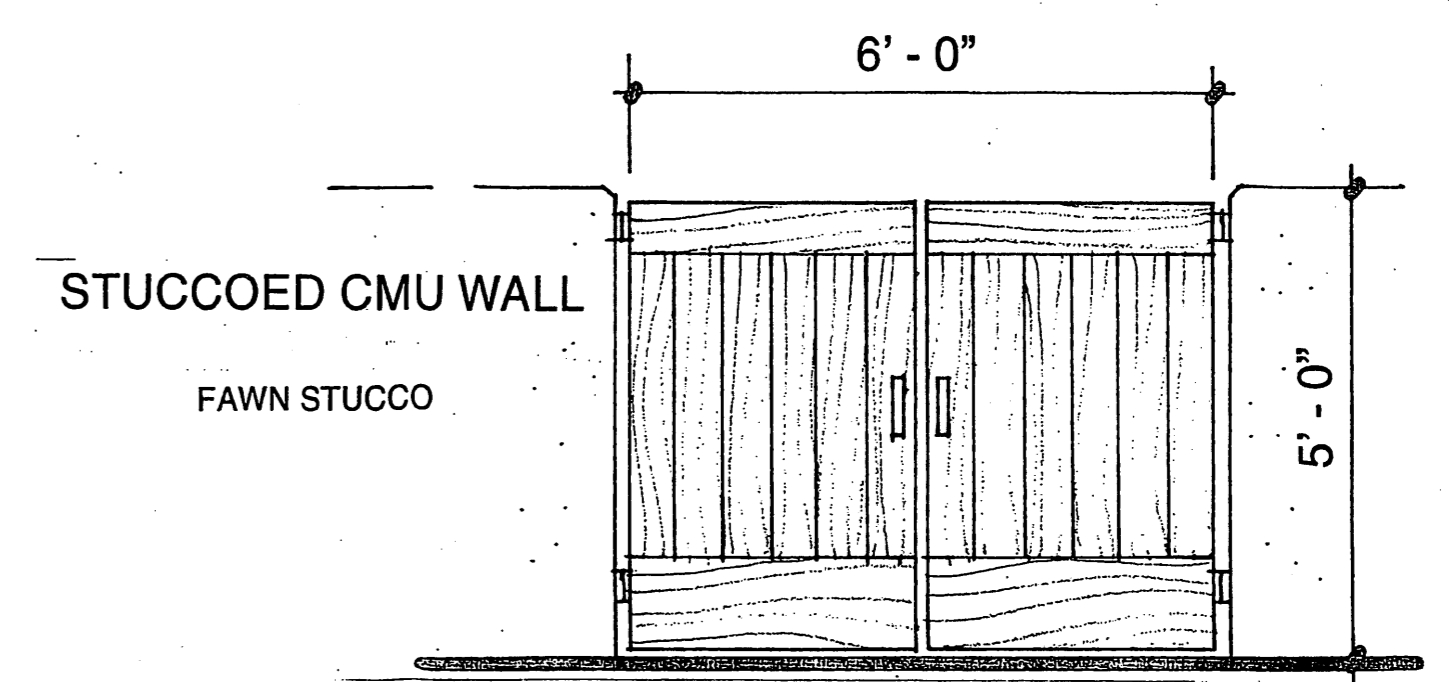
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WALL MOUNTED LIGHT

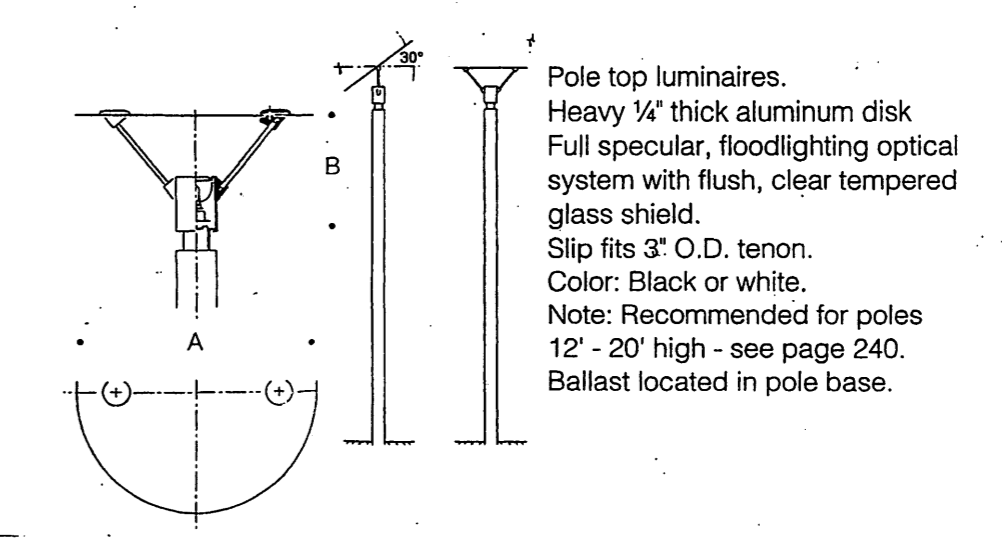
NO SCALE

Lamp	Lumen	A	B	C
2955P Wall 2 13W PLC	1720	10 1/4	8 1/4	-
2955MH Wall 1 50W ED-17 MH	3500	10 1/4	8 1/4	-
2955S Wall 1 50W E-17 HPS	4000	10 1/4	8 1/4	-
2955MH Wall 1 70W ED-17 MH	5500	10 1/4	8 1/4	-
SBX	Surface wiring box with cover for surface conduit			
2012	Semi-recessed 1 100W A19	1750	10 1/4	5 1/4
2012P	Semi-recessed 2 13W PLC	1720	10 1/4	5 1/4
2012MH	Semi-recessed 1 70W ED-17 MH	5500	10 1/4	5 1/4
2012S	Semi-recessed 1 50W E-17 HPS	4000	10 1/4	5 1/4
610	Concrete Protection Cover			



WOOD GATES

1/2" = 1'-0"

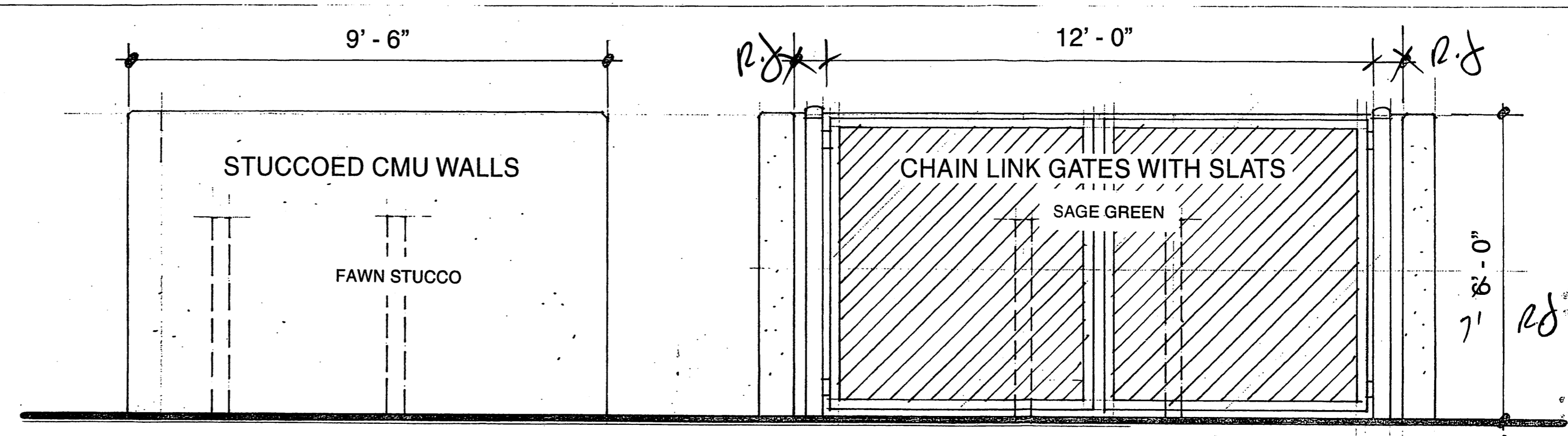


Lamp	Lumen	A	B
8101MH 1 150W G12T6 MH	14000	39 1/4	22 1/4
8200MH 1 70W G12T6 MH	6600	31 1/2	20 1/4

Poles for above luminaires - see page 240.

POLE MOUNTED LIGHT

NO SCALE

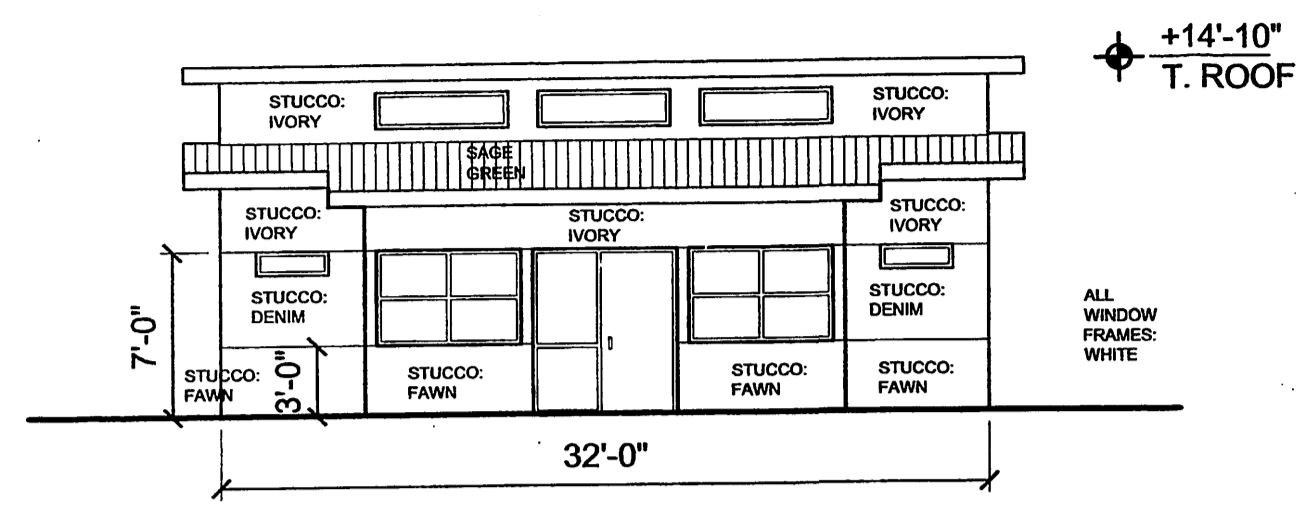


DUMPSTER ENCLOSURE

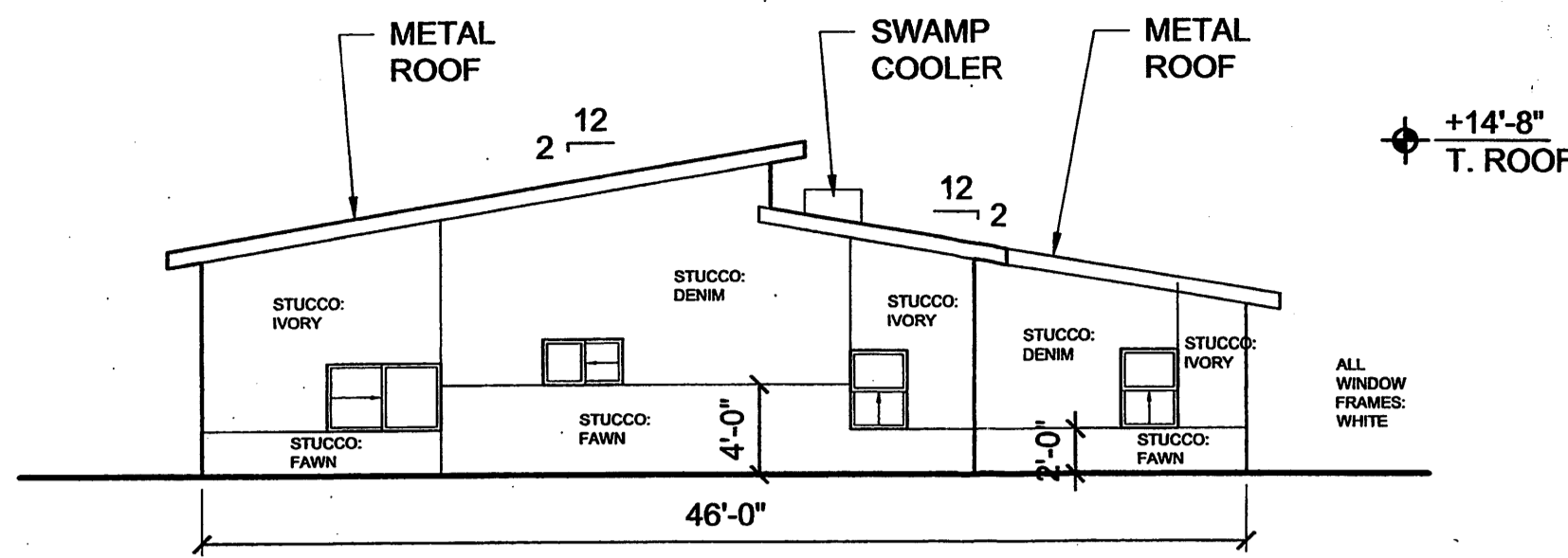
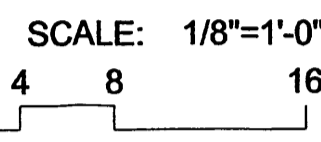
SCALE: 1/2" = 1'-0"

John Bloomfield
 1-29-02

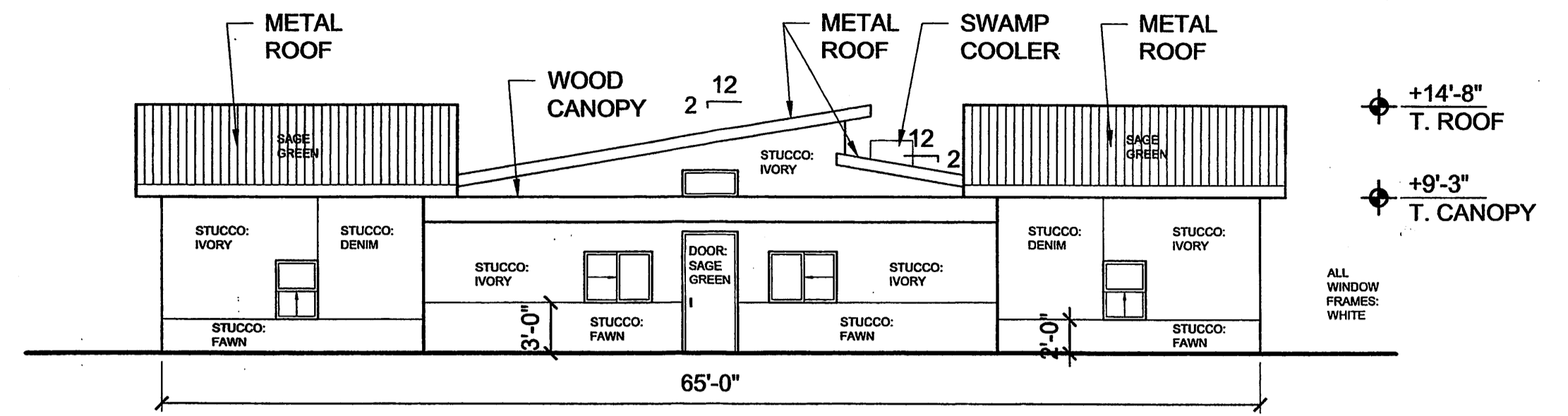
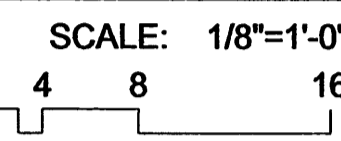
NOTE: ALL STUCCO COLORS BY EL REY. REFER TO STUCCO SAMPLE CHART OF STANDARD EL REY COLORS. (117 FAWN; 129 IVORY; 107 DENIM)



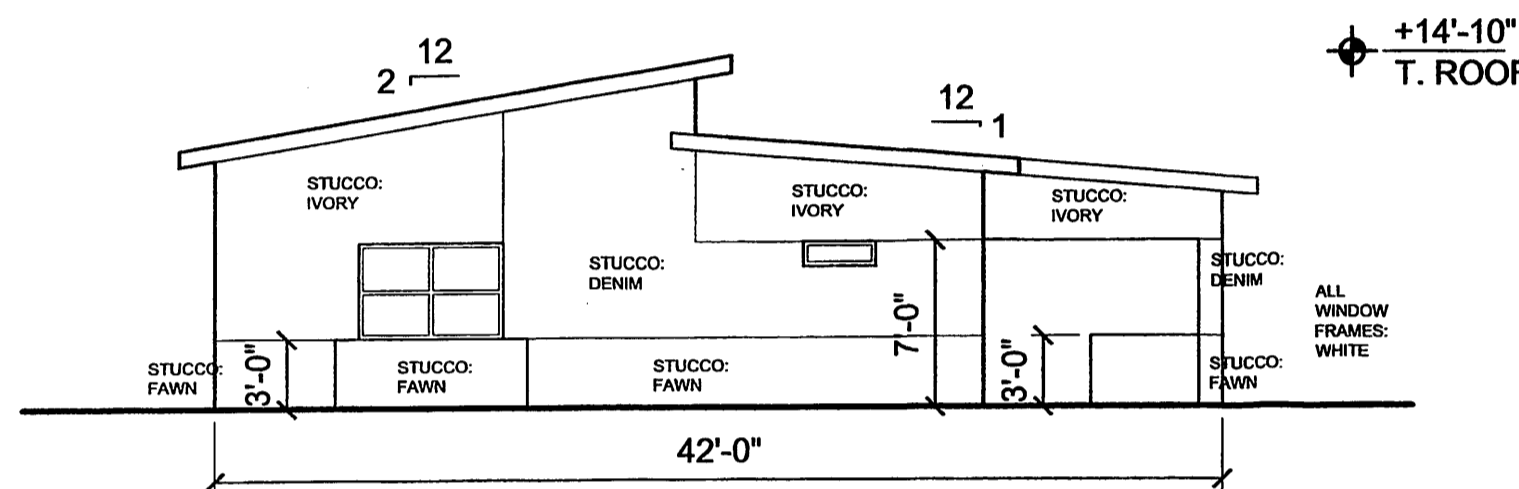
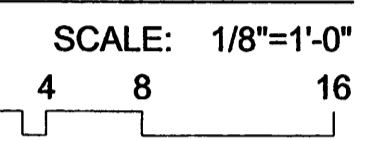
12 EAST ELEV. - COMMUNITY BLDG.



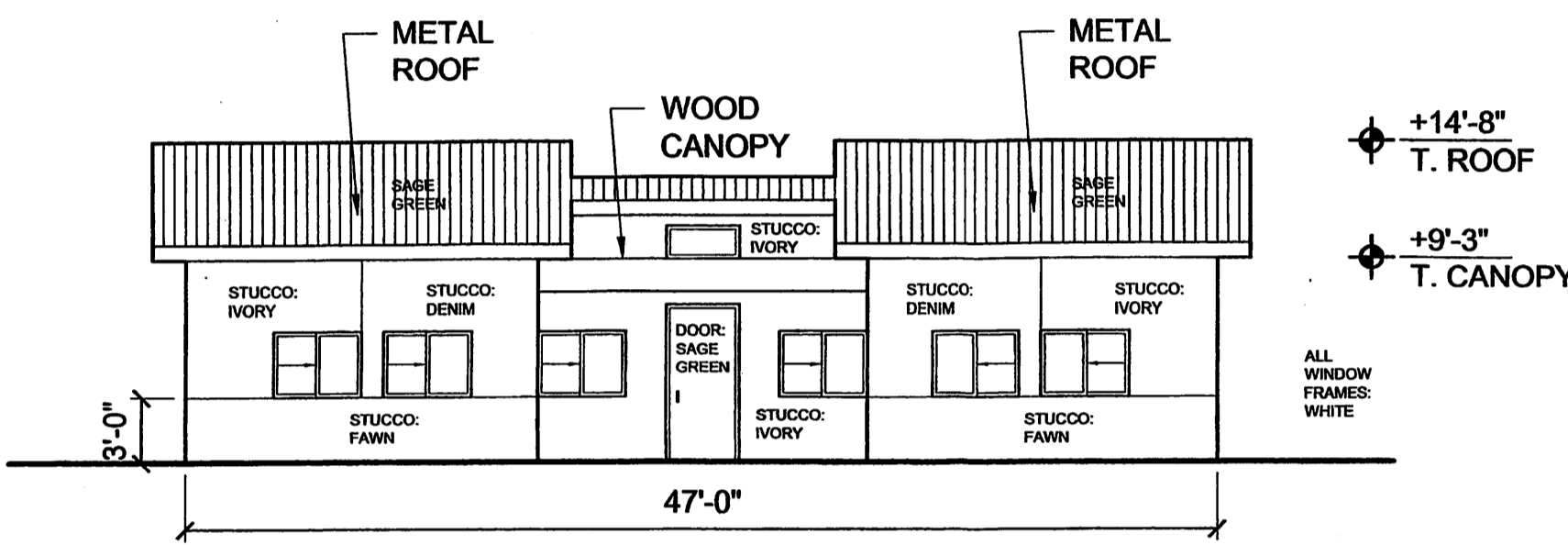
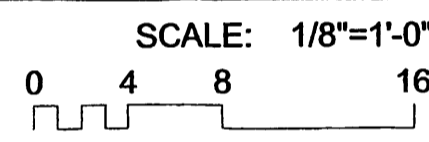
8 EAST ELEV. - BLDG. B & C (E & F SIM.)



