

# CONSTRUCTION PLANS

## FOR

# ***SAN MIGUEL APARTMENTS***

## ***PHASE III***

# PRIVATE IMPROVEMENTS

CITY OF ALBUQUERQUE  
NEW MEXICO  
NOVEMBER 2003


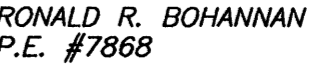


### INDEX TO DRAWINGS

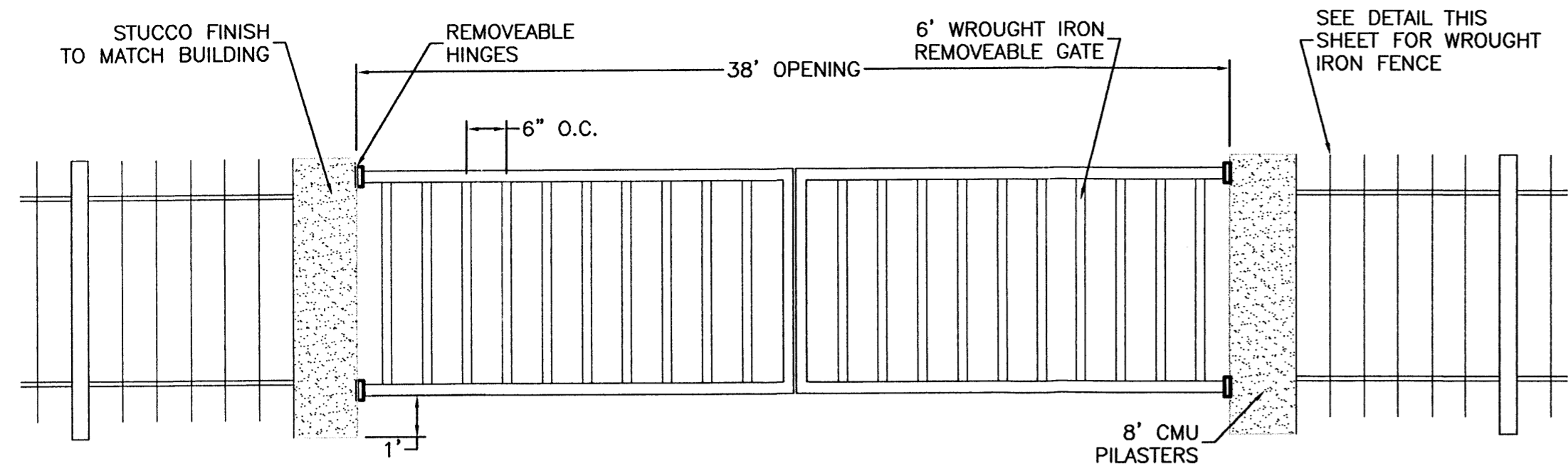
- |       |  |
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| C2.   | MASTER UTILITY PLAN<br>FOR 9180 COORS RD. NW |
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<b>PROJECT NUMBER: 1001676</b>	
This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on _____ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:	
<b>SITE DEVELOPMENT PLAN</b>	
<i>Rachel Douthett</i> Traffic Engineer, Transportation Division	2-19-07 Date
<i>Christina Santoral</i> Parks & Recreation	10/14/03 Date
<i>Roger A. Sheen</i> Public Works, Water, Utilities Division	2/19/03 Date
<i>Brad S. Bigham</i> City Engineer, Engineering Division / AMAFCA	2/19/03 Date
<i>Michael Hilton</i> Solid Waste <i>will comply w/ SWMS Specs</i>	10-14-03 Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>Sheran Watson</i> City Planner, Albuquerque / Bernalillo County Planning Division Dept	2/19/03 Date
_PLNZ (10706) 4/96.	

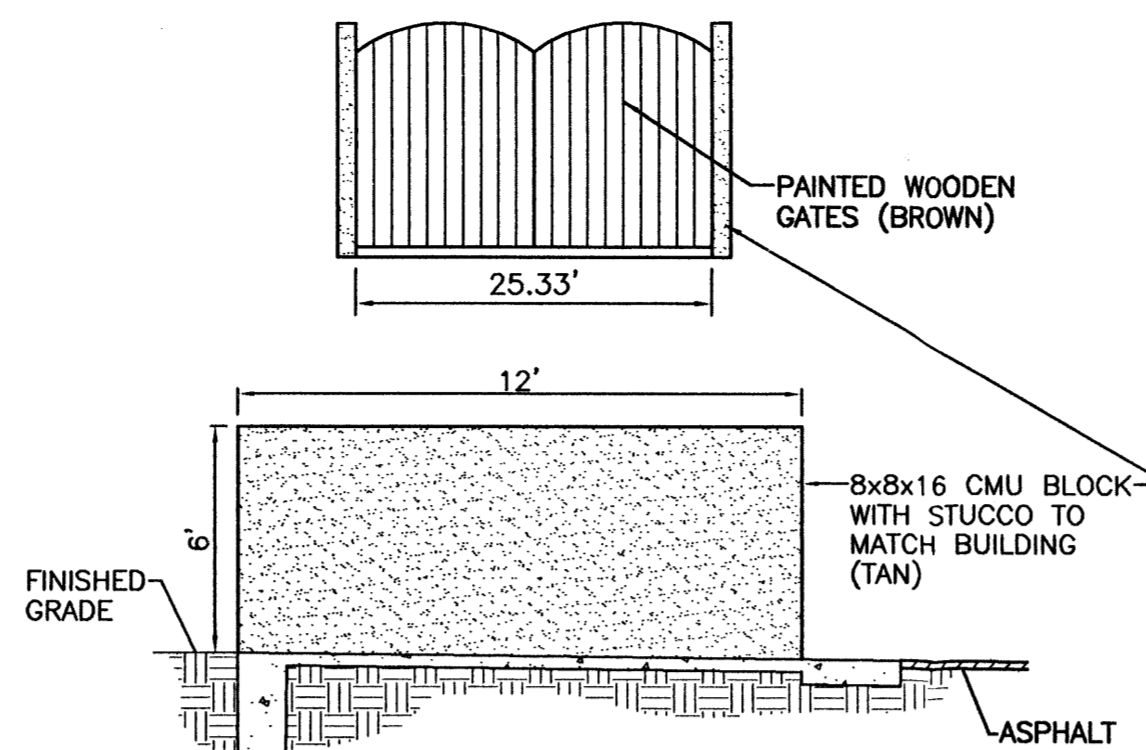
CITY PLANNING CHECKING OFFICE  
924-3011  
**APPROVED**  
**INTERIM ONLY**  
DATE: 2/2/03  
REF. PAGE C2

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL			DRAWN By: MP
			DATE 11-2002
		<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868		SHEET # -	JOB # 21055

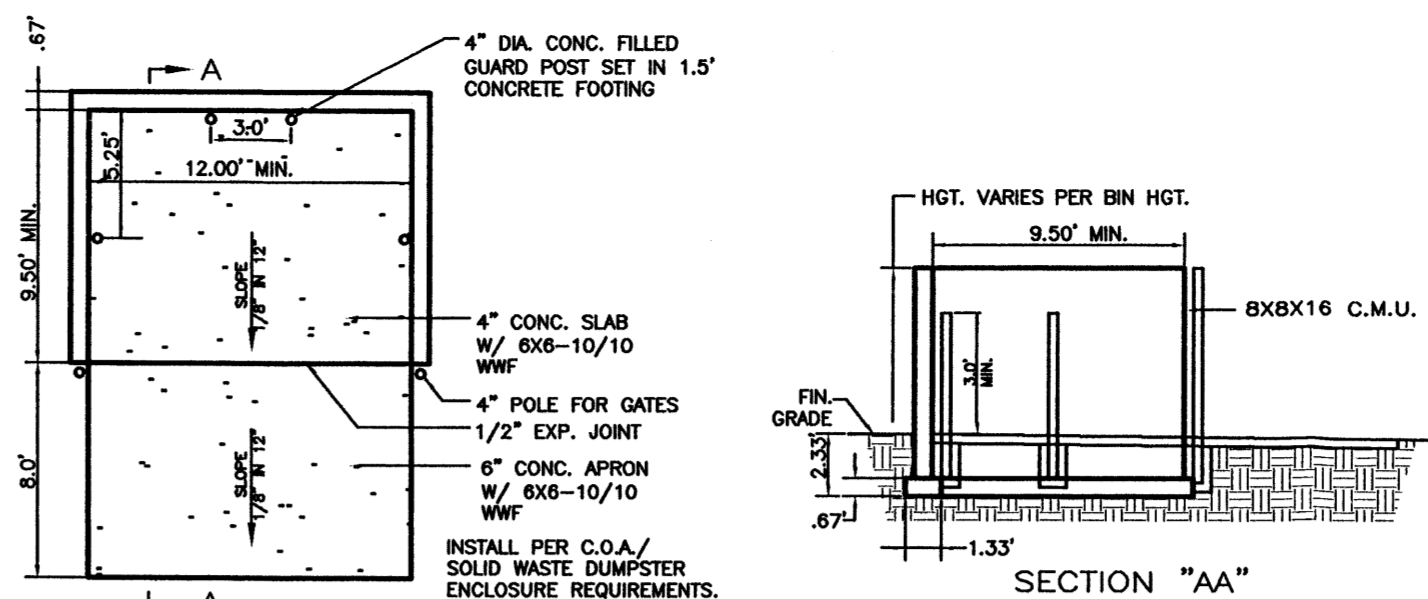
PROJECT 1001676



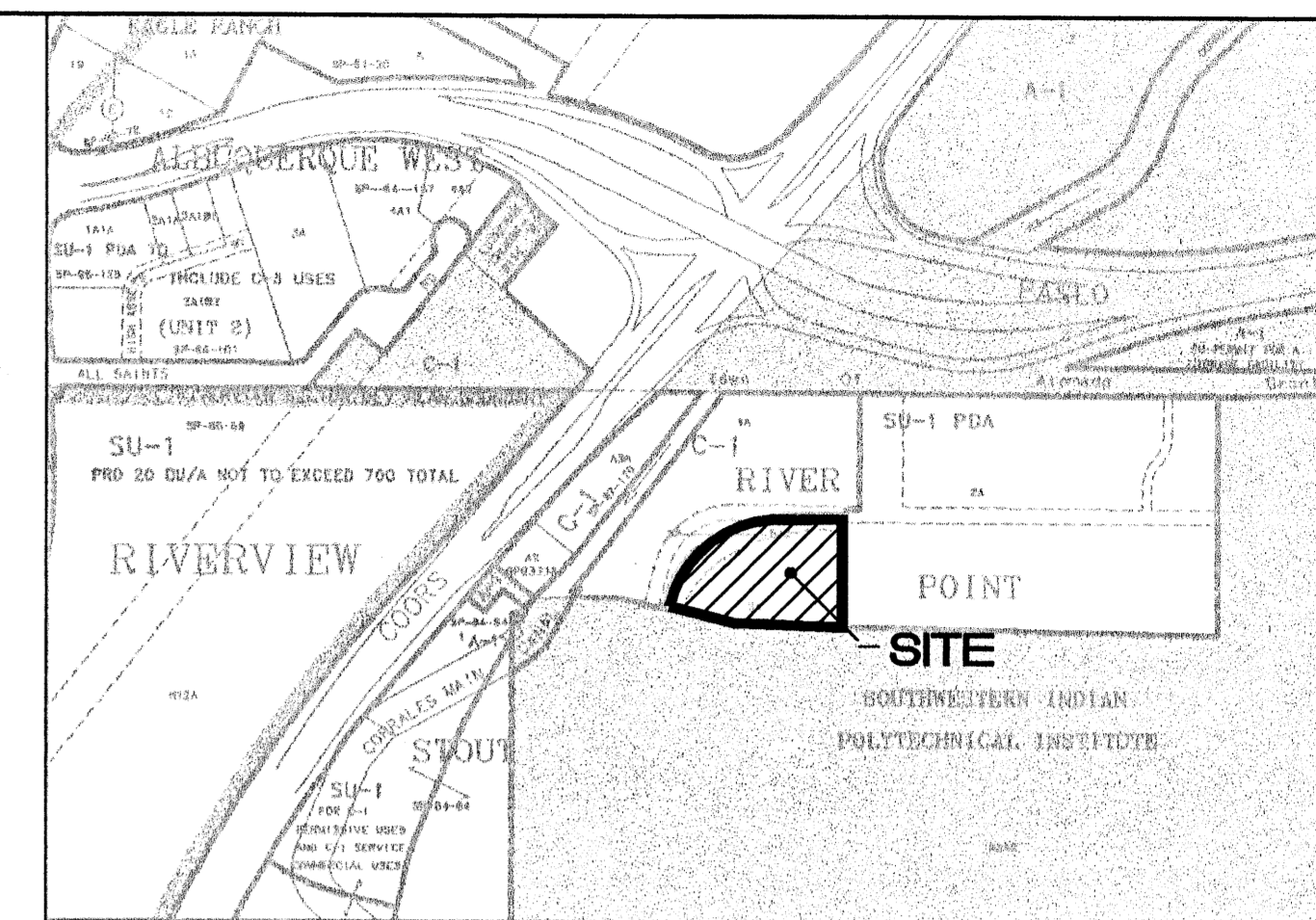
**EMERGENCY ACCESS GATE**  
NTS



**DUMPSTER ENCLOSURE ELEVATION**  
NTS



**DUMPSTER ENCLOSURE PLAN**  
NTS



**VICINITY MAP** C-B-Z

**LEGAL DESCRIPTION:**  
TRACT 3A, RIVER POINT

- NOTES:**
1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS NOTED.
  2. REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS FOR ALL GROUND WORK PREPARATIONS.
  3. ALL INLETS ARE TO BE SINGLE "D" TYPE PER COA STD. DWG #2206
  4. ALL CURBWORK TO BE 6" EXTRUDED CURB, UNLESS OTHERWISE NOTED.
  5. SPOT ELEVATIONS DENOTED WITH "BW" REFERS TO BOTTOM OF WALL AT FINISH GRADE. SEE WALL BUILDER FOR TOP OF FOOTING ELEVATIONS.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	29.78	S50°41'00"W

**CURVE TABLE**

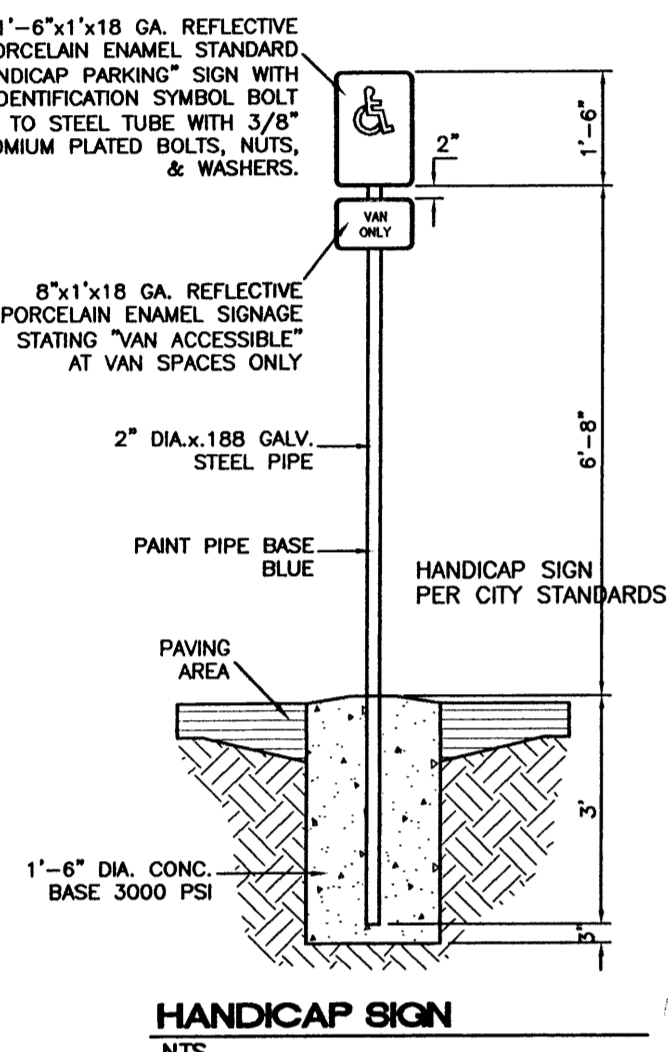
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	19.04	29.50	9.87	36°58'52"	N37°50'26"E	18.71
C2	127.54	221.54	65.59	32°59'05"	S33°43'25"W	125.78
C3	225.71	432.60	115.49	29°53'40"	S75°42'28"W	223.16

