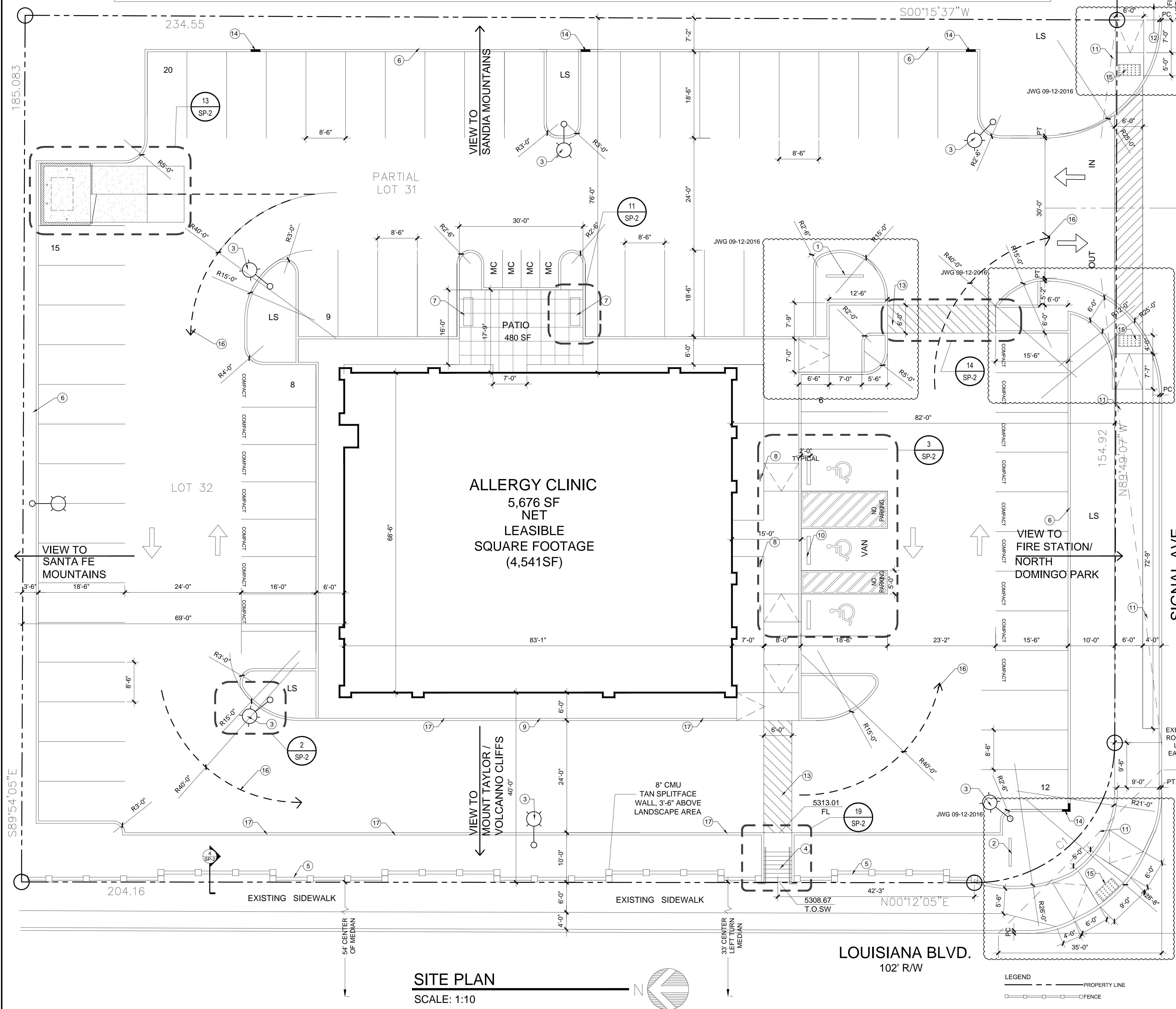


PROJECT# 1010871 SPECIAL EXCEPTION # 16ZHE-80153: VARIANCE GRANTED TO ALLOW INCREASE IN PARKING SPACES FROM 39 TO 70



PROJECT DESCRIPTION

AN ALLERGY CLINIC WITH 7 EXAM ROOMS AND 7 DOCTOR'S OFFICES SERVING TO PROVIDE ALLERGY TESTING AND REACTION TREATMENT. USED MAINLY FOR CHILDREN AND ADOLESCENTS IN THE TIME AFTER SCHOOL. THE WAITING AREA WILL INCLUDE SPACE FOR 61 AS THERE WILL BE A LARGE INFLUX OF PATIENTS IN THE AFTERNOON AFTER SCHOOL.

