

#7



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

*Approved  
dated  
10/16/06  
[Signature]*

DRB Application No.: 05DRB-00823 (SBP)

Project #: 1001740

Project Name BRENTWOOD HILLS

Agent: Controlled Air Incorporated

*[Signature]*

Phone No.: 975-2433

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 5/25/06 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- UTILITIES: revise Utility Plan to show fire hydrants
- eliminate new 1" meter eliminate sewer connection
- shown. Only new item is 6" fire line.
- \_\_\_\_\_
- \_\_\_\_\_

- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PLANNING (Last to sign): [Signature]
- 3 Copies of SBP
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer...
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001740



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 25, 2005

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- |   |                       |
|---|-----------------------|
| A. Call to Order: 9:00 A.M.               | Adjourned: 11:30 A.M. |
| B. Changes and/or Additions to the Agenda |                       |
| C. New or Old Business                    |                       |

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1001140**  
05DRB-00717 Major-Two Year SIA

SCOTT COLE request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR IP, located on EAGLE ROCK RD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: 01DRB00391, 03DRB00557, DRB-97-52, AA-99-17] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003011**  
05DRB-00439 Major-Vacation of Pub  
Right-of-Way

CITY OF ALBUQUERQUE agent(s) for BRAKE MASTERS, INC. request(s) the above action(s) for all or a portion of Block(s) 4 & 5, Tract(s) A, **INEZ ADDITION**, zoned C-2, located on WYOMING BLVD NE, between PROSPECT AVE NE and MENAUL BLVD NE containing approximately 5 acre(s). [REF: 03DRB02088, 03DRB02089] [*Deferred from 4/13/05 & 5/11/05 & 5/25/05*] (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/8/05.**

3. **Project # 1003445**  
05DRB-00724 Major-Vacation of Pub  
Right-of-Way  
05DRB-00725 Major-Vacation of  
Public Easements  
05DRB-00726 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN PA agent(s) for AMERICAN EAGLE L.P., c/o R. J. SCHAEFER REALTY request(s) the above action(s) for all or a portion of Tract(s) B-1, C-1 & D-1, Lot(s) 6-A-1, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW, between PARADISE BLVD NW and EAGLE RANCH RD NW containing approximately 27 acre(s). [REF: DRB-94-132, DRB-94-512, Z-83-89, 04DRB00751, 04DRB00752, 04DRB00753] (C-12) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT SIGNATURE AND 15-DAY APPEAL PERIOD.**

4. **Project # 1003655**  
05DRB-00661 Major-Vacation of  
Public Easements  
05DRB-00660 Major-Vacation of Pub  
Right-of-Way  
05DRB-00659 Major-Preliminary Plat  
Approval  
05DRB-00663 Minor-Temp Defer  
SDWK

DAVID A AUBE agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15, 16, 17 and a portion of 18, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **LA VISTA @ DESERT RIDGE TRAILS**) zoned R-D, located on WYOMING NE, between EAGLE ROCK NE and MODESTO NE containing approximately 3 acre(s). [REF: 04DRB01373] [*Deferred from 5/11/05 & 5/18/05*] (C-19) **THE VACATION OF PUBLIC**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. ~~Project # 1001740~~  
05DRB-00823 Minor-SiteDev Plan  
BldPermit/EPC

CONTROLLED AIR INCORPORATED agent(s) for SUJEY THAKUR request(s) the above action(s) for all or a portion of Lot(s) A, Block(s) 31-B, **BRENTWOOD HILLS**, zoned SU-1 FOR C-1, R-1 USES, located on CANDELARIA RD NE, between CHELWOOD BLVD NE and containing approximately 3 acre(s). [REF: 04EPC-01838] [David Stallworth, EPC Case Planner] (H-22) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR A REVISED UTILITY PLAN AND TO PLANNING FOR EPC CASE PLANNERS COMMENTS AND 3 COPIES OF THE SITE PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