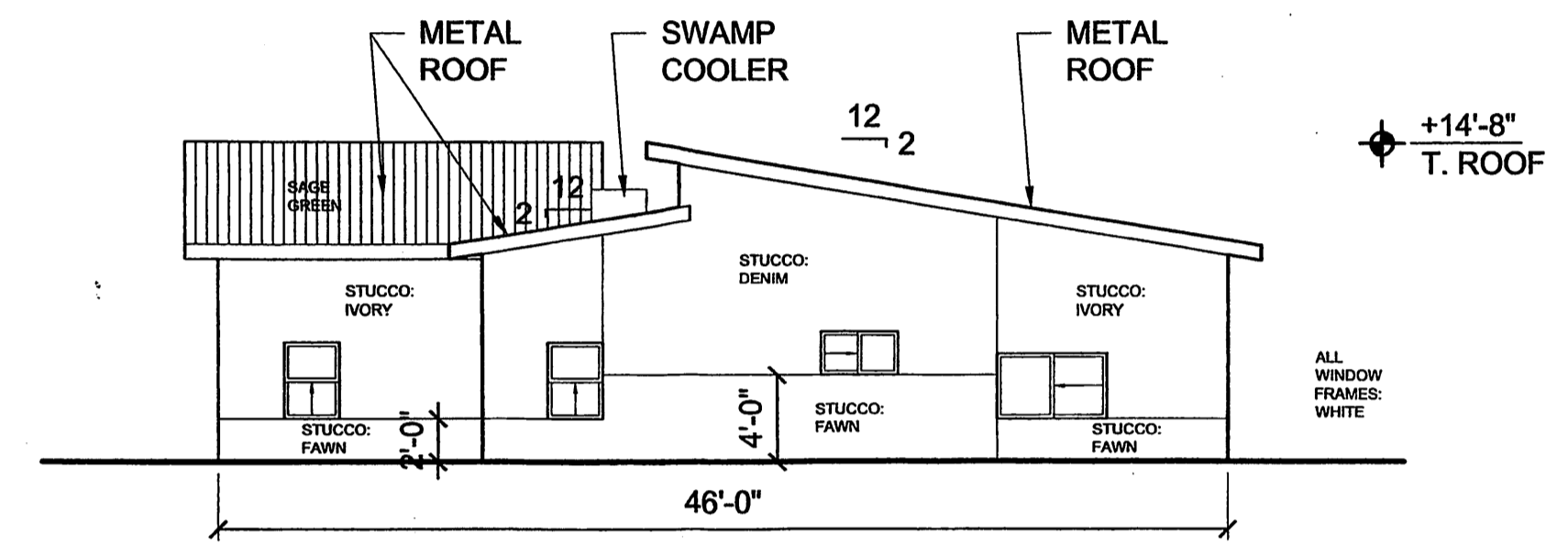
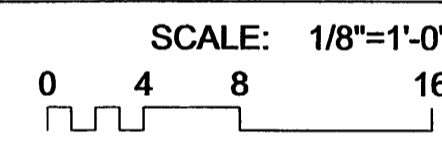
4 EAST ELEV. - BLDG. A & D



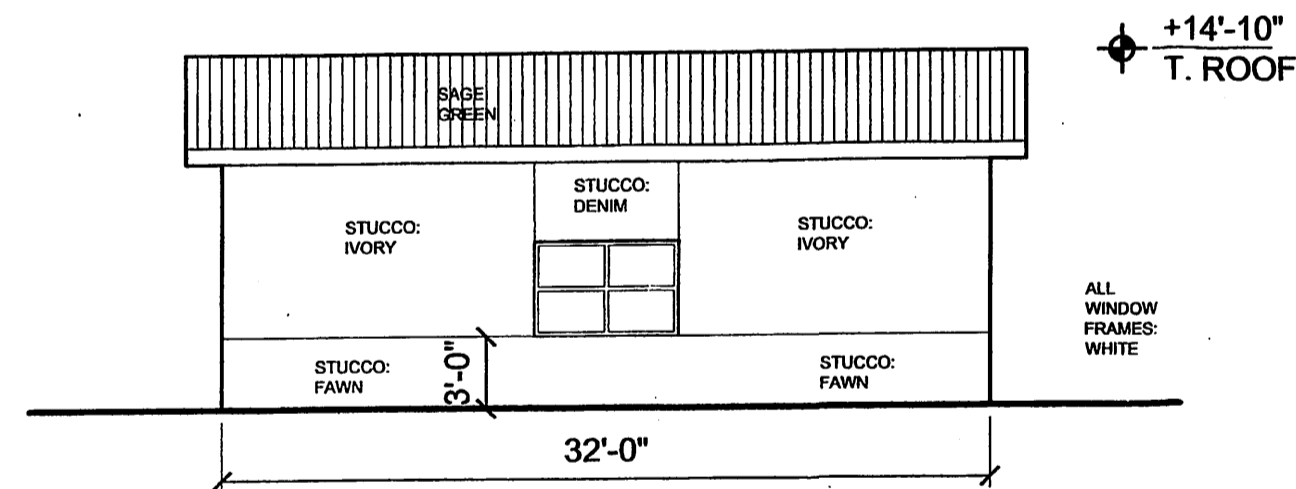
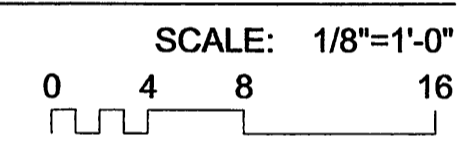
11 SOUTH ELEV. - COMMUNITY BLDG.