LEGAL DESCRIPTION

LOTS 31 AND 32, BLOCK 4 TRACT 2 UNIT LOT AREA: 1 ACRE NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2016

GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.

DRIVE PADS - AND SIDEWALK COA STD DWG 2430 CURB AND GUTTER COA STD DWG 2415 A & B WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441 PAVEMENT COA STD DWG 2408

THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

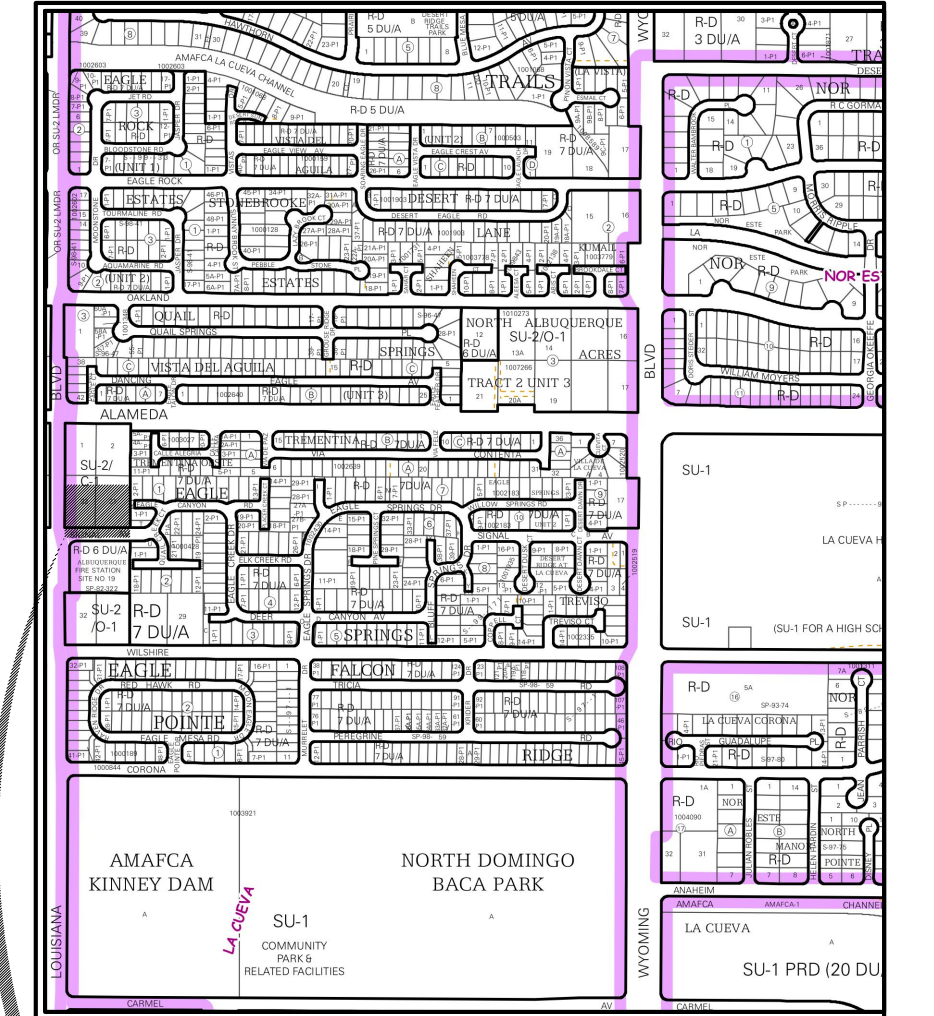
GROUND MOUNTED EQUIPMENT SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6" OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

THE DEVELOPER SHALL CONTACT PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS FOR DISTRIBUTION IS 10' IN WIDTH TO ENSURE ADEQUATE, SAFE, CLEARANCES. CONTACT: PNM-ELECTRIC SERVICE PHONE: (505)241-3425

ALL LANDSCAPE SHALL BE AT GRADE WITH PARKING AREAS.

KEYED NOTES

- BIKE RACK, SEE 9/SP-2.
- MONUMENT BUILDING SIGNAGE, SEE 10/SP-2.
- LIGHT POLE, SEE 2/SP-2.
- STAIRS TO SIDEWALK, SEE 19/SP-2.
- FRONT CMU OFFSET WALL, SEE 15/SP-2 & 20/SP-2 (LCSPP-10R-3).
- LANDSCAPE CURB, SEE 6/SP-2.
- SITTING BENCH, RECYCLED PLASTIC COMPOSITE COLOR: TAN, SEE 11/SP-2.
- ACCESSIBLE PARKING SIGNAGE, SEE 1/SP-2.
- CONCRETE SIDEWALK CURB, SEE 7/SP-2.
- CONCRETE PARKING BUMPER.
- CLEAR SIGHT LINE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQ. SIGNS, WALLS, TRESS, AND SHRUBBERY BETWEEN 3' AND 8' TALL (MEASURED FROM GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA. SEE DETAIL 1/SP-1.
- FIRE HYDRANT LESS THAN 500 FT FROM PROPERTY, APPROXIMATELY 350 FT EAST FROM THE WEST PROPERTY LINE.
- COLOR AND TEXTURED CONCRETE PEDESTRIAN WALKWAY, [14-16-3-1(H)].
- CURB CUT FOR DRAINAGE, SEE GRADING AND DRAINAGE PLAN FOR DETAIL.
- TRUNCATED DOME MATT PER ADA - JWG 09-12-2012
- TRUCK PATH.
- PAINT CURB RED AND MARKED FIRE LANE - NO PARKING.



LOCATION MAP
ZONE ATLAS: C-19-Z

PARKING CALCULATIONS

TOTAL GROSS BUILDING AREA = 5,676 SF
TOTAL NET LEASEABLE SPACE = 4,541 SF

OFFICE OCCUPANT LOAD
4,541 SF/200 = 23 PEOPLE

TOTAL PARKING SPACES PROVIDED = 70 SPACES
PER SPECIAL EXCEPTION NUMBER: 16ZHE-80153

ACCESSIBLE PARKING SPACES REQUIRED = 3 SPACES
ACCESSIBLE PARKING SPACES PROVIDED = 3 SPACES
MOTORCYCLE SPACES PROVIDED = 4 SPACES

BICYCLE PARKING CALCULATIONS

BIKE RACK REQUIRED = 4
BIKE RACK PROVIDED = 4, 9/SP-1

OUTDOOR SPACE CALCULATIONS

4,541 SF X 5% = 227 SF
436 SF > 227 SF
2 BENCHES

FACADE CALCULATIONS

6 PROJECTIONS @ 2'-10" EACH = 17'-0"
ENTIRE FACADE LENGTH = 68'-6"
TOTAL FACADE PROJECTION COVERAGE = 24.8%

PROJECT NUMBER: 1001695
APPLICATION NUMBER: _____

THIS PLAN IS CONSIDERED TO BE THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: _____ AND THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design
2501 Yale Blvd SE, Suite 102
Albuquerque, New Mexico 87106
Tel: 505.242.1745
Fax: 505.242.1737

ALLERGY CLINIC
7001 Signal Ave. NE
Albuquerque, NM 87113

REV	DATE	DESCRIPTION	APVD
1	09-12-16	PER CITY COMMENTS	

SCALE: 1"=10'

SP-1
11/14/2016

SITE PLAN
SCALE: 1:10

LEGEND
--- PROPERTY LINE
--- CENCE

INTERSECTION SIGHT DISTANCE
SP-1 SCALE: NTS

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3'-8' TALL (MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

C1:
R=30.00 (30.00)
L=47.17 (47.14)
Δ=90°05'24" (90°01'51")
Ch Brg=S44°52'44"E
(S44°48'31"E)
Ch L=42.46 (42.44)

GRAPHIC SCALE
0 5' 10'
SCALE: 1"=10'