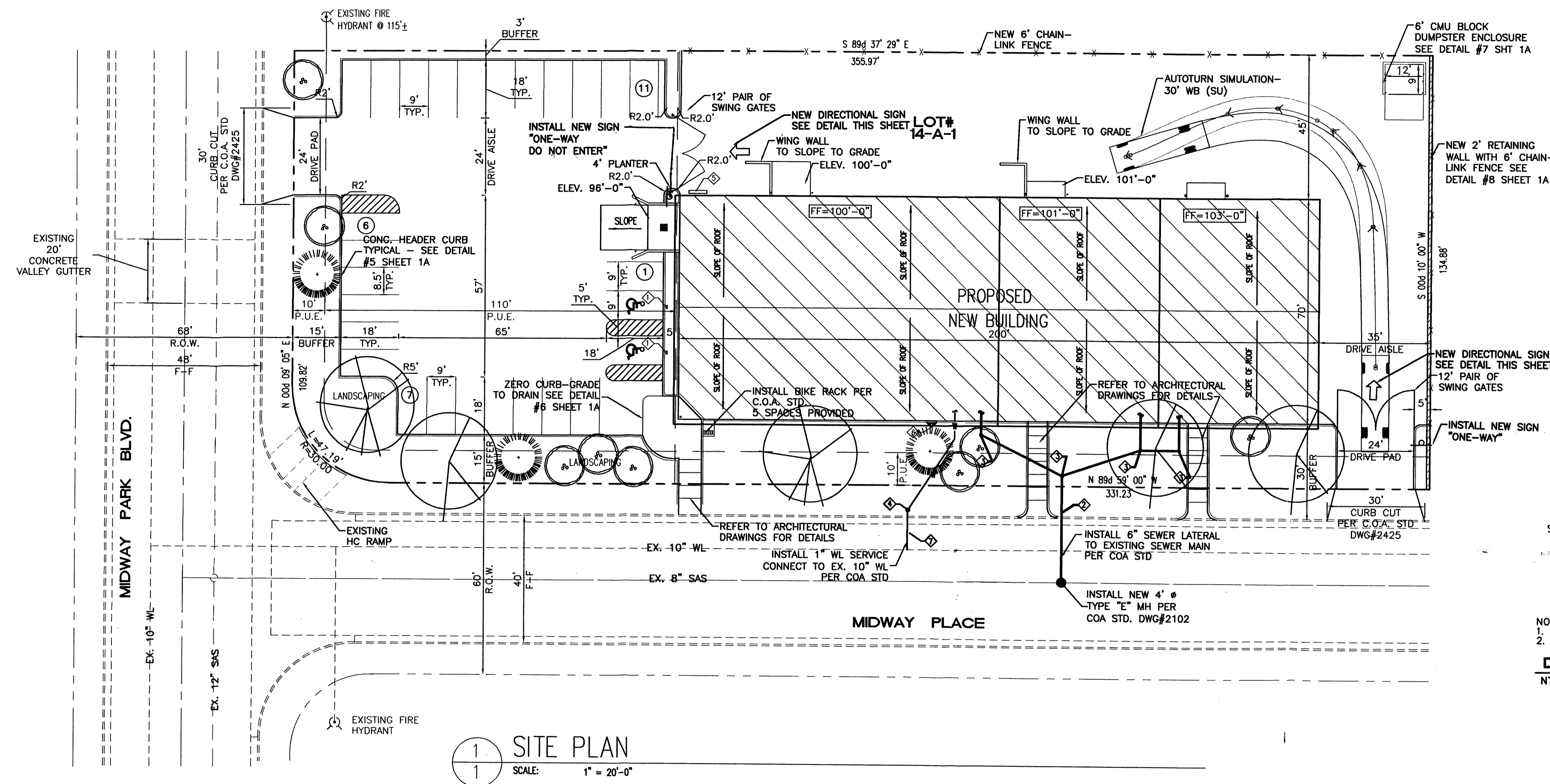
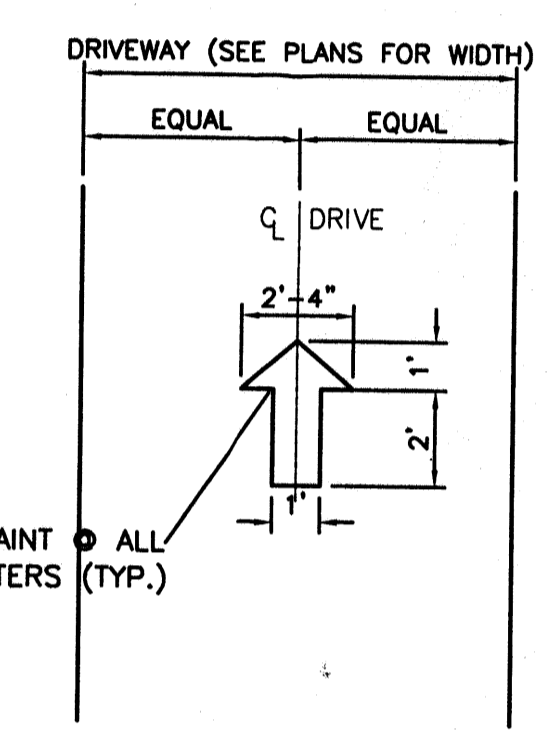


2015A01
Date:
10 • 29 • 01

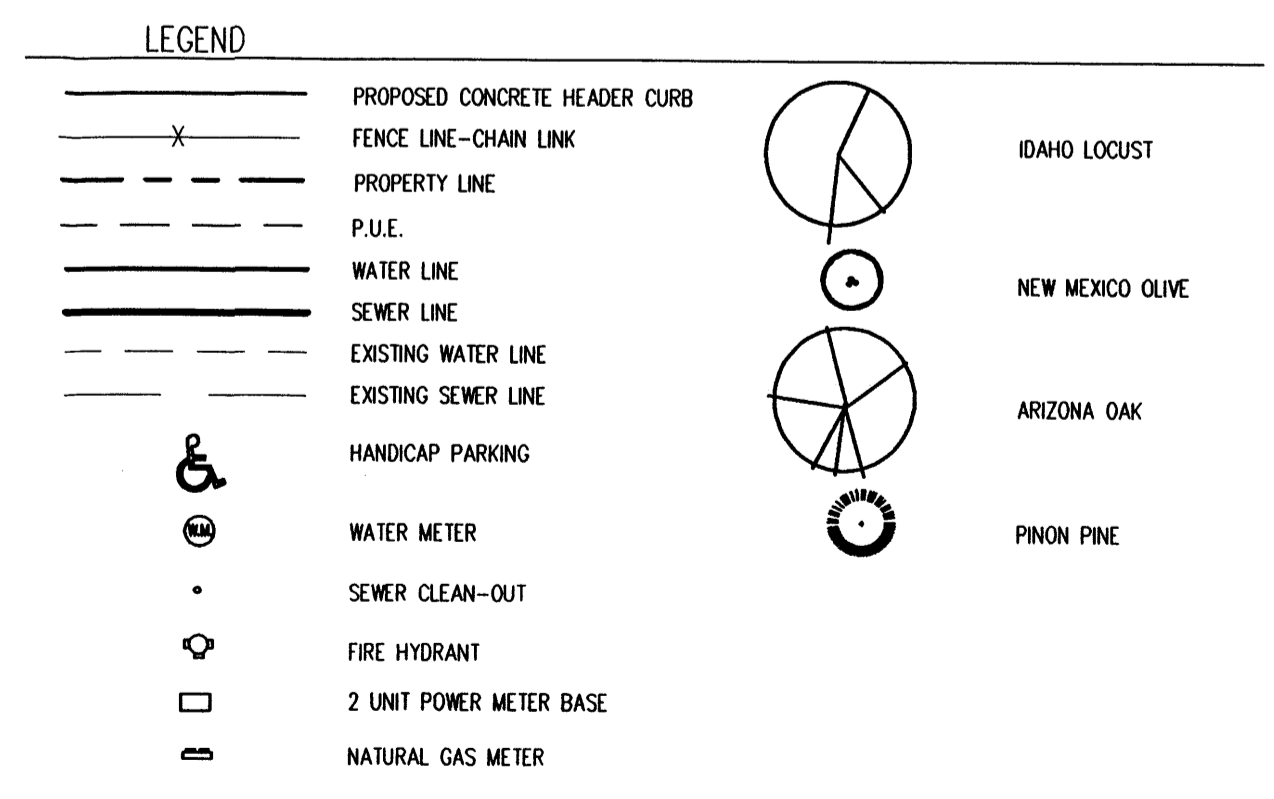


- GENERAL NOTES:**
- TREES AND LANDSCAPING SHOWN FOR REFERENCE ONLY.
 - SEE SHEET 2 FOR APPROVED LANDSCAPING PLAN.
 - SWING GATES WILL BE CONSTRUCTED IN WROUGHT IRON MATERIAL.



