

GENERAL NOTES:

- A NO GRADING CHANGES ARE PROPOSED; EXISTING DRAINAGE TO REMAIN "AS-IS"; RAINWATER IS BEING DISCHARGED FROM EXISTING ROOFS INTO PERVIOUS AREAS
- B TOTAL NUMBER OF CLIENT RESIDENTS SHALL NOT EXCEED 22
- C THE COMMUNITY RESIDENTIAL CORRECTIONS PROGRAM ON THIS SITE SHALL COMPLY WITH COMMUNITY RESIDENTIAL PROGRAM REGULATIONS OF THE ZONING CONDE (14-16-3-12)
- D SEX OFFENDERS SHALL NOT RESIDE ON THE SITE BECAUSE IT IS LOCATED WITHIN 1,000 FT OF A SCHOOL (GARFIELD MIDDLE SCHOOL) PER THE ALBUQUERQUE SEX OFFENDER ACT (11-12-2-7)
- E THE ON-SITE SUPERVISOR SHALL HAVE A WRITTEN SECURITY ACTION PLAN FOR THE PREMISES UPDATED AT A MINIMUM ANNUALLY
- F A MINIMUM OF ONE ON-SITE SUPERVISOR SHALL BE IN RESIDENCE
- G THE FACILITY SHALL COMPLY WITH Ch 26 OF THE 2003 EDITION OF THE LIFE SAFETY CODE (LODGING or ROOMING HOUSES)

PARKING:

REQUIRED PARKING (14-16-3-1-A-G):
 2 SPACES FOR EMPLOYEE;
 4 MAX EMPLOYEES = 8 REQUIRED SPACES.
 10% OF THE RESIDENTS OF THIS FACILITY OWN CARS.
 PROPOSED SPACES ARE ALLOCATED AS FOLLOWS:
 1 ON-SITE SUPERVISOR
 5 VISITORS AND STAFF (MAXIMUM)
 2 RESIDENTS
 9 SPACES ARE PROPOSED / SHOWN (INCLUDING 1 HANDICAPPED)
 PLUS TWO MOTORCYCLE SPACES

KEYED NOTES:

- (PLEASE NOTE: ALL THE FOLLOWING ARE EXISTING EXCEPT NOTES 9-11)
1. CHAIN LINK FENCE: 6' HIGH AT PROPERTY LINES; 30" AT FRONT OF 627 # ALONG INTERNAL DRIVE
 2. WOOD FENCE: 6' HIGH, TYPICAL
 3. CMU WALL (HEIGHT NOTED AT EACH LOCATION)
 4. WATER METER
 5. SEWER
 6. GAS METER
 7. FIRE HYDRANT
 8. BICYCLE PARKING (4)
 9. MOTORCYCLE SPACE (2)
 10. HANDICAPPED PARKING SPACE: (1 THUS): CONCRETE PAD 8'-6" W x 20' L WITH ADJACENT 8'-6" x 20' L UNLOAD ZONE; PROVIDE POST-MOUNTED SIGN
 11. TYPICAL PARKING SPACE: (8 THUS): 18' L x 9' W with CONC OR RR TIE BUMPER SET 2' FROM FRONT END
 12. EXISTING POLE LIGHT, ± 12' HIGH (NO SPILLAGE ONTO ADJACENT PROPERTIES per 14-16-3-9)
 13. PORCH LIGHT (NO SPILLAGE ONTO ADJACENT PROPERTIES per 14-16-3-9)

PROJECT NUMBER: 1001681

Application Number: 10 DRB 70075

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	03/10/10 Date
<i>[Signature]</i> ABQWLA	03/10/10 Date
<i>[Signature]</i> Parks and Recreation Department	3/10/10 Date
<i>[Signature]</i> City Engineer	3/10/10 Date
N/A Environmental Health Department (conditional)	Date
N/A Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	5/16/10 Date

LEGAL DESCRIPTION:

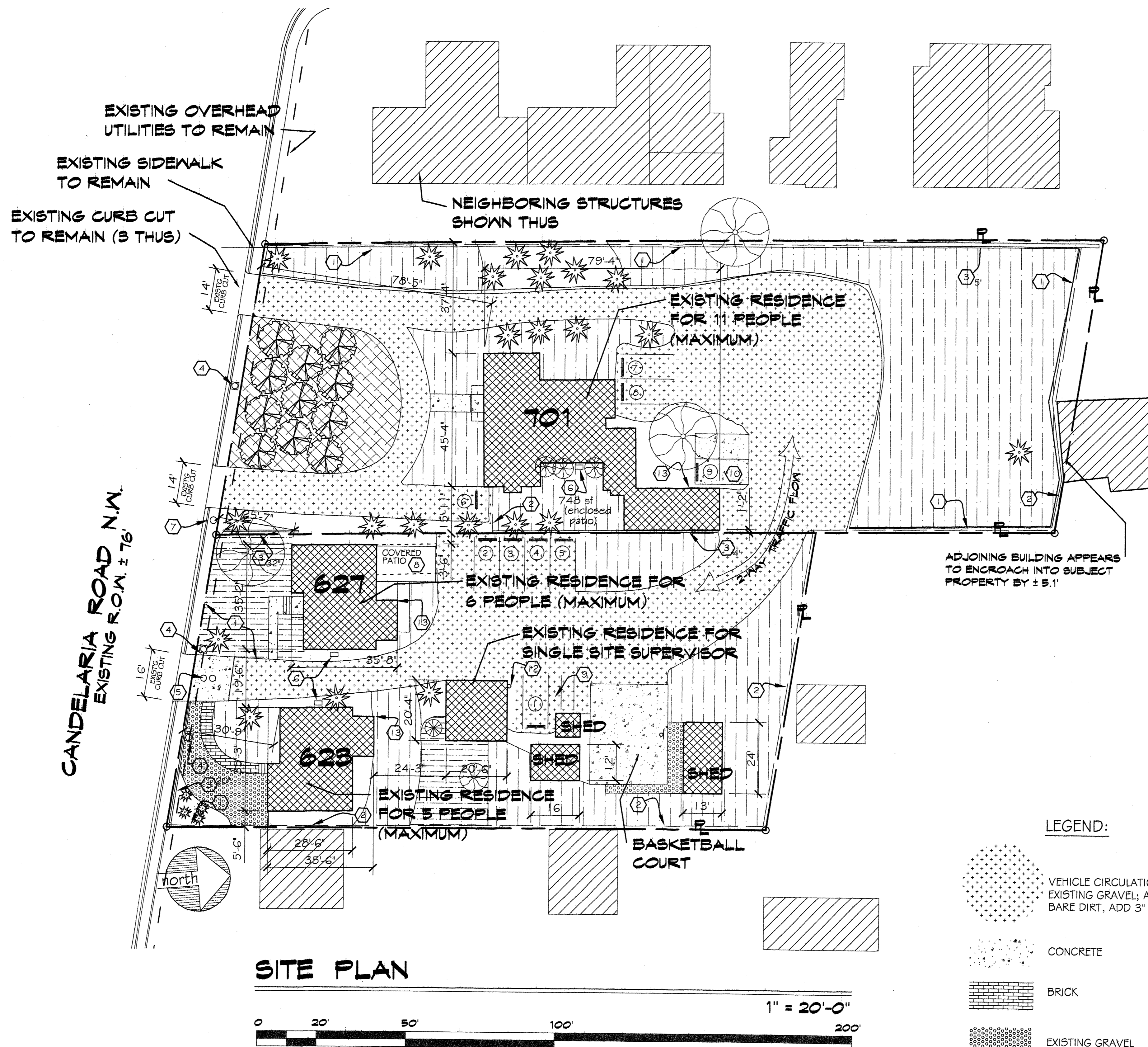
LOT 2A, W 1/2 OF S 1/2 OF E 1/2 OF LOT 2 & E 1/2 OF S 1/2 OF E 1/2 OF LOT 2, Block 18, Monkbridge Addition