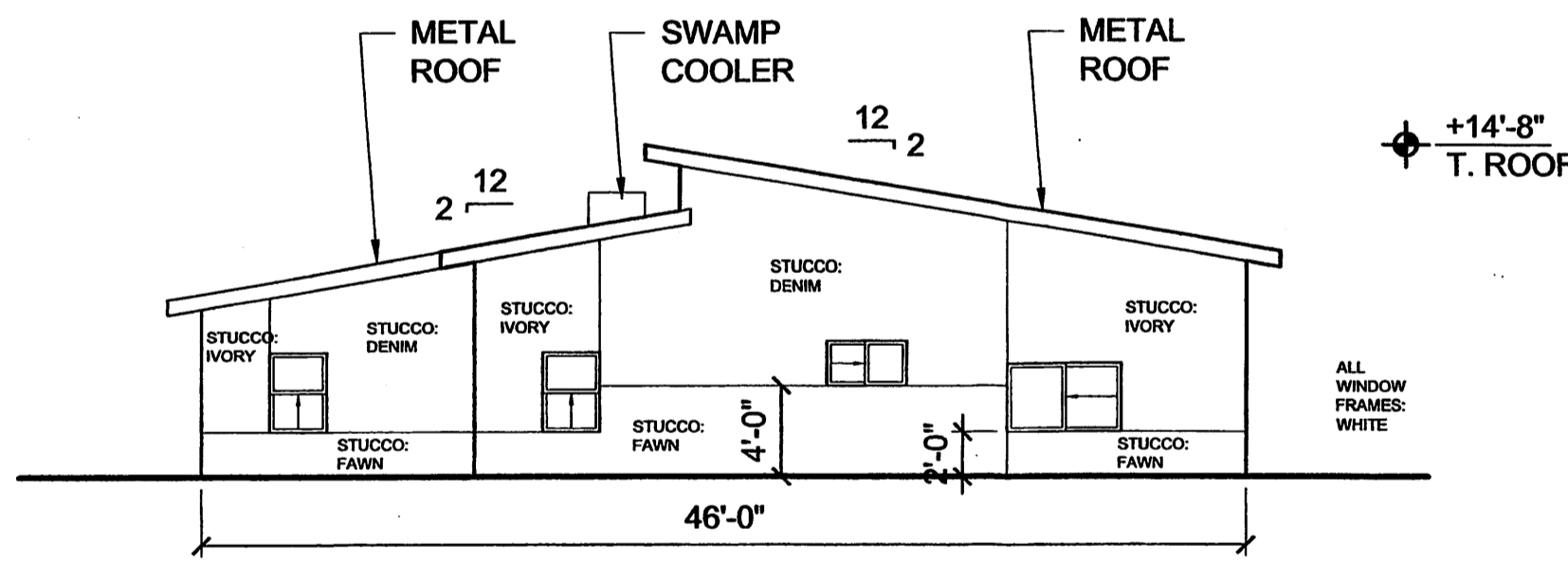
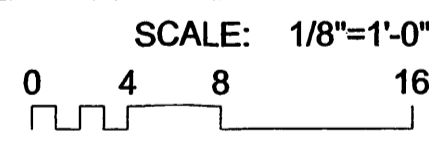
7 SOUTH ELEV. - BLDG. B & C (E & F SIM.)



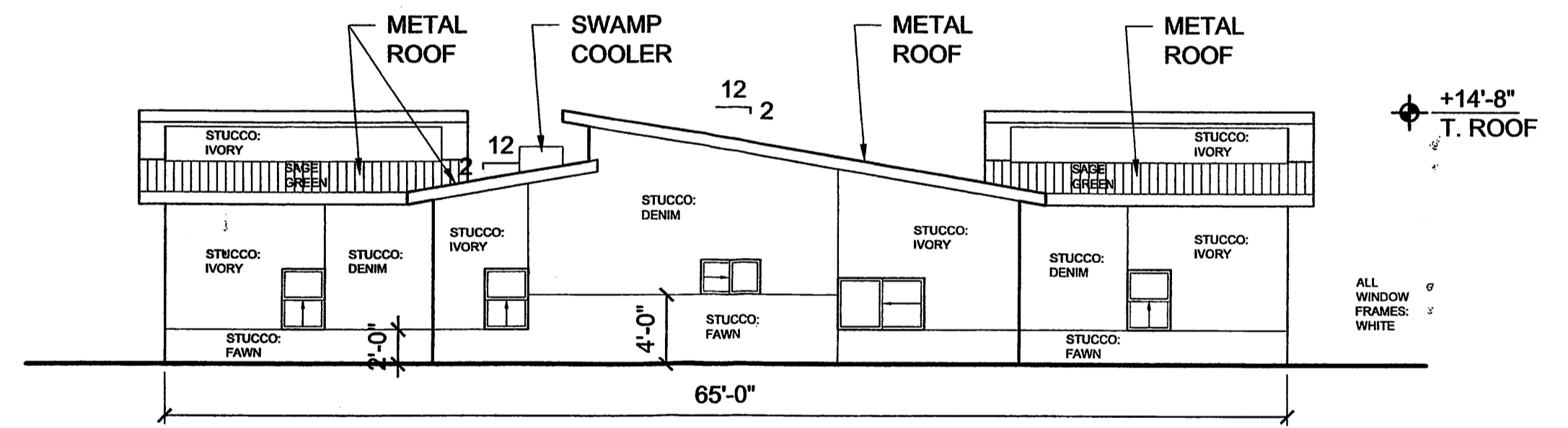
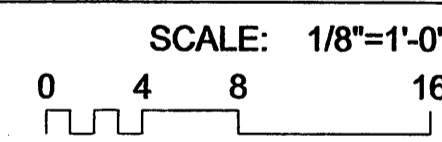
3 SOUTH ELEV. - BLDG. A & D



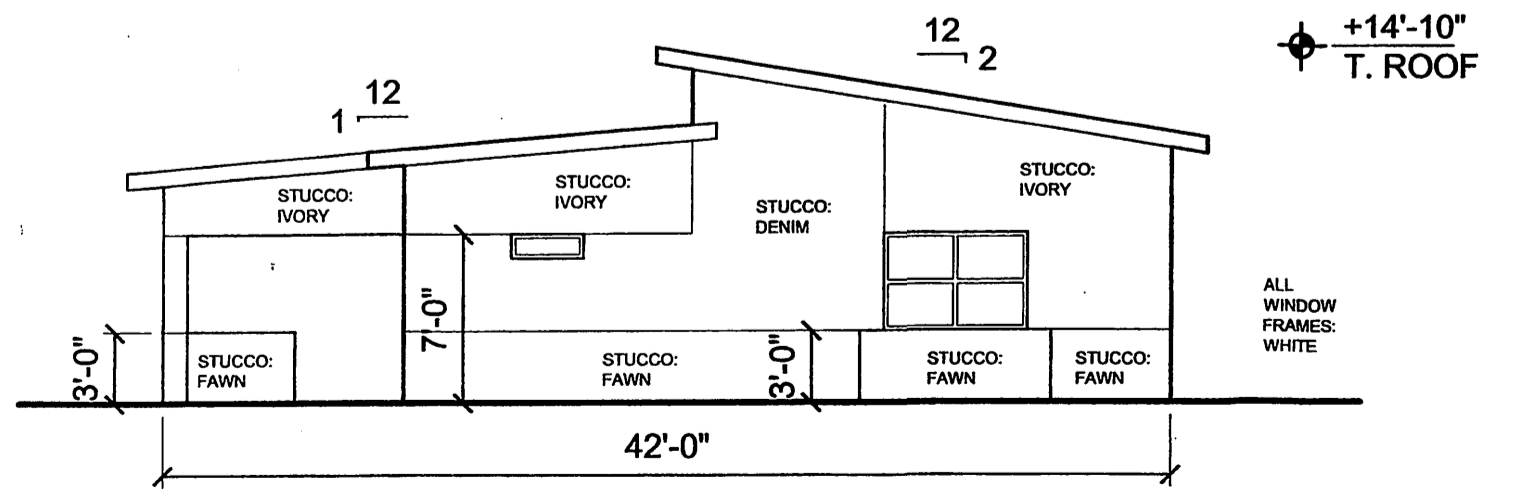
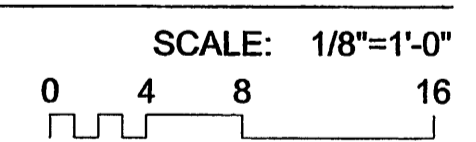
10 WEST ELEV. - COMMUNITY BLDG.