- NOTE:
1. ALL SIGNS USE THIS FORMAT
2. VERIFY SIGNAGE SIZE BY LOCAL CODES AND REGULATIONS.
- DIRECTIONAL SIGNS**
NTS

1 SITE PLAN
SCALE: 1" = 20'-0"



- KEYED NOTES:**
- ◇ PROVIDE A.D.A. SIGN
 - ◇ 6" SEWER LINE
 - ◇ SEWER CLEAN-OUT
 - ◇ WATER METER
 - ◇ POWER METER
 - ◇ NATURAL GAS METER
 - ◇ 1" WATER LINE
- GENERAL NOTES:**
- ALL ITEMS TO BE COORDINATED WITH CONTRACTOR AND OWNER

SITE DATA

PROPOSED ZONING:	NO CHANGE
CURRENT ZONING:	IP (INDUSTRIAL PARK)
PROPOSED USAGE:	WAREHOUSE
LOT AREA:	52,648 SF (1.2 ± ACRE)
BUILDING AREA:	13,992 SF
PARKING/DRIVEWAY:	27,721 SF ±
SIDEWALKS:	9,680 SF ±
LANDSCAPE AREA:	10,935 SF ±
LANDSCAPING REQUIRED:	15% OF PAVING AREA = 4,158 SF ±
PARKING PROVIDED:	25 SPACES
PARKING REQUIRED:	25 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
R.C. Smith 12-12-01
SIGNATURE & DATE

Application # 01400-01827 (SBP)
PROJECT NUMBER: 1001644

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on 1/9/02 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

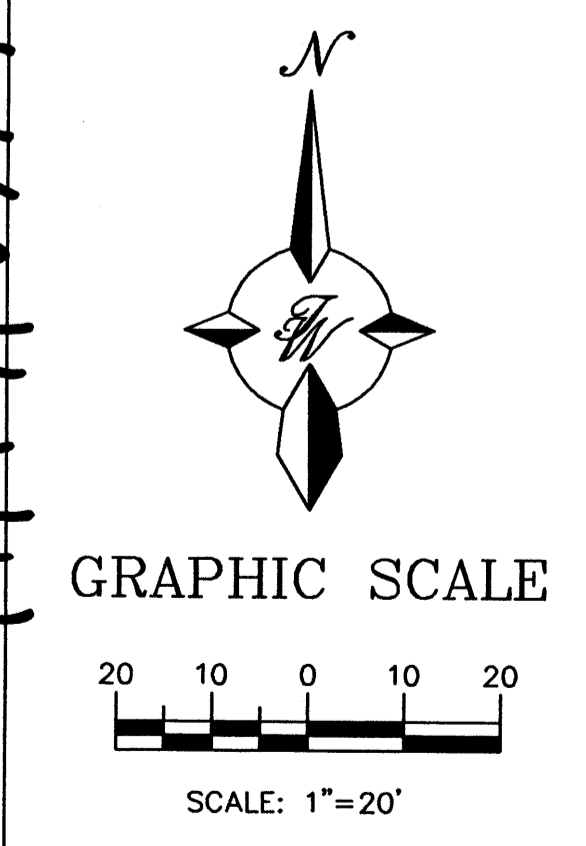
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	Parks & Recreation Department	1/09/02	Date
	Public Works, Water Utilities Division	1/9/02	Date
	City Engineer, Engineering Division / AMAFCA	1-9-02	Date
	Solid Waste	12-12-01	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division | 1/24/02 | Date |

PLNZ (10706) 4/96

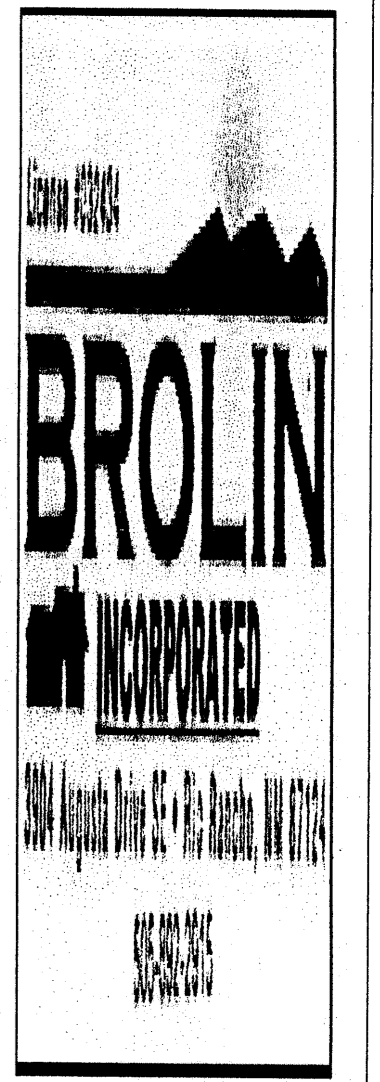
- INDEX TO DRAWINGS**
- SITE PLAN
 - DETAILS SHEET
 - LANDSCAPING PLAN
 - GRADING PLAN
 - BUILDING AND STRUCTURE ELEVATIONS



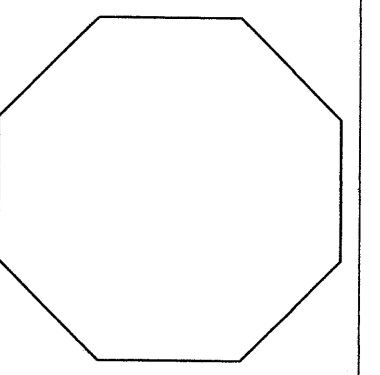
DATE/REVISION
PROJECT# 01-03
DRAWN BY: Nattilee Cook
CHECKED BY: N.C.
DO NOT REPRODUCE WITHOUT LICENSE