**PARKING CALCULATIONS**

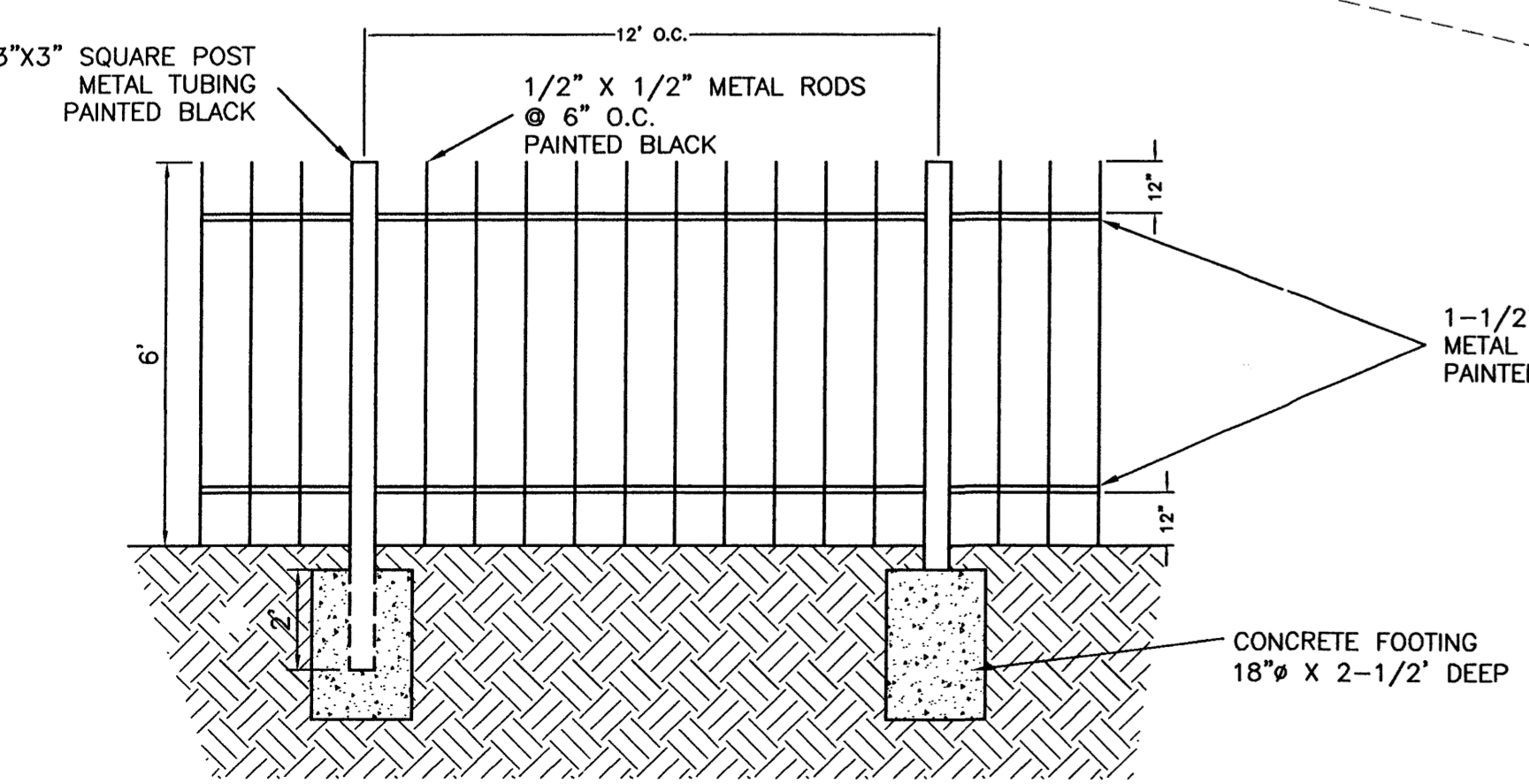
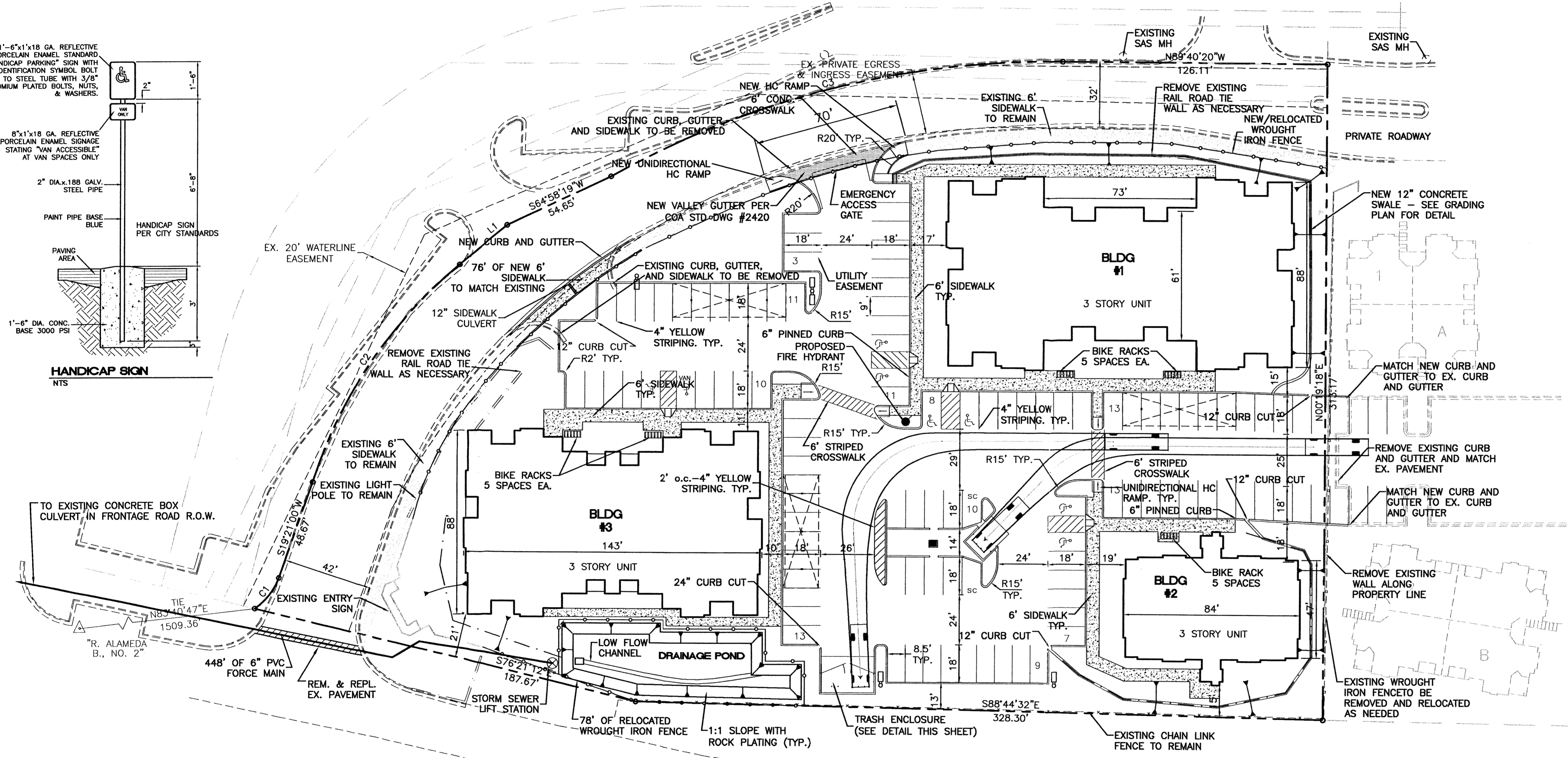
PHASE	1 BEDROOM (732-937 SF)	2 BEDROOM (1023-1215 SF)	3 BEDROOM 1110 SF	TOTAL UNITS	REQUIRED PARKING	PROVIDED PARKING	NET PARKING
I	83	81	0	164	287	318	31
II	48	48	24	120	216	224	8
III	36	36	0	72	126	110	(16)
<b>TOTALS</b>	<b>167</b>	<b>165</b>	<b>24</b>	<b>356</b>	<b>629</b>	<b>652</b>	<b>23</b>

**LEGEND**

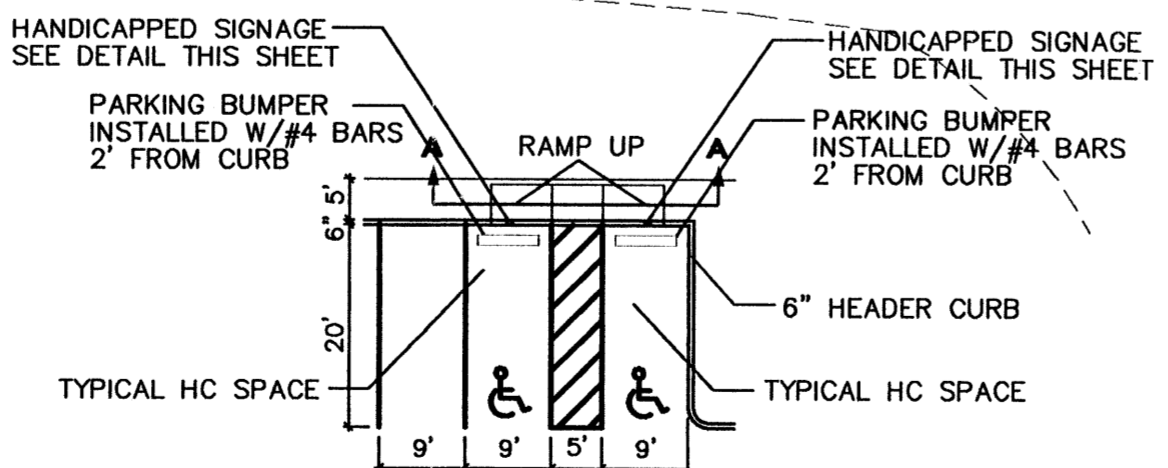
SYMBOL	DESCRIPTION
Circle with dot	EXISTING SAS MANHOLE
Dashed line	EXISTING SANITARY SEWER LINE
Dashed line with 'W'	EXISTING WATER LINE
Dashed line with 'RCP'	EXISTING STORM SEWER LINE
Double line	EXISTING CURB & GUTTER
Double line with dashes	PROPOSED CURB & GUTTER
Single line	BOUNDARY LINE
Dashed line	EXISTING BOUNDARY LINE
Line with dashes	EASEMENT
Line with dots	PROPOSED SIDEWALK
Line with dashes	EXISTING SIDEWALK
Line with dashes	EXISTING WALL
Line with squares	PROPOSED PARKING LOT LIGHTING
Line with triangles	CARPORTS



**HANDICAP SIGN**  
NTS



**WROUGHT IRON FENCE DETAIL**  
NTS



**HC PARKING DETAIL**  
NTS

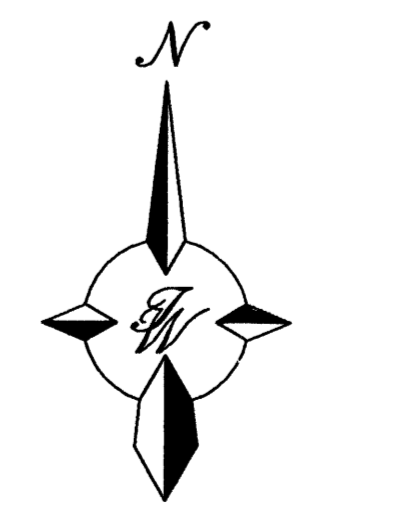
**HC PARKING DETAIL SECTION A-A**  
NTS

**PARKING REQUIREMENTS**

PARKING PROVIDED: 108 SPACES  
 PARKING REQUIRED (1 PER BATH BUT LESS THAN 2 OR 1-1/2 SPACES FOR UNITS UNDER 1000 SF)  
 EFF. UNITS: (12 UNITS) 18 UNITS  
 ONE BEDROOM UNITS: (24 UNITS) 36 UNITS  
 TWO BEDROOM UNITS: (36 UNITS) 72 UNITS  
 TOTAL REQUIRED = 126 SPACES  
 MINUS 10% BUS CREDIT 113 SPACES  
 HC PARKING PROVIDED: 8 SPACES  
 HC PARKING REQUIRED: 8 SPACES  
 2 SPACES VAN ACCESSIBLE

**SITE DATA**

PROPOSED USAGE: R-2  
 EXISTING ZONING: SU-1 PDA (PLANNED DEVELOPMENT AREA)  
 LOT AREA: 128,088 SF (2.94 ACRE)  
 NO. BUILDING UNITS: 12 UNITS  
 EFF. UNITS: 24 UNITS  
 ONE BEDROOM UNITS: 36 UNITS  
 TWO BEDROOM UNITS: 72 UNITS  
 TOTAL BUILDING AREA: 23,008 SF  
 DENSITY: 24.49 UNITS PER ACRE

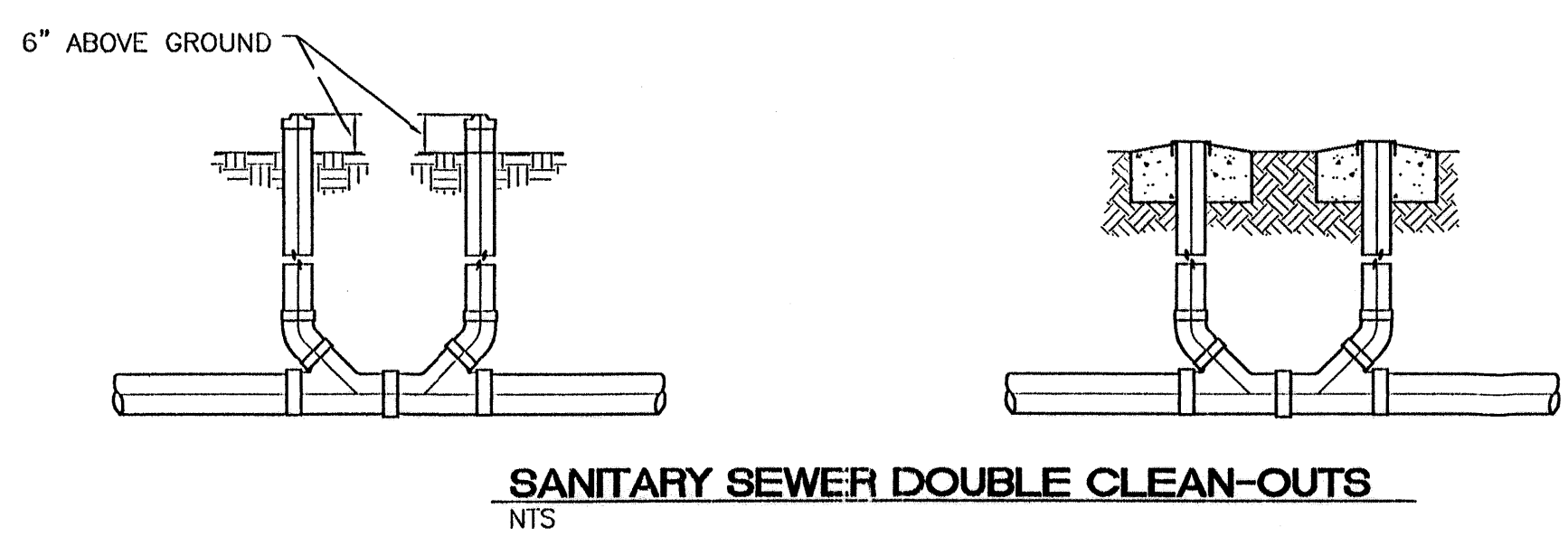
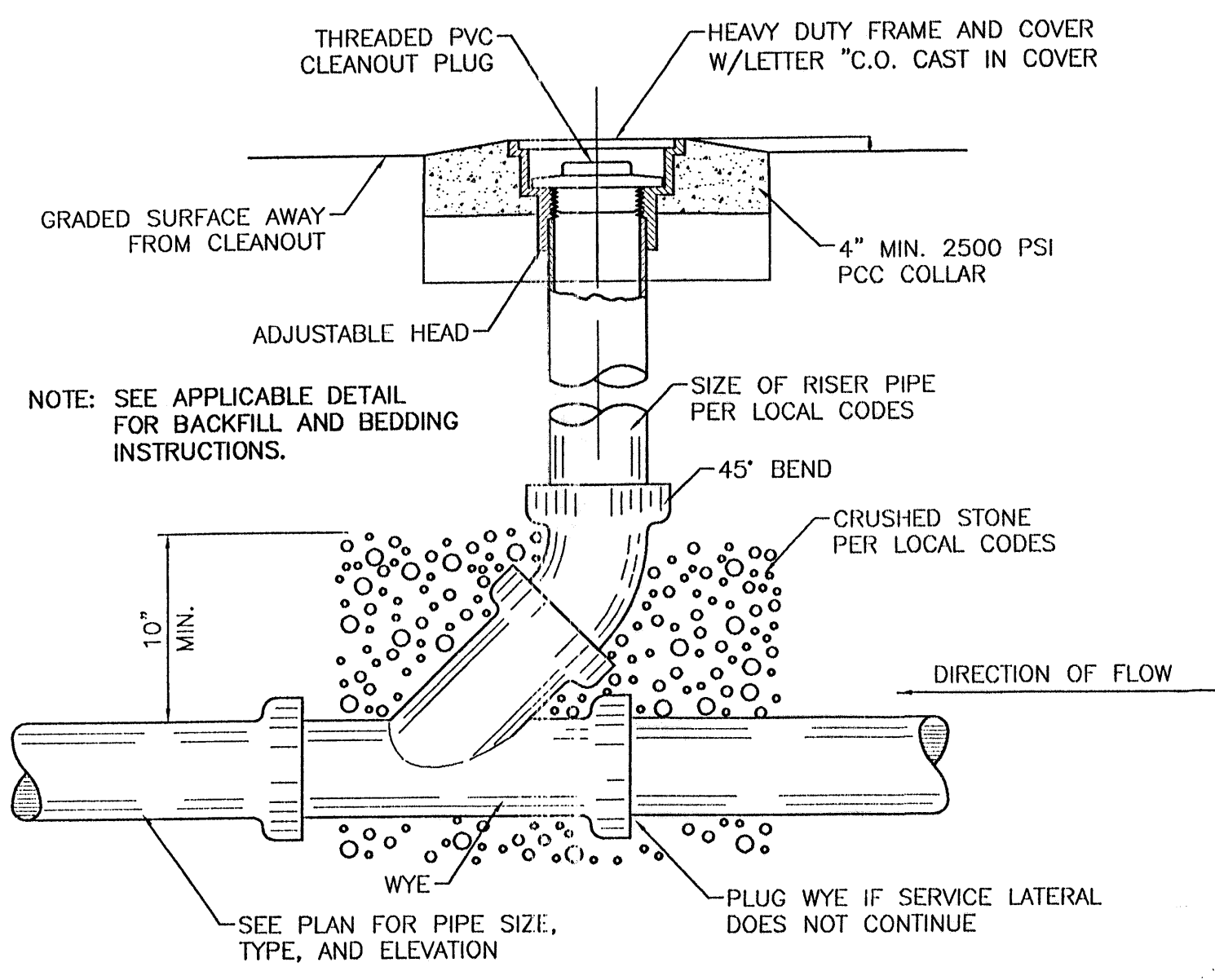


**GRAPHIC SCALE**

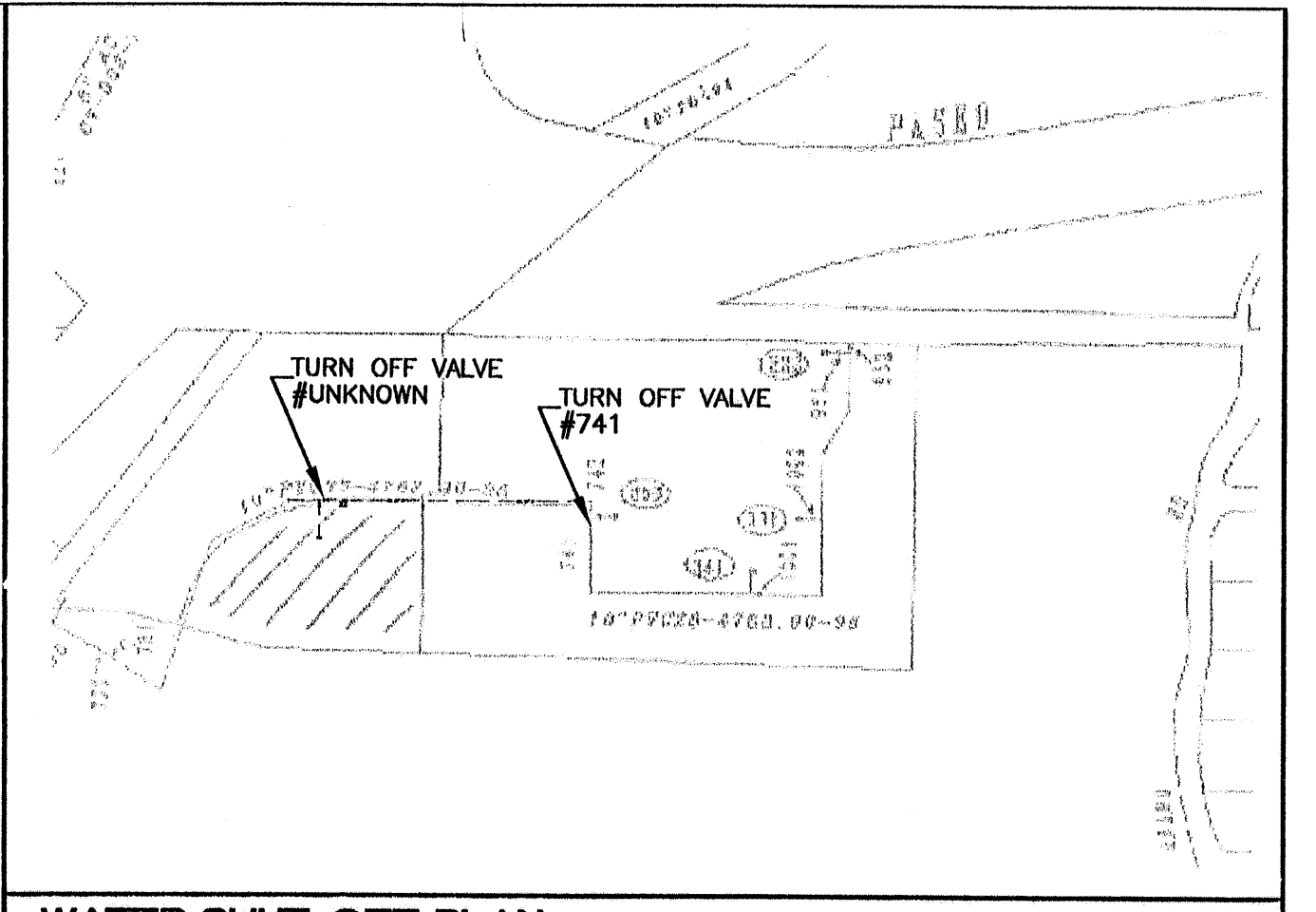
SCALE: 1"=30'

**SOLID WASTE APPROVAL**

ENGINEER'S SEAL	<b>SAN MIGUEL APTS. PHASE III</b>	DRAWN BY BMP
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 10/09/02
	TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2155SP.DWG
RONALD R. BOHANNAN P.E. #7868	<b>C1</b>	SHEET #
		JOB # 21055



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING



- NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

**SANITARY SEWER CLEAN-OUT**  
NTS

**RESTRAINED JOINT LENGTHS FOR TEES**

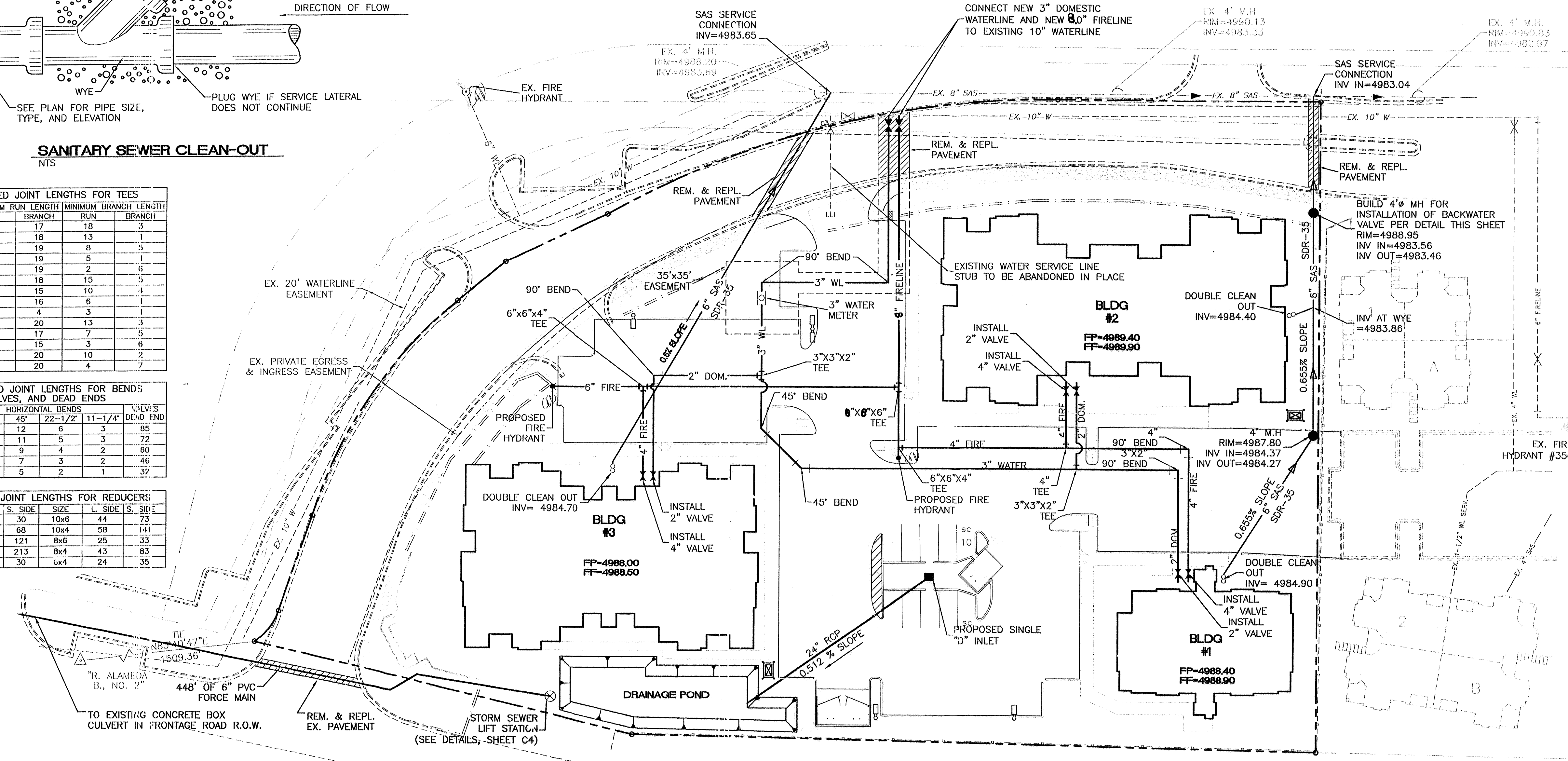
SIZE	MINIMUM RUN LENGTH RUN	MINIMUM BRANCH LENGTH BRANCH	MINIMUM RUN LENGTH RUN	MINIMUM BRANCH LENGTH BRANCH
12x12x12	15	17	18	3
12x12x10	10	18	13	1
12x12x8	6	19	8	5
12x12x6	3	19	5	1
12x12x4	1	19	2	6
10x10x10	12	18	15	5
10x10x8	8	15	10	4
10x10x6	4	16	6	1
10x10x4	2	4	3	1
8x8x8	9	20	13	3
8x8x6	5	17	7	5
8x8x4	2	15	3	6
6x6x6	6	20	10	2
6x6x4	2	20	4	7

**RESTRAINED JOINT LENGTHS FOR BENDS, VALVES, AND DEAD ENDS**

SIZE	HORIZONTAL BENDS				VALVES DEAD END
	90°	45°	22-1/2°	11-1/4°	
12	30	12	6	3	85
10	26	11	5	3	72
8	22	9	4	2	60
6	17	7	3	2	46
4	12	5	2	1	32

**RESTRAINED JOINT LENGTHS FOR REDUCERS**

SIZE	L. SIDE		S. SIDE		SIZE	L. SIDE		S. SIDE	
	L	S	L	S		L	S	L	S
12x10	25	30	10x6	44	73				
12x8	45	68	10x4	58	141				
12x6	62	121	8x6	25	33				
12x4	74	213	8x4	43	83				
10x8	24	30	6x4	24	35				

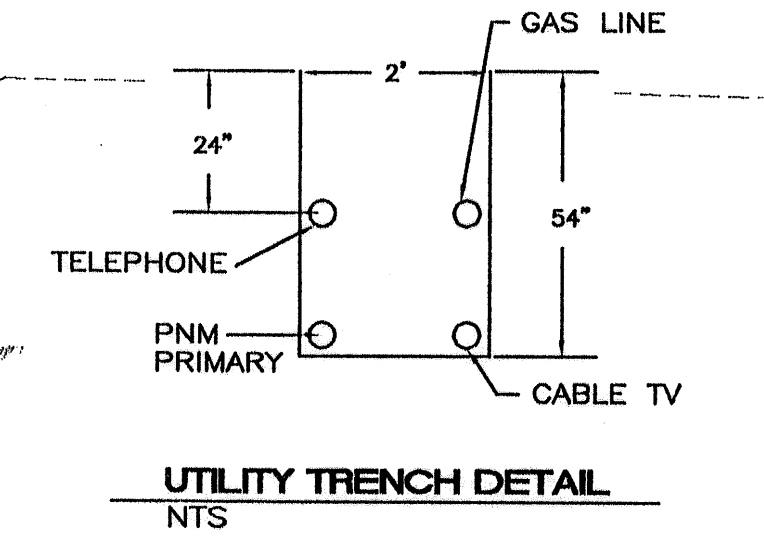
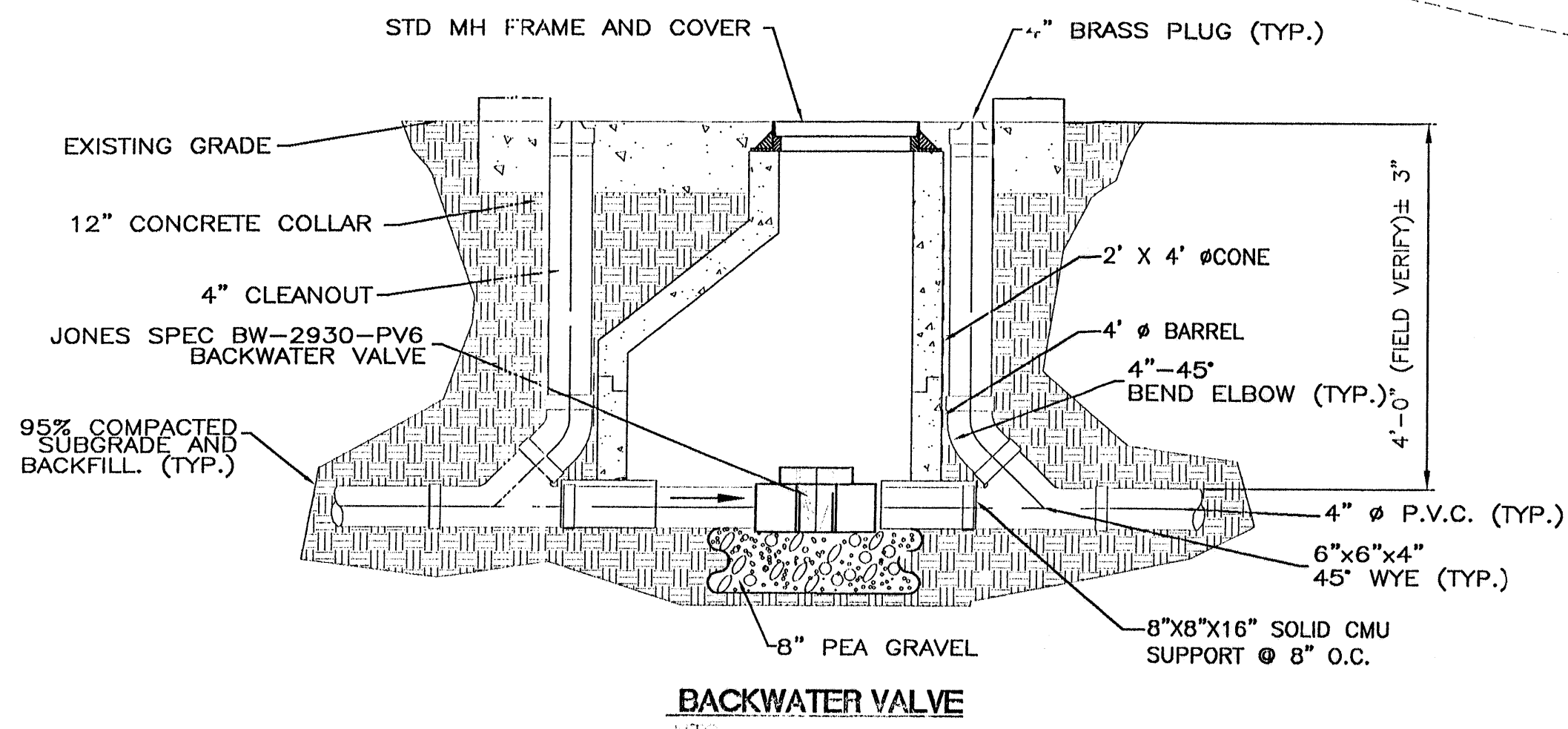


**GENERAL NOTES:**

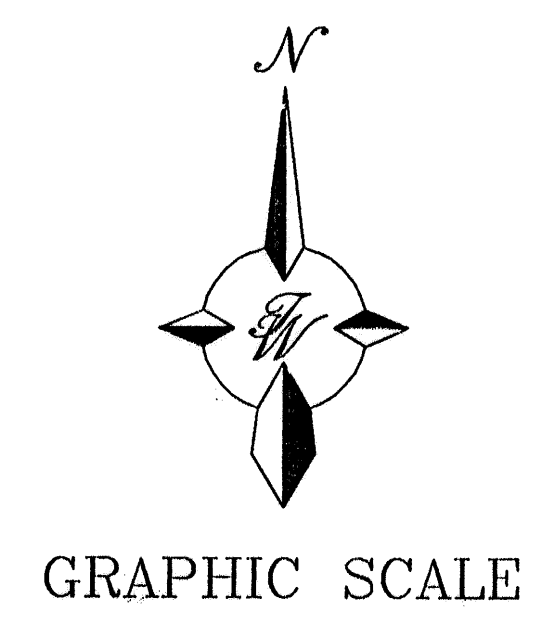
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL JOINTS TO BE FULLY RESTRAINED PER CITY OF ALBUQUERQUE STANDARDS (REFER TO RESTRAINING TABLES THIS SHEET)
5. ALL PIPE MATERIAL TO BE USED PER UPC.
6. BACKFLOW PREVENTERS FOR WATERLINES TO BE INSTALLED IN BUILDINGS, SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

**LEGEND**

LEGEND	DESCRIPTION
(Symbol)	EXISTING SAS MANHOLE
(Symbol)	EXISTING SANITARY SEWER LINE
(Symbol)	EXISTING WATER LINE
(Symbol)	EXISTING STORM SEWER LINE
(Symbol)	PROPOSED SANITARY SEWER LINE
(Symbol)	PROPOSED WATER LINE
(Symbol)	PROPOSED CLEAN OUT
(Symbol)	EXISTING CURB & GUTTER
(Symbol)	PROPOSED CURB & GUTTER
(Symbol)	BOUNDARY LINE
(Symbol)	EXISTING BOUNDARY LINE
(Symbol)	EASEMENT
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING SIDEWALK
(Symbol)	EXISTING WALL
(Symbol)	PROPOSED PARKING LOT LIGHTING
(Symbol)	PROPOSED WATER METER
(Symbol)	PROPOSED LOCATION OF TRANSFORMER WITH BOLLARDS



APD PLANS CHECKING OFFICE  
624-3011  
APPROVED FOR CONSTRUCTION  
DATE: 2/12/03



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**ROUGH GRADING APPROVAL** DATE

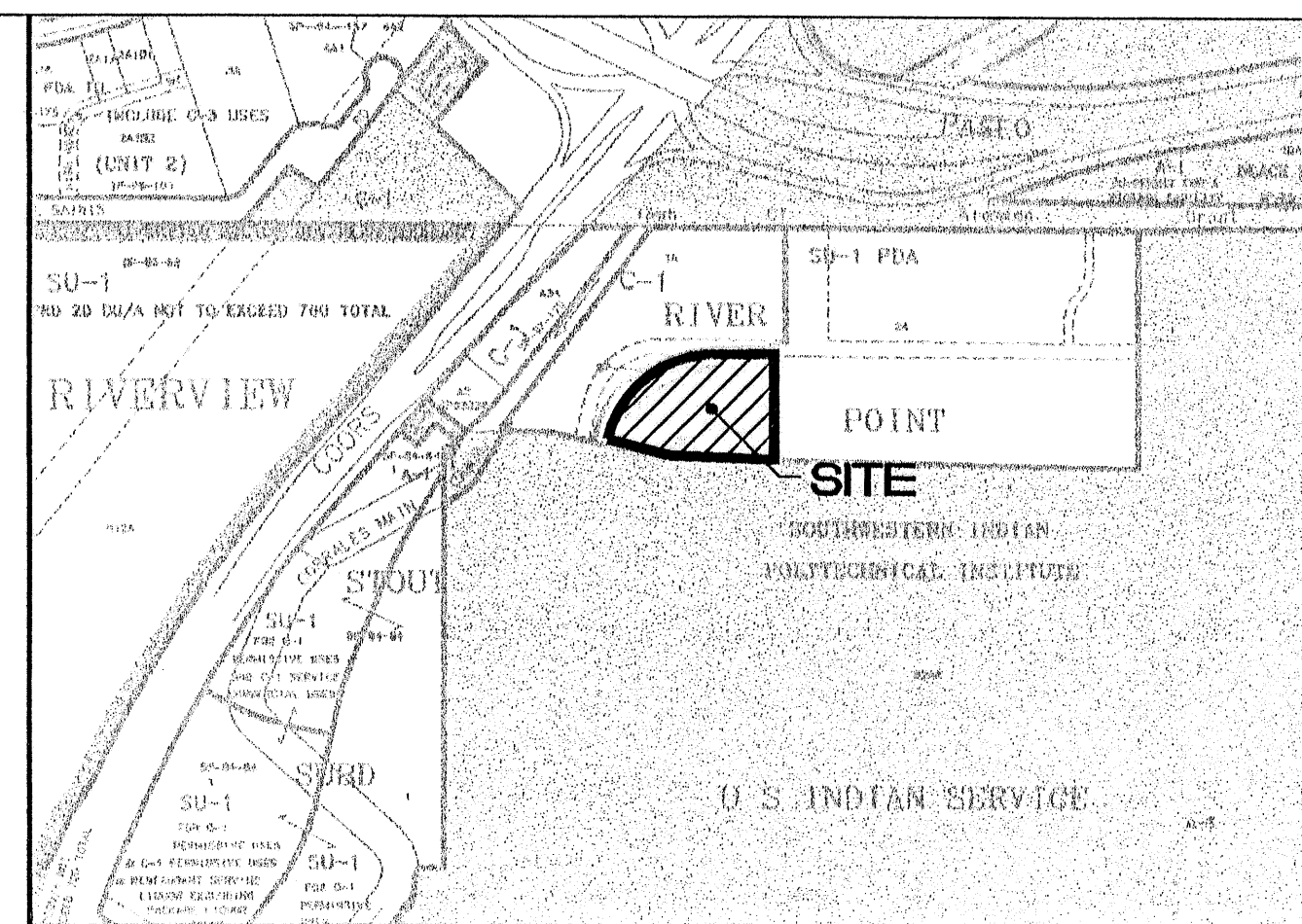
ENGINEER'S SEAL DAVID SOULLE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 07/14/01	<b>SAN MIGUEL APTS. PHASE III</b> <b>MASTER UTILITY PLAN FOR 9180 COORS RD. NW</b>	DRAWN BY MP DATE 02.09.2003 2155MU2.DWG SHEET # <b>C2</b> JOB # 7101
RONALD R. BOHANNAN P.L.L.C.	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	

- NOTICE TO CONTRACTORS**
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  2. ALL WORK DETAINED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
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  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