PROPOSED ZONING:

SU-1 for COMMUNITY RESIDENTIAL CORRECTIONS PROGRAM



PROJECT LOCATION:
(Zone Map G-14)



SIEGEL DESIGN ARCHITECTS, LLC
 1006 PARK AVENUE SW ALBUQUERQUE, NEW MEXICO 87107
 phone 505 243 4501 fax 505 243 4504

DISMAS HOUSE P.O. BOX 6101 623, 627, 701 CANDELARIA RD. NW ALBUQUERQUE, NM 87197 505 343 0746 345 4513 (fax)

EPC SUBMITTAL: SITE DEVELOPMENT PLAN for BUILDING PERMIT

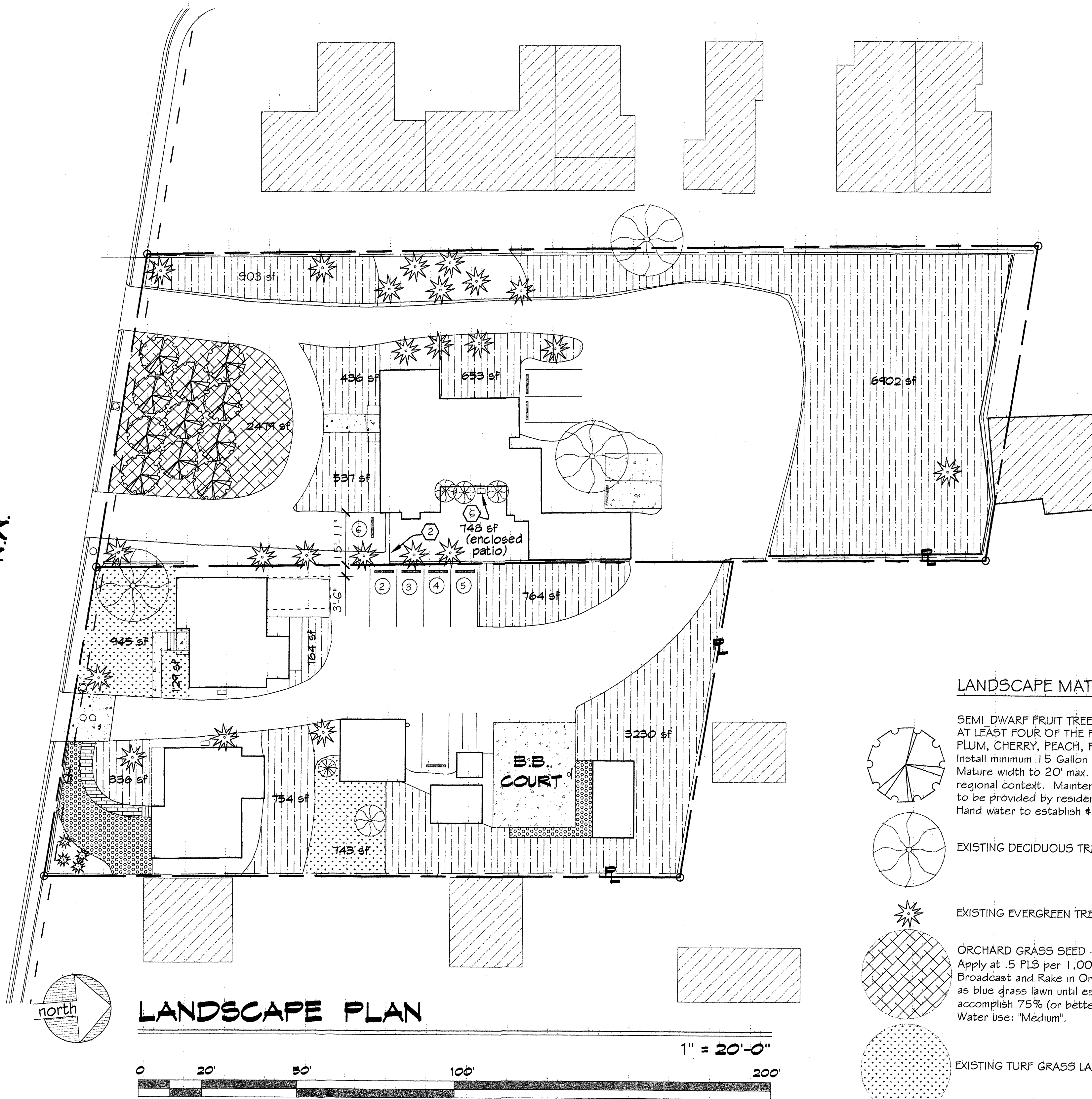
PROJECT #	0817
DATE REV	MAY 22, 09 AUG 10, 09 rev 1 AUG 26, 09 rev 2 MAR 2, 2010

SITE PLAN

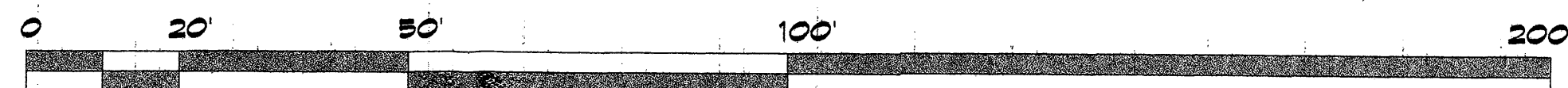


1001681 DRB DRAWER

CANDELARIA ROAD N.W.