8. **Project # 1003369**  
05DRB-00826 Minor-Extension of  
Preliminary Plat

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 16, Tract(s) 3, **VINTER COURT SUBDIVISION, UNIT 3**, zoned R-D, located on WILSHIRE NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [REF: 04DRB00511, 04DRB00513, 04DRB00519, 04DRB00514] (C-20) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

9. **Project # 1003087**  
05DRB-00828 Major-Final Plat  
Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A, WESTLAND NORTH (to be known as **WATERSHED SUBDIVISION**) zoned SU-2, located on ARROYO VISTA BLVD NW and TIERRA PENTADA ST NW and containing approximately 531 acre(s). (J-7, J-8, H-7,

H-8 & H-9) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RESTRICTIVE EASEMENT LANGUAGE ADDED TO SHEET 11 FOR LOTS 27 AND 28 AND TO PLANNING FOR AMAFCA'S SIGNATURE AND BULK LAND PLAT VARIANCE LANGUAGE AND AGIS DXF FILE.

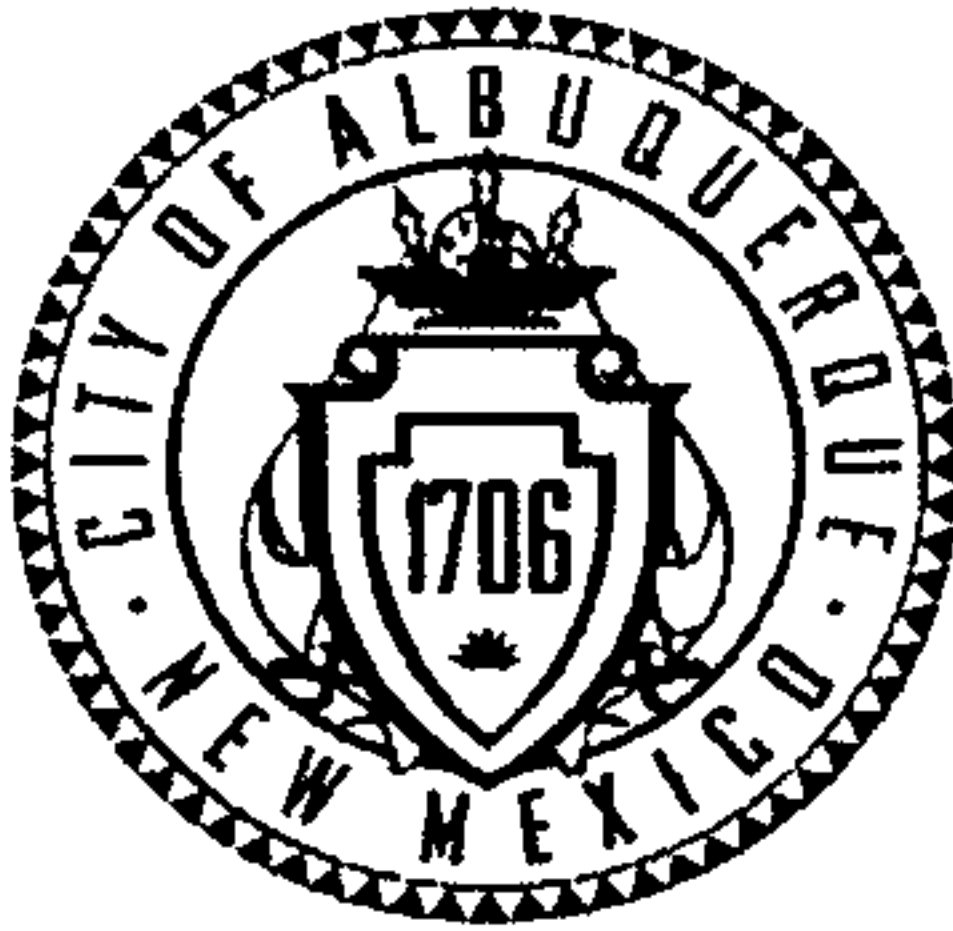
10. **Project # 1000464**  
05DRB-00820 Major-Final Plat  
Approval