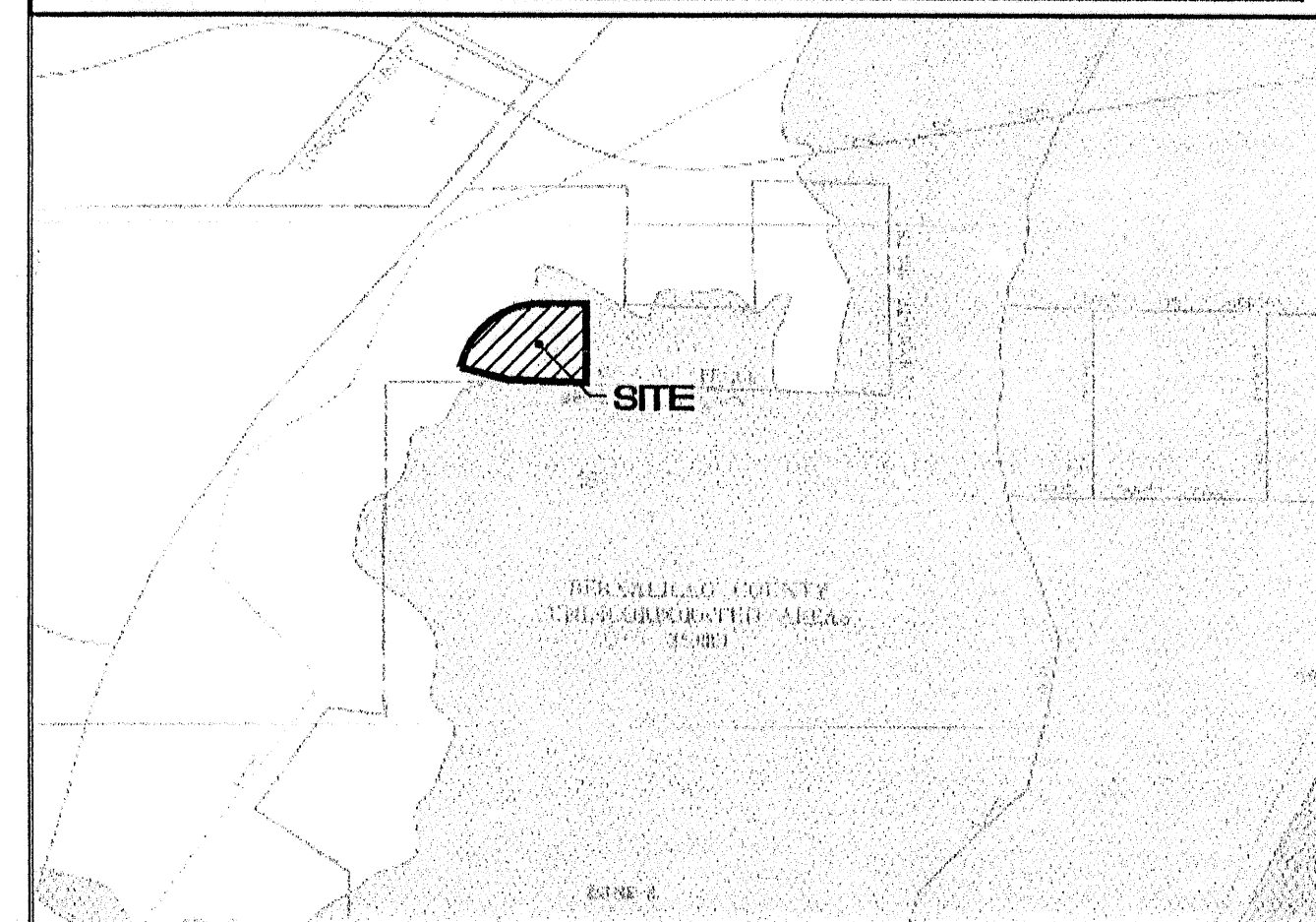
APPROVAL	NAME	DATE
INSPECTOR		

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP C-18-Z



FEMA MAP 35001C016-D

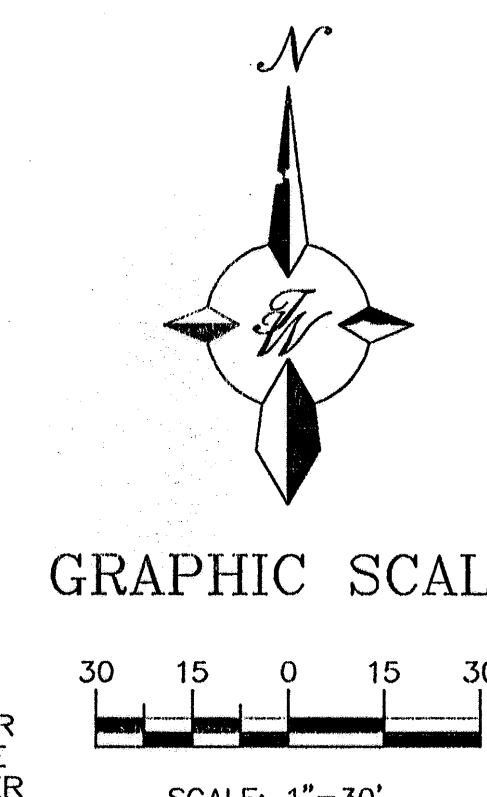
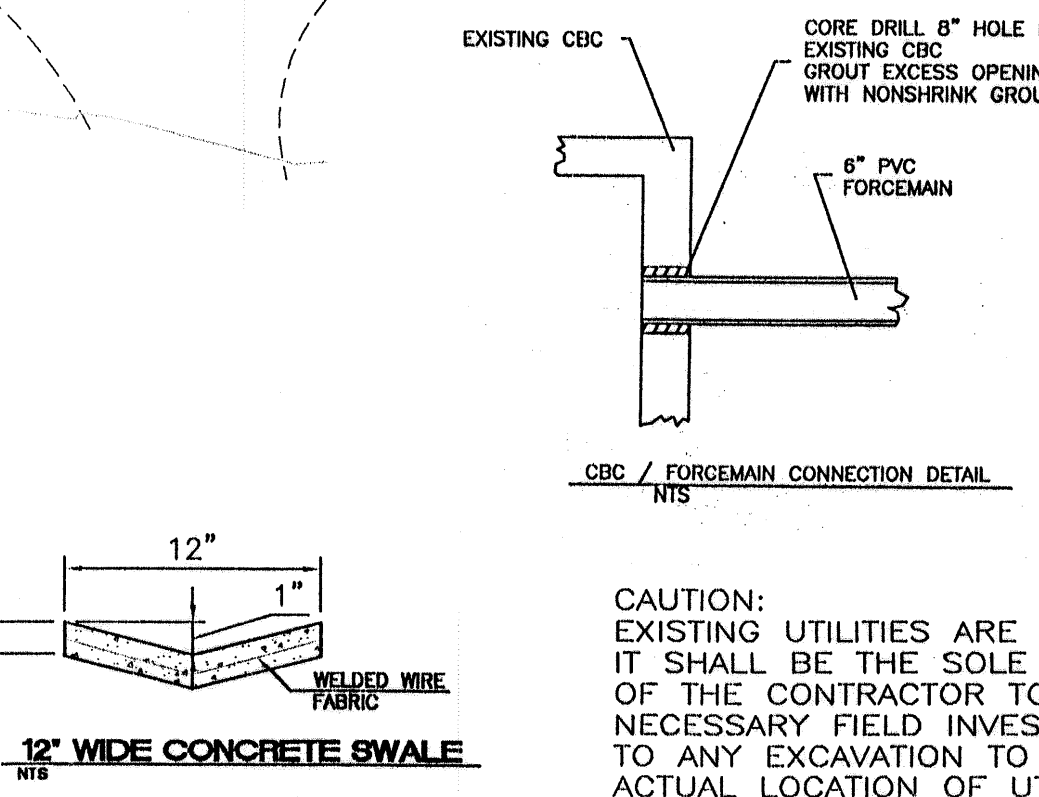
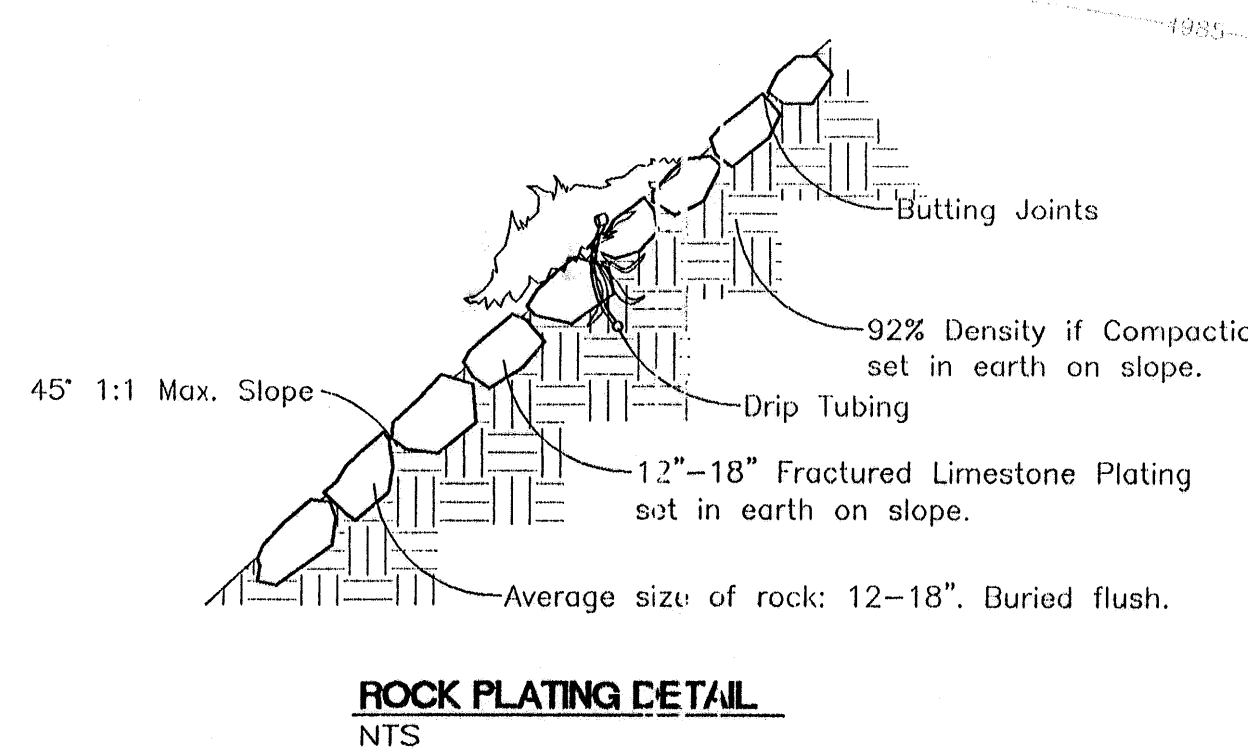
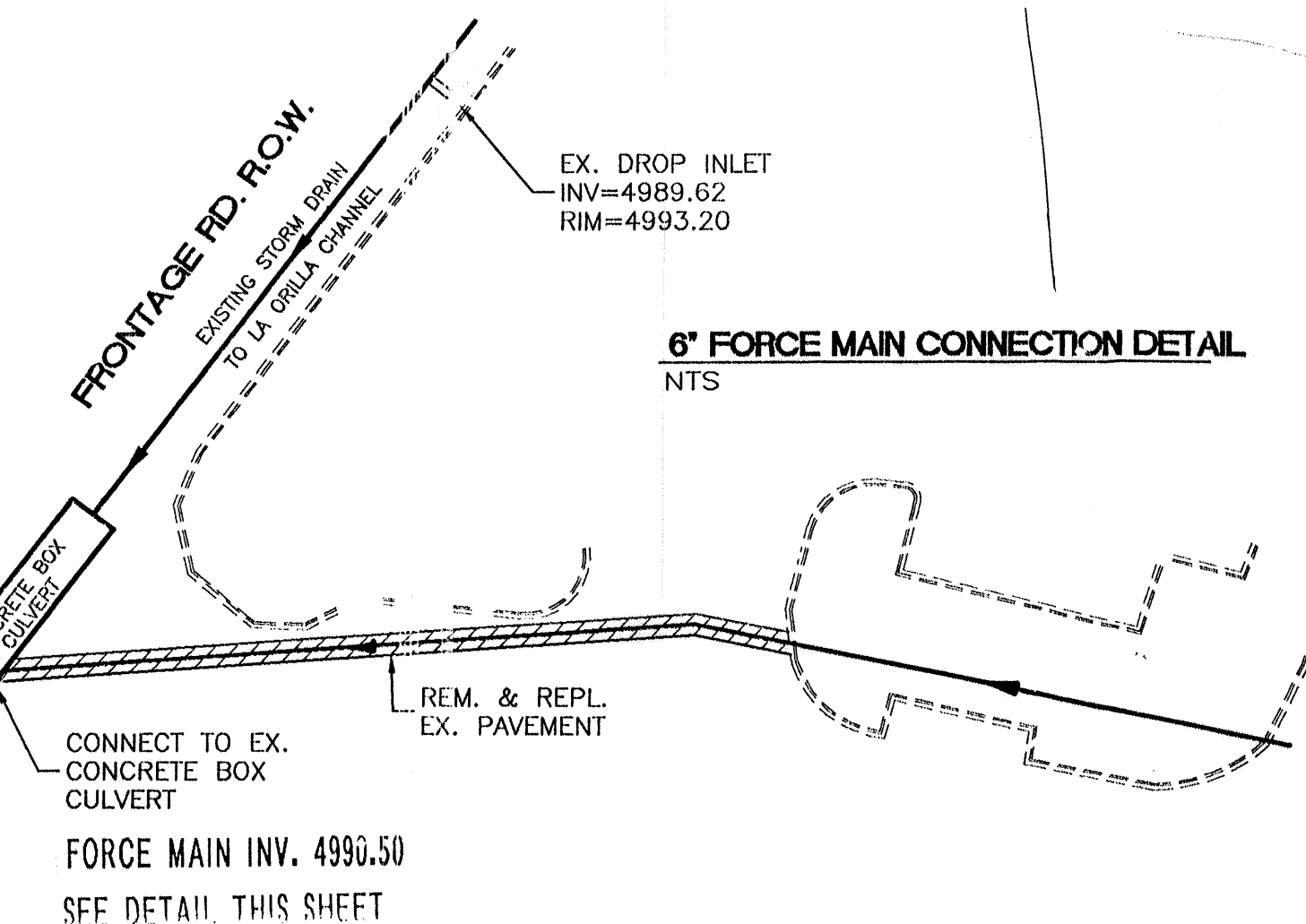
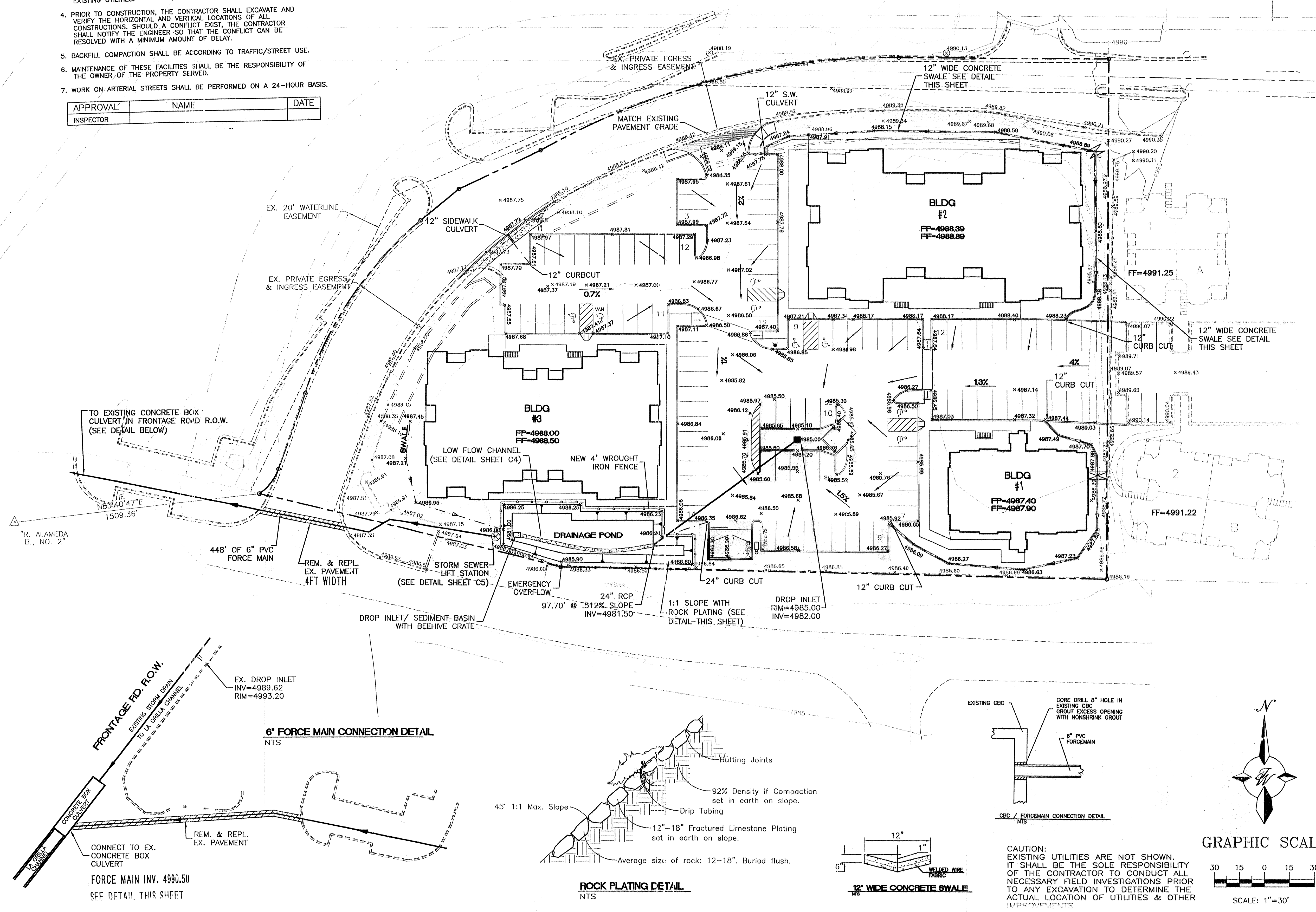
**LEGAL DESCRIPTION:**  
TRACT 3A, RIVERPOINT

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE OR TOP OF ASPHALT ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL CONSTRUCTION SHALL FOLLOW CITY OF ALBUQUERQUE STANDARDS.

