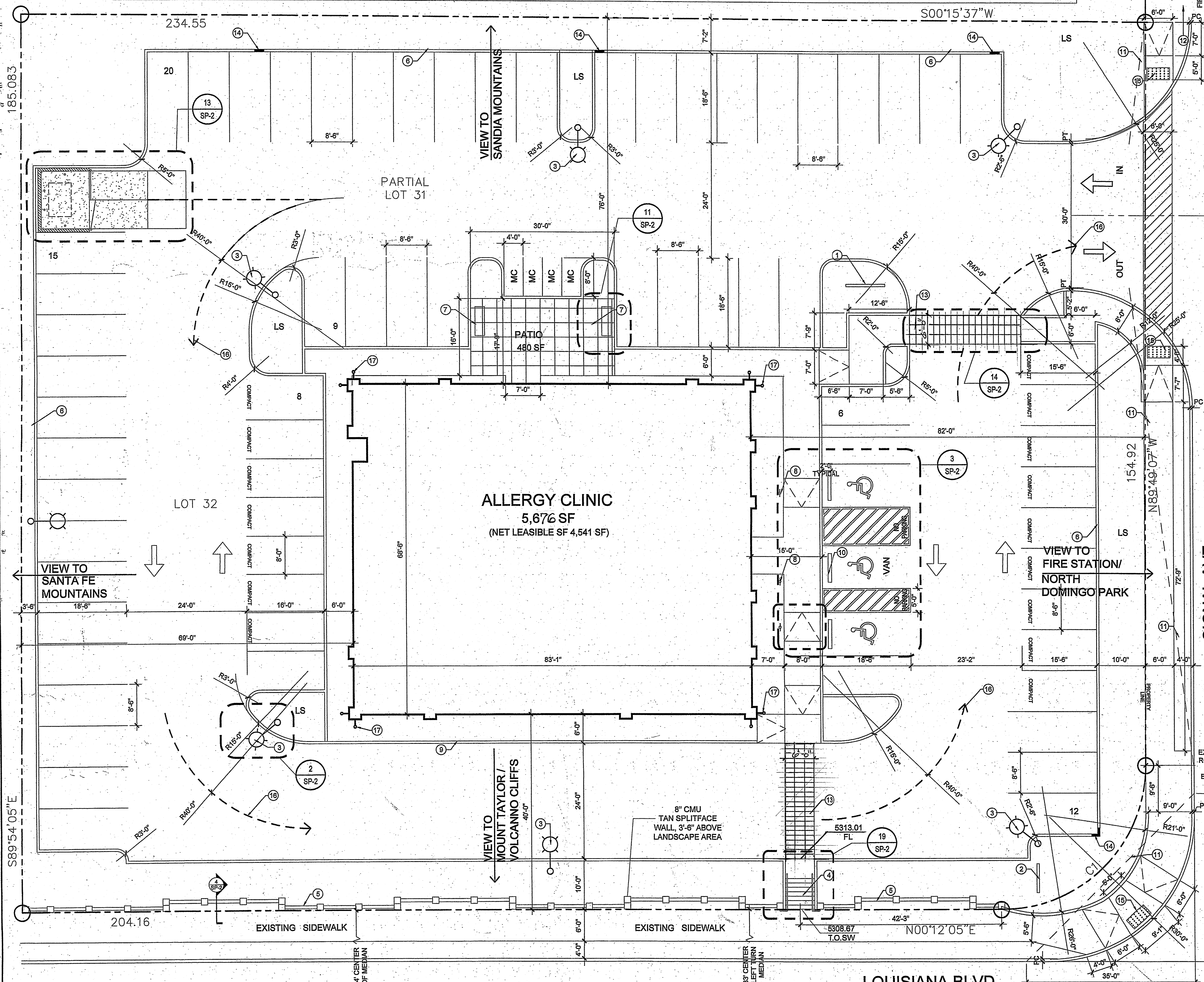


PROJECT# 1010871 SPECIAL EXCEPTION # 16ZHE-80153: VARIANCE GRANTED TO ALLOW INCREASE IN PARKING SPACES FROM 39 TO 70



SITE PLAN
SCALE: 1:10

PROJECT DESCRIPTION

AN ALLERGY CLINIC WITH 7 EXAM ROOMS AND 7 DOCTORS' OFFICES SERVING TO PROVIDE ALLERGY TESTING AND TREATMENT. USED MAINLY FOR CHILDREN AND ADOLESCENTS IN THE TIME AFTER SCHOOL. THE WAITING AREA WILL INCLUDE SPACE FOR 61 AS THERE WILL BE A LARGE INFLUX OF PATIENTS IN THE AFTERNOON AFTER SCHOOL.