LANDSCAPE PLAN

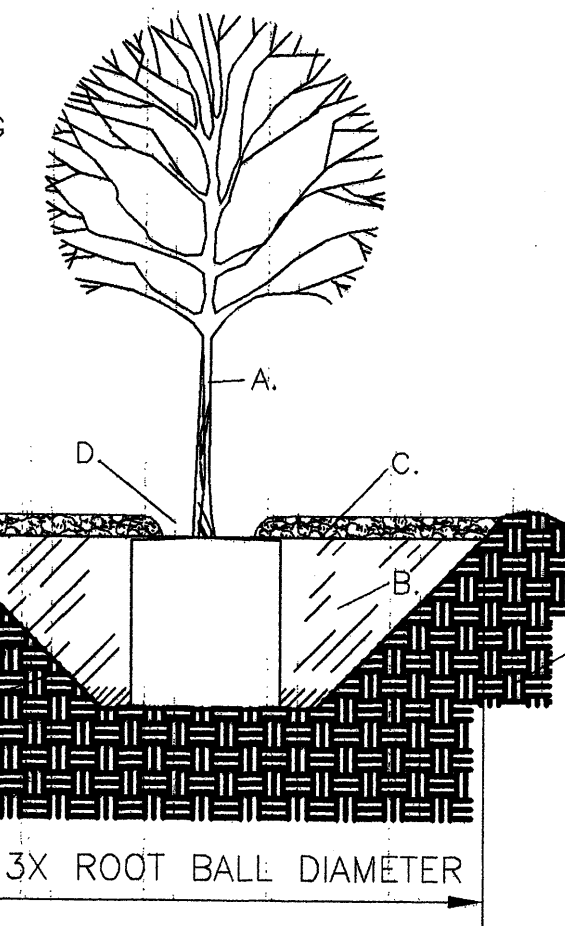


GENERAL LANDSCAPE NOTES:

- A RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.
- B AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPED AREA.
- C LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION AND WATER WASTE ORDINANCE.
- D RAINWATER IS BEING DISCHARGED FROM EXISTING ROOFS INTO PERVIOUS AREAS

CONSTRUCTION NOTES:

- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. ORCHARD GRASS SEEDING
- D. 4" SPACE BETWEEN SEEDING AND TREE.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



TYPICAL CONTAINER TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE MATERIAL LEGEND:

- SEMI DWARF FRUIT TREE ORCHARD TO CONTAIN A MIX OF AT LEAST FOUR OF THE FOLLOWING SELF-POLLINATING SPECIES: PLUM, CHERRY, PEACH, PEAR, NECTARINE, APPLE & APRICOT. Install minimum 15 Gallon trees. Mature height to be 20' max. Mature width to 20' max. Fruit trees to be planted for historical regional context. Maintenance, labor, harvesting and consumption to be provided by residents as a rehabilitation activity. Hand water to establish & maintain. Water Use: "Medium"
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- ORCHARD GRASS SEED - *Dactylis glomerata* L. Apply at .5 PLS per 1,000SF. Rototill to a depth of 6". Broadcast and Rake in Orchard Grass Seed mix. Hand water as as blue grass lawn until established. Seeding rate is to accomplish 75% (or better) coverage per General Note "B". Water use: "Medium".
- EXISTING TURF GRASS LAWN TO REMAIN
- NATIVE SEEDING - Area to be rototilled to a depth of 6". Broadcast and rake in native Blue Gramma seed mx. Apply at .5 PLS per 1,000SF. Hand water for establishment period of 3 months. Seeding rate is to accomplish 75% (or better) coverage per General Note "B". Water use: "Low".
- CONCRETE
- BRICK
- EXISTING GRAVEL

GENERAL NOTES:

1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
3. REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
4. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

AREA CALCULATIONS:

GROSS LOT AREA: 47,754 s.f.

LESS BUILDINGS:

701	2,209 s.f.
G27	1,233 s.f.
G23	1,022 s.f.
caretaker	420 s.f.
shed	200 s.f.
shed	67 s.f.
shed	312 s.f.
encl. yard	748 s.f.
subtotal deductions:	6,211 s.f.

NET LOT AREA: 41,533 s.f.
X 15% = 6,231 s.f.
(required area for landscape)

ACTUAL LANDSCAPE AREA PROVIDED:
18,975 s.f.
= 45 %

TURF AREA (EXISTING HIGH-WATER LAWN):
1,817 s.f.
= 9.5 %

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0817

DATE REV
MAY 22, 09
AUG 10, 09 rev 1
AUG 26, 09 rev 2
MAR 2, 2010

LANDSCAPE PLAN

L-1



121 Tijeras NE, Suite 3100
ALBUQUERQUE, NM 87109
PHONE: 505-822-8200
FAX: 505-822-8282
E-MAIL: info@sites-sw.com
WEB: www.sites-sw.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

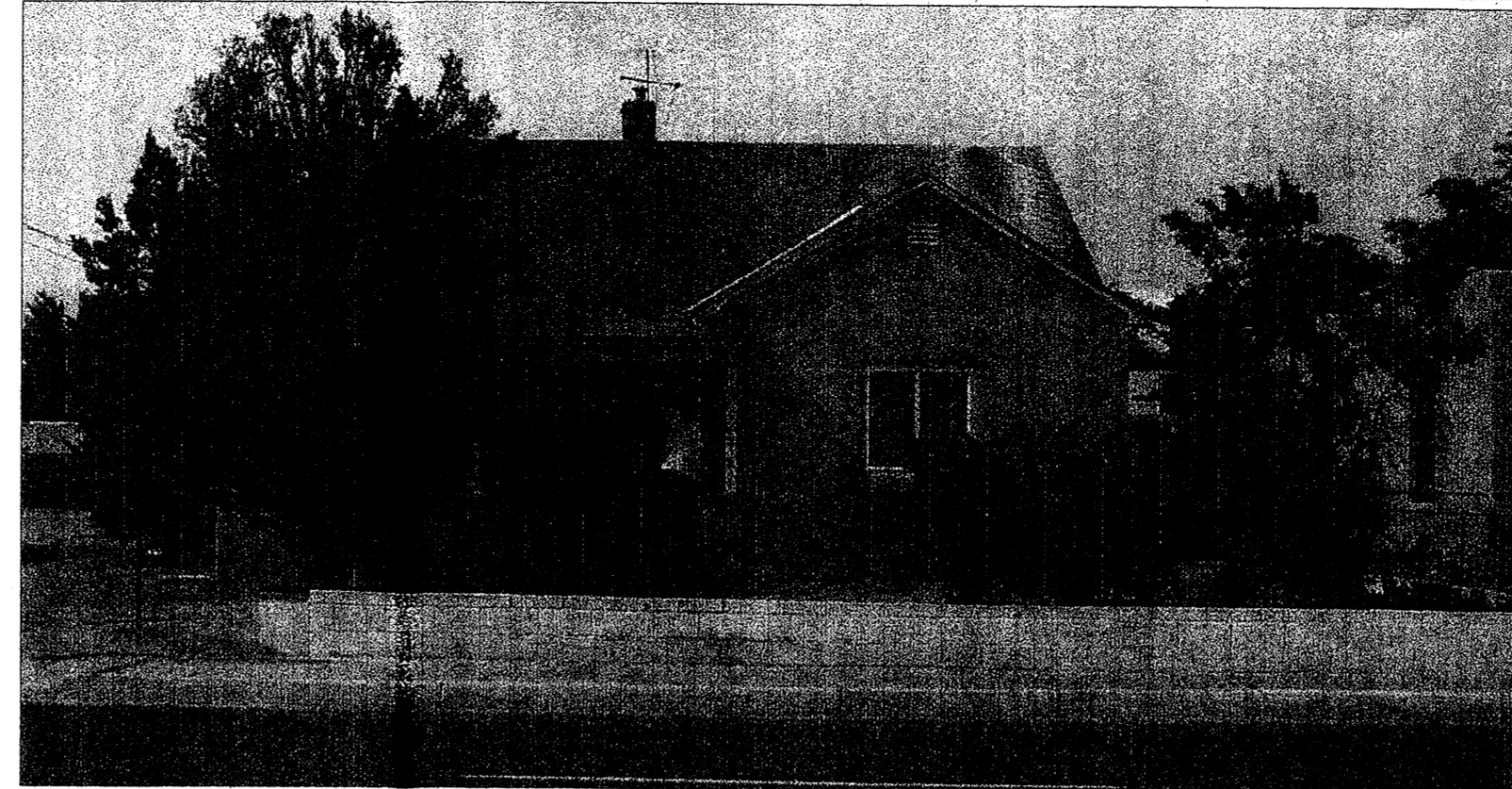


NORTH (REAR) SIDE



WEST SIDE

WOOD
PAINTED WHITE



SOUTH (STREET) SIDE



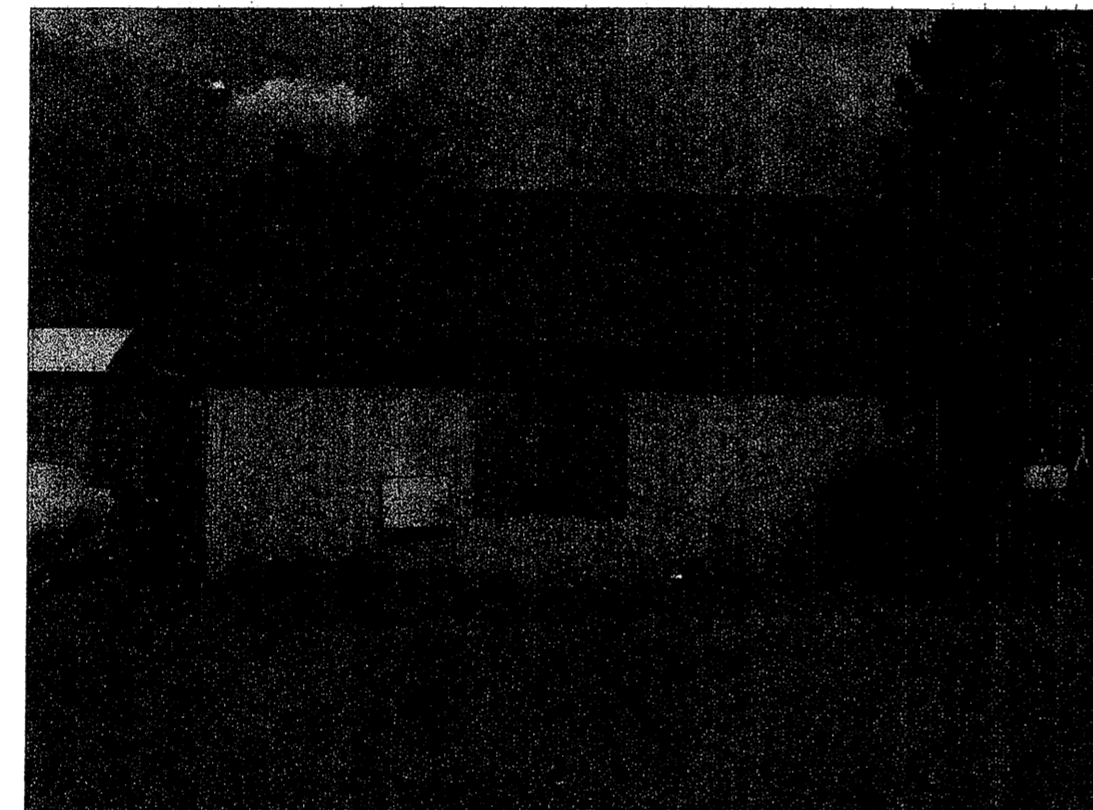
EAST SIDE
623 (EAST HOUSE) ELEVATIONS

RED ASPHALT
SHINGLE ROOF

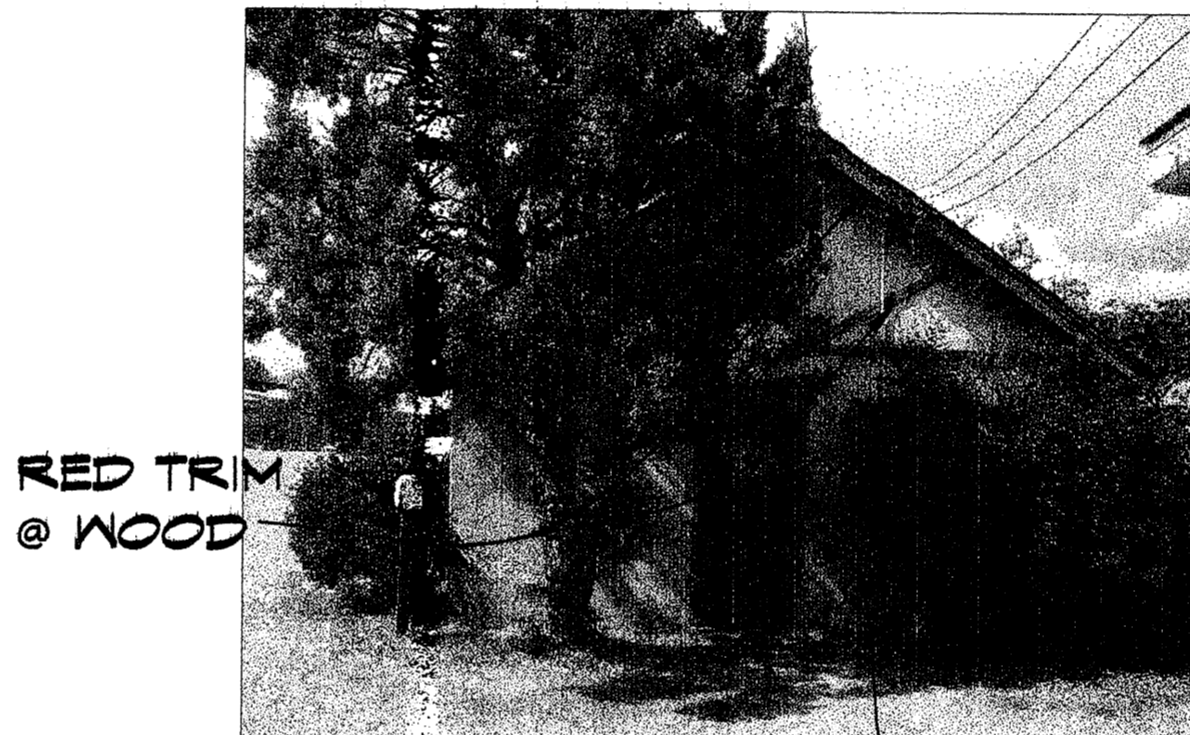
WHITE TRIM