A NEW BUILDING FOR:
MIDWAY WAREHOUSE
AT MIDWAY BUSINESS PARK
MIDWAY PARK BLVD. MIDWAY PLACE
ALBUQUERQUE, NEW MEXICO

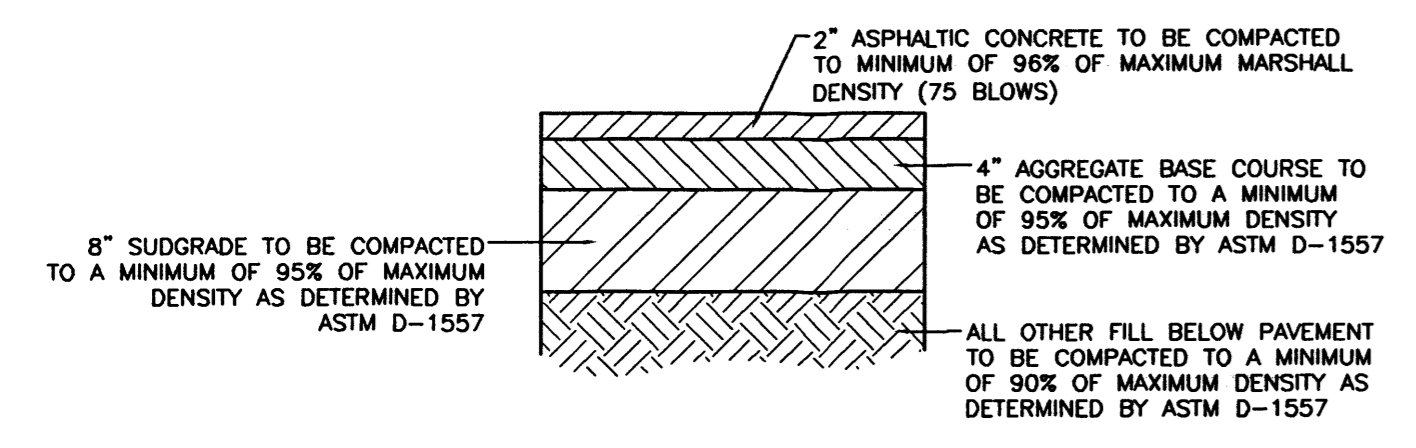
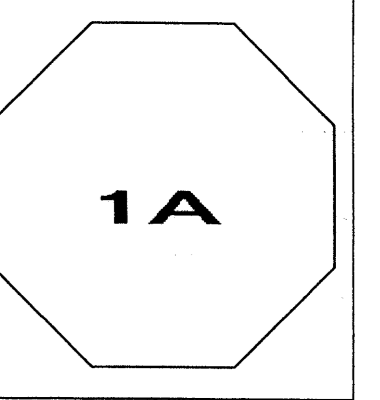
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100



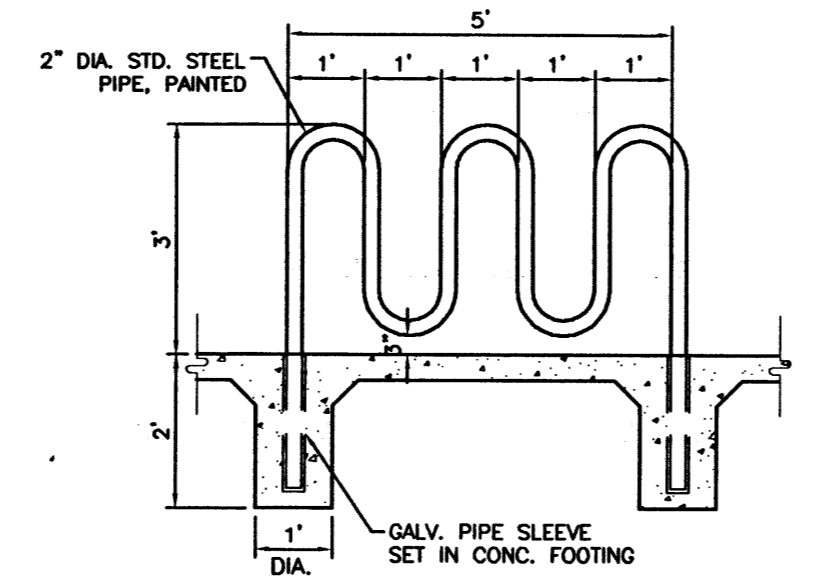
DATE/REVISION
PROJECT# 01-08
DRAWN BY: Natilie Cook
CHECKED BY: N.C.
DO NOT REPRODUCE WITHOUT LICENSE



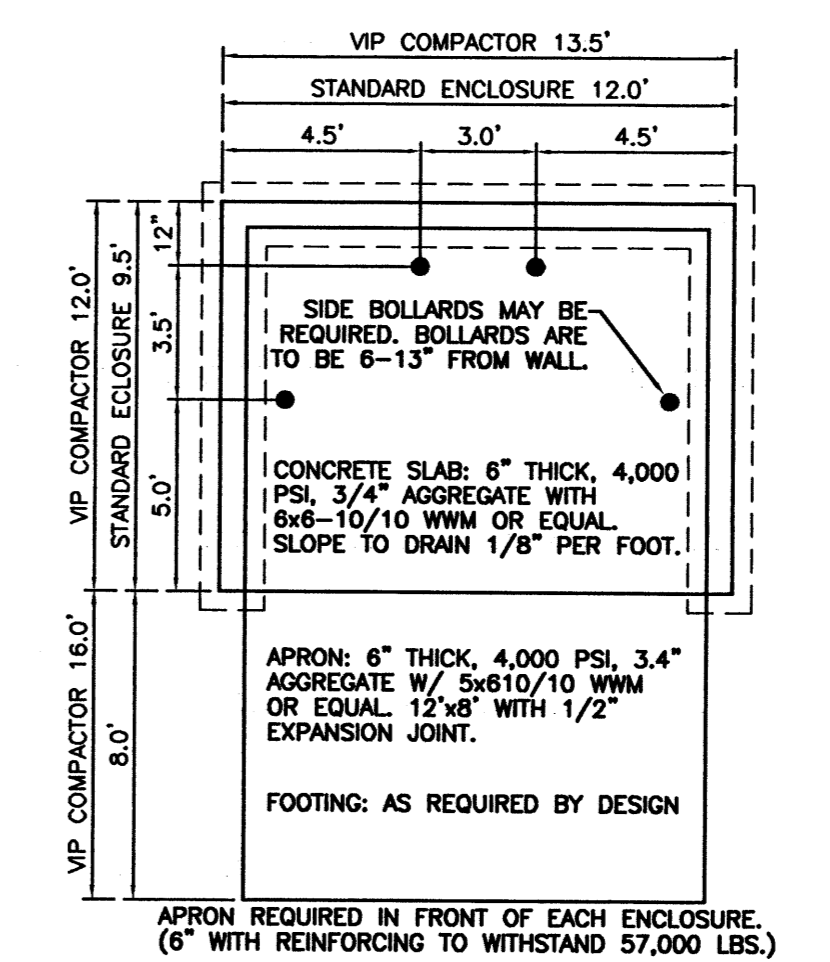
A NEW BUILDING FOR:
MIDWAY WAREHOUSE
AT MIDWAY BUSINESS PARK
MIDWAY PARK BLVD, MIDWAY PLACE
ALBUQUERQUE, NEW MEXICO



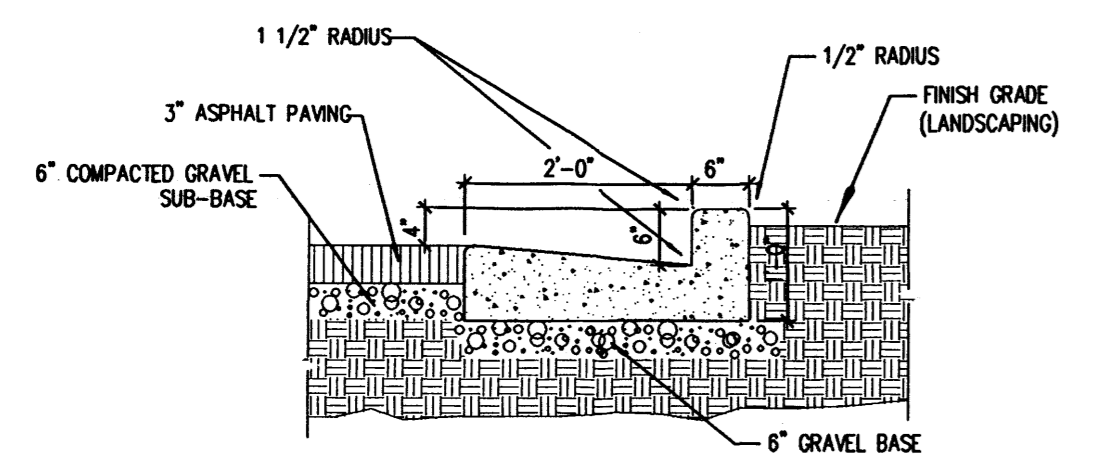
1
1A
SCALE: NTS
DESIGNATED BY: (SEE ARCH. DRAWINGS/SOILS REPORT)



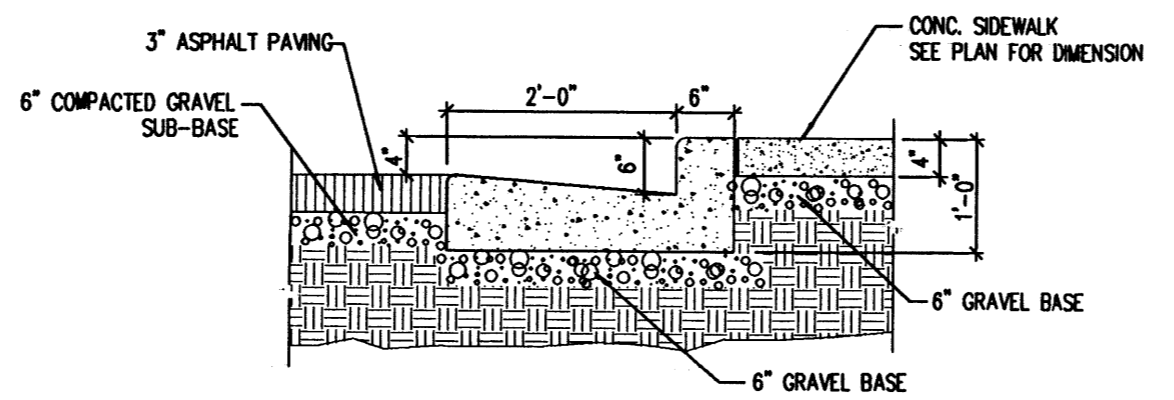
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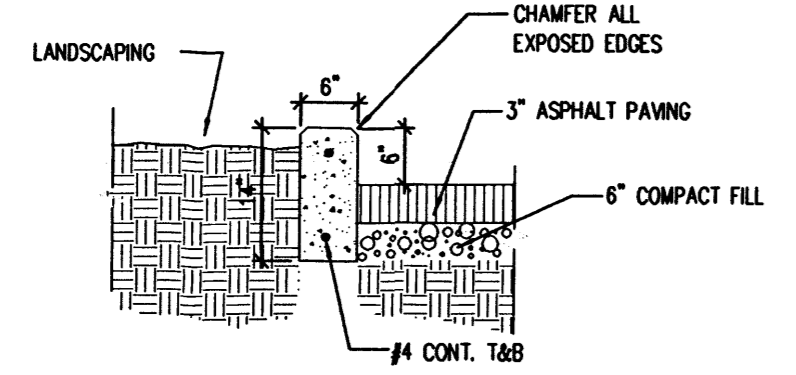
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1A
SCALE: 3/4" = 1'-0"



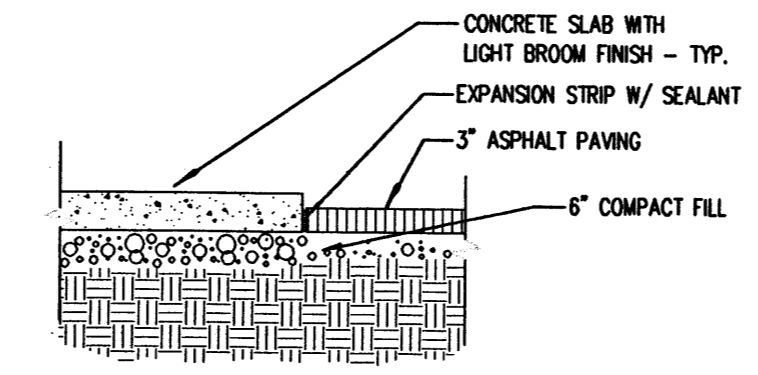
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1A
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AS-REQUIRED
NOTE: CONST. JOINTS @ 10'-0" O.C. & EXPANSION JOINTS @ 50'-0" O.C.



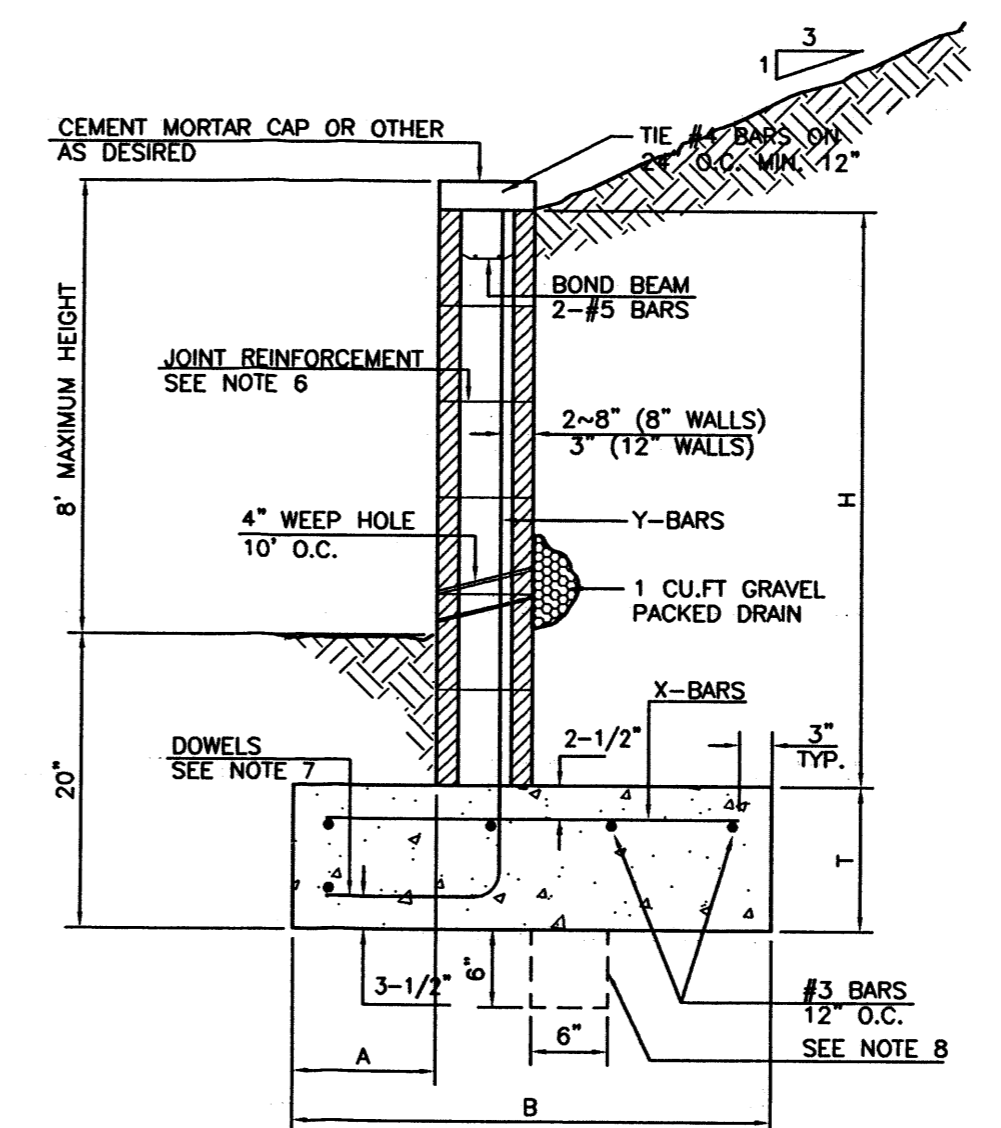
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1A
SCALE: NTS
AS-REQUIRED