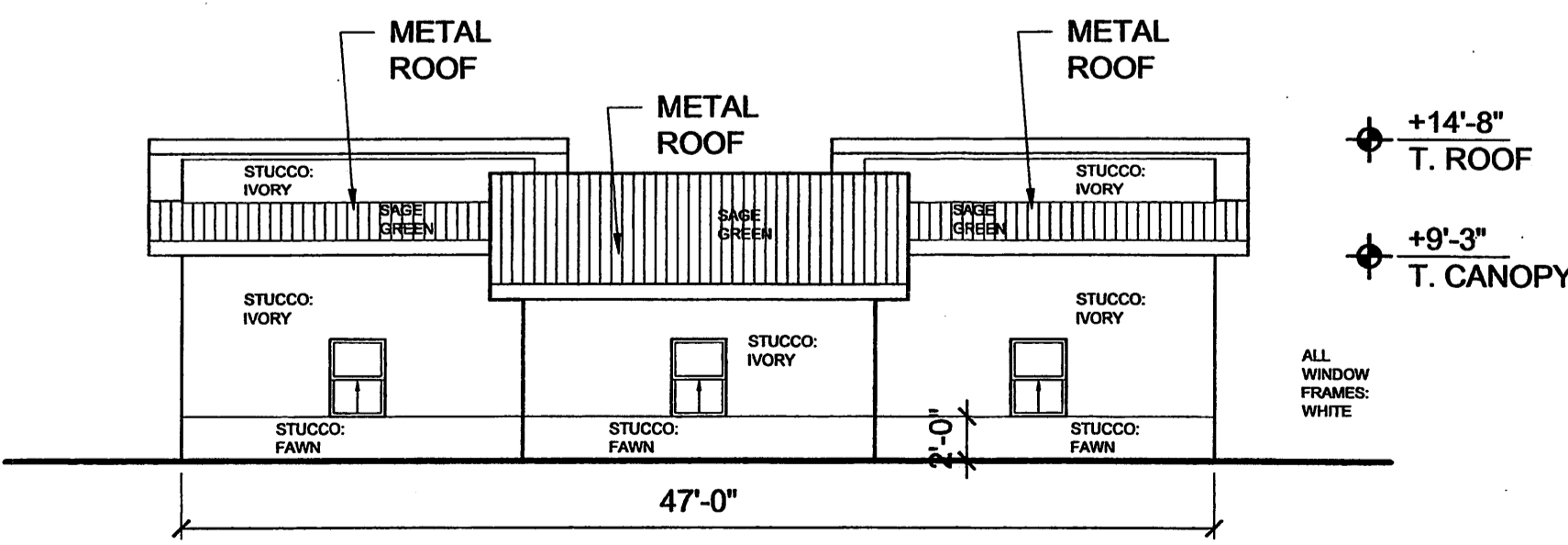
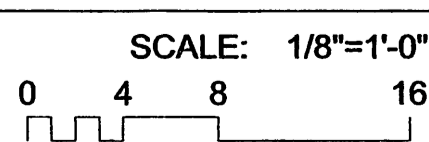
6 WEST ELEV. - BLDG. B & C (E & F SIM.)



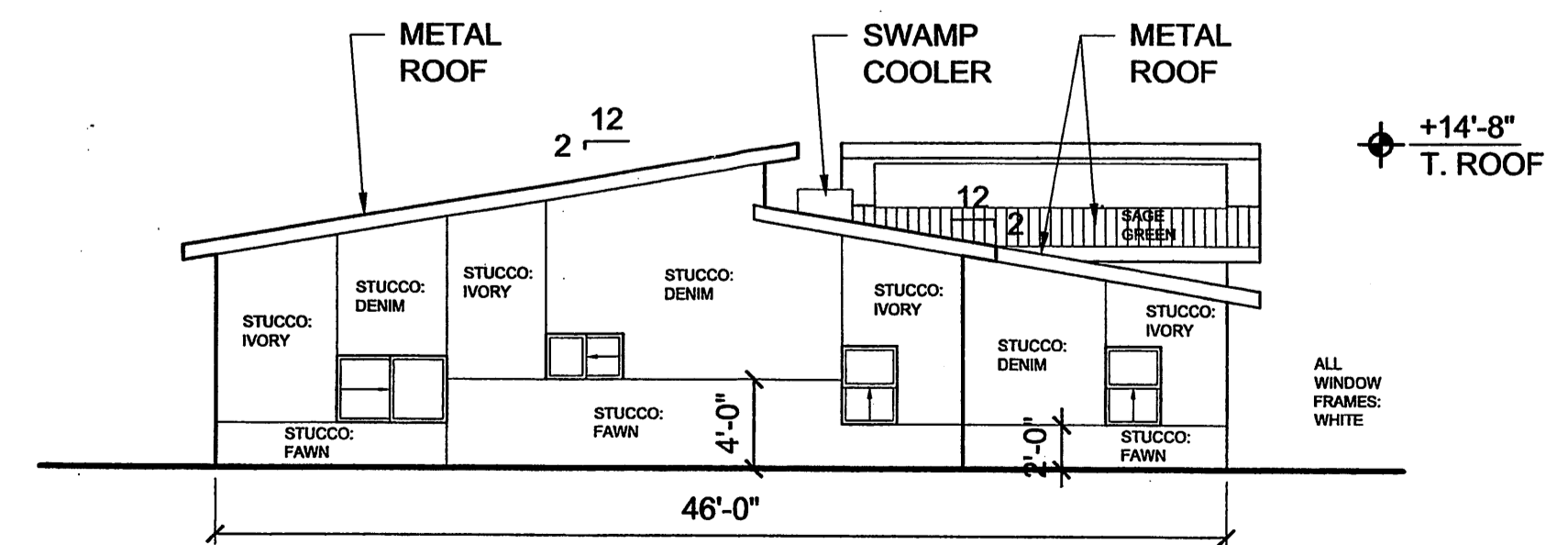
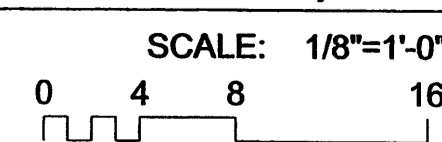
2 WEST ELEV. - BLDG. A & D



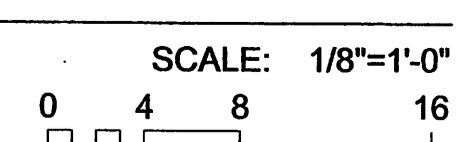
9 NORTH ELEV. - COMMUNITY BLDG.



5 NORTH ELEV. - BLDG. B & C (E & F SIM.)



1 NORTH ELEV. - BLDG. A & D



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REV. 01.24.02

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GARRETT SMITH, L.L.D.
ARCHITECTURE & DEVELOPMENT

EPC SUBMITTAL

NEW LIFE HOMES
John Bloomfield / H.U.D.

BUILDING ELEVATIONS

DATE: 01.24.02
SCALE: 1/8"=1'-0"
DRN. BY B.J.F.

A4

CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of New Life Homes located Airport Road NW at Delia Road NW. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements. This Plan is presented to support Site Development Plan approval by the Environmental Planning Commission.