LEGAL DESCRIPTION

LOTS 31 AND 32, BLOCK 4
TRACT 2, UNIT 3
LOT AREA: 1 ACRE
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2016

GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.

DRIVE PADS - AND SIDEWALK COA STD DWG 2430
CURB AND GUTTER COA STD DWG 2415 A & B
WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441
PAVEMENT COA STD DWG 2408

THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.

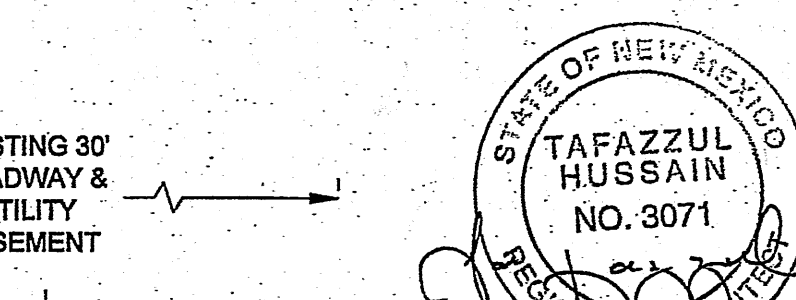
GROUND MOUNTED EQUIPMENT SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6" OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

THE DEVELOPER SHALL CONTACT PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS FOR DISTRIBUTION IS 10' IN WIDTH TO ENSURE ADEQUATE, SAFE, CLEARANCES. CONTACT: PNM-ELECTRIC SERVICE PHONE: (505)241-3425

ALL LANDSCAPE SHALL BE AT GRADE WITH PARKING AREAS.

KEYED NOTES

- BIKE RACK, SEE 8/SP-2.
- MONUMENT BUILDING SIGNAGE, SEE 10/SP-2.
- LIGHT POLE, SEE 2/SP-2.
- STAIRS TO SIDEWALK, SEE 19/SP-2.
- FRONT CMU WALL, SEE 15/SP-2.
- LANDSCAPE CURB, SEE 6/SP-2.
- SITTING BENCH, RECYCLED PLASTIC COMPOSITE COLOR: TAN, SEE 11/SP-2.
- ACCESSIBLE PARKING SIGNAGE, SEE 1/SP-2.
- CONCRETE SIDEWALK CURB, SEE 7/SP-2.
- CONCRETE PARKING BUMPER.
- CLEAR SIGHT LINE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQ. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (MEASURED FROM GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA. SEE DETAIL 1/SP-1.
- FIRE HYDRANT LESS THAN 500 FT FROM PROPERTY. APPROXIMATELY 350 FT EAST FROM THE WEST PROPERTY LINE.
- RED BRICK COLORED AND TEXTURED CONCRETE PEDESTRIAN WALKWAY.
- CURB CUT FOR DRAINAGE, SEE GRADING AND DRAINAGE PLAN FOR DETAIL.
- TRUNCATED DOME MATT PER ADA.
- TRUCK PATH.
- SECURITY CAMERAS.

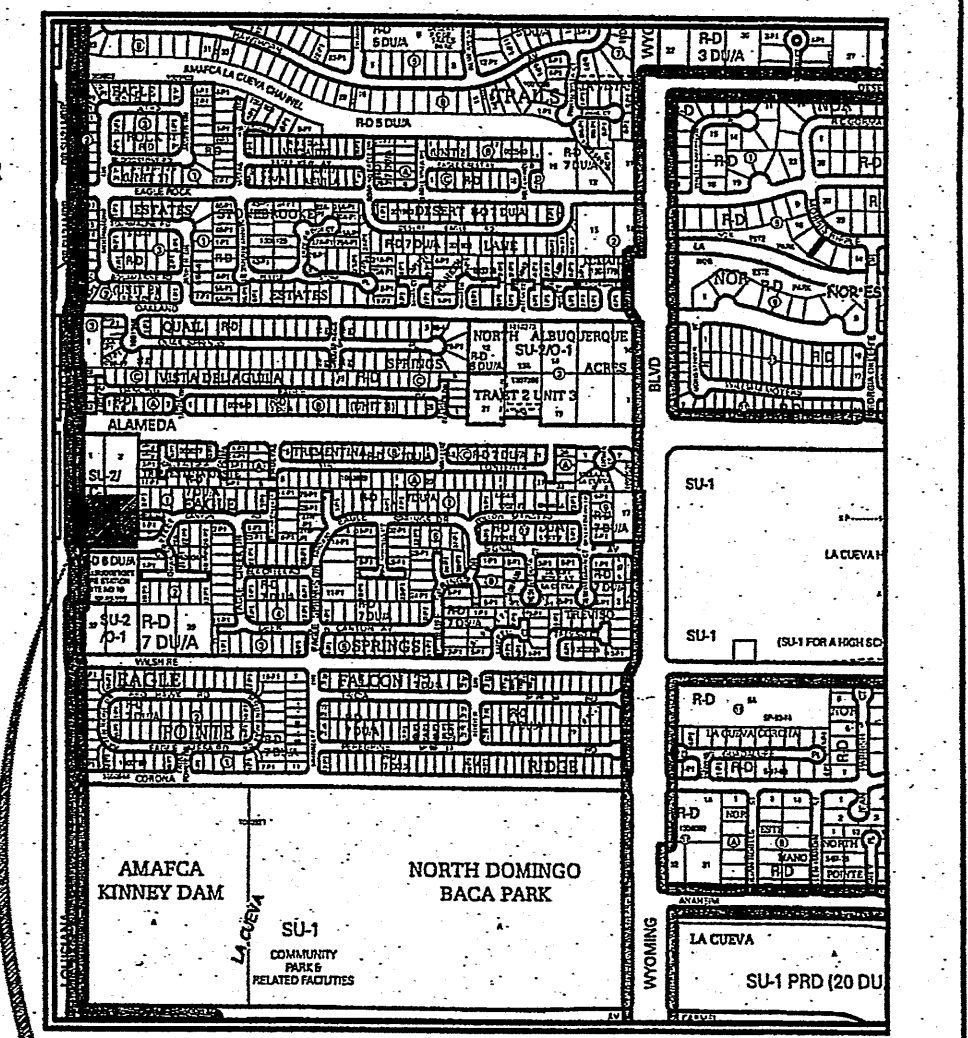


INTERSECTION SIGHT DISTANCE

NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3'-8" TALL (MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

C1:
R=30.00 (30.00)
L=47.17 (47.14)
Δ=90°05'24" (90°01'51")
Ch Brg=S44°52'44"E
(S44°48'31"E)
Ch L=42.46 (42.44)

GRAPHIC SCALE
0 5' 10'
SCALE: 1"=10'



PROJECT LOCATION
LOCATION MAP
ZONE ATLAS: C-19-Z

PARKING CALCULATIONS

TOTAL GROSS BUILDING AREA = 5,692 SF
TOTAL NET LEASABLE SPACE = 4,541 SF

OFFICE OCCUPANT LOAD
5,692 SF/200 = 28 PEOPLE

TOTAL PARKING SPACES PROVIDED = 70 SPACES
PER SPECIAL EXCEPTION NUMBER: 16ZHE-80153

ACCESSIBLE PARKING SPACES REQUIRED = 3 SPACES
ACCESSIBLE PARKING SPACES PROVIDED = 3 SPACES
MOTORCYCLE SPACES PROVIDED = 4 SPACES

BICYCLE PARKING CALCULATIONS

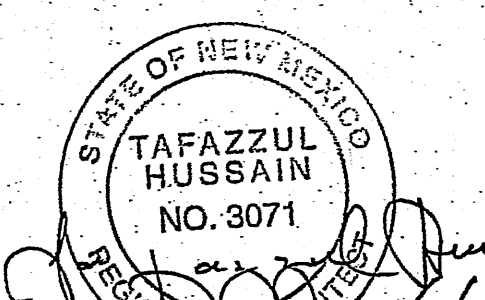
BIKE RACK REQUIRED = 4
BIKE RACK PROVIDED = 4, 8/SP-1

OUTDOOR SPACE CALCULATIONS

5,692 SF X 5% = 285 SF
480 SF > 285 SF
2 BENCHES

FACADE CALCULATIONS

6 PROJECTIONS @ 2'-10" EACH = 17'-0"
ENTIRE FACADE LENGTH = 68'-6"
TOTAL FACADE PROJECTION COVERAGE = 24%
City of Albuquerque Building Safety



PROJECT NUMBER: 1010871
APPLICATION NUMBER: 16ZHE-80153

THIS PLAN IS CONFORMANT WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION APRIL 2016 AND THE PROPOSED CONSTRUCTION IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE AND THE PROPOSED CONSTRUCTION IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

DESIGNED BY	DATE
APPROVED BY	DATE
CITY ENGINEER	DATE
DEPARTMENT OF HEALTH DEPARTMENT (CONDITIONAL)	DATE
PLANNING DEPARTMENT	DATE
CITY ENGINEER	DATE

DATE: 4/13/17
DATE: 12-19-16
DATE: 12-19-16
DATE: 12-19-16
DATE: 12-19-16
DATE: 12-19-16

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design
2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

ALLERGY CLINIC
7001 Signal Ave. NE
Albuquerque, NM 87113

REV	DATE	DESCRIPTION	APVD
05-04-17		POST DRIB VERSION #4	

SP-1
01/17/2017