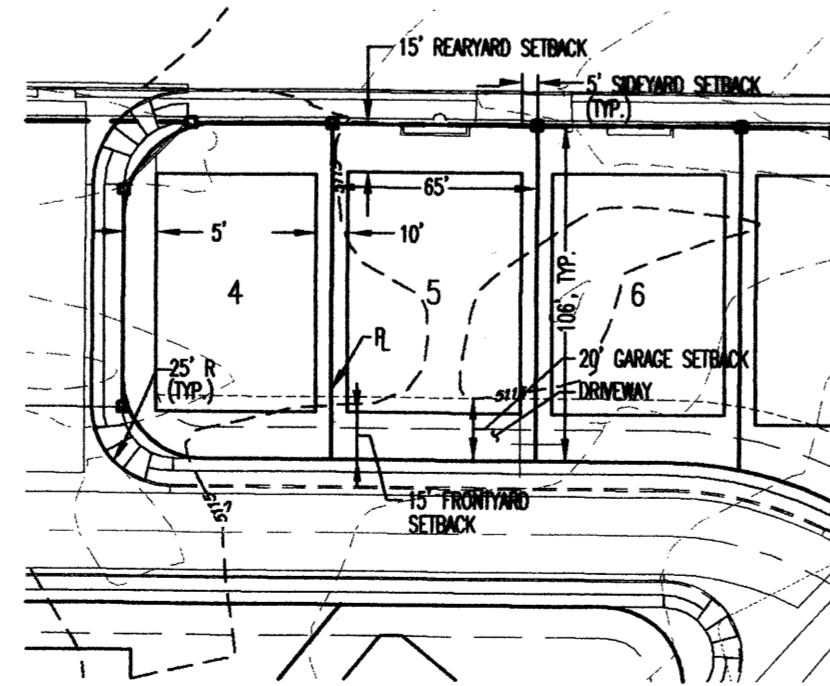
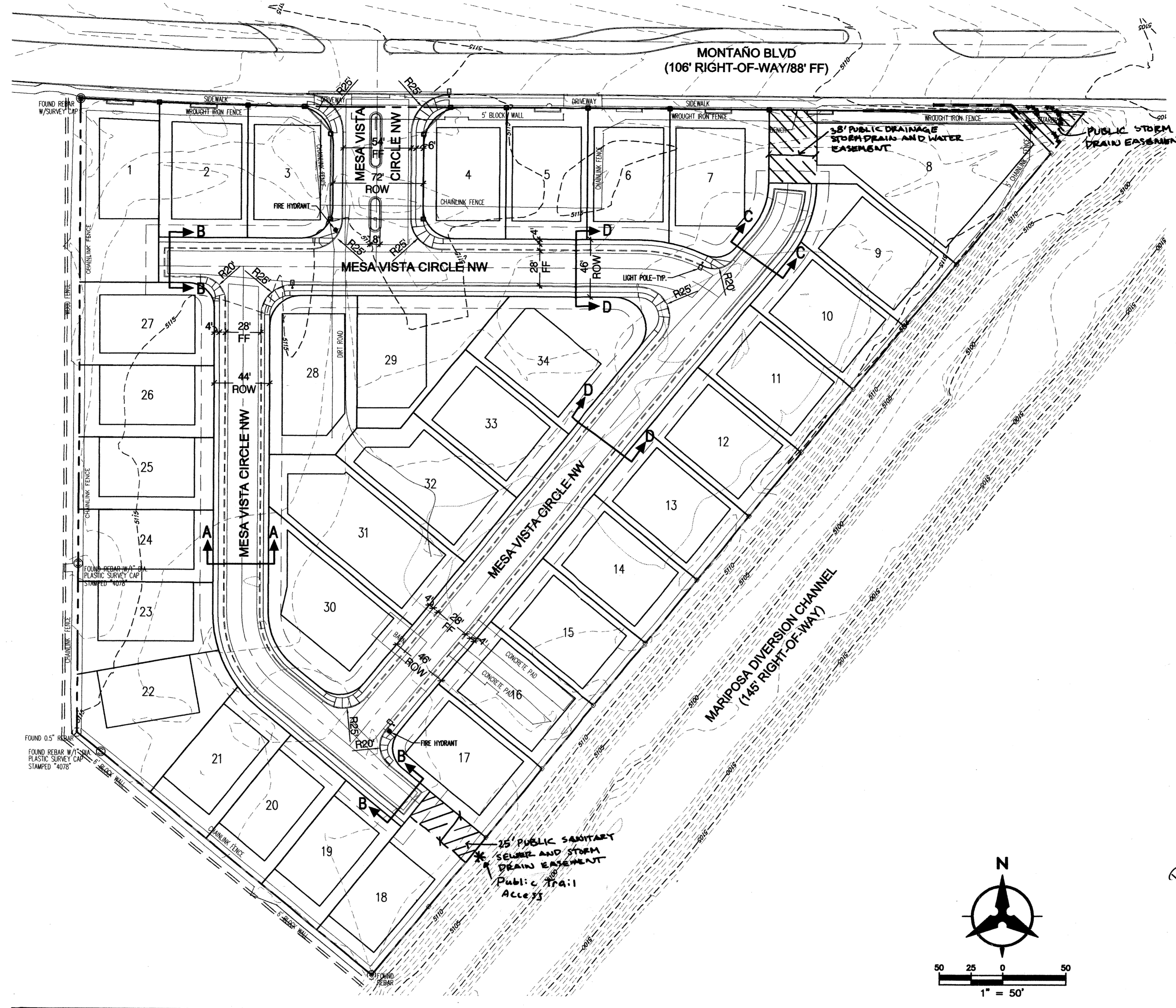
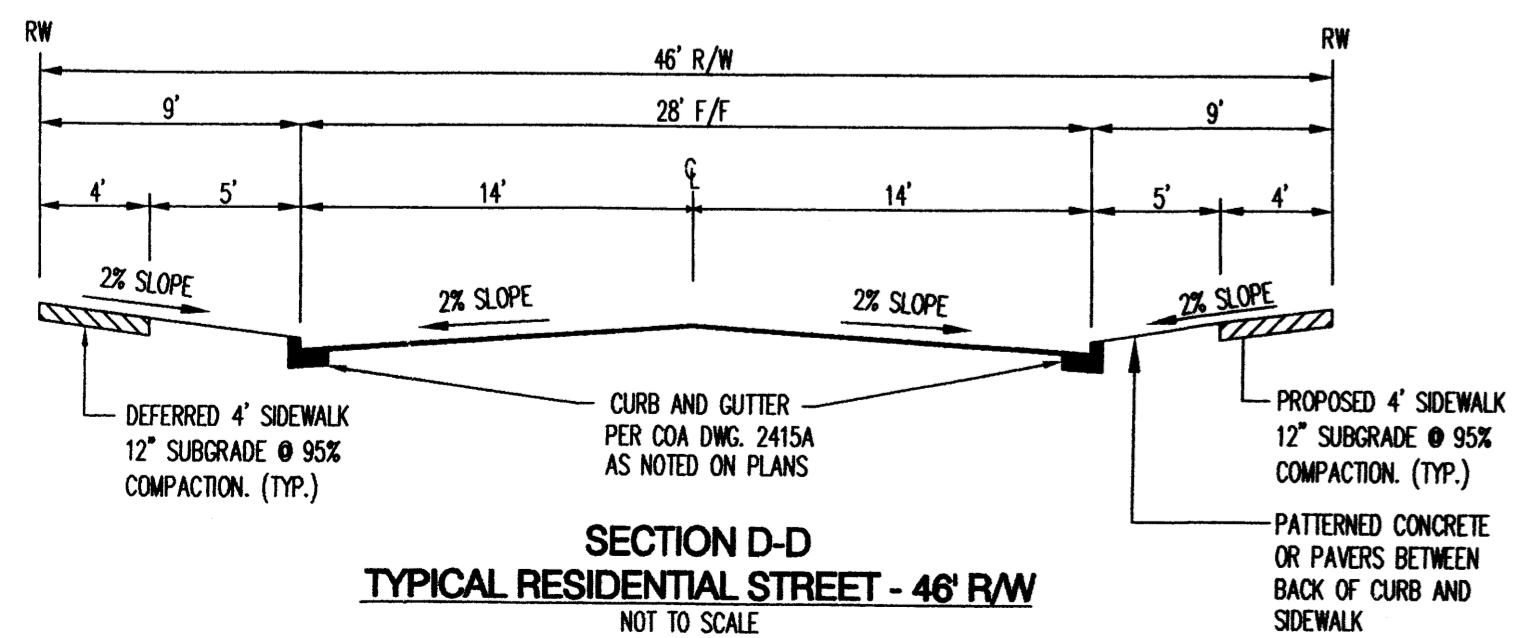