EXISTING CONDITIONS

The project site is approximately 1.1 acres in size and is located Airport Road at Delia Road NW. The project site is particularly described as a Portion of Lot 111, Town of Atrisco Grant, Unit 6. The site is bounded by Delia Road on the north, 69th Street on the east, Airport Road on the west, and developed residential properties on the south. Site topography slopes from north to south at approximately 5 percent. All on-site runoff drains south and west to improvements located at the south end of Airport Road, where an existing drop inlet and storm drain convey flows to the Coors Blvd drainage system.

As shown by the attached FIRM Panel, a Flood Hazard Zone does not impact this site.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of New Life Homes, with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

All drainage flows will be managed on-site by swales and channels and discharge to Airport Road as described above. A landscaped swale with a concrete alley gutter will be provided along the south property line that will convey flows west to Airport Road. Since this is an infill site, with acceptable downstream drainage improvements the site will free discharge to Airport without ponding requirements. As shown by the hydrology calculations, the increase in peak discharge due to development is estimated a 1.8 cfs.

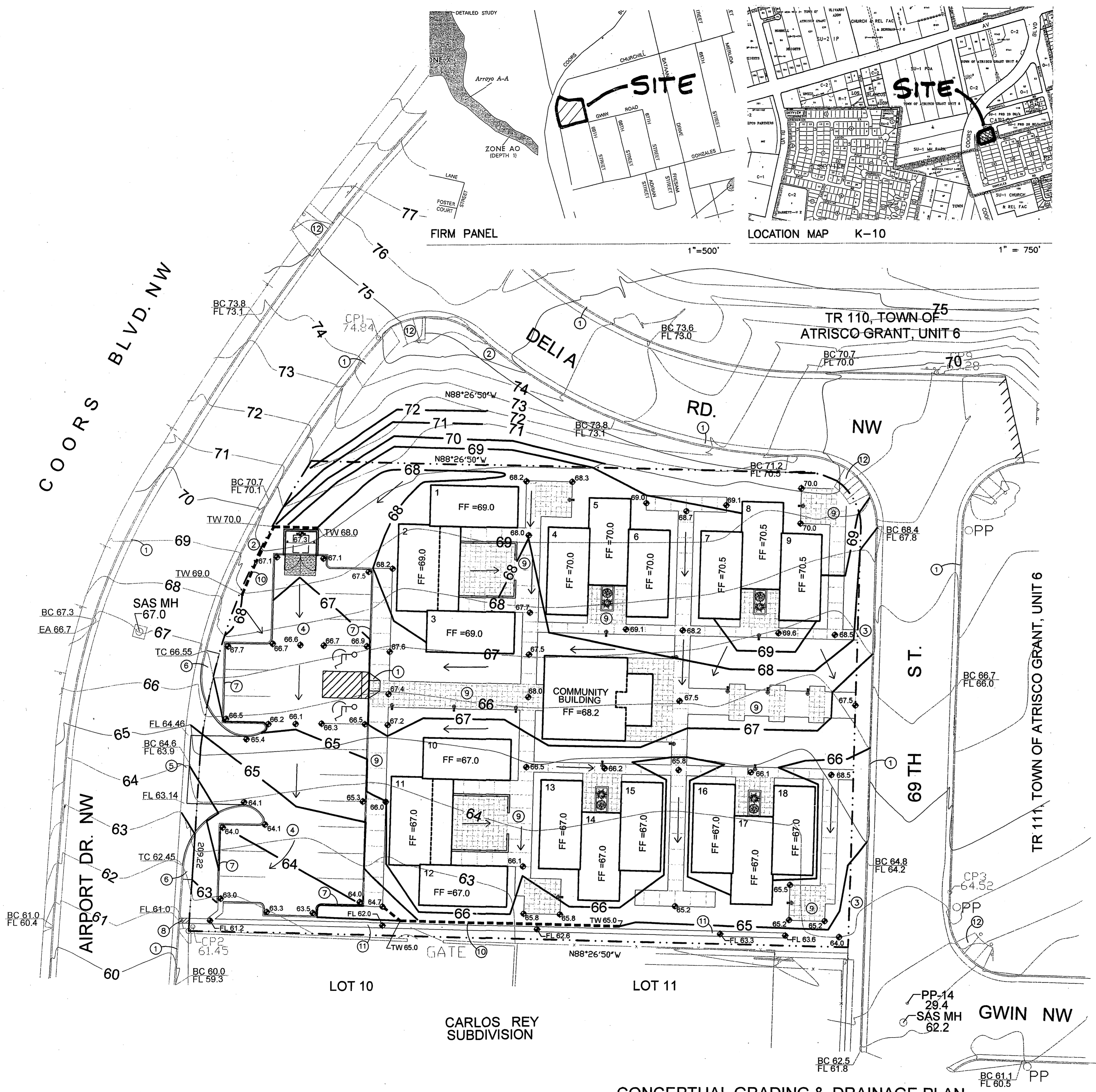
EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream properties and improvements from sediment and uncontrolled runoff. Complete temporary erosion control details will be provided with the final grading and drainage plan to be submitted for building permit.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

DATE: 11/2001
SCALE: 1" = 20'
DRAWN: R.M. TR.
CHKD: D.A.L. OK.
APP: D.A.L. ACAD FILE:
REV. NO. 01527NFC-2.DWG



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" SD	24" SD
FIRE HYDRANT	⊙	⊙
VALVE	⊕	⊕
WATER SERVICE (SINGLE)	—	—
WATER SERVICE (DOUBLE)	—	—
MANHOLE	⊙	⊙
CURB	—	—
DROP INLET	—	—
OVERHEAD ELEC.	—	—
UNDERGROUND ELEC.	—	—
GAS, TEL, TV	—	—
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	x16.7	x16.7
SEWER SERVICE	—	—
RIGHT OF WAY	—	—
POWER POLE (GUYED)	PP	PP
CHAIN LINK FENCE	—	—
CENTERLINE	—	—
RETAINING WALL	—	—
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
CONTOUR	5166	5166
SWALE	—	—
DIRECTION OF FLOW	→	→
DRAINAGE BASIN	—	—
DIVIDE	—	—
WATER BLOCK	—	—
SIGNAL BOX	—	—
TRANSFORMER	—	—
METER BOX	—	—
PHONE BOX	—	—

KEYED NOTES

- EXISTING STD C & G
- EXISTING 4" SIDEWALK
- NEW 4" SIDEWALK
- NEW ASPHALT PAVING
- NEW CONCRETE VALLEY GUTTER
- NEW HANDICAP RAMP
- NEW 6" CONCRETE CURB
- NEW 24" SIDEWALK CULVERT
- NEW SIDEWALK
- NEW RETAINING WALL
- NEW CONCRETE ALLEY GUTTER
- EXISTING HANDICAP RAMP

PROPERTY ADDRESS

AIRPORT DRIVE NW

LEGAL DESCRIPTION

PORTION OF TR 111 TOWN OF ATRISCO GRANT UNIT 6

PROJECT BENCHMARK

BENCH MARK: ACS 3 1/4" ALUM. CAP DISK 8-K10 BM -5082.14

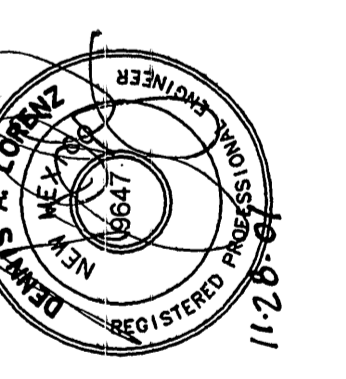
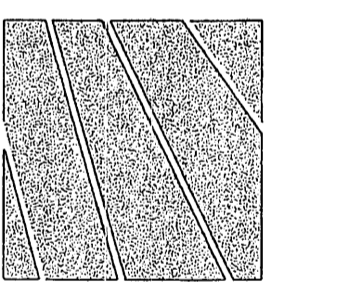
SURVEY

SITE MAPPING BY BRASHER & LORENZ INC.

PROJECT HYDROLOGY

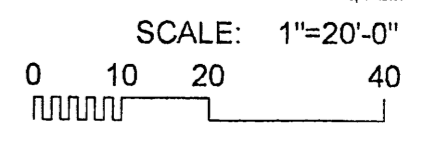
ZONE:	1							
P10HOUR:	2.20"							
P10 DAY:	2.66"							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.10	0.00	1.10	0.00	0.00	0.67	2.23	0.6614
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.10	0.00	0.11	0.33	0.66	1.55	4.05	0.1421

BRASHER & LORENZ CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220 Albuquerque, New Mexico 87110
PH: 505-888-6088 Fax: 505-888-6188

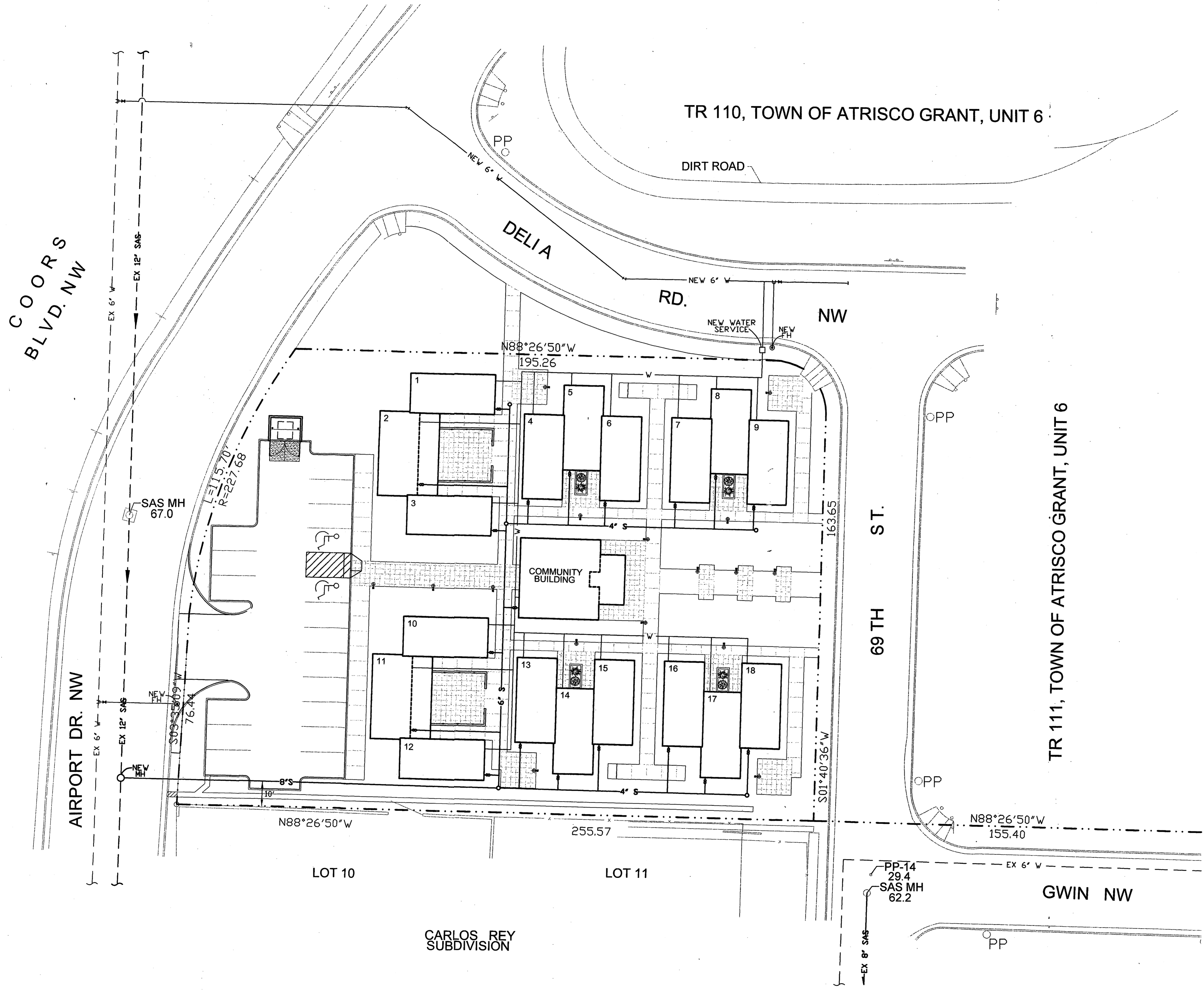


NEW LIFE HOMES
John Bloomfield / H.U.D.
CONCEPTUAL GRADING & DRAINAGE PLAN

DATE: 11.15.01
SCALE: 1"=20'-0"
DRN. BY: BJF



CONCEPTUAL GRADING & DRAINAGE PLAN

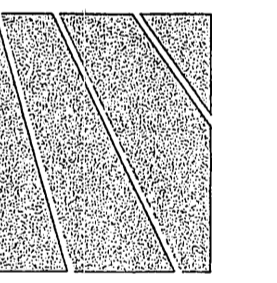


LEGEND		
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SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" SD	36" SD
FIRE HYDRANT	24" SD	24" SD
VALVE	W	W
WATER SERVICE (SINGLE)	W	W
WATER SERVICE (DOUBLE)	W	W
MANHOLE	○	○
CURB	—	—
DROP INLET	W	W
OVERHEAD ELEC.	OHE	OHE
UNDERGROUND ELEC.	UGT	UGT
GAS, TEL, TV	—	—
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	x16.7	x16.7
SEWER SERVICE	—	—
RIGHT OF WAY	—	—
POWER POLE (GUYED)	PP	PP
CHAIN LINK FENCE	—	—
CENTERLINE	—	—
RETAINING WALL	—	—
TOP OF ASPHALT ELEV.	TA 18.2	TA 18.2
CONTOUR	5166	5166
SWALE	—	—
DIRECTION OF FLOW	—	—
DRAINAGE BASIN	—	—
DIVIDE	—	—
WATER BLOCK	—	—
SIGNAL BOX	□	□
TRANSFORMER	□	□
METER BOX	□	□
PHONE BOX	□	□

DATE: 11/20/01
 SCALE: 1" = 20'
 SHEET 2 of 2

DRWN: R.M. TR.
 CKD: D.A.L. OK.
 APP: D.A.L. ACAD FILE:
 REV. NO. 015271.DWG

BRASHER & LORENZ
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NEW LIFE HOMES
 John Bloomfield / H.U.D.
 UTILITY PLAN

DATE: 11.15.01
 SCALE: 1"=20'-0"
 DRN. BY: BJF

C2

CONCEPTUAL UTILITY PLAN