TAN STUCCO



NORTH (REAR) SIDE



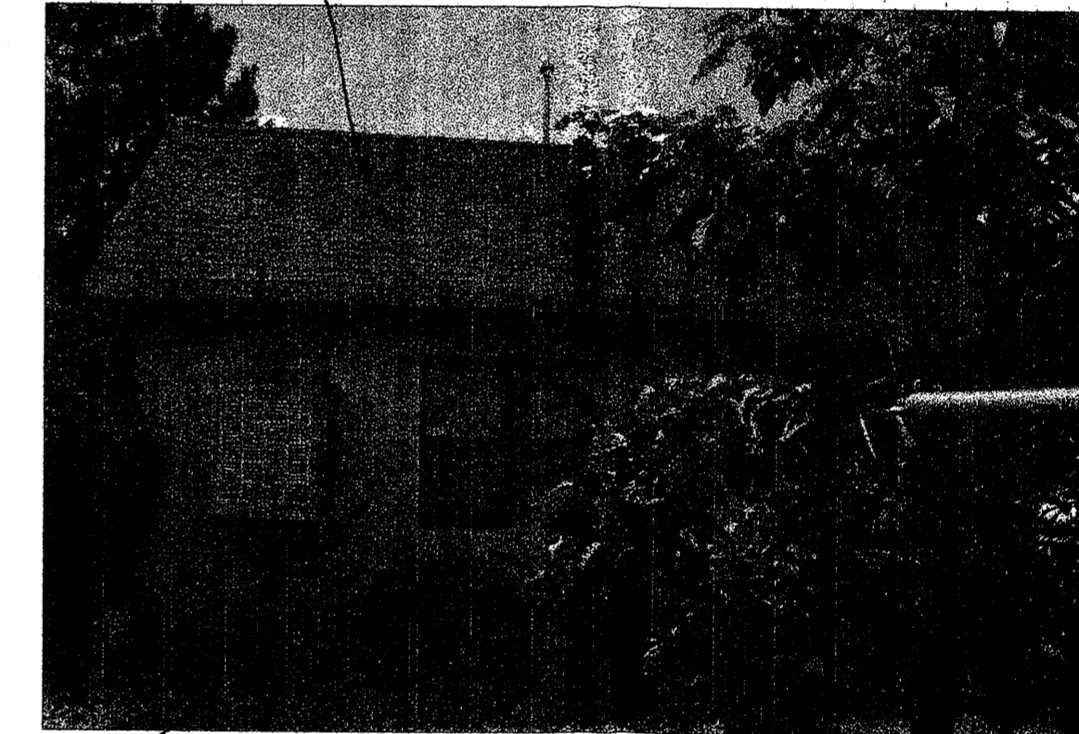
WEST SIDE



RED TRIM
@ WOOD

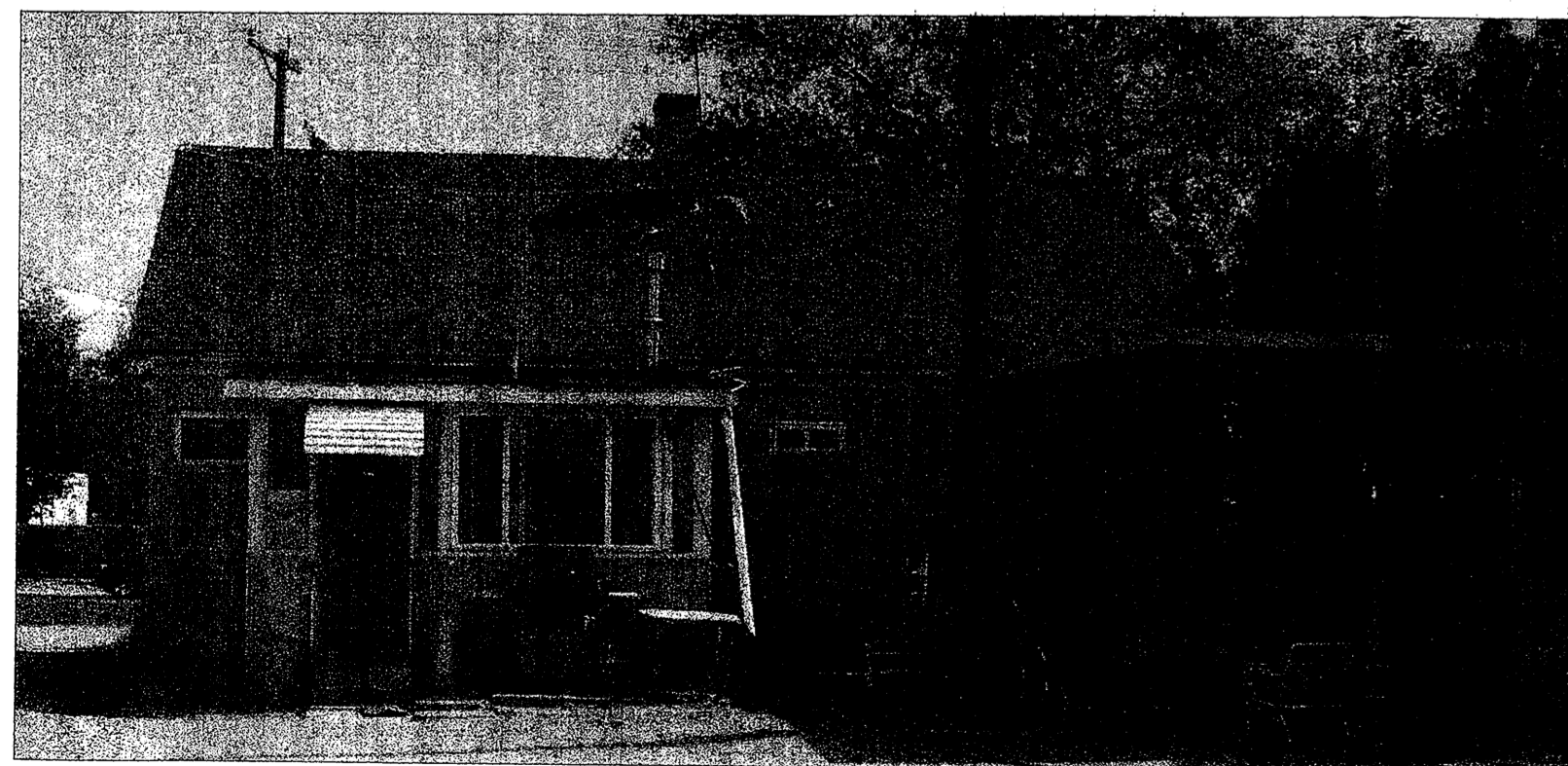
SOUTH SIDE

RED ASPHALT
SHINGLE ROOF



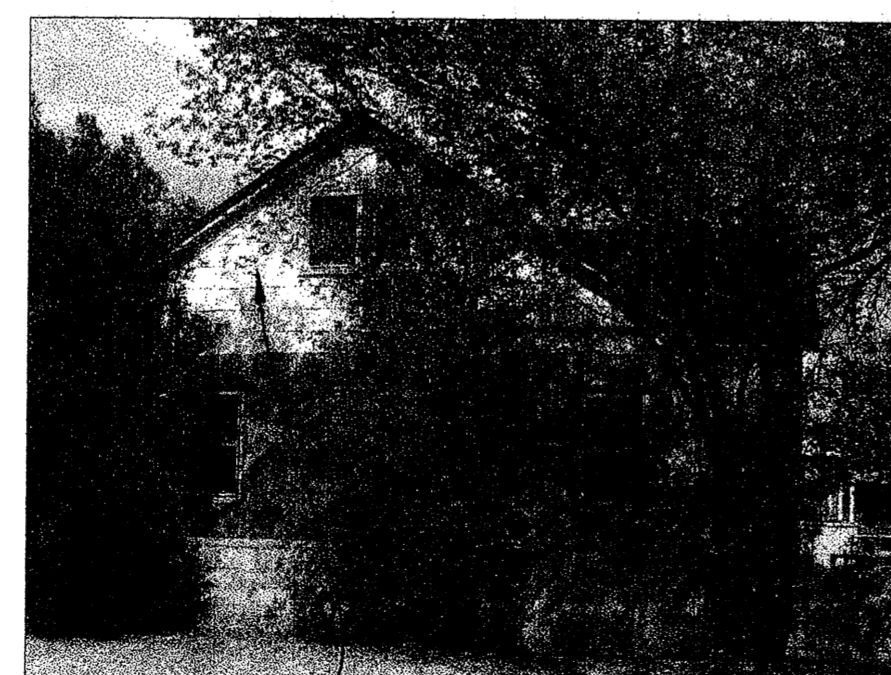
EAST SIDE

YELLOW / ECRU
STUCCO
623 (EAST HOUSE) REAR BUILDING ELEVATIONS

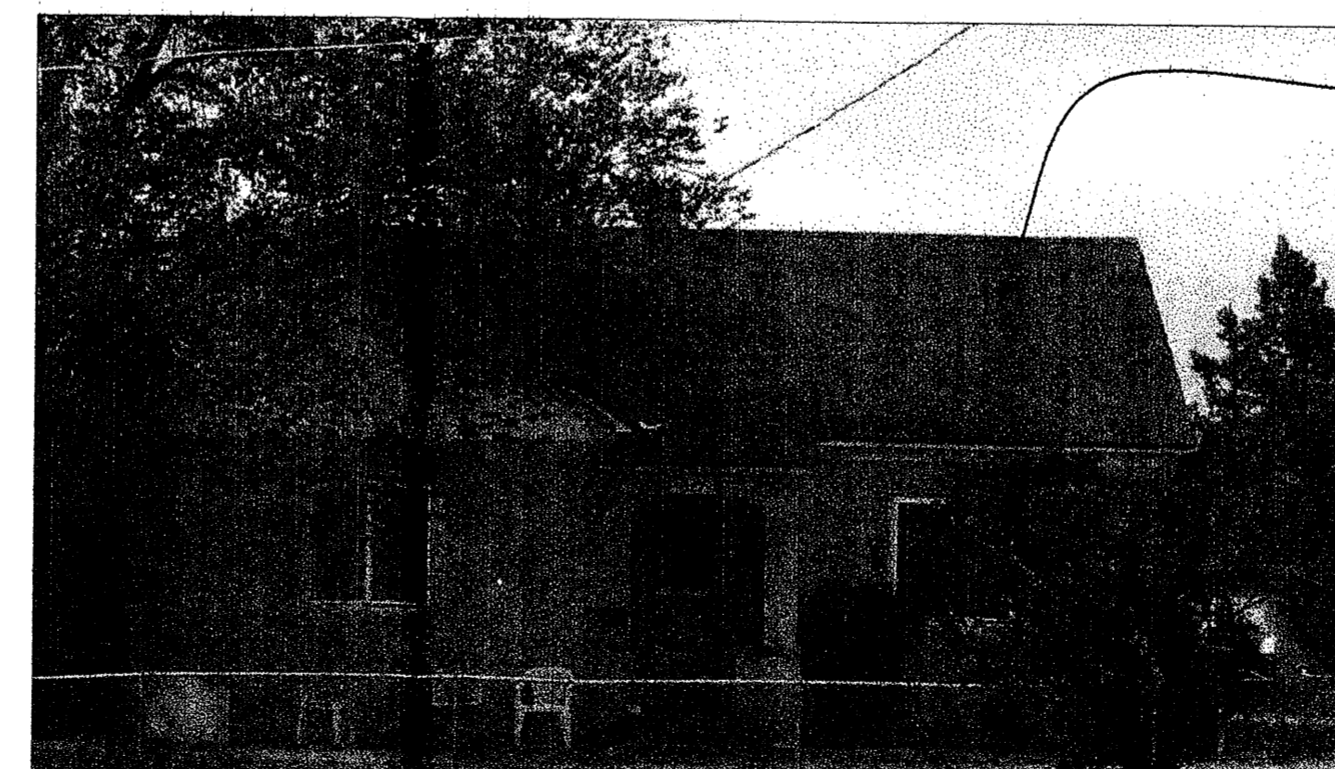


NORTH (REAR) SIDE

WOOD PAINTED WHITE



WEST SIDE

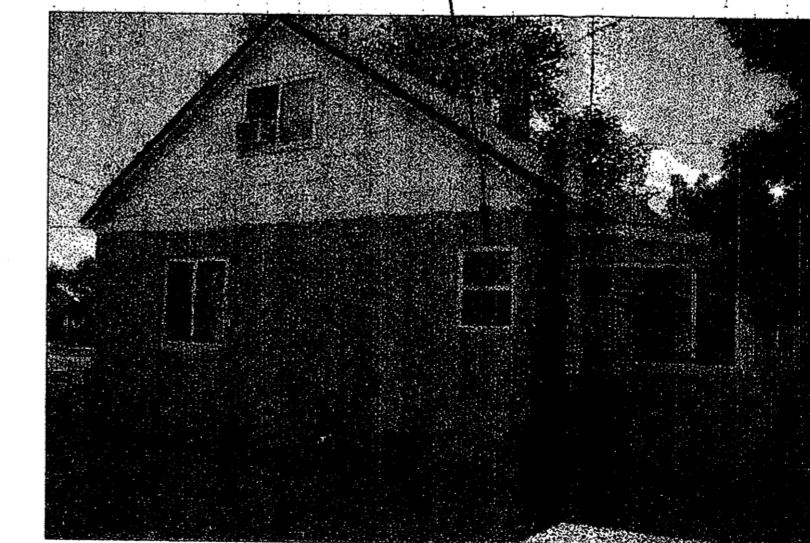


SOUTH (STREET) SIDE

TAN STUCCO

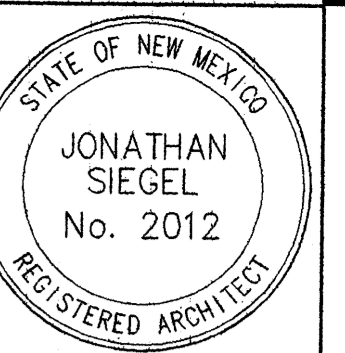
RED ASPHALT
SHINGLE ROOF

WHITE TRIM



EAST SIDE

627 (MIDDLE HOUSE) ELEVATIONS



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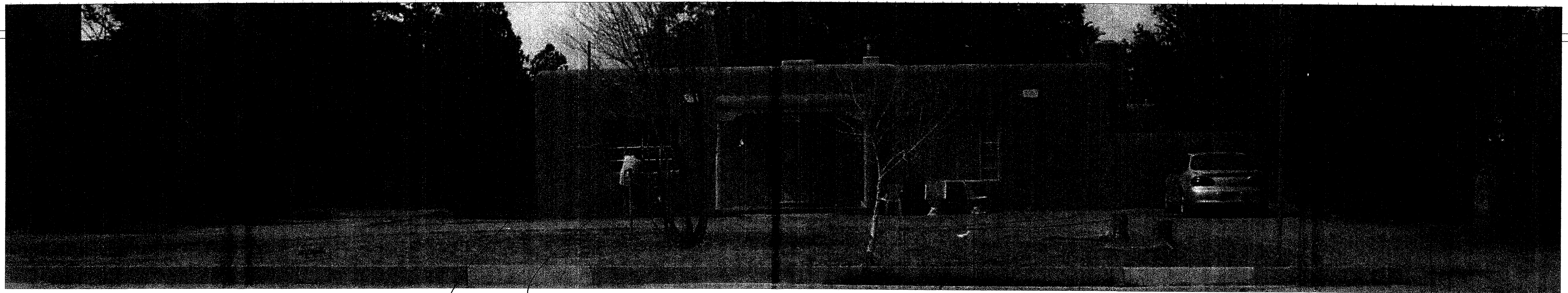
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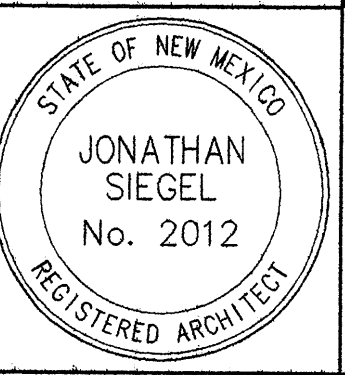
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EXTERIORS
623, 627