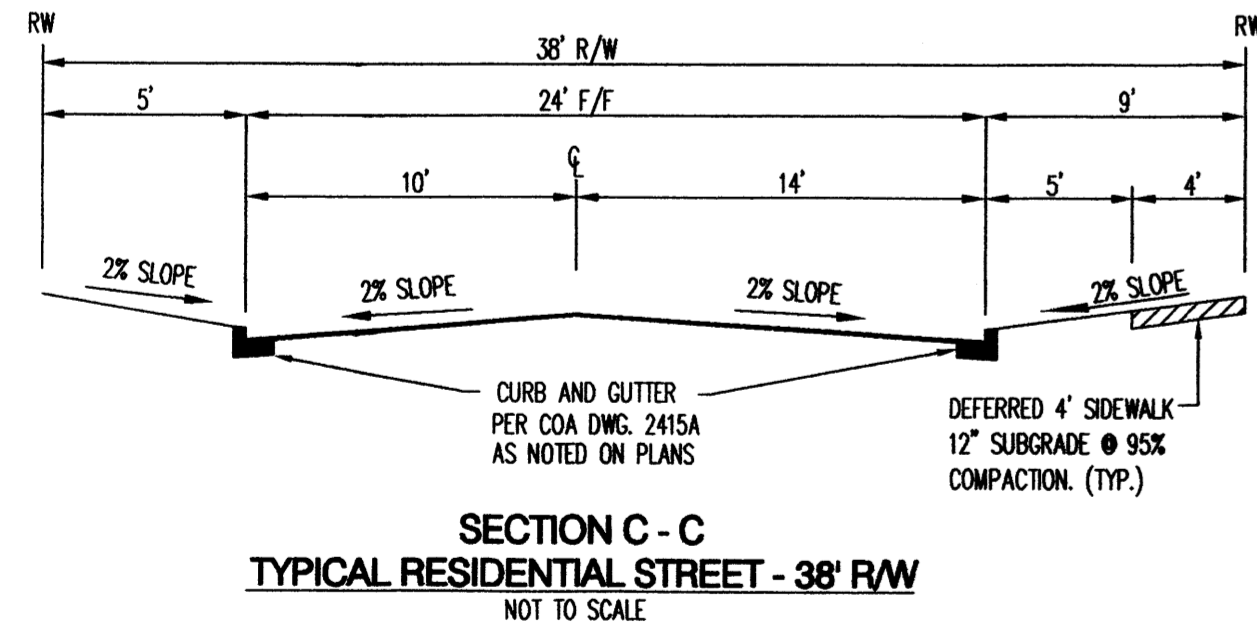
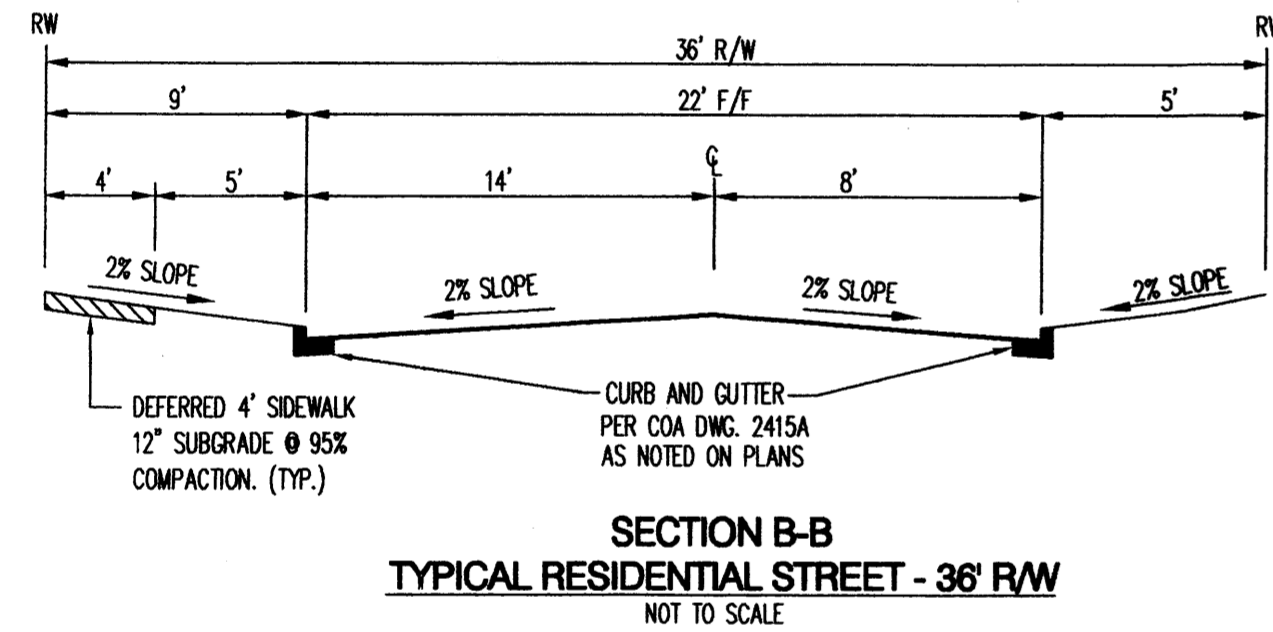
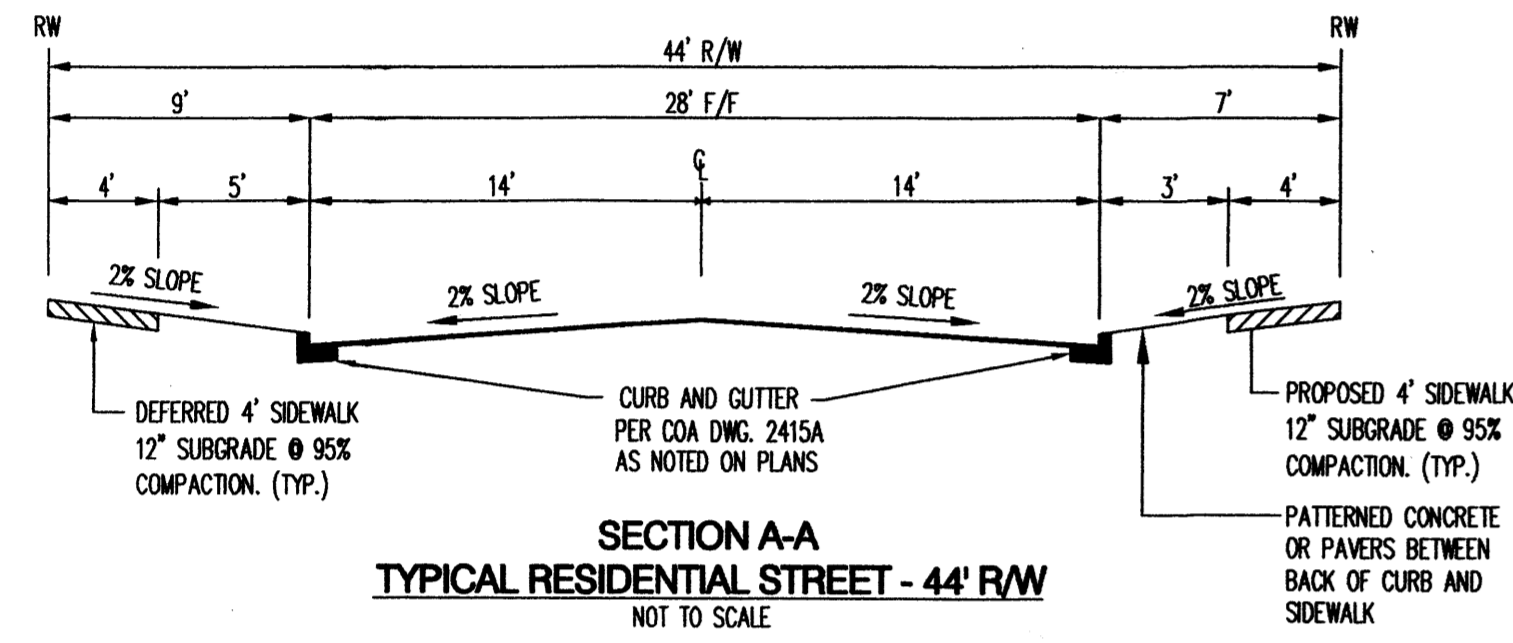