LEGEND	DESCRIPTION
	EXISTING SAS MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	PROPOSED LIFT STATION
	DROP INLET
	SIDEWALK CULVERT
	12" CONCRETE SWALE

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

 RONALD R. BOHANNAN P.E. 2500	<b>SAN MIGUEL APTS. PHASE III</b> <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY: BMP DATE: 10/08/02 2155GR3.DWG
	TIENNA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C3</b> JOB # 21055

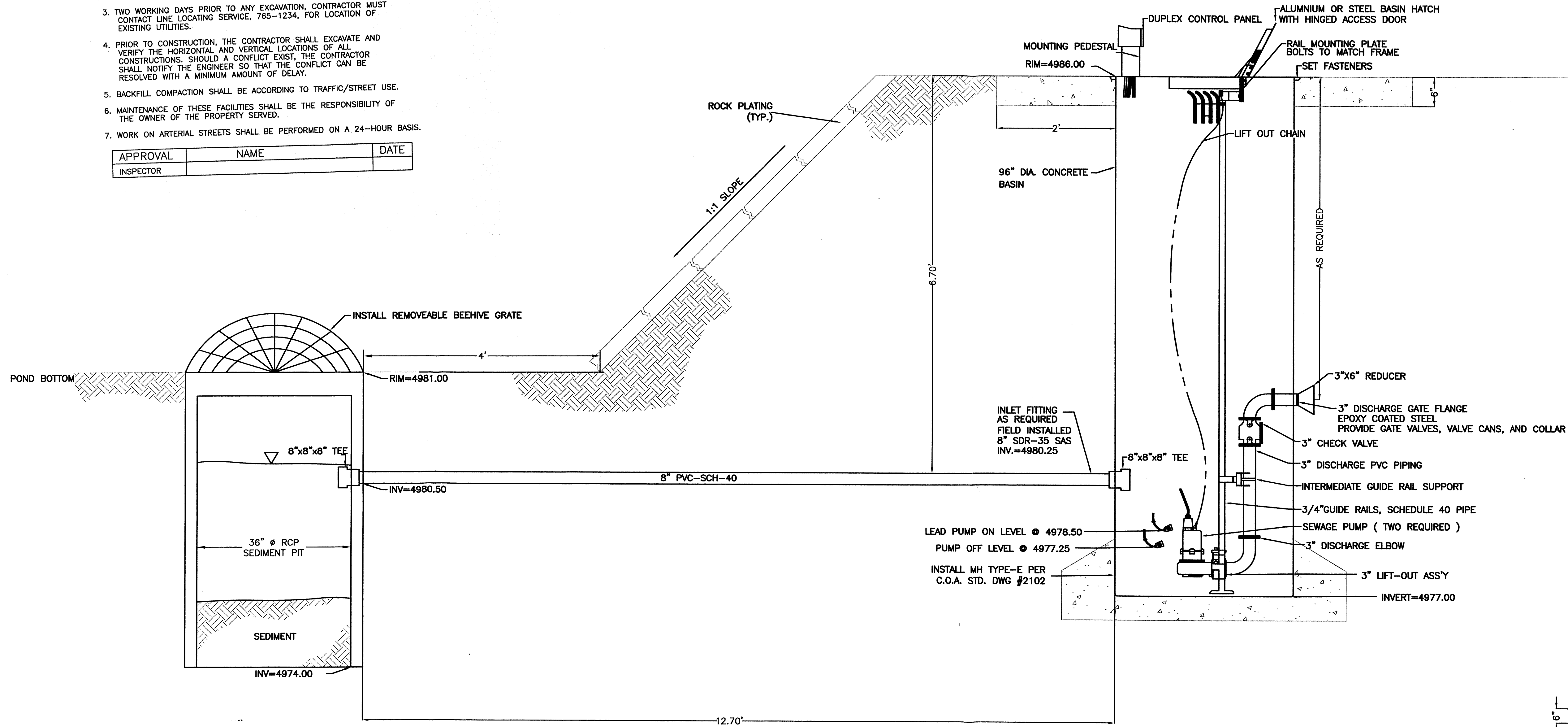


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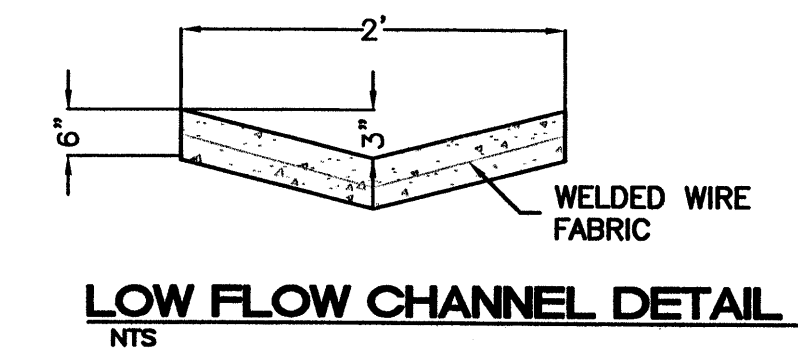
NOTICE TO CONTRACTORS

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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



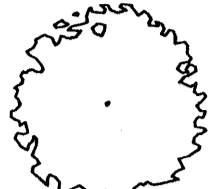









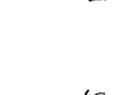


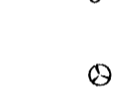
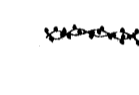


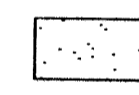
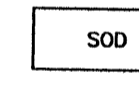



**LIFT STATION MAIN PUMP DETAIL**  
NTS

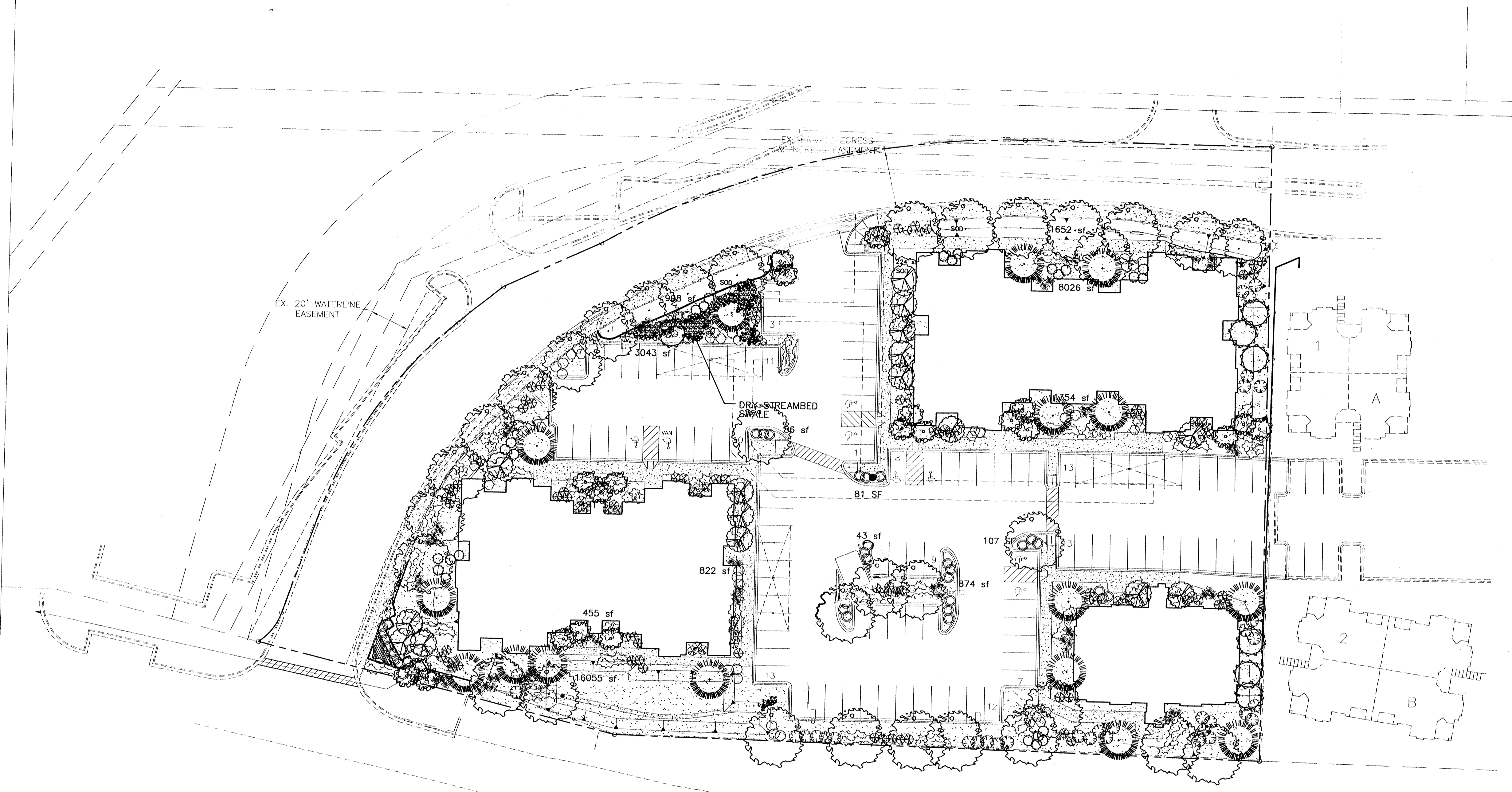


**LOW FLOW CHANNEL DETAIL**  
NTS

	<b>ENGINEER'S SEAL</b> SAN MIGUEL APTS. PHASE III	DRAWN BY BMP DATE 10/09/02
	LIFT STATION DETAIL	21055LIFTDETAIL.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C4</b>
	RONALD R. BOHANNAN P.E. #7868	JOB # 21055

**PLANT LEGEND**

-  HONEY LOCUST (H) 35  
*Gleditsia triacanthos*  
2" Cal.
-  FLOWERING PEAR (H) 16  
*Pyrus calleryana*  
2" Cal.
-  DESERT WILLOW (L) 7  
*Chilopsis linearis*  
15 Gal.
-  AUSTRIAN PINE /SPRUCE (H) 16  
*Pinus nigra/ Picea spp.*  
6"-8"
-  NEW MEXICO OLIVE (M) 21  
*Forestiera neomexicana*  
15 Gal.
-  SILVERBERRY (M) 73  
*Elaeagnus pungens*  
5 Gal. 100sf
-  THREE-LEAF SUMAC (L) 35  
*Rhus trilobata*  
5 Gal. 36sf
-  CREEPING ROSEMARY (M) 36  
*Romarinus officinalis*  
5 Gal. 36sf
-  INDIAN HAWTHORN (M) 40  
*Raphiolepis indica*  
5 Gal.
-  APACHE PLUME (L) 27  
*Fallugia paradoxa*  
5 Gal. 25sf
-  AUTUMN SAGE (M) 35  
*Salvia greggii*  
2 Gal. 9sf
-  MAIDEN GRASS (M) 71  
*Miscanthus sinensis*  
5 Gal. 16sf
-  CHAMISA (L) 42  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
-  POTENTILLA (M) 48  
*Potentilla fruticosa*  
5 Gal. 25sf
-  WILDFLOWER 23  
1 Gal. 4sf
-  BANK'S ROSE 9  
*Rosa banksii*  
5 Gal. 100 sf
-  TAM JUNIPER (M) 99  
*Juniperus sabinia*  
5 Gal. 225sf
-  ANNUAL COLOR
-  OVERSIZED GRAVEL  
& 6 BOULDERS
-  SANTA ANA TAN GRAVEL  
WITH FILTER FABRIC
-  SOD
-  COMMERCIAL GRADE  
STEEL EDGING



**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

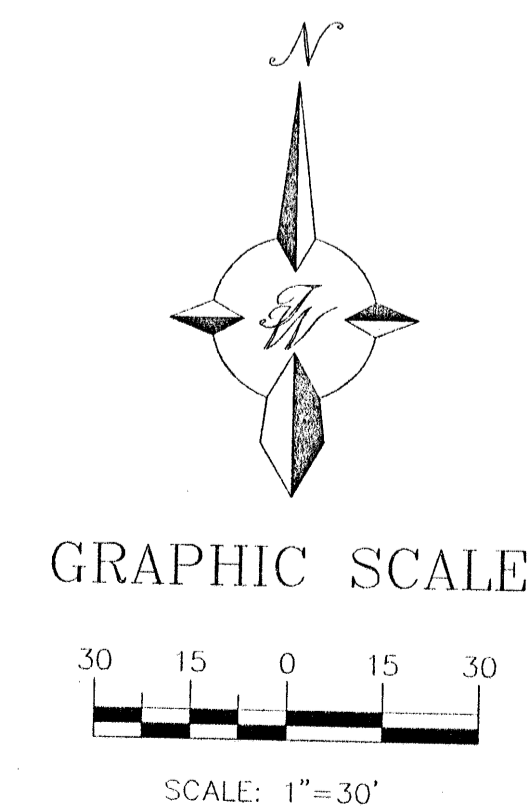
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

<b>NET LANDSCAPE AREA</b>	
TOTAL LOT AREA	126088 square feet
TOTAL BUILDINGS AREA	23008 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	103080 square feet
LANDSCAPE REQUIREMENT	15% square feet
TOTAL LANDSCAPE REQUIREMENT	15462 square feet
TOTAL LANDSCAPE PROVIDED	34221 square feet
TOTAL BED PROVIDED	31437 square feet
TOTAL SOD PROVIDED	2784(18%) square feet

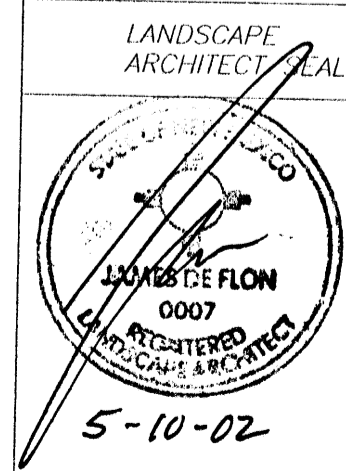


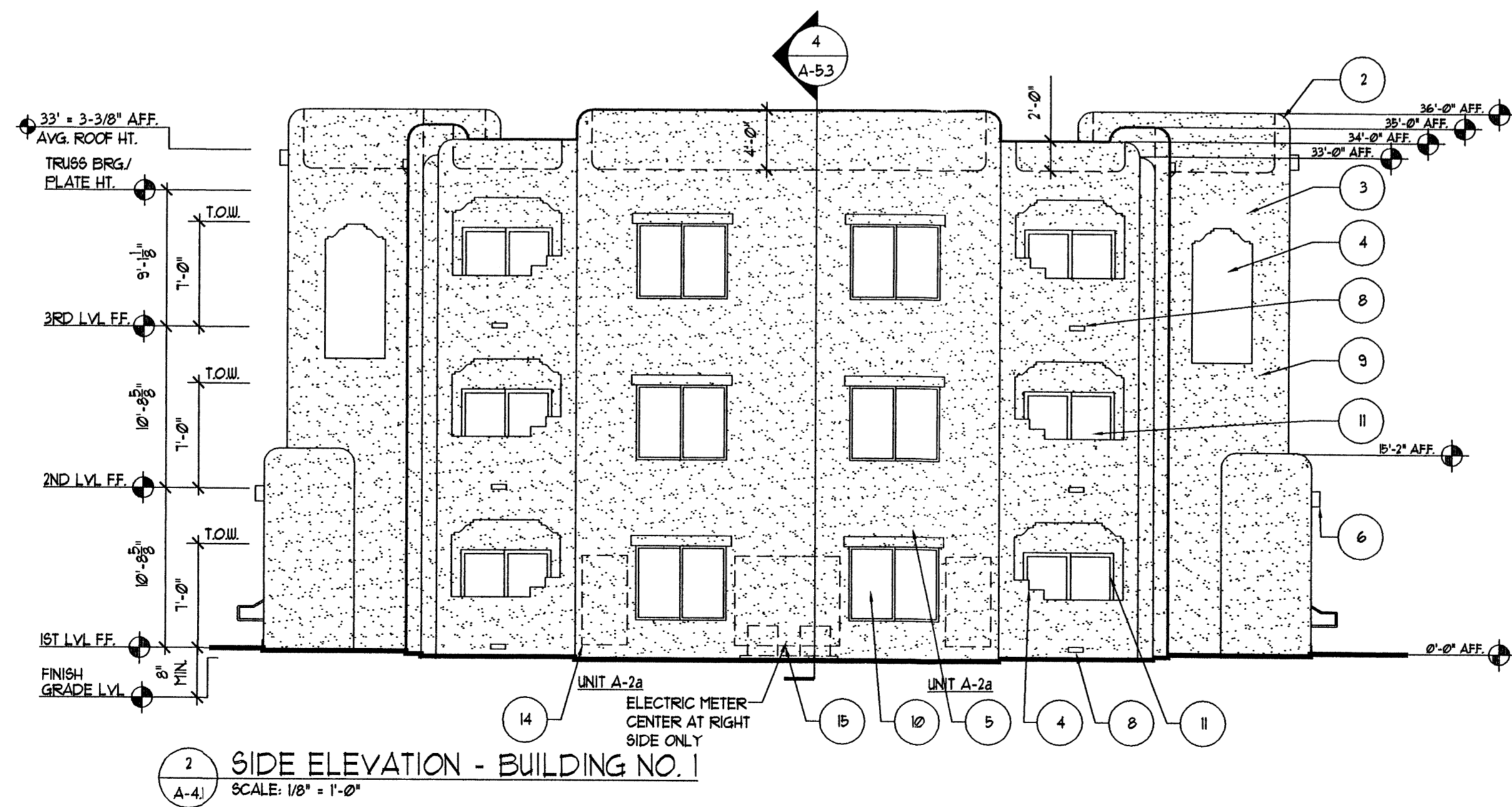
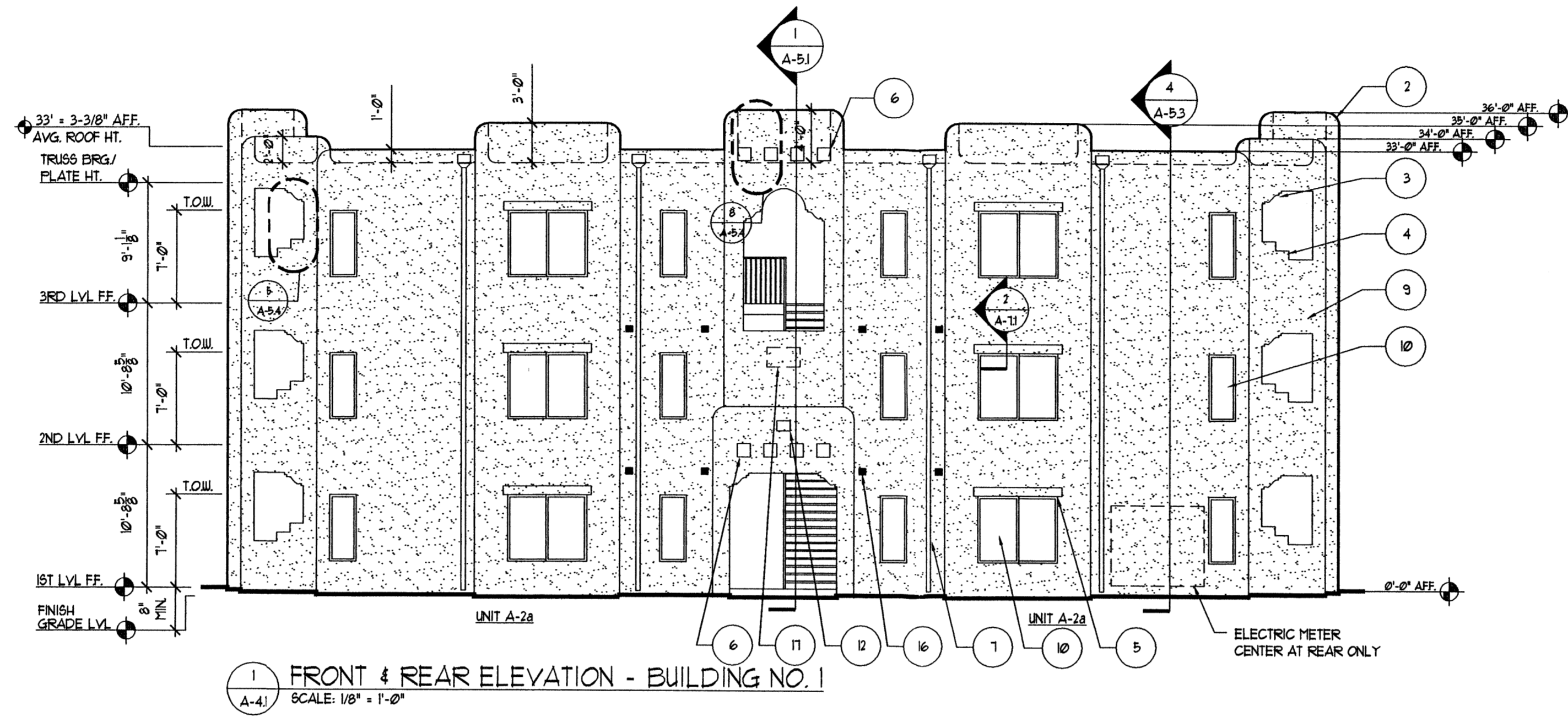
**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

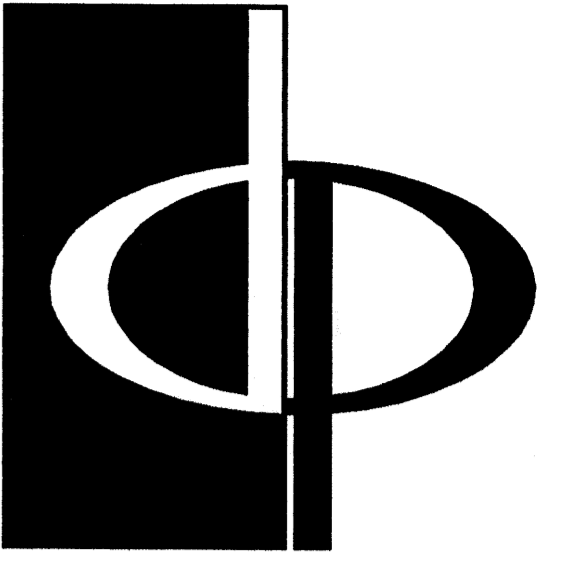
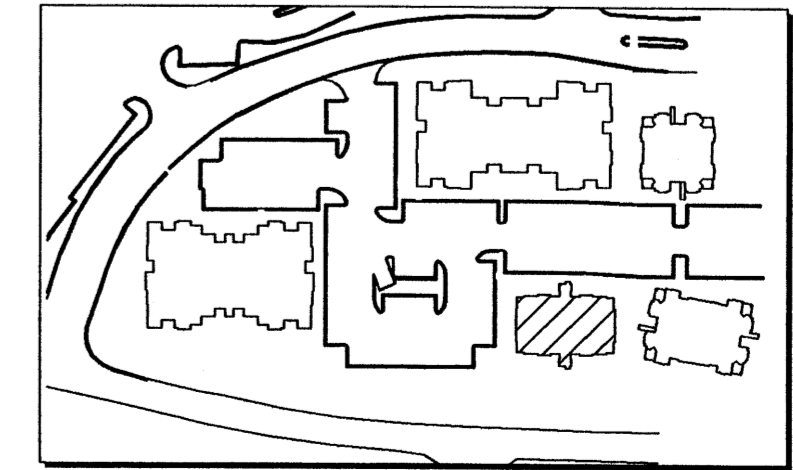
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 JAMES DEFLON #0007	SAN MIGUEL APTS. PHASE III LANDSCAPE PLAN	DRAWN BY: IRW DATE: 4/25/02
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	SHEET # L1



EXTERIOR FINISH KEY		
NO.	MAT'L DESCIP.	REMARKS
1	METAL ISOLATED 'TURTLE BACK' ROOF VENT, PAINTED.	COLOR TO MATCH ROOF
2	12" DIA RADIUS PARAPET, TYP.	
3	STUCCO BRACKET	TYPICAL AT PORCHES, SEE DETAIL 5/A-5.4
4	STUCCO DETAIL	SEE DETAIL 5/A-5.4
5	STUCCO ACCENT, TYP.	COLOR T.B.D.
6	12" SQ. ROUGH SAIN WOOD TILE	COLOR T.B.D. SEE DETAIL 8-A/5.4
7	8x12 SCUPPER & 4" SQ. PREFINISHED ALUMINUM DOWNSPOUT	COLOR TO MATCH STUCCO
8	4x12 SCUPPER	TYPICAL AT PORCHES
9	3 PART STUCCO FINISH SYSTEM OVER BLDG. PAPER ON TYP. EXTERIOR WALL ASSEMBLY.	COLOR TO MATCH PHASE II
10	ALUM. FRAME INSULATED WINDOW UNIT, PREFINISHED W/ INSECT SCREEN	GRAY SCREENING
11	INSULATED METAL SLIDING GLASS DOOR UNIT, PAINTED.	COLOR T.B.D.
12	WALL PACK EXTERIOR LIGHT FIXTURE.	AT REAR ELEVATION ONLY, SEE ELECTRICAL FOR DETAIL COLOR - WHITE
13	FIRE DEPARTMENT CONNECTION	MOUNTED 3'-0" AFF. AT FRONT ELEVATION ONLY. SEE PLUMBING DWGS.
14	GAS METERS LOCATION	COLOR TO MATCH STUCCO
15	ELECTRIC METER CENTER LOCATION-SEE ELECTRICAL PLANS FOR SPECIFIC DETAILS	COLOR TO MATCH STUCCO
16	MECHANICAL WALL CAP. SEE MECHANICAL DWGS FOR DETAILS	COLOR TO MATCH STUCCO
17	BUILDING NUMBER/ APARTMENT ADDRESS SIGN	SEE SIGN PACKAGE DRAWINGS FOR DETAILS

SITE KEY PLAN



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

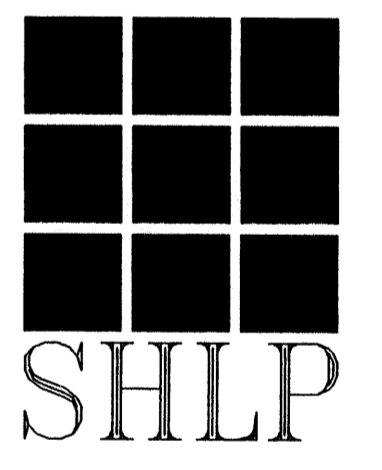
9000 CENTRAL PARK WEST, SUITE 150  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT

SEAL

PROJECT  
SAN MIGUEL APARTMENTS,  
PHASE III  
CITY OF ALBUQUERQUE JURISDICTION  
ALBUQUERQUE, NEW MEXICO

FOR



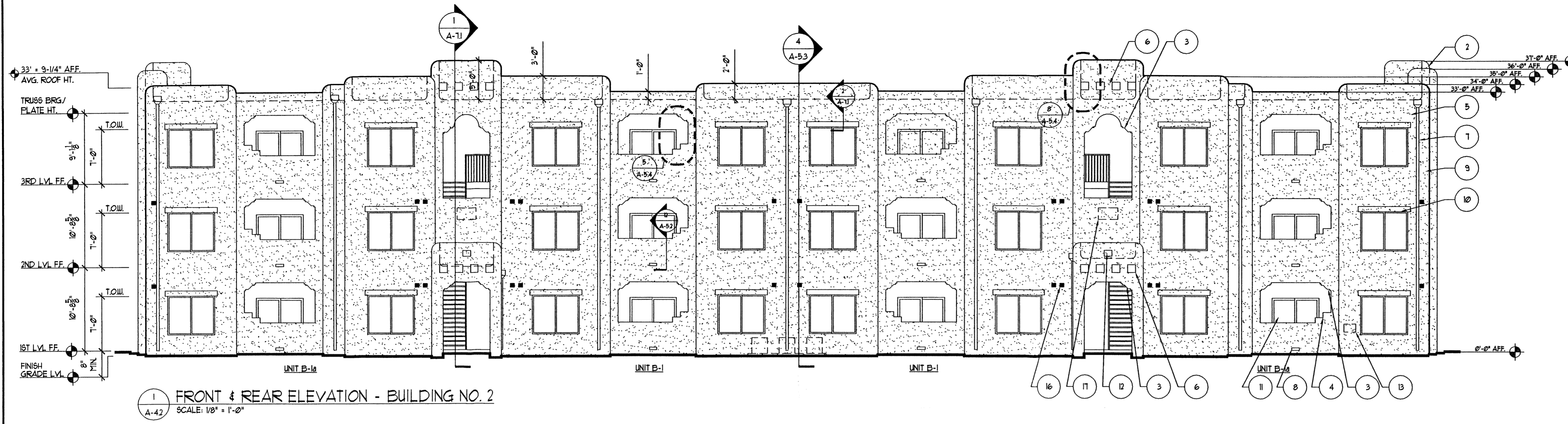
SIMPSON HOUSING  
LIMITED PARTNERSHIP  
1020 ABERNATHY ROAD  
NORTH PARK 500, SUITE 1020  
ATLANTA, GEORGIA 30328  
TEL: (770) 551-0007  
FAX: (770) 551-0480

REVISIONS  
PERMIT SET SEPT. 20, 2002  
OWNER COMMENTS OCT. 7, 2002  
BLDG. OFF./CONTRACTOR COMMENTS DEC. 9, 2002

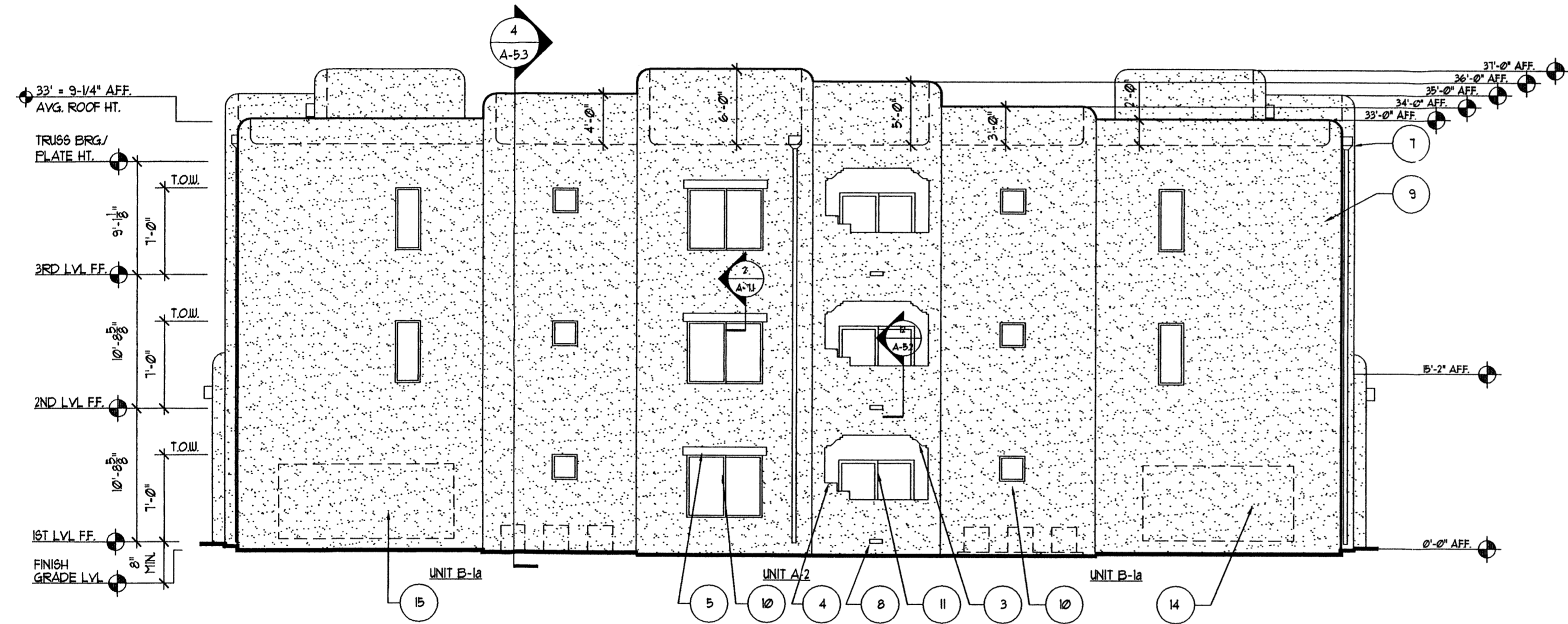
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CHECKED BY GSC  
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DRAWING NUMBER

A-4.1

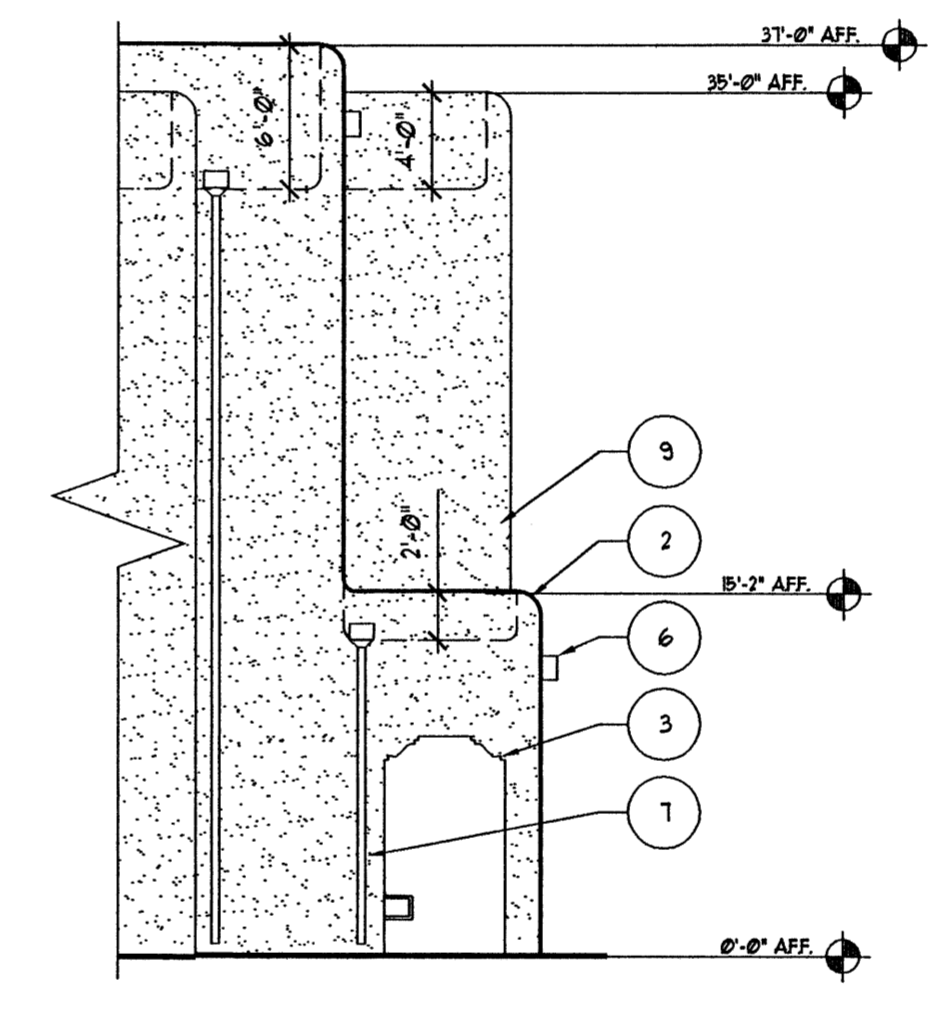
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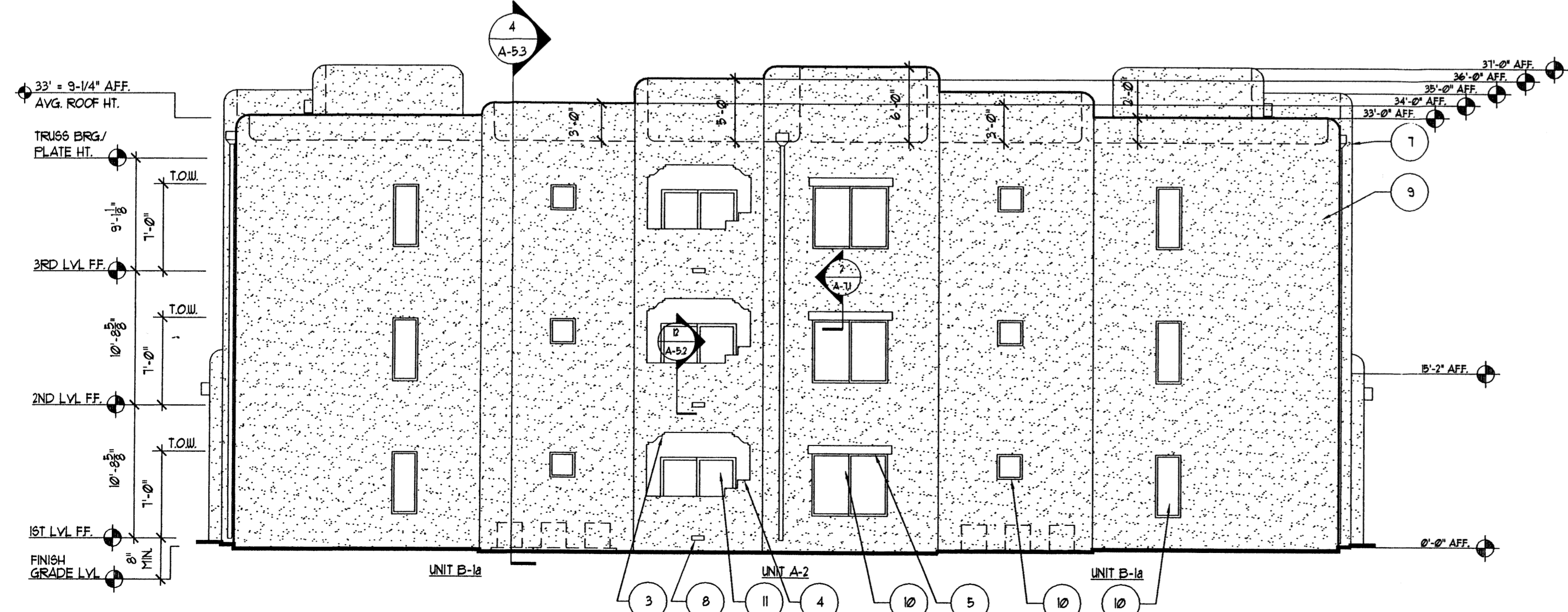
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2 RIGHT SIDE ELEVATION - BUILDING NO. 1  
SCALE: 1/8" = 1'-0"



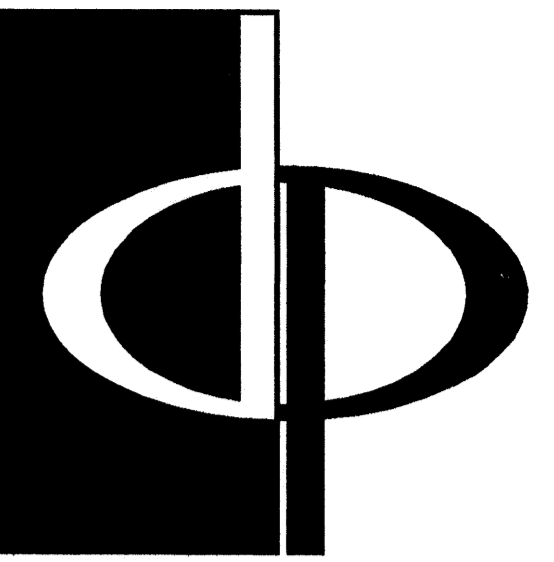
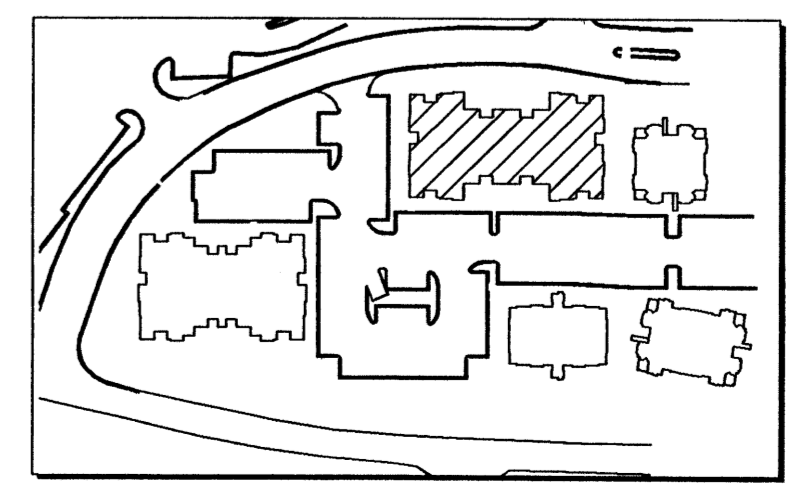
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4 LEFT SIDE ELEVATION - BUILDING NO. 1  
SCALE: 1/8" = 1'-0"

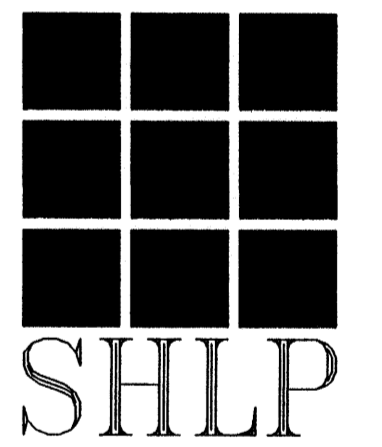
EXTERIOR FINISH KEY		
NO.	MAT'L DESCRIP.	REMARKS
1	METAL ISOLATED 'TURTLE BACK' ROOF VENT, PAINTED.	COLOR TO MATCH ROOF
2	1/2" DIA. RADIUSED PARAPET, TYP.	
3	STUCCO BRACKET	TYPICAL AT PORCHES, SEE DETAIL 5/A-5.4
4	STUCCO DETAIL	SEE DETAIL 5/A-5.4
5	STUCCO ACCENT, TYP.	COLOR T.B.D.
6	12" SQ. ROUGH SAWN WOOD TILE	COLOR T.B.D. SEE DETAIL 8-A/5.4
7	8x12 SCUPPER 4" 4" SQ. PREFINISHED ALUMINUM DOWNSPOUT	COLOR TO MATCH STUCCO
8	4x12 SCUPPER	TYPICAL AT PORCHES
9	3 PART STUCCO FINISH SYSTEM OVER BLDG. PAPER ON TYP. EXTERIOR WALL ASSEMBLY.	COLOR TO MATCH PHASE II
10	ALUM. FRAME INSULATED WINDOW UNIT, PREFINISHED W/ INSECT SCREEN.	GRAY SCREENING
11	INSULATED METAL SLIDING GLASS DOOR UNIT, PAINTED.	COLOR T.B.D.
12	WALL PACK EXTERIOR LIGHT FIXTURE.	AT REAR ELEVATION ONLY, SEE ELECTRICAL FOR DETAIL COLOR - WHITE
13	FIRE DEPARTMENT CONNECTION	MOUNTED 3'-0" AFF. AT FRONT ELEVATION ONLY. SEE PLUMBING DIAGS.
14	GAS METERS LOCATION	COLOR TO MATCH STUCCO
15	ELECTRIC METER CENTER LOCATION - SEE ELECTRICAL PLANS FOR SPECIFIC DETAILS	COLOR TO MATCH STUCCO
16	MECHANICAL WALL CAP. SEE MECHANICAL DIAGS FOR DETAILS	COLOR TO MATCH STUCCO
17	BUILDING NUMBER/ APARTMENT ADDRESS SIGN	SEE SIGN PACKAGE DRAWINGS FOR DETAILS

SITE KEY PLAN



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM  
9000 CENTRAL PARK WEST, SUITE 150  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
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WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT \_\_\_\_\_  
SEAL \_\_\_\_\_  
PROJECT \_\_\_\_\_  
SAN MIGUEL APARTMENTS,  
PHASE III  
CITY OF ALBUQUERQUE JURISDICTION  
ALBUQUERQUE, NEW MEXICO



SIMPSON HOUSING  
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1100 ABERNATHY ROAD  
NORTH PARK 500, SUITE 100  
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FAX: (770) 551-0480

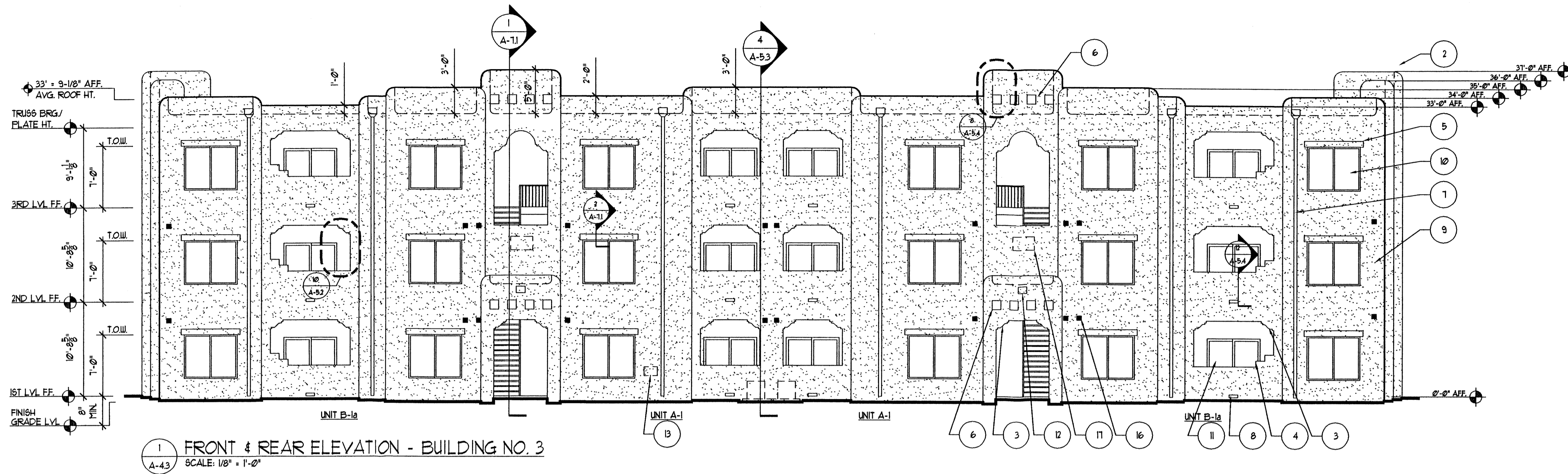
REVISIONS	
PERMIT SET	SEPT. 20, 2002
OWNER COMMENTS	OCT. 7, 2002
BLDG. OFF./CONTRACTOR COMMENTS	DEC. 3, 2002

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CHECKED BY \_\_\_\_\_ MEL  
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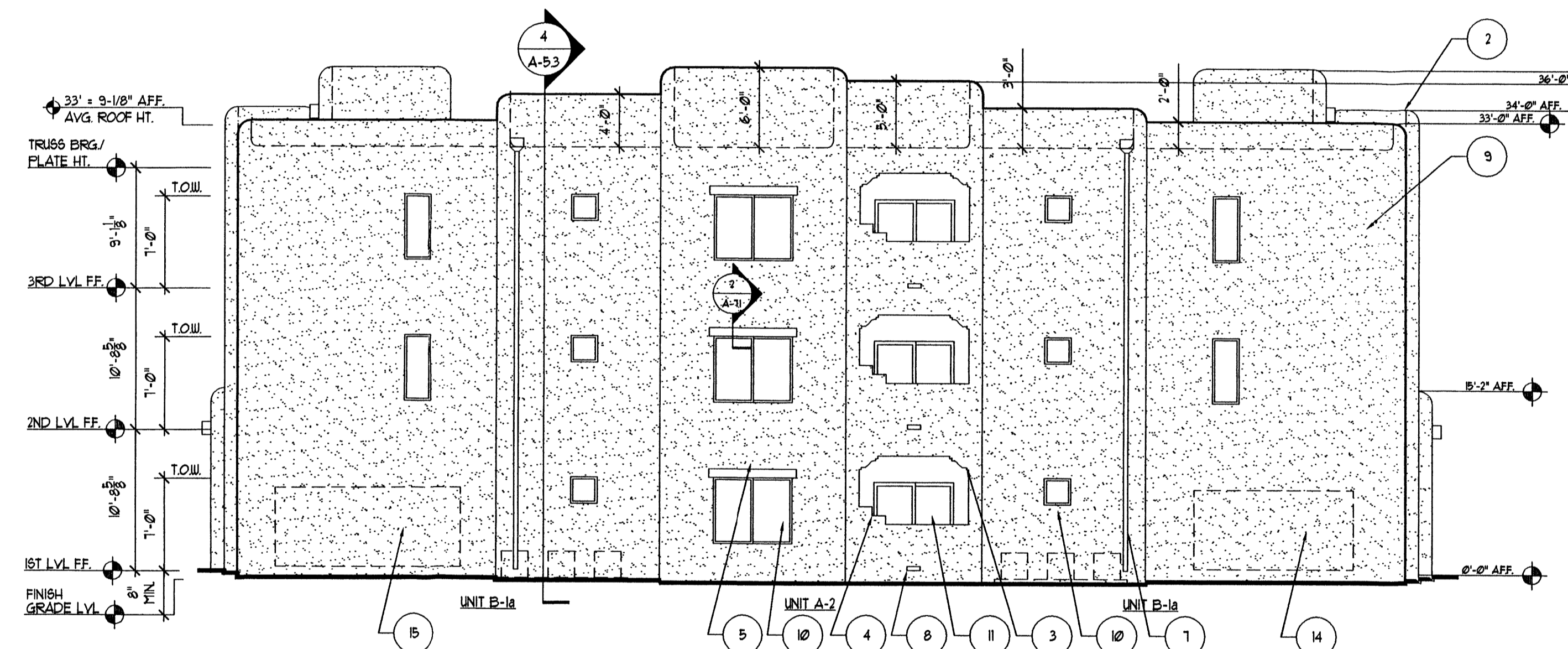
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COMMENTS \_\_\_\_\_

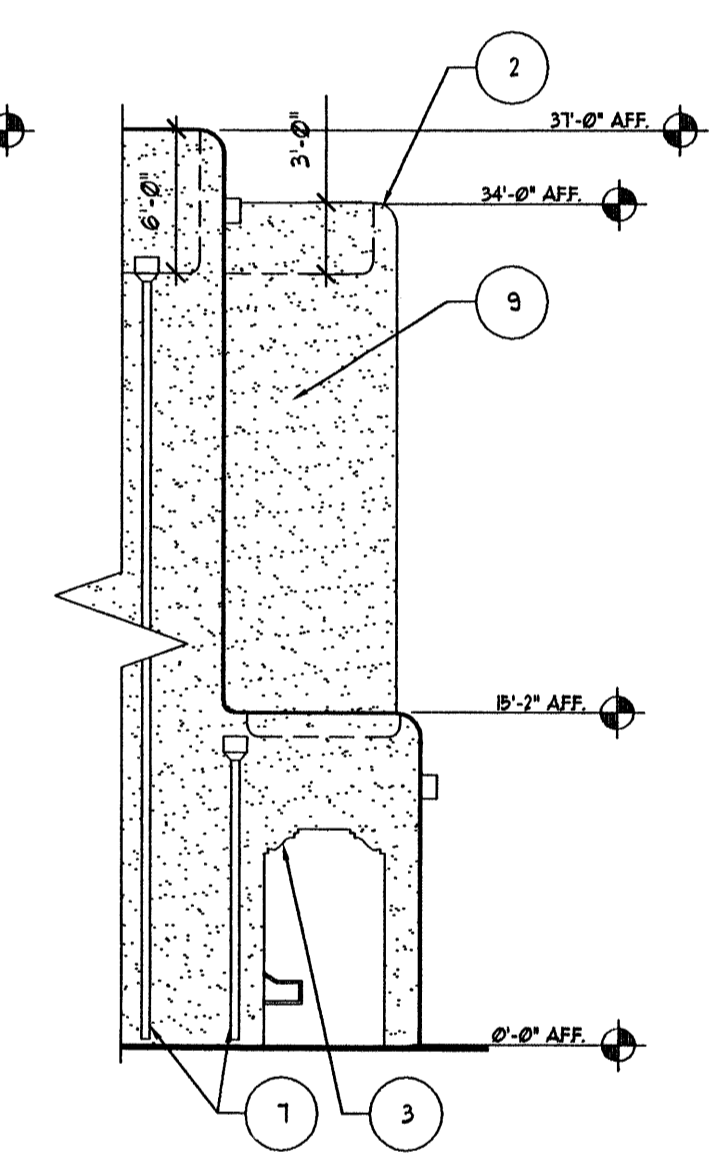




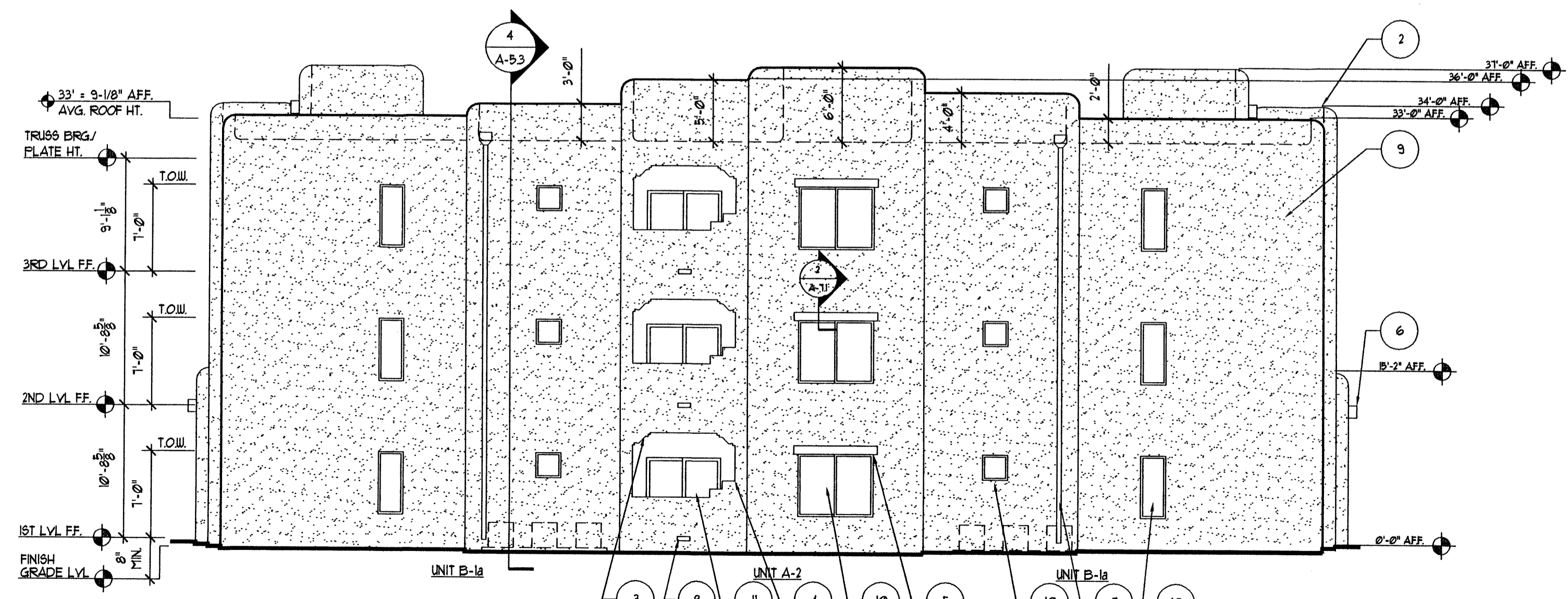
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2 RIGHT SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"



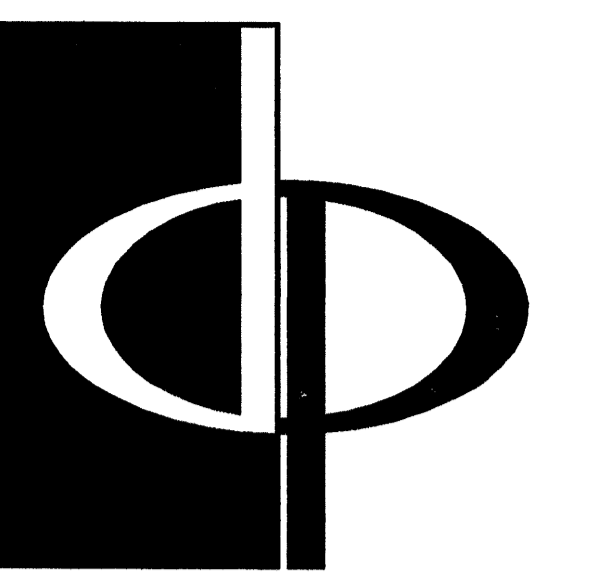
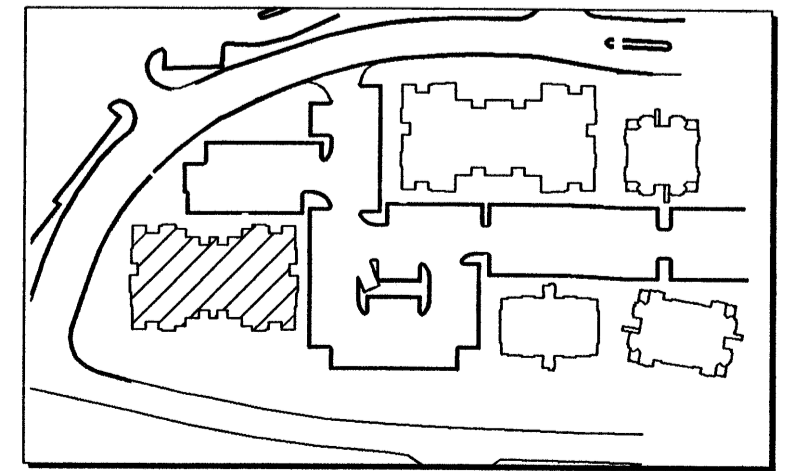
3 ENTRY SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY		
NO.	MAT'L DESCIP.	REMARKS
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2	12" DIA. RADIUSED PARAPET, TYP.	
3	STUCCO BRACKET	TYPICAL AT PORCHES, SEE DETAIL 5/A-5.4
4	STUCCO DETAIL	SEE DETAIL 5/A-5.4
5	STUCCO ACCENT, TYP.	COLOR T.B.D.
6	12" SQ. ROUGH SAWN WOOD TILE	COLOR T.B.D. SEE DETAIL 8-A/5.4
7	8x12 SCUPPER 4 4" SQ. PREFINISHED ALUMINUM DOWNSPOUT	COLOR TO MATCH STUCCO
8	4x12 SCUPPER	TYPICAL AT PORCHES
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10	ALUM. FRAME INSULATED WINDOW UNIT, PREFINISHED W/ INSECT SCREEN.	GRAY SCREENING
11	INSULATED METAL SLIDING GLASS DOOR UNIT, PAINTED.	COLOR T.B.D.
12	WALL PACK EXTERIOR LIGHT FIXTURE.	AT REAR ELEVATION ONLY, SEE ELECTRICAL FOR DETAIL. COLOR - WHITE
13	FIRE DEPARTMENT CONNECTION	MOUNTED 3'-0" AFF. AT FRONT ELEVATION ONLY. SEE PLUMBING DUGS.
14	GAS METERS LOCATION	COLOR TO MATCH STUCCO
15	ELECTRIC METER CENTER LOCATION - SEE ELECTRICAL PLANS FOR SPECIFIC DETAILS.	COLOR TO MATCH STUCCO
16	MECHANICAL WALL CAP. SEE MECHANICAL DUGS FOR DETAILS.	COLOR TO MATCH STUCCO
17	BUILDING NUMBER/ APARTMENT ADDRESS SIGN	SEE SIGN PACKAGE DRAWINGS FOR DETAILS

SITE KEY PLAN



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

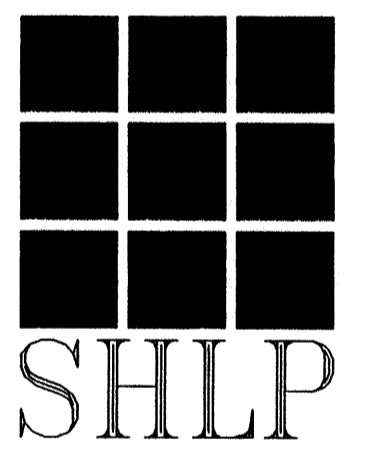
9000 CENTRAL PARK WEST, SUITE 150  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT

SEAL \_\_\_\_\_

PROJECT  
SAN MIGUEL APARTMENTS,  
PHASE III  
CITY OF ALBUQUERQUE JURISDICTION  
ALBUQUERQUE, NEW MEXICO

FOR \_\_\_\_\_



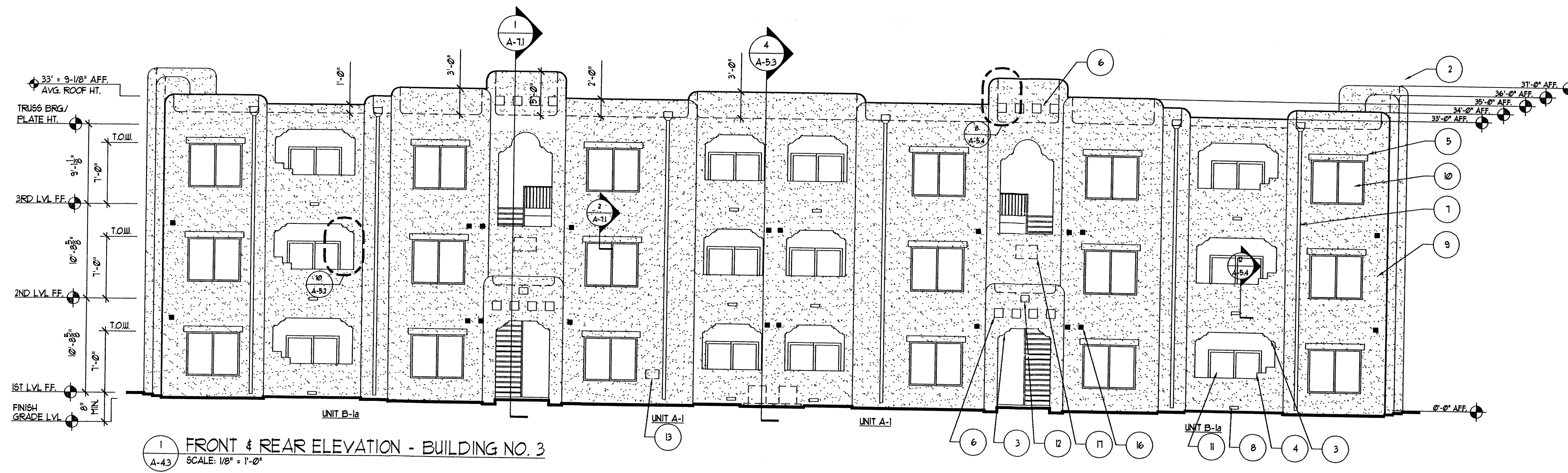
SIMPSON HOUSING  
LIMITED PARTNERSHIP  
1100 ABERNATHY ROAD  
NORTH PARK 500, SUITE 100  
ATLANTA, GEORGIA 30328  
TEL: (770) 551-0007  
FAX: (770) 551-0400

REVISIONS	
PERMIT SET	SEPT. 20, 2002
OWNER COMMENTS	OCT. 7, 2002
BLDG. OFF./CONTRACTOR COMMENTS	DEC. 3, 2002

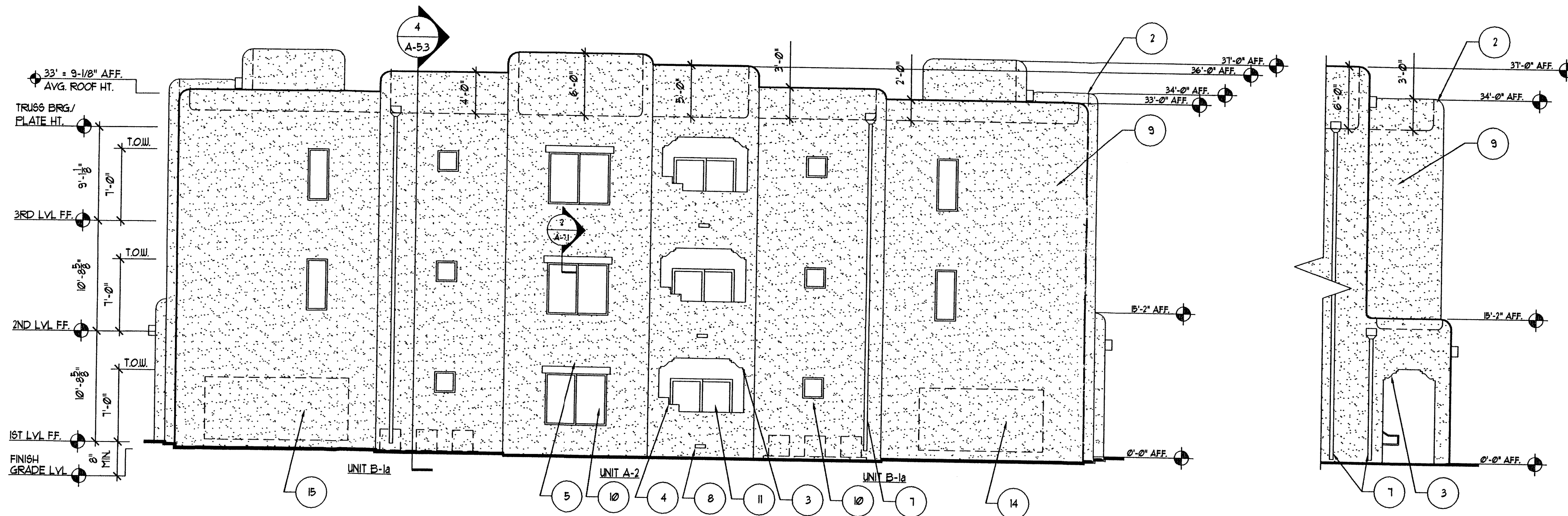
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DRAWING NUMBER \_\_\_\_\_

A-4.3

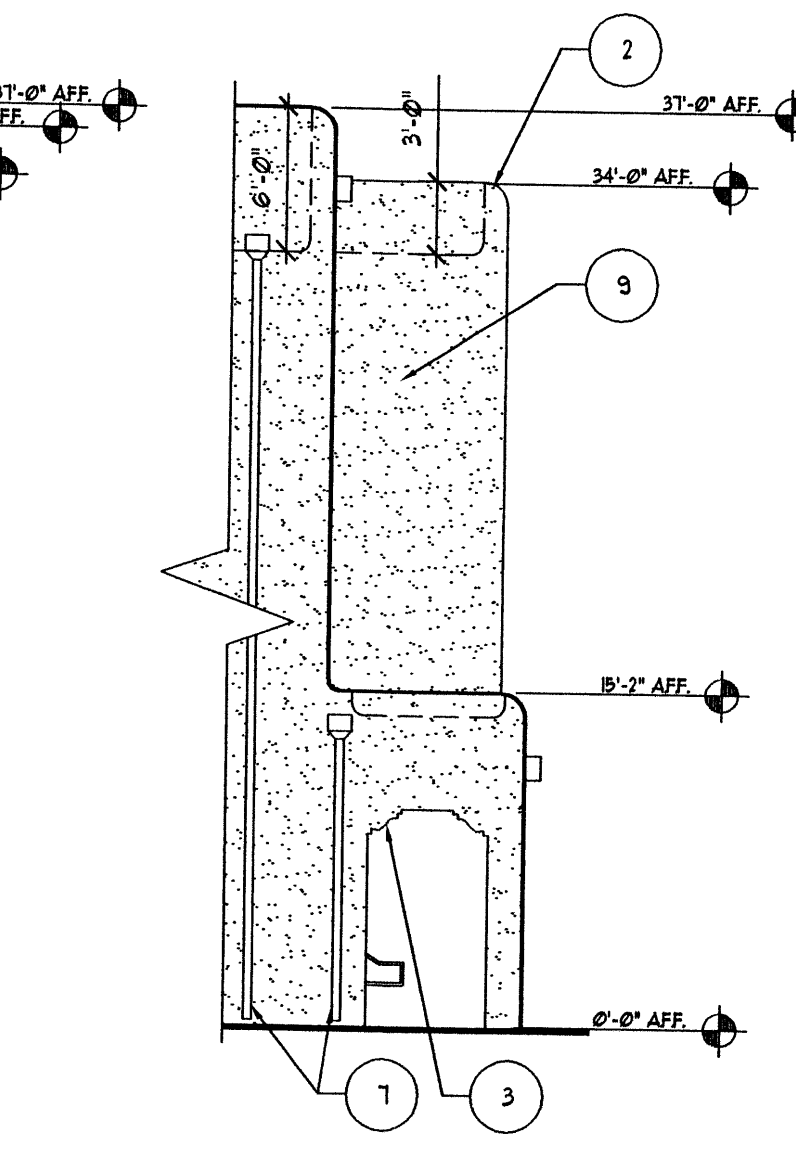
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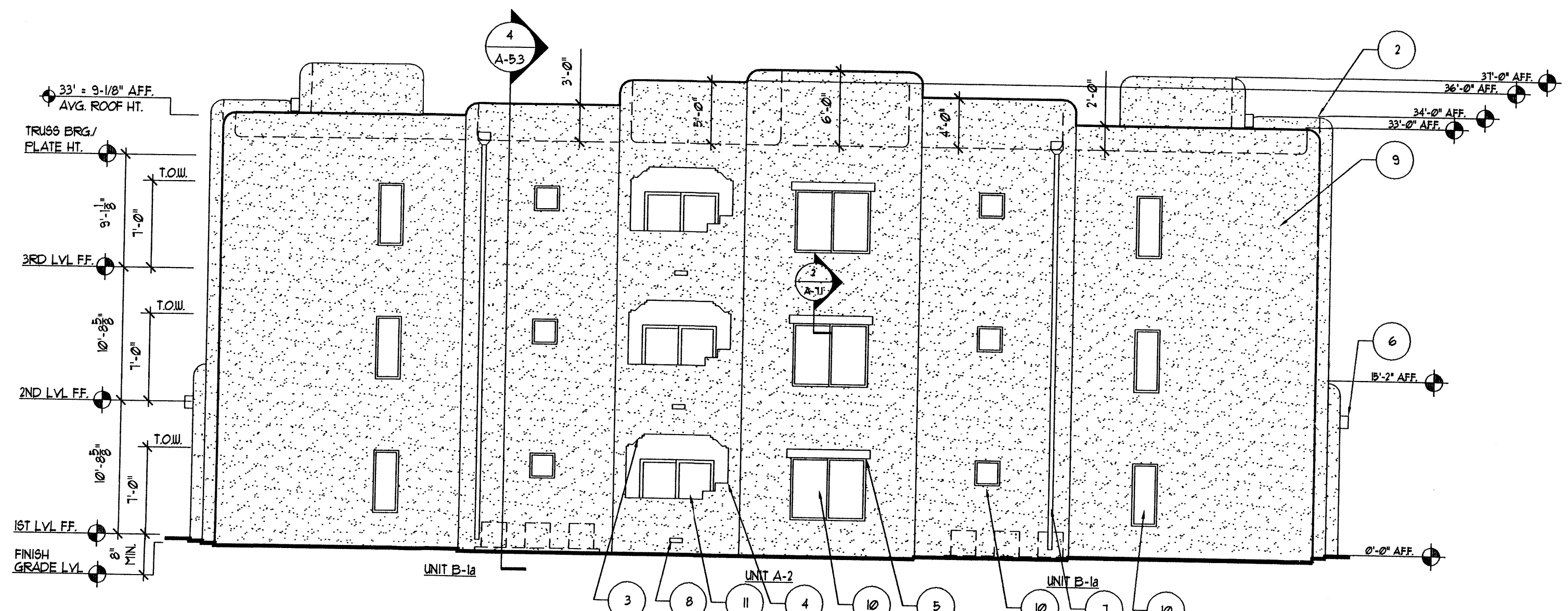
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SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"



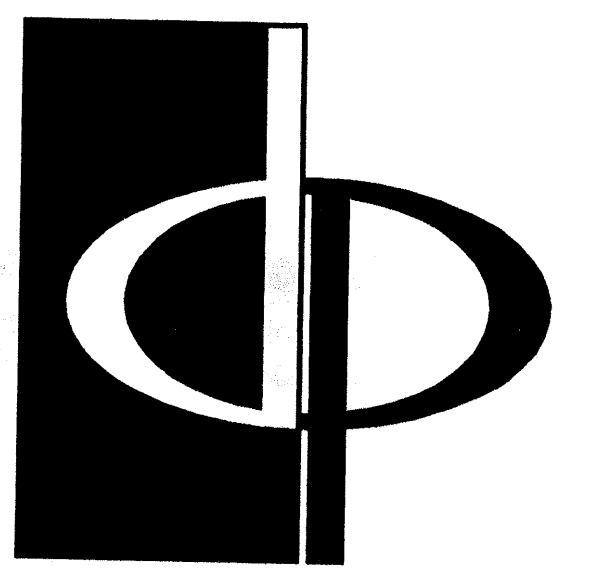
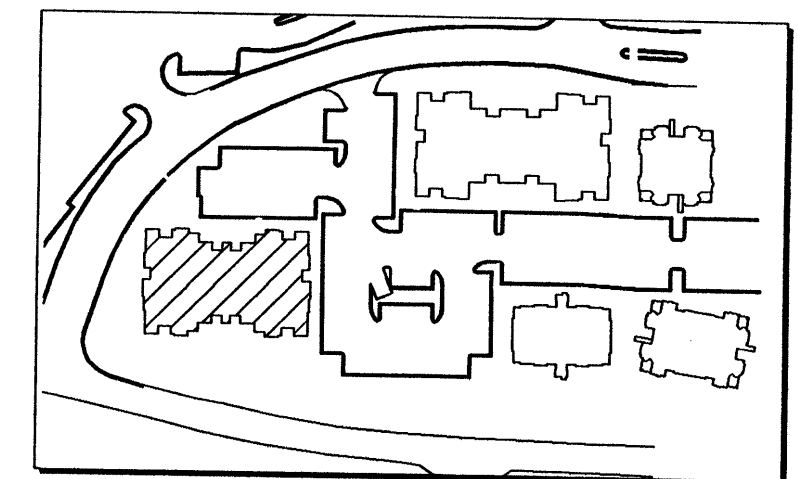
3 ENTRY SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION - BUILDING NO. 3  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY		
NO.	MAT'L DESCRIPT.	REMARKS
1	METAL ISOLATED 'TURTLE BACK' ROOF VENT, PAINTED.	COLOR TO MATCH ROOF
2	1" DIA. RADIUS ED PARAPET, TYP.	
3	STUCCO BRACKET	TYPICAL AT PORCHES, SEE DETAIL 5/A-5.4
4	STUCCO DETAIL	SEE DETAIL 5/A-5.4
5	STUCCO ACCENT, TYP.	COLOR T.B.D.
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16	MECHANICAL WALL CAP. SEE MECHANICAL DIAGS FOR DETAILS	COLOR TO MATCH STUCCO
17	BUILDING NUMBER/ APARTMENT ADDRESS SIGN	SEE SIGN PACKAGE DRAWINGS FOR DETAILS

SITE KEY PLAN

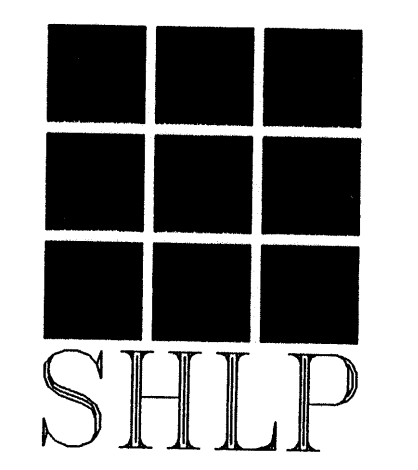


THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM  
9000 CENTRAL PARK WEST, SUITE 150  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT

SEAL \_\_\_\_\_

PROJECT  
SAN MIGUEL APARTMENTS,  
PHASE III  
CITY OF ALBUQUERQUE JURISDICTION  
ALBUQUERQUE, NEW MEXICO

FOR \_\_\_\_\_



SIMPSON HOUSING  
LIMITED PARTNERSHIP  
100 ABERNATHY ROAD  
NORTH PARK 500, SUITE 100  
ATLANTA, GEORGIA 30328  
TEL: (770) 551-0001  
FAX: (770) 551-0400

REVISIONS	
PERMIT SET	SEPT. 20, 2002
OWNER COMMENTS	OCT. 7, 2002
BLDG. OFF./CONTRACTOR COMMENTS	DEC. 9, 2002

DATE \_\_\_\_\_  
JOB NUMBER 09/20/02  
DRAWN BY 0110025  
CHECKED BY MEL  
DRAWING TITLE G&C  
BUILDING ELEVATIONS -  
BUILDING NUMBER 3  
DRAWING NUMBER \_\_\_\_\_

A-4.3

COMMENTS \_\_\_\_\_