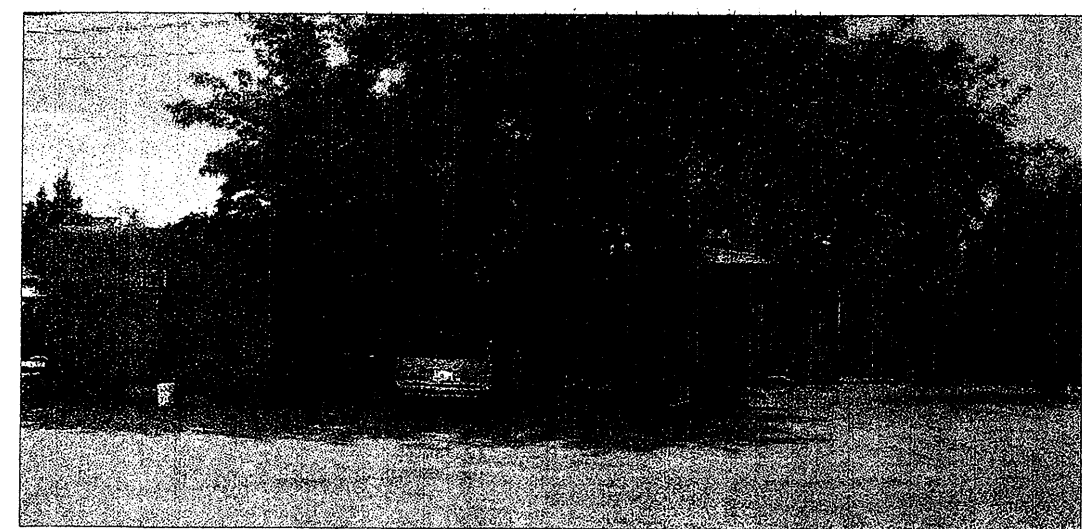


TURQUOISE TRIM
BROWN STUCCO SOUTH (STREET) SIDE

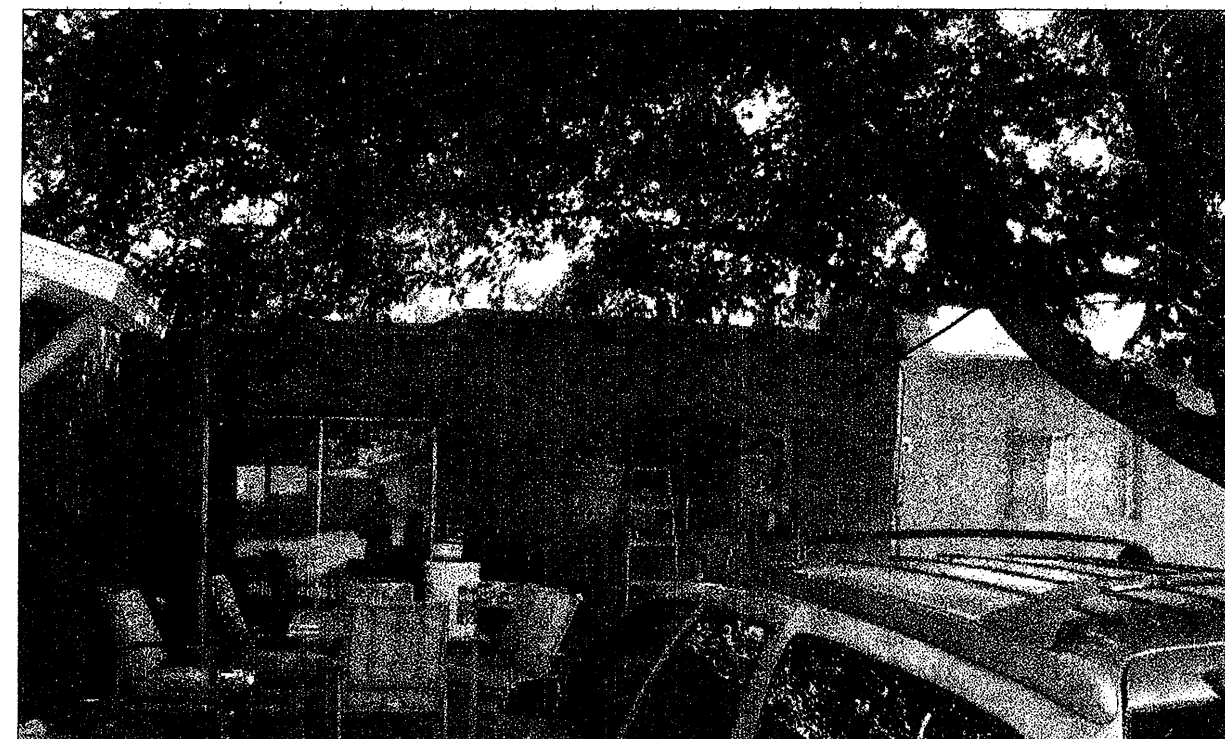
701 (WEST HOUSE) ELEVATIONS



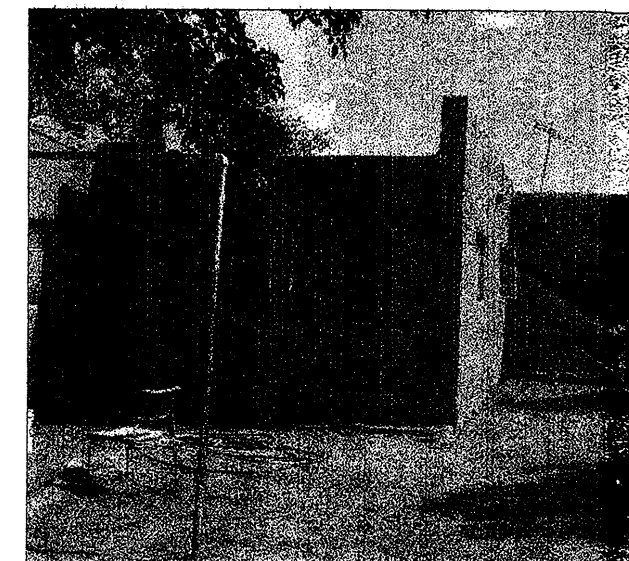
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NORTH SIDE (ENTIRE)



NORTH SIDE DETAILS / PARTIAL VIEWS



BROWN STUCCO



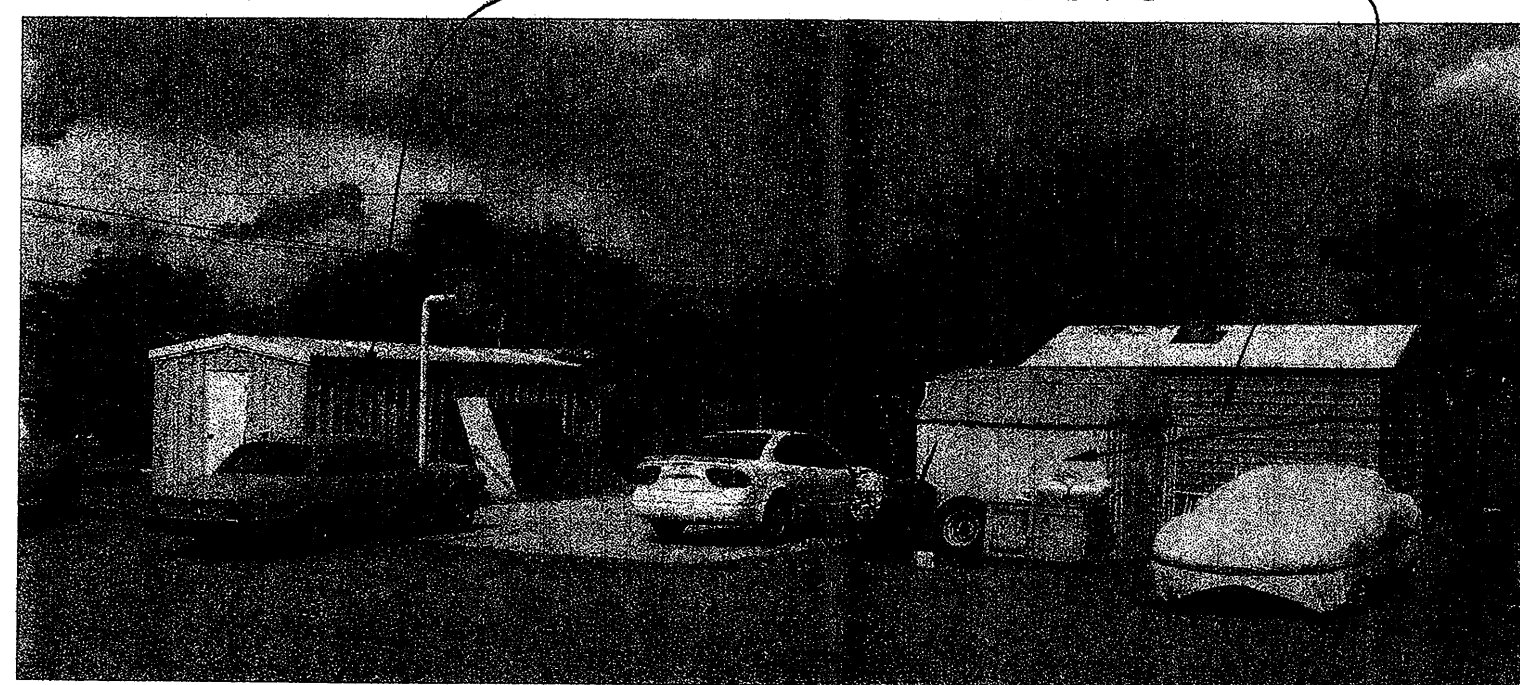
WEST SIDE PARTIAL VIEWS (ENTIRE FACADE NOT VISIBLE)



701 (WEST HOUSE) ELEVATIONS

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AS SEEN LOOKING NE
623 REAR SHED VIEW EAST LOTS

TAN METAL SHEDS/
WHITE ROOFS

WHITE METAL SHED
TAN ROOF



EAST SIDE
(HIDDEN FROM 627
BY DENSE FOLIAGE)



BROWN STUCCO

701 (WEST HOUSE) ELEVATIONS

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EXTERIORS
701 & 623