Site Data

Parcel Size: 7.6304 Acres
 Existing Zoning: SU-1 for PRD
 Proposed Use: 34 Single Family Homes

- NOTES**
- LOTS 1 AND 18-27 RESTRICTED TO SINGLE STORY HEIGHT
 - ZERO LOT LINE IS PERMITTED ON LOTS 1 AND 18-29 PROVIDED A MINIMUM OF 10 FEET OF SEPARATION IS MAINTAINED BETWEEN DWELLING UNITS.



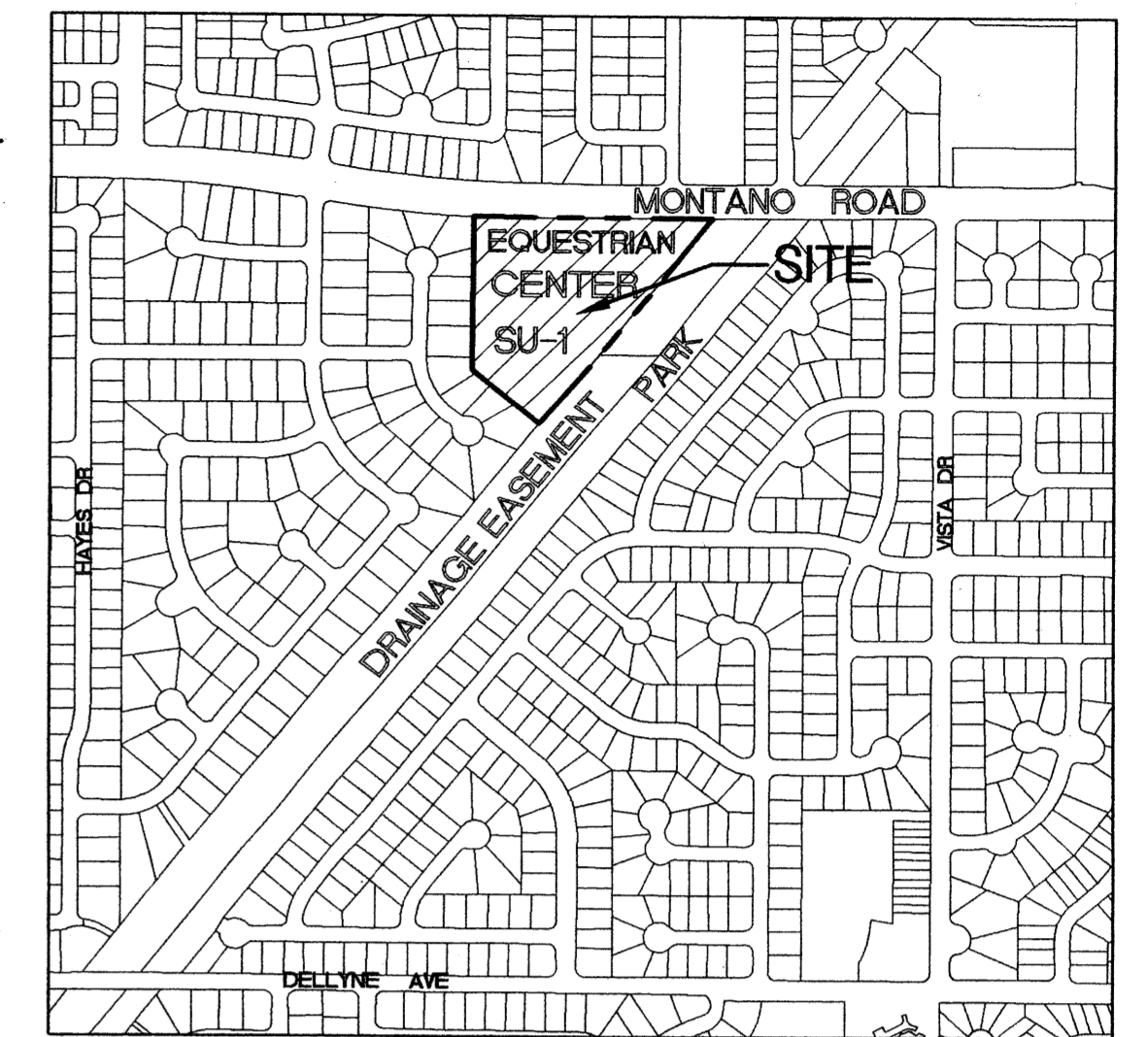
- NOTE:**
- FRONT, SIDE AND REAR YARD SETBACKS ARE AS INDICATED ABOVE.
 - BUILDING HEIGHTS SHALL NOT EXCEED 26 FT.

Lot Data

LOT NUMBER	NET LOT AREA IN SQUARE FEET	NET LOT AREA IN ACRES
1	9,066.48	0.2081
2	7,546.34	0.1732
3	6,907.85	0.1586
4	6,596.14	0.1514
5	6,890.00	0.1582
6	6,890.74	0.1586
7	8,491.09	0.1949
8	17,506.79	0.4019
9	7,501.12	0.1722
10	6,377.67	0.1464
11	6,890.00	0.1582
12	6,890.00	0.1582
13	6,890.00	0.1582
14	6,890.00	0.1582
15	6,890.00	0.1582
16	6,890.00	0.1582
17	6,806.97	0.1563

LOT NUMBER	NET LOT AREA IN SQUARE FEET	NET LOT AREA IN ACRES
18	8,094.00	0.1858
19	6,042.00	0.1387
20	6,042.00	0.1387
21	6,061.75	0.1392
22	8,756.00	0.2010
23	6,891.00	0.1582
24	6,042.00	0.1387
25	6,042.00	0.1387
26	6,042.00	0.1387
27	5,289.76	0.1214
28	8,580.83	0.1970
29	8,224.80	0.1888
30	9,464.19	0.2173
31	10,215.61	0.2345
32	7,911.61	0.1816
33	6,890.00	0.1582
34	9,824.83	0.2255

SITE VICINITY



COA Zone Atlas E-11-Z

PROJECT NUMBER: 1001628

Application Number: 01EPC-01760; 01EPC-01761

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	8-10-05 Date
<i>[Signature]</i> Water Utility Department	8/10/05 Date
<i>[Signature]</i> Parks and Recreation Department	8/10/05 Date
<i>[Signature]</i> City Engineer	9/16/05 Date
<i>[Signature]</i> Solid Waste Management	8-2-05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	9/16/05 Date

MESA RIDGE

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:
Jude Baca
3913 72nd St. NW
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

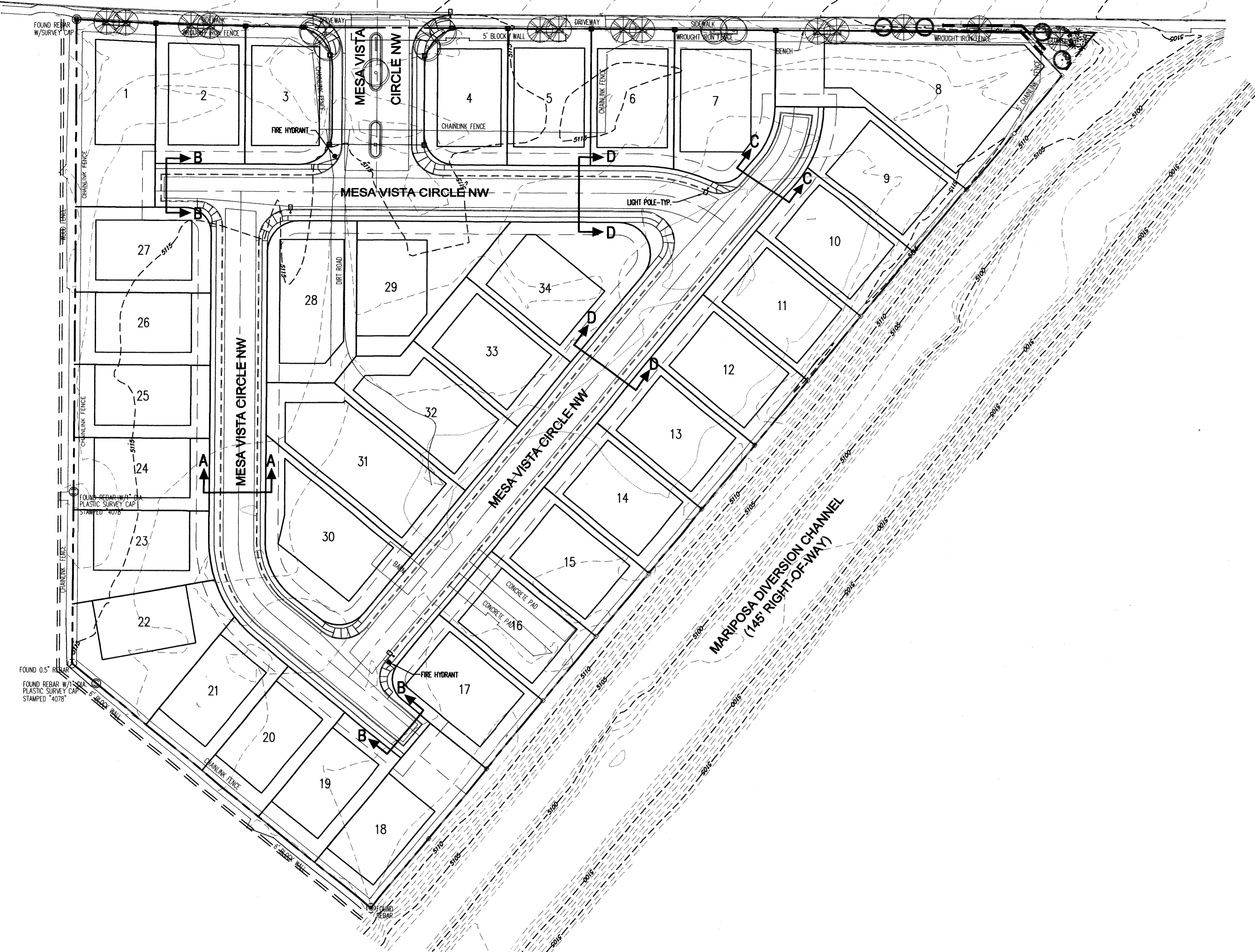
AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
[Signature] 8-2-05
Signature & Date

Bohannon Huston
Court yard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



PROJECT # 1001628

MONTAÑO BLVD
(106' RIGHT-OF-WAY/88' FF)



LANDSCAPE CONCEPT

The landscape Concept for Mesa Ridge has been developed to enhance and follow the patterns of the surrounding environment. The entry monument will feature small groupings of native shrubs complemented by massings of groundcover, native grasses and colorful perennial materials interspersed.

GENERAL

The design and provision of landscape for the Mesa Ridge Subdivision will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Street Trees have been provided along Montano, to meet the Street Tree Ordinance. Because of the topography of the site the Street Trees will be planted in the rear yards of the lots along Montano.

STREET TREE PALETTE

Golden Rain Tree, Chitalpa, Bosnian Pine - It will be the responsibility of the Lot owners to irrigate and maintain these trees. Street Trees shall be replaced by the Lot owner per this plan as necessary.

UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on the Site Plan.

IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the Owner. All planting areas will be maintained in a living, attractive, and weed free condition.

MINIMUM FRONT YARD LANDSCAPE STANDARDS

See "Typical Front Yard Landscape Plan" below .

- 2 Deciduous Shade Trees (min. 2" caliper)
- 1 Accent Tree (min. 15 gallon)
- 5 Shrubs (min. 5 gallon)
- 4 Groundcover (min. 1 gallon)
- 2 Landscape Boulder (3'x3' min.)

In addition, all front yard landscaping shall be required to have the following:

- 3/4" Santa Fe Brown Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover (including the area between the sidewalk and the curb)
- Steel Header (as required between Turf and other landscaped areas)
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:

- Turf Grass (sodded, in compliance with Water Conservation Ordinance), 2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Shade Trees (2" caliper min.)*

- Velvet Ash, Raywood Ash, Peachleaf Willow

Accent Trees (2" caliper min.)*

- Desert Willow, Chitalpa, New Mexico Olive, Net Leaf Hackberry

Evergreen Trees (6' min. height)*

- Piñon Pine

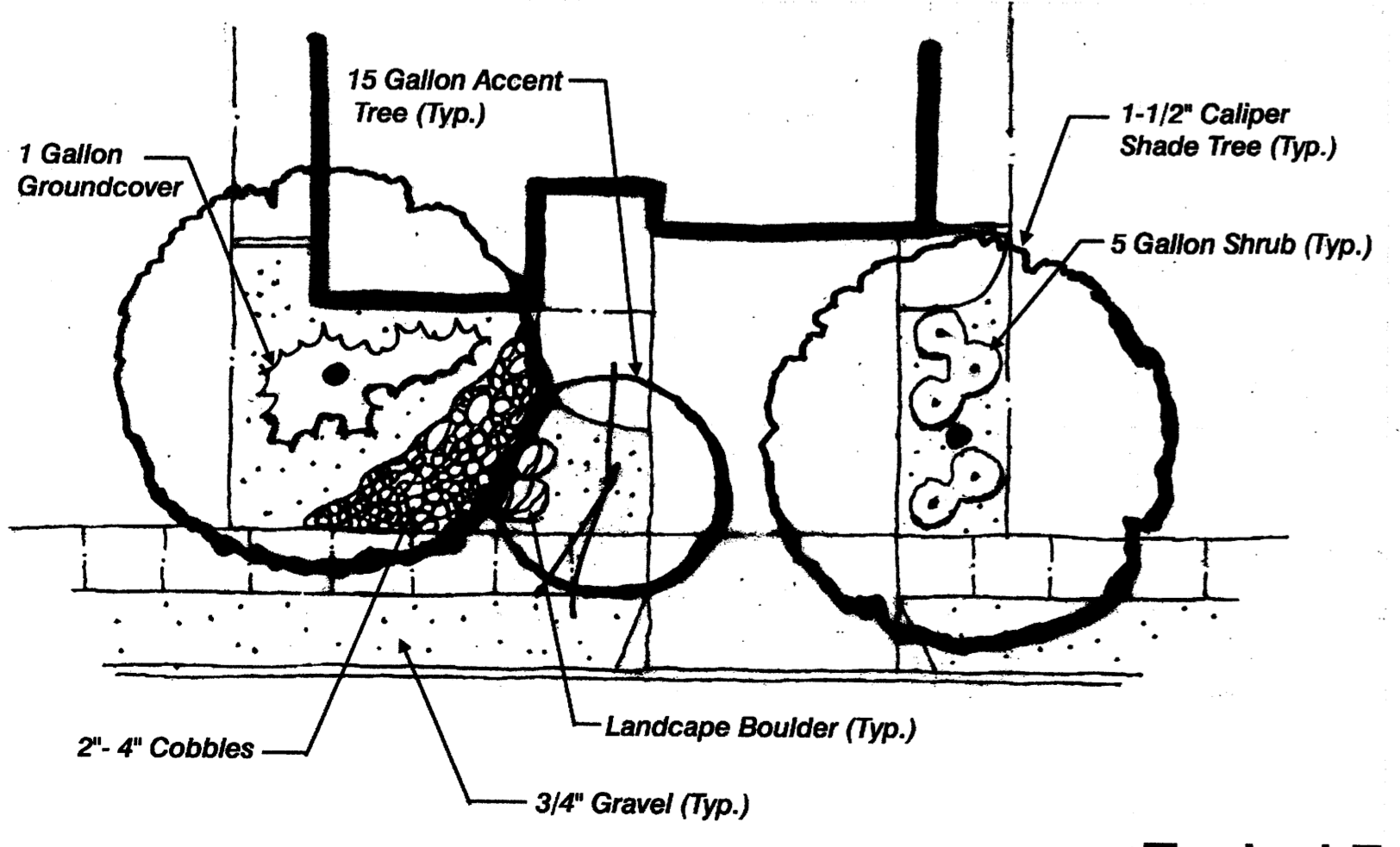
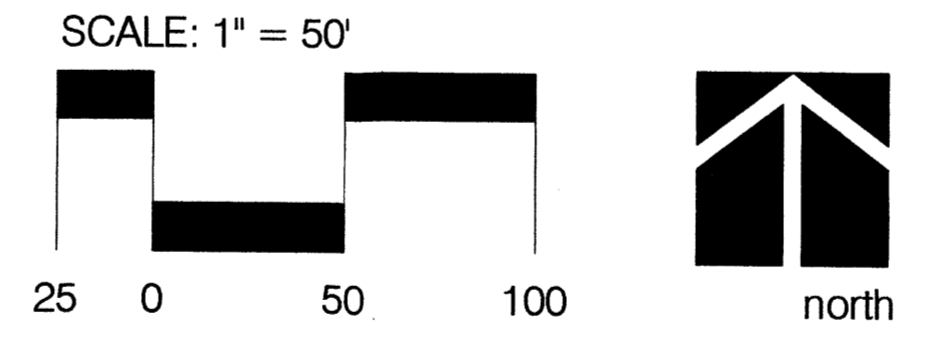
*Palm Yucca and Ocotillo shall not be considered to fulfill the requirement for front yard trees.

Shrubs (1 & 5 gallon)

- Potentilla, Chamisa, Artemesia Species, Fourwing Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, Three-leaf Sumac, Baccharis, Yucca Species

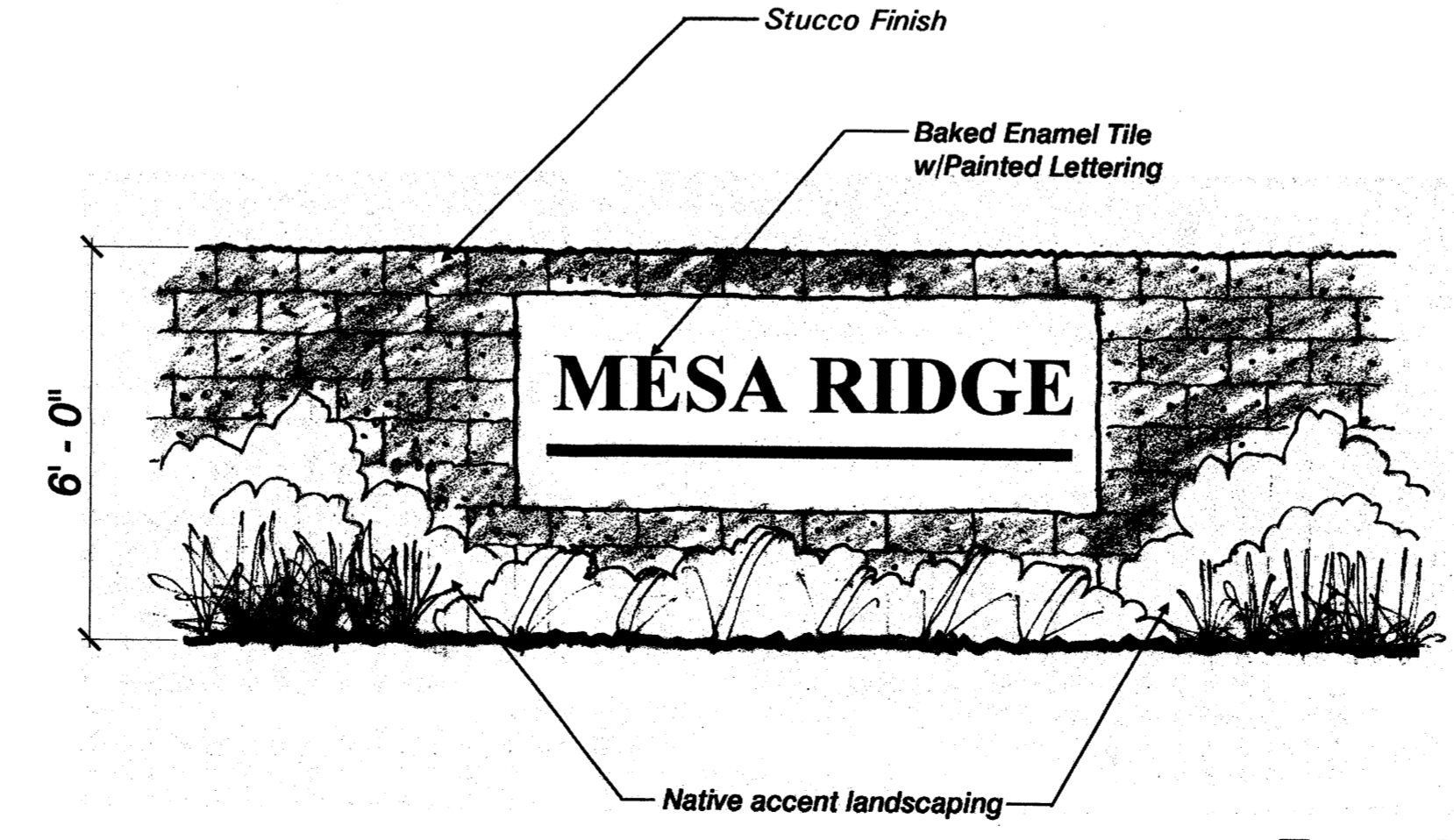
Turf Grasses (Seed or Sod)

- Tall Fescue (Max. 20% of total landscape area)
- Buffalo/Blue Grama Grass



Typical Front Yard Landscape Plan

Scale: 3/32" = 1'-0"



Entry Monument Elevation

Scale: 3/8" = 1'-0"

MESA RIDGE

Landscape Plan

Prepared for:
Jude Baca
3913 72nd St. NW
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



August 2, 2005

Sheet 2 of 5

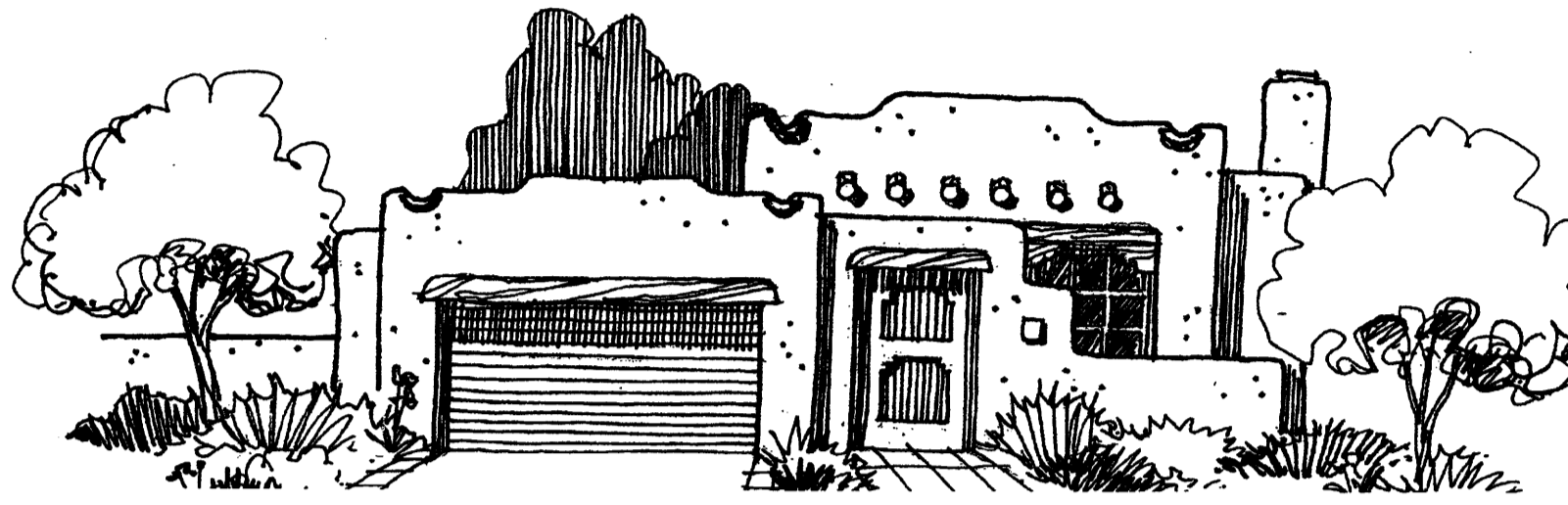
DESIGN GUIDELINES FOR MESA RIDGE

The following are guidelines for homes built in the Mesa Ridge subdivision. Builders will construct all homes within Mesa Ridge in compliance with these Guidelines.

A. Architectural Styles

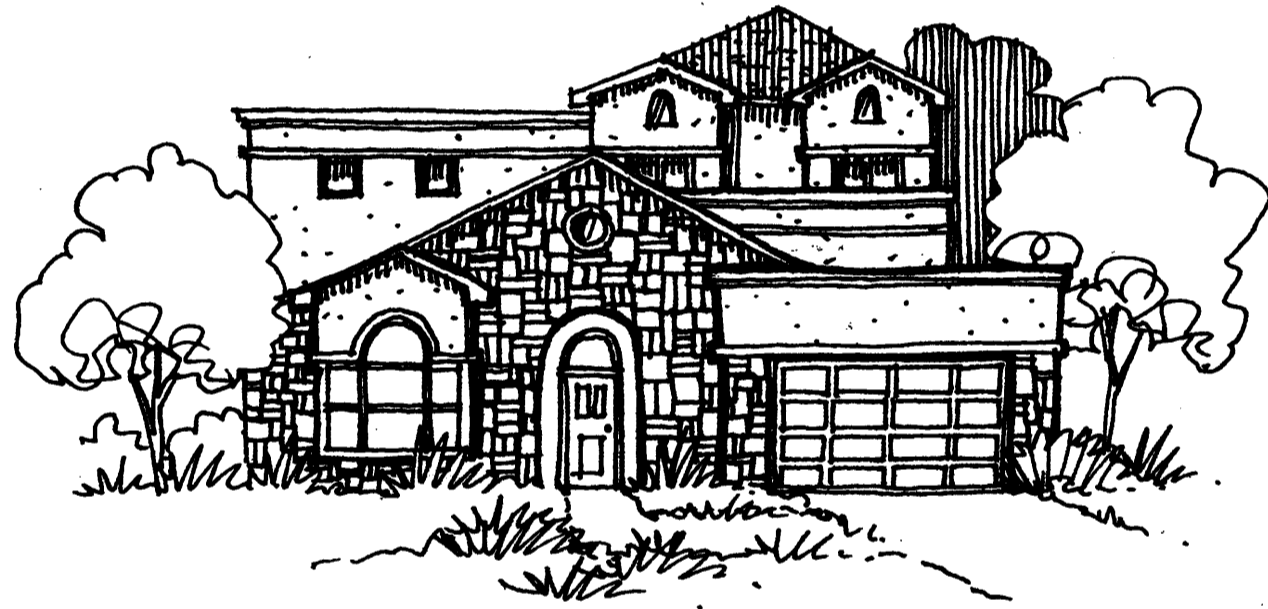
All homes must be of a Southwestern Contemporary Style which blends building characteristics of the southwest. While these characteristics are typical, it is not the intent of these Guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one or a blend of styles.

Pueblo Style - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.



1. Entry portals are a hallmark of the Pueblo style.
2. Lintels over openings can be wood and exposed, but covered lintels are just as common.
3. Exterior wall finish is stucco from the approved color list.
4. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
5. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
6. Parapets are also used to emphasize forms.

Mediterranean Style - Low-pitched gabled or hipped roofs (flat in some cases) characterize the Mediterranean style. Windows and doors may have arches above, windows tend toward full lengths, and entry porches are characteristically recessed. The façade is broken into multiple masses and the wall finishes of stucco, potentially with stone accent materials, and belt courses at walls and parapets.



1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8"per foot to 12". Low sloped roofs can also be combined with flat roof elements.
2. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but untrimmed openings are just as common.
4. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
5. Parapets are also used to emphasize forms.
6. Exterior wall finish is stucco, from the approved color list; or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

Zero Lot Line/Patio Homes- This style only differs from the above styles in that one wall running the length of the structure shall not contain any windows or protrusions and is built on the designated property line. The Patio Home style and guidelines for zero lot lines are defined by the City of Albuquerque Zoning Code and will be adhered to and incorporated into the house design. Typically the garage is positioned along the property line with the front entrance street facing or concealed along the side yard. This style is a modern concept emphasizing privacy to the side and rear yards with a flow of interior to exterior living.

1. Entry portals are common whether to the front or side of the structure.
2. This building style allows for formal courtyards at the front or side to be easily incorporated into the design by low walls and gates.
3. Surface easements from the adjoining property owner allow for maintenance and repair of zero lot common walls.
4. Glass block is allowed on the zero lot line of the structure provided they are at least 7 feet above the finished floor and are obscure to the extent nothing can be identified through them.

B. Building Massing

For the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building. The front elevation must contain at least two building masses. A building mass is defined as a volume of space that usually appears as a rectilinear form consisting of a roof and at least three walls but two walls are appropriate in the southwestern contemporary designs mimicking the steps associated with the northern pueblo structures, porches shall be included in a two or three sided design and considered as mass.

C. Roof Forms

These forms are appropriate:

1. Low sloped roofs, 1/4" per foot to 1" per foot, with parapets (all styles).
2. Gable and hip roofs, 8" per foot for Mediterranean Style.

These roof forms are not permitted:

1. Mansard.
2. Domed or arched.
3. Gambrel.

D. Roof Materials

These roof materials are allowed:

1. Metal roofs, pre-shaped to give the appearance of tile or concrete, mission barrel, or S-Shaped.
2. Built-up roofing (non reflective)
3. Single-ply membrane (low sloped only, non reflective).
4. Clay or Concrete tile, mission barrel or S-Shaped.

These roofing materials are not allowed:

1. Asphalt shingles.
2. Wood shingles and shake shingles.
3. Metal roofs of standing seam or corrugated.

E. Columns

The following are appropriate column forms:

1. Square stucco.
2. Round stucco.
3. Square wood.
4. Square wood, tapered.
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.
7. Square stone.
8. Round stone.

The following shall not be allowed:

1. Corinthian.
2. Ionic.
3. Tuscan.
4. Egyptian.

F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four off street parking spaces are provided.
2. Garage doors shall be offset from the surface of the front façade by a minimum of 4 inches.
3. A shadow box around the garage door is required and may extend up to 24 inches into the front setback, provided the garage door remains at the approved 20 foot setback.
4. The garage may never be converted into living space and the garage door removed.

G. Windows

Windows are integral with all styles of homes.

1. Windows may be set deep into the walls to create a feeling of masonry construction and massiveness, 2 inch minimum.
2. Windows with colored sashes and heavy profiles are appropriate.
3. Unanodized aluminum frames may not be used.

H. Setbacks

The use of short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
 - a. No house shall be constructed within 15 feet from the front property line of any lot.
 - b. The garage shall be constructed to ensure that a 20 foot minimum parking area exists in front of the garage for a minimum of two cars.
2. Side yard setback
 - a. Single family houses shall be constructed within 5 feet from the side property line of a lot.
 - b. Zero Lot Lines/Patio homes shall be constructed with one wall on the property line as indicated by the Plat and a 10 foot set back on the opposite side property line of a lot.
3. Rear yard setback- No house shall be constructed within 15 feet from the rear property line of a lot.

I. Minimum Square Footage

Each home must have at least 1,800 square feet of fully enclosed heated area, exclusive of garages, open porches, and patios.

J. Building Materials

1. Synthetic stucco shall be the primary material and shall account for a minimum of 80% of the exterior construction.
2. Stone may be used as an accent feature and shall not comprise more than 20% of the exterior construction.

K. Pre-Approved Building Colors

1. Primary exterior stucco colors shall be muted earth tones and match or be similar to the following: De-gussa Wall Systems, Inc., Senergy Synthetic Stucco color chart including, Clay, Ash Brown, Hickory, Hazelnut, Cardamon, Rawhide, Café au Lait, Aztec Gold, Champagne, Sage and Umber. Colors from other manufacturers need to match approved colors to be submitted.
2. Accent- A variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed for accents besides the approved list may include white, tan, brown or other approved earth tone colors.
3. All roof penetrations shall be painted to match the predominant roof or stucco color.

L. Building Height

Houses or improvements on any lot shall not exceed nineteen feet (19) for single story and the maximum height allowed for two-story homes is twenty-six feet (26) as defined by the City of Albuquerque Zoning Code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and covered porch area. The second story area is calculated exclusive of roof decks and covered porches.
2. Lots along the southern and western property line of the subdivision shall be restricted to single story only as noted on the plat (Lots 1 and 18-27).

M. Site Lighting

1. If provided, site lighting shall not have a total off-site luminance greater than 1000 foot lamberts, however it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property.
2. Street lighting shall be limited to 24' in height and shall be shielded source with no light source (lamp) visible from the site perimeter.
3. The mounting height of luminaries, if provided, shall be no higher than 12 feet, except for second floor porches which shall be mounted no higher than seven feet (7) above the finished floor of the second story. All outdoor lighting shall be shielded and directed downward to prevent light pollution.

N. Mechanical Equipment

Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view (as viewed from the front property line). Equipment which is ground mounted shall be located within the side or rear yard and screened from the front and side.

O. Fireplaces

Fireplaces and/or stoves within the residences shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood burning and other EPA approved wood burning devices.

P. Walls

All walls shall comply with the City of Albuquerque Wall Regulations.

Subdivision Walls

- a. The perimeter subdivision wall along Montano Boulevard shall be stuccoed and built to the standards and specs as approved by the Environmental Planning Commission for the City of Albuquerque and will be paid for by the Developer. The wall height shall be no more than six feet (6) and no less than four feet (4) as measured from the street side of the wall. The wall adjacent to the drainage arroyo shall be painted CMU to match the stucco color on the Montano Wall.

Site Walls

- a. Each house must have a rear wall and two side walls. All rear walls shall extend the entire length of the rear property line. All side walls shall extend from the rear of the property to at least the rear of the dwelling.
- b. Interior residential property line walls shall be painted CMU and/or stucco and no more than six feet (6) in height.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan. The cost of installation and maintenance of such party walls shall be split equally between property owners of the adjoining lots.
- d. No wall may be erected on a lot that is closer to the street than the front of the dwelling except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension.

Courtyard Walls

Courtyard walls are allowed within the front yard setback area and shall be constructed of materials, finish and color that are complimentary to the house.

Q. Mailboxes

"Cluster-type" mailboxes will be used, subject to the requirements of, and coordination with the United States Postal Service.

R. Solid Waste

Each home shall have a storage area for residential automated carts, not to be visible from the street.

S. Vacant Lots/Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots.
2. The owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other items that is visually or otherwise undesirable, except for material which may be used during the initial construction period.
3. The owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

T. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence either temporary or permanent is prohibited.
2. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved by the Architectural Control Committee for Mesa Ridge Subdivision and must be similar in architectural design as the house.

U. Restrictive Covenants

Any other legal matters or further restrictions shall be addressed in the Declaration of Restrictive and Protective Covenants for Mesa Ridge (Restrictive Covenants). The Restrictive Covenants will provide further detail to the items listed above and will be binding upon all property owners in Mesa Ridge Subdivision. These Restrictive Covenants will address all matters effecting Mesa Ridge Subdivision with respect to the governing body, fees, enforcement, modification and all other matters pertaining to Mesa Ridge Subdivision.

Mesa Ridge

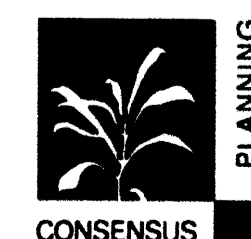
DESIGN GUIDELINES

Prepared for:

Jude Baca
3913 72nd Street NW
Albuquerque, NM 87120

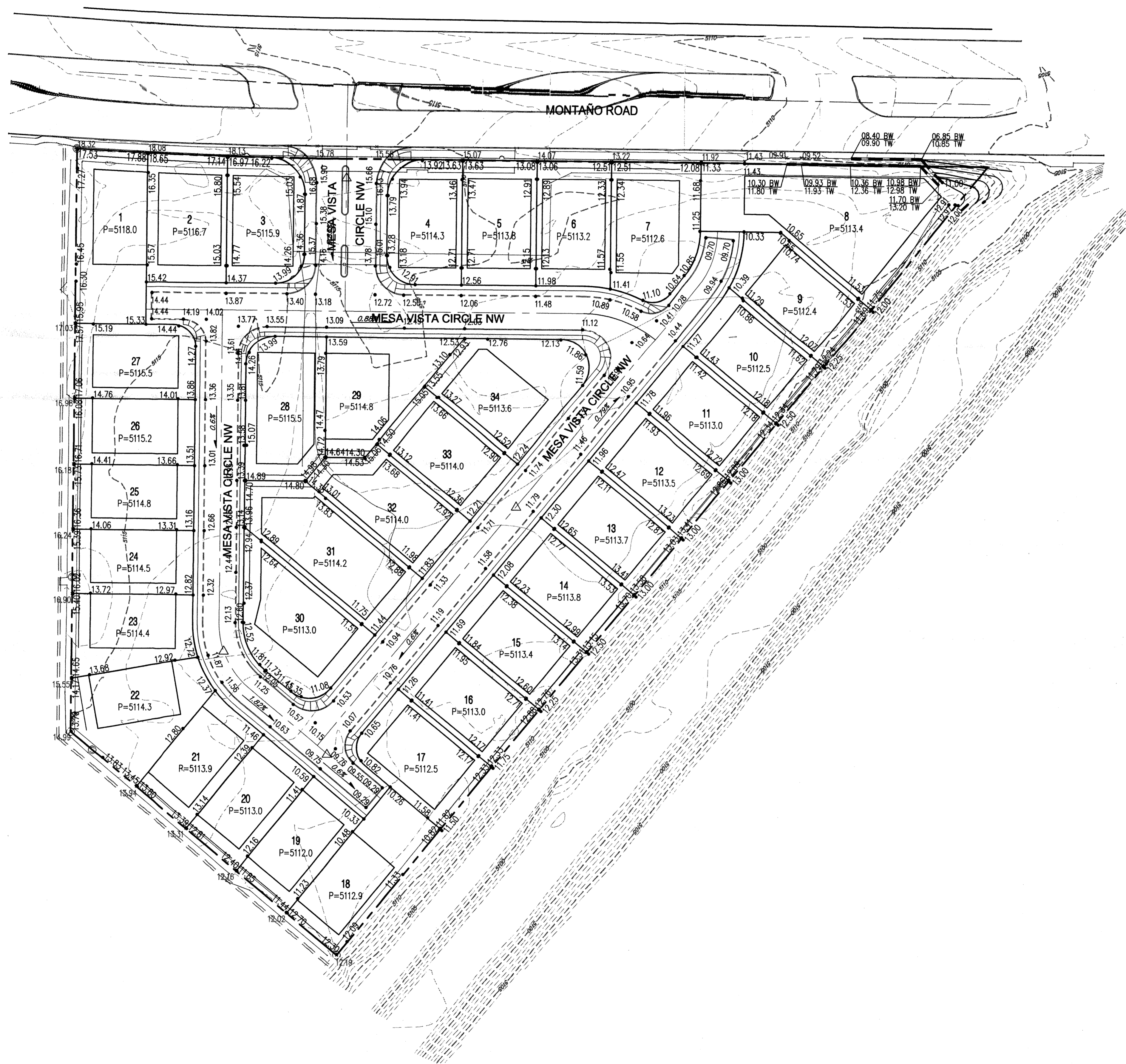
Prepared by:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

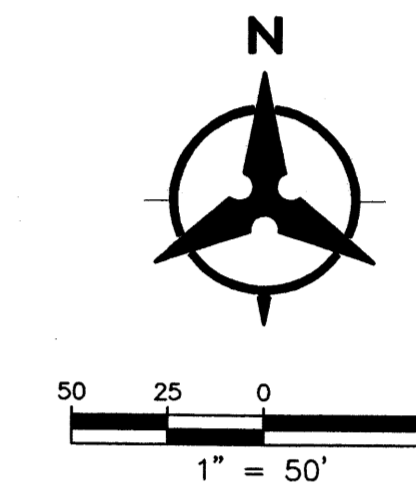


Bohannon **Huston**
Courtard | 7900 Jefferson Bl NE Albuquerque, NM 87109-4336
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

August 2, 2005



- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



- LEGEND**
- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - EXISTING CURB & GUTTER
 - === PROPOSED MOUNTABLE CURB & GUTTER
 - PROPOSED STANDARD CURB & GUTTER
 - 5470- EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
 - PROPOSED SLOPE
 - ⊙ PROPOSED STORM DRAIN
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ⊙ PROPOSED STORM DRAIN INLET
 - ← WALL DRAIN

Bohannon & Huston
 Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

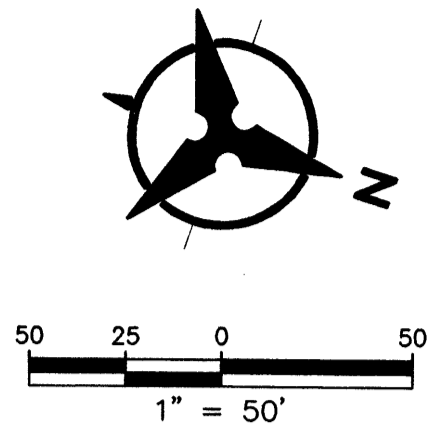
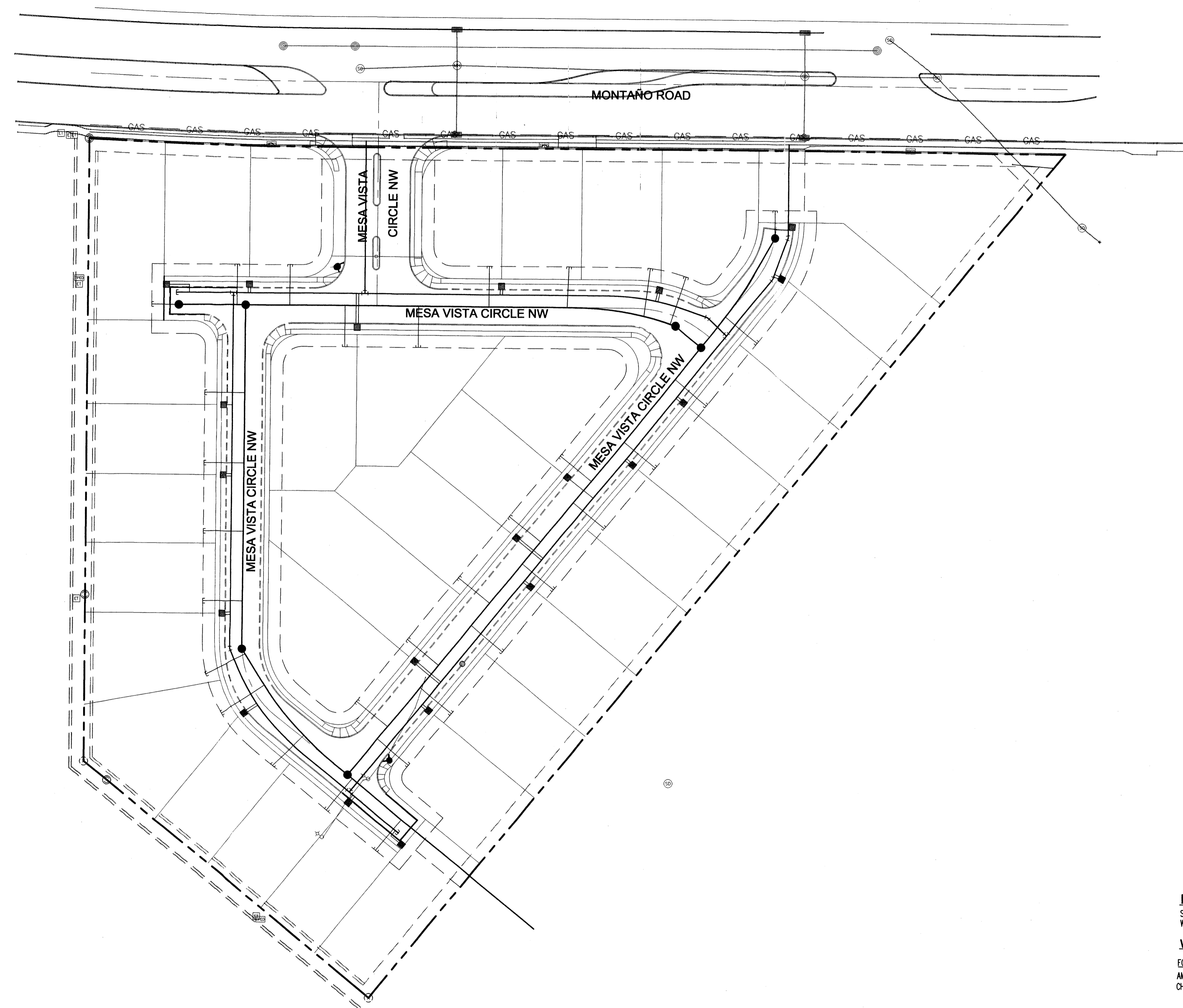
MESA RIDGE SUBDIVISION
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Zone Map No.	Sheet

APPROVED FOR ROUGH GRADING DATE: XXXXX E-11-Z

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	REVISIONS	DESIGN
MARKED BY	DATE	ACS BRASS TABLET STAMPED "NM448-N6-A"	DATE	SOOTY J. STEFFEN	REGISTERED PROFESSIONAL ENGINEER		
ACCEPTANCE BY	DATE	Geographic Position (NAD 1927)					
PREPARED BY	DATE	N.M. State Plane Coordinates (Central Zone)					
REVISION BY	DATE	X = 366,640.72 Y = 1,507,308.30					
BY	DATE	Ground-to-Grid Factor = 0.9996784					
BY	DATE	AOK = -00'15.24"					
BY	DATE	SLID 1929 Elevation = 5056.89					
						DATE: 11/04	DATE: 11/04
						Drawn By: DH	Checked By: SIS

P:\2011\30\cag\general\020130_GP01.dwg
 July 29, 2005 - 8:16am



GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SO SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARI, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
10. SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
11. STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
12. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

LEGEND

- PROPERTY LINE
- NEW EASEMENT
- SAS EXISTING SANITARY SEWER
- W EXISTING WATER LINE
- M EXISTING STORM DRAIN
- EXISTING WATER METER
- EXISTING CAP
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN
- SAS PROPOSED SANITARY SEWER
- WL PROPOSED WATER LINE
- PROPOSED VALVE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED STREET LIGHT

AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed
prior to construction

APPROVED / DISAPPROVED

R.C. Jones 8-1-05
Signature & Date

MATERIALS:
SAS LINE: SDR-35 PVC
WATER LINE: C900-PVC

WATER SHUT-OFF PLAN:

FOR CONNECTION	VALVE CLOSED
ANOLE MESA AVENUE	VALVE #1
CHACO CANYON DRIVE	VALVE #2

CONTRACTOR WILL BE RESPONSIBLE FOR FLUSHING, DISINFECTING, AND TESTING THE LINES AS REQUIRED BY THE CITY OF ALBUQUERQUE.

WATER SHUT-OFF REQUIREMENTS:
CONTRACTOR WILL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONACTION WITH THE COMPLETION OF CONNECTIONS. AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY OF ALBUQUERQUE (987-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN. CONTRACTOR SHALL NOT OPERATE VALVES ON THE PROJECT.

Bohannon & Huston
Engineering & Spatial Data & Advanced Technologies

Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4906

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

**MESA RIDGE SUBDIVISION
OVERALL UTILITY PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **XXXXXX** Zone Map No. **E-11** Sheet **5** of **5**

AS-BUILT INFORMATION	CONTRACTOR	DATE
	MARKED BY	DATE
	ACCEPTANCE BY	DATE
	FIELD BOOK BY	DATE
	SKETCHED BY	DATE
BENCH MARKS	ACS BRASS TABLET "TRANS"	DATE
	Geographic Position (NAD 1927)	
	N.M. State Plane Coordinates (Central Zone)	
	X= 354,899.45 Y= 1,471,822.67	
SURVEY INFORMATION	BY	DATE
	NO.	
ENGINEER'S SEAL		
	DESIGN	DATE: 07/28/05
REVISIONS	By	DATE: 07/28/05
REMARKS	By	DATE: 07/28/05
DESIGN	By	DATE: 07/28/05