5
1A
SCALE: NTS



6
1A
SCALE: NTS



8
1A
SCALE: NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

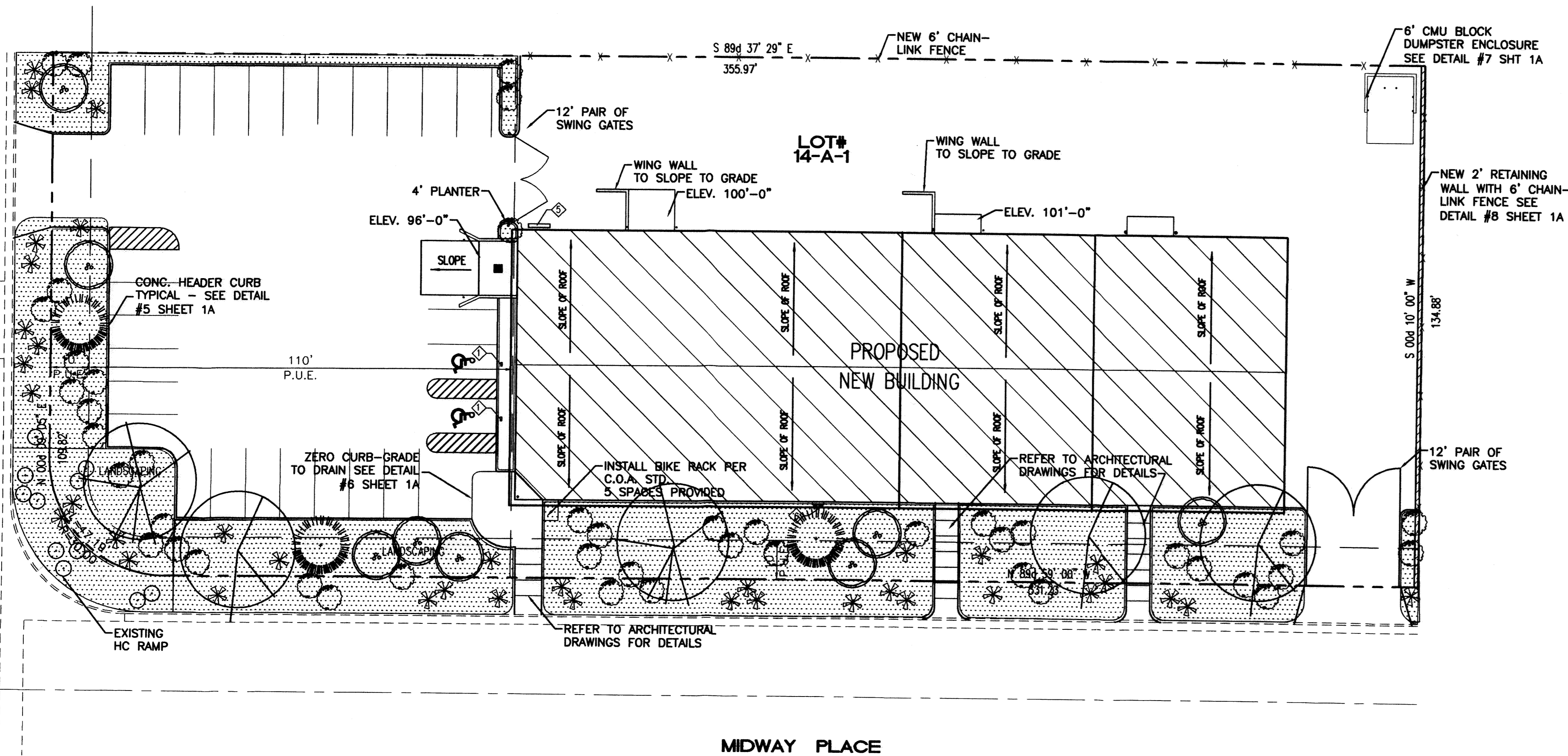
H	X	A	B	T	Y-BARS	X-BARS
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-1"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#5 @32" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-8"	12"	#5 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" EVERY 16'.
 - #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4" BOND BEAM. 1-#4 BARS FOR WALLS UNDER 3'-4". 2-#4 BARS FOR WALLS UNDER 5'-4". 2-#5 BARS FOR WALLS OVER 5'-4".

MIDWAY PARK BLVD.



PLANT LEGEND

Symbol	Botanical Name	Common Name	Qty	Size/Notes	Ht x Spr
TREES					
	<i>Robinia ambigua</i> "Purple Robe"	PURPLE ROBE LOCUST	3	2" CAL	25' x 25'
	<i>Forestiera neomexicana</i>	NEW MEXICO OLIVE	8	15 GAL. (nursery grown)	15' x 15'
	<i>Quercus macrocarpa</i>	BUR OAK	2	2" CAL.	30' x 25'
	<i>Pinus edulis</i>	PINON PINE	3	7' - 8' HT.	30' x 20'
SHRUBS					
	<i>Fallugia paradoxa</i>	APACHE PLUME	45	1 GAL.	6' x 6'
	<i>Hesperaloe parviflora</i>	RED YUCCA	38	1 GAL.	2 1/2' x 5'
GRASSES/GROUND COVERS					
	<i>Artemisia stelleriana</i>	BEACH WORMWOOD	11	1 GAL.	24" x 36"
	1/2" CRUSHED SANTA ANA TAN GRAVEL MULCH				

Landscaping Notes

ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 1/2" CRUSHED SANTA ANA TAN GRAVEL MULCH, AND UNDERLINED WITH GCI 351 ES FABRIC.

~~TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.~~

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

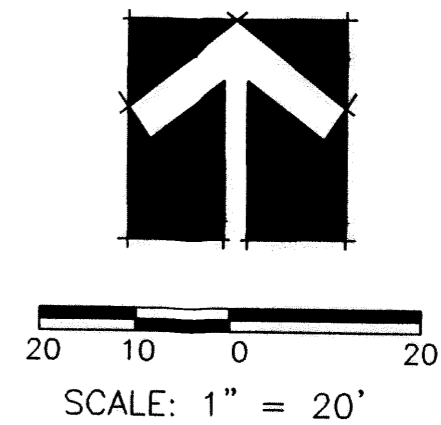
LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

THE LANDSCAPE DESIGN WILL EMPHASIZE WATER-CONSERVATIVE PLANTING, PRIMARILY NATIVES, AND IS INTENDED TO COMPLEMENT THE ADJACENT NEIGHBORHOOD PLANTINGS.

PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO THE SCALE OF THE DRAWINGS. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS OR OTHER SITE CONSTRAINTS.

Area Calculations

TOTAL SITE (1.2 Ac.) =	52,648 S.F.
BUILDING TOTAL =	13,992 S.F.
NET SITE AREA=	38,656 S.F.
LANDSCAPE AREA REQUIRED =	5,798 S.F.
LANDSCAPE AREA PROVIDED =	10,641 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	18%

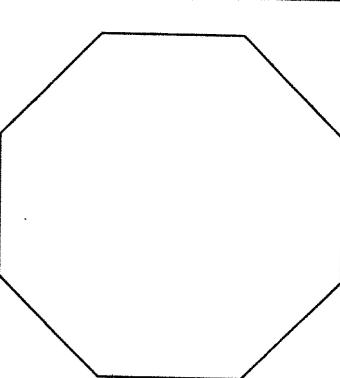


1 LANDSCAPE PLAN

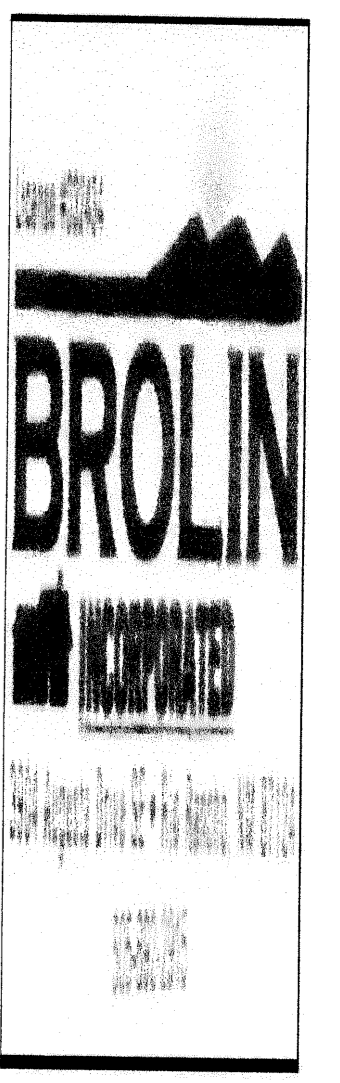
SCALE: 1" = 20'-0"

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(505)858-3100

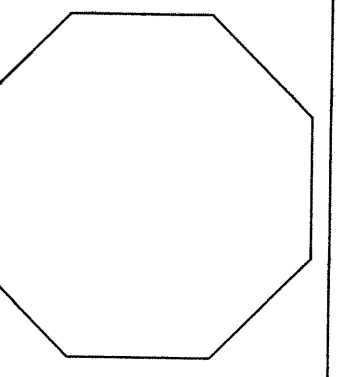
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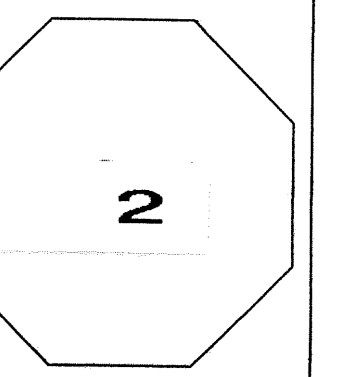
Date:
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DATE/REVISION 11-05-01
PROJECT# 02033
DRAWN BY: poa
CHECKED BY: tog
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A NEW BUILDING FOR:
MIDWAY WAREHOUSE
AT MIDWAY BUSINESS PARK
MIDWAY PARK BLVD., MIDWAY PLACE
ALBUQUERQUE, NEW MEXICO



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One building is proposed for the subject property, with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 1.10 acre site is undeveloped. The site is bounded on the north and east by developed commercial property, on the west by Midway Park Blvd., and on the south by Midway Place. The site slopes from the east to the west at approximately 2.4%. As shown by the FEMA Map Panel No. 138, dated 1996, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building site is located within the southeast portion of the property. On site flows will drain around the structure and flow to the west. All roof drainage will discharge from the roof to the north and south and continue to flow to Midway Place and Midway Park Blvd. Runoff will continue to be allowed to free discharge to the adjacent streets, since an existing concrete runoff is located west of the site and directs flow to an existing channel which free discharges to the North Diversion Channel. No ponding occurs on any properties in the area.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 1.10 acres
Treatment B = 0 acres
Treatment C = 0 acres
Treatment D = 0 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.18 acres
Treatment C = 0.00 acres
Treatment D = 0.92 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 1.72 cfs
Proposed 100-year Flow = 4.73 cfs

Existing 100-year Volume = 2116 cu. ft.
Proposed 100-year Volume = 7590 cu. ft.

PROPERTY ADDRESS:

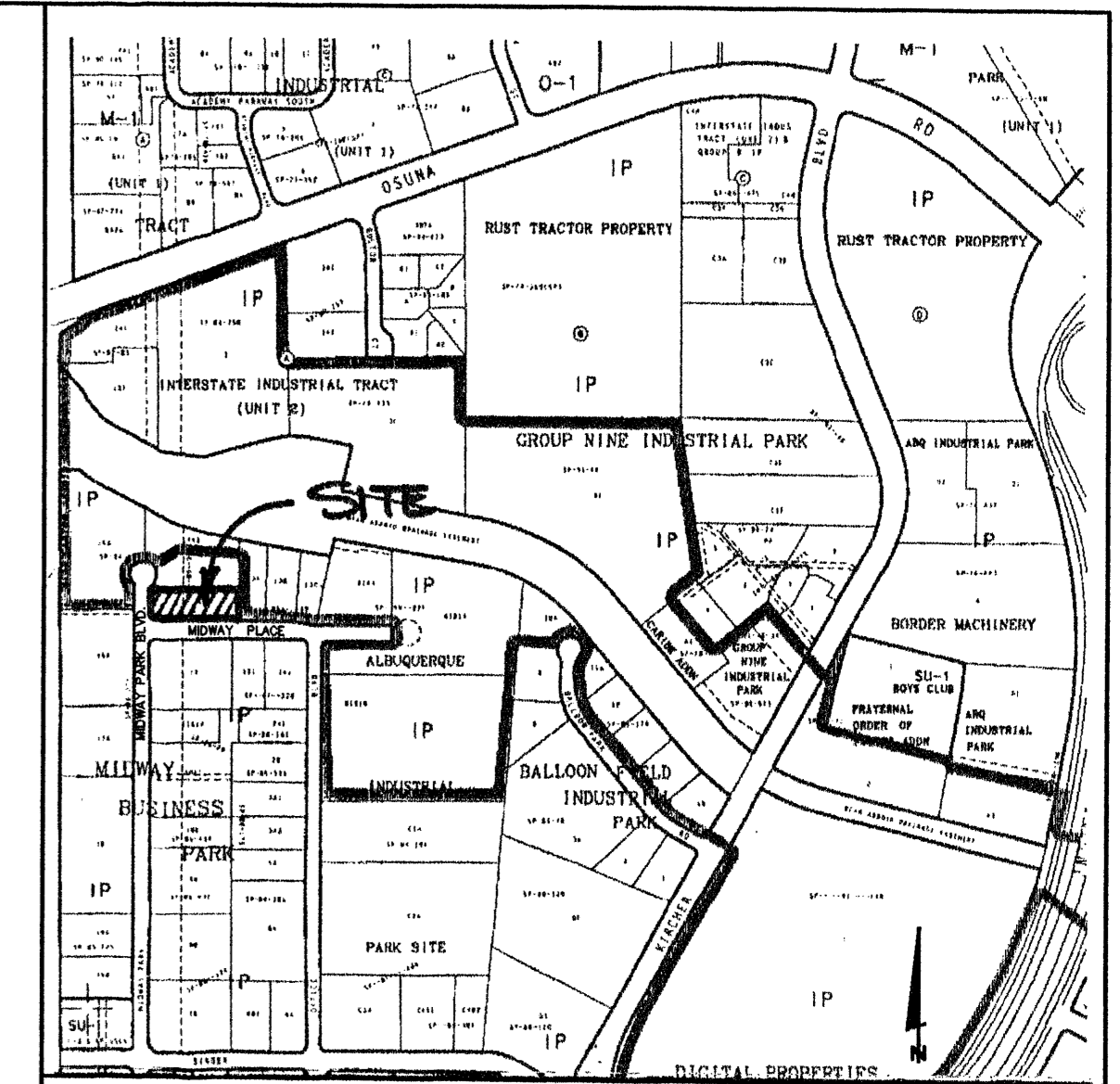
6000 Midway Park Blvd.

TOPOGRAPHY:

Topographic information provided by Sandia Land Surveying dated August 2001.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEED WITH NATIVE SEEDING MATERIAL.
10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

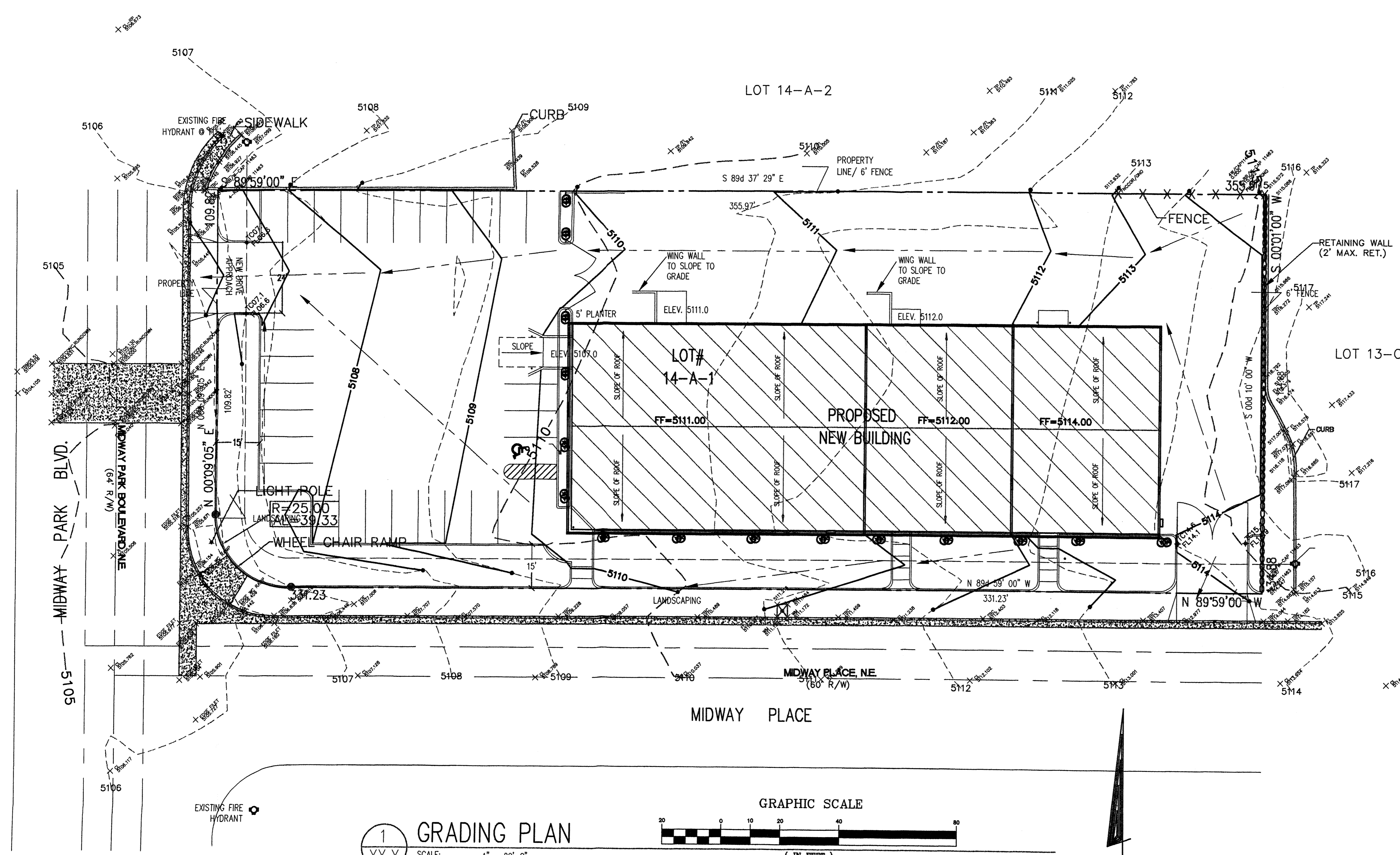


VICINITY MAP ZONE ATLAS: E-17

LEGEND	
EXISTING	PROPOSED
CONTOUR	5900 (dashed line), 5850 (solid line)
WALL	Series of parallel lines
PROPERTY LINE	Long dashed line
EASEMENT	Short dashed line
METER	Circle with 'M'
CURB AND GUTTER	Double parallel lines
SPOT ELEVATION	Circle with 'X' and elevation value

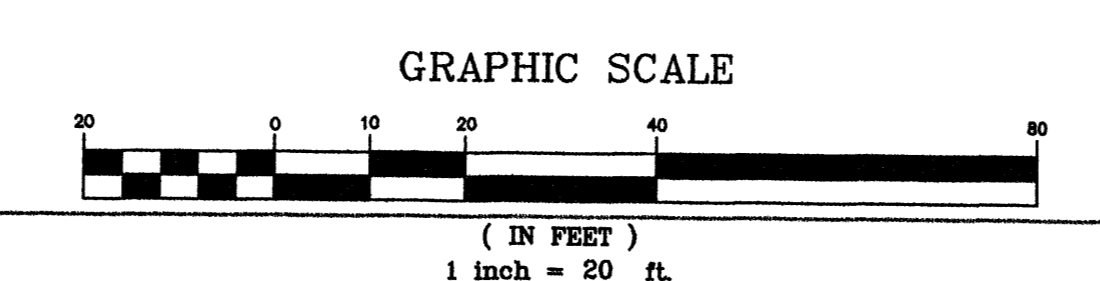
NOTES:

1. BENCH MARK: U.S. G.L.O./ACS SECTION CORNER ELEVATION



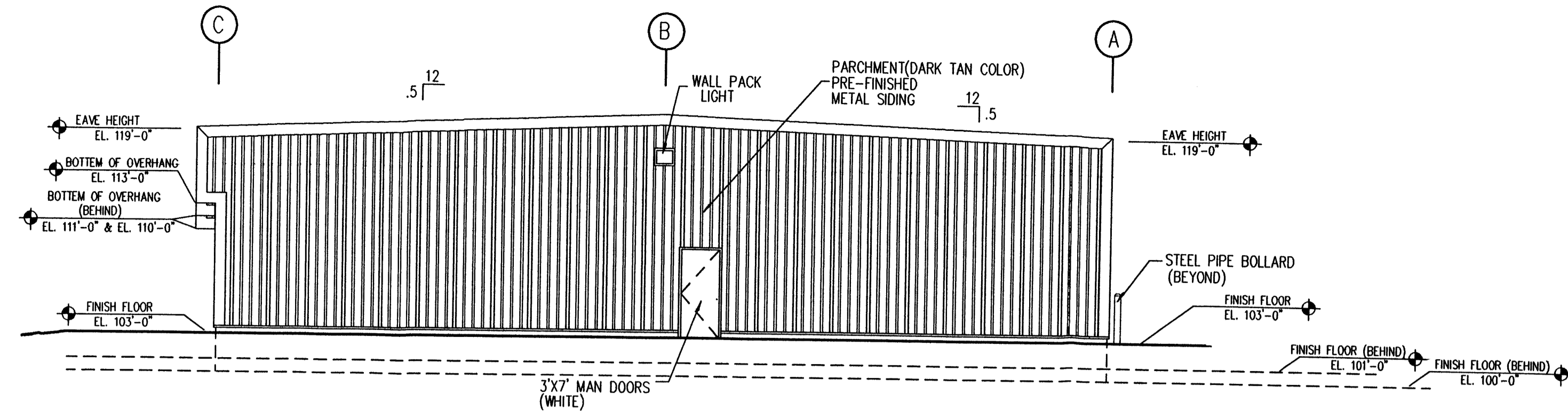
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9-10-01

1 GRADING PLAN
SCALE: 1" = 20'-0"

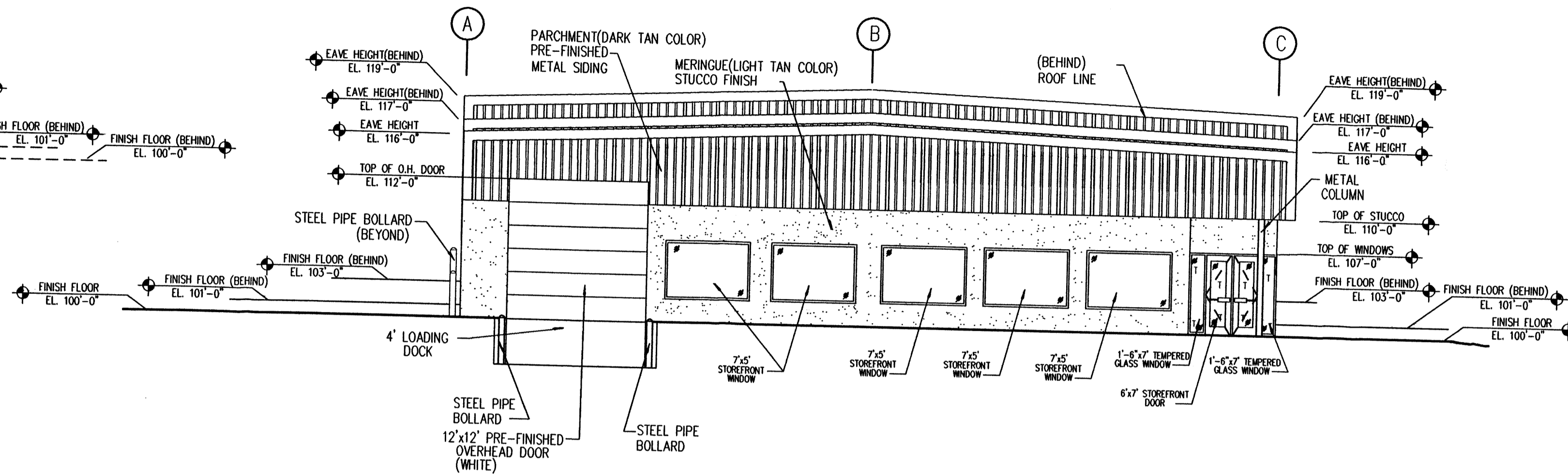


GRADING
9-4-01
1=20
BR00101L

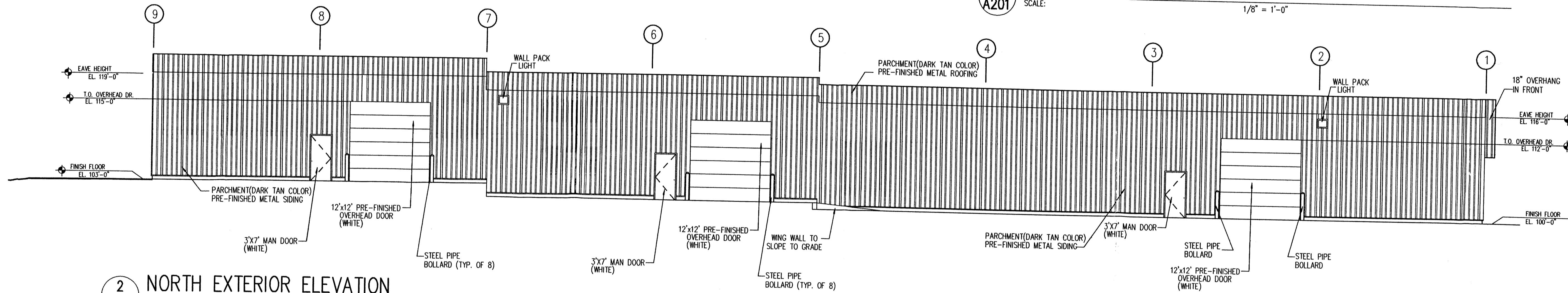
CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO	
LOT 14-A-1 MIDWAY BUSINESS PARK BROWN BUILDING DEVELOPMENT			
Designed JSM	Drawn STAFF	Checked JSM	Sheet of
File BR00101L	Date SEPTEMBER, 2001		3 4



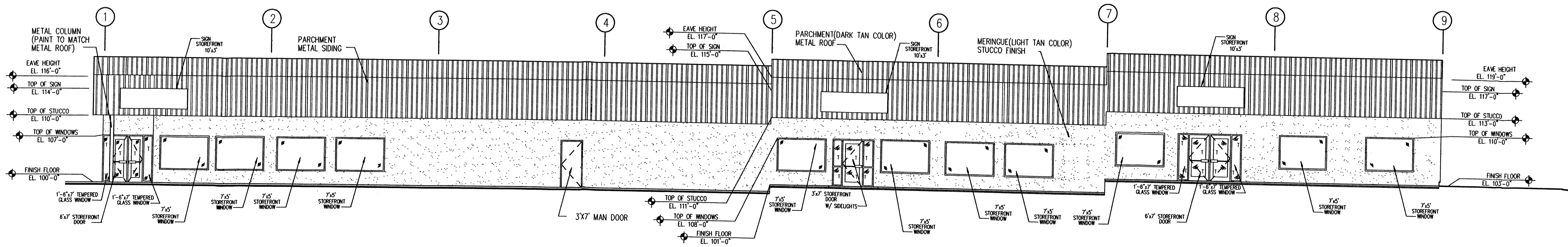
3 EAST EXTERIOR ELEVATION
A201 SCALE: 1/8" = 1'-0"



4 WEST EXTERIOR ELEVATION
A201 SCALE: 1/8" = 1'-0"

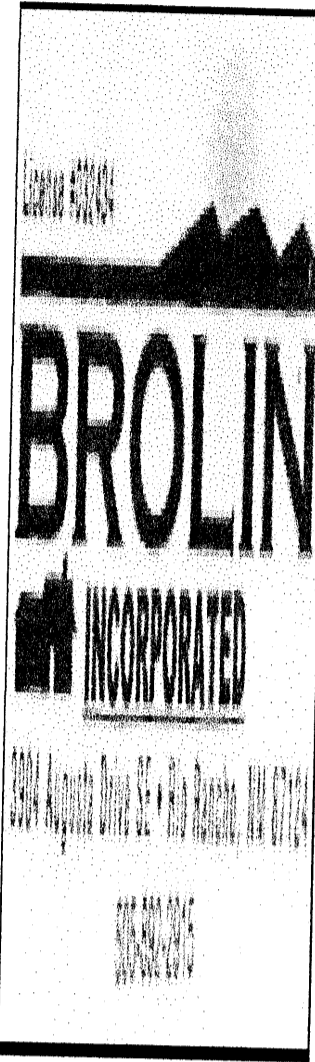


2 NORTH EXTERIOR ELEVATION
A201 SCALE: 1/8" = 1'-0"

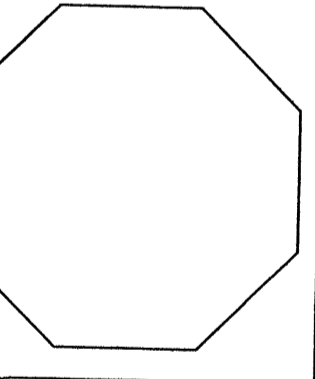


1 SOUTH EXTERIOR ELEVATION
A201 SCALE: 1/8" = 1'-0"

Date:
10 • 19 • 01



DATE/REVISION	PROJECT# 01-08
DRAWN BY: Nattilee Cook	CHECKED BY: N. C.
DO NOT REPRODUCE WITHOUT LICENSE	



A NEW BUILDING FOR:
MIDWAY WAREHOUSE
AT MIDWAY BUSINESS PARK
MIDWAY PARK BLVD. MIDWAY PLACE
ALBUQUERQUE, NEW MEXICO