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) H-6A1A-1 & H-6A1A-2, **RIVERVIEW PARCELS**, zoned SU-1 IP USES W/EXCEPTIONS, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLEY ROSE DR NW containing approximately 7 acre(s). [REF: 04DRB01729] (C-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR QUIT-CLAIM AMAFCA EASEMENT REFERENCED ON THE PLAT AND AMAFCA'S SIGNATURE AND TO PLANNING FOR A COPY OF THE AA APPROVAL LETTER.**

11. **Project # 1002397**  
05DRB-00821 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for JIM W SHULL & CHRISTEN SHULL request(s) the above action(s) for all or a portion of Lot(s) 5-A & 6-A, **BOSQUE PLAZA**, zoned C-1 (S-C), located on COORS BLVD NW, between LA ORILLA RD NW and RIVERSIDE PLAZA LN NW containing approximately 2 acre(s). [REF: 04DRB01784] (E-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

# 7



**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT  
INTERNAL MEMORANDUM**

**TO:** Sheran Matson, Chairperson – Development Review Board

**FROM:** David Stallworth, Planner

**COPIES TO:** Claire Senova, Development Review

**DATE:** May 24, 2005

**RE:** **PROJECT NO. 1001740, Case Number 05DRB – 00823, Global Storage – Candelaria & Chelwood Park.**

Below are my comments to numbers eight (8) through sixteen (16) of the conditions approved for the above-referenced project by the Environmental Planning Commission (04EPC – 01838) on February 17, 2004.

Condition number:

- ✓ 8. *Specifications for a solid enclosure for refuse containers in accordance with minimum solid waste requirements must be included on the site development plan. This condition appears to have been satisfactorily met.*
9. *The applicant shall be required to include pilasters spaced every fifty feet (50') along each façade that is greater than 100 feet in length. At least two faux window treatments containing mullions will be installed between interceding pilasters. See comments below.*
10. *The applicant shall include wainscoting around the building where the material and color are complementary to the overall building. See comments below.*
- ✓ 11. *The applicant shall either include a portico over the building's primary entrance or another form of building projection to accentuate and emphasize the building's entrance. The proposed design is in accordance with this condition.*
12. *The applicant shall relocate the existing wireless telecommunication facility and provide for a shaded, direct pedestrian connection from Candelaria Road. Any*

*replacement wireless telecommunication facility shall be slim-lined and stealth designed and can either be ground-based or building-mounted in accordance with §14-16-3-17 of the Zoning Code; angle towers, guy towers, conical steel monopole towers or concealed facilities utilizing faux vegetation shall not be allowed.* Given that there is a current lease agreement associated with the existing cell tower, the applicant shall include a entry on the final site plan that will consist of the following:

- a. Name of lessee(s);
- b. Termination date of all existing lease agreements, and
- c. The following statement: “The existing on-premise cellular transmission tower shall either be removed or brought into compliance with the conditions stipulated by the Environmental Planning Commission for the City of Albuquerque on February 17, 2005 upon the termination of any leases active at time of final Development Review Board approval, or any time extensions thereof.”

- ✓ 13. *Signage shall not be illuminated between the hours of 10:30 PM to 7:30 AM to minimize potential impact on the surrounding residences.* There appears to be an increase in the number of proposed signage along the Chelwood Park façade, but there are no limits to the number of wall signs in C-1. This increase should have no affect on this condition.
- ✓ 14. *On-site lighting shall be shielded to ensure downward light emission and prevent both light trespass and upward light pollution, to include any remaining parking lot light standards.* This condition appears to have been satisfactorily met.
- ✓ 15. *The applicant shall be required to demonstrate that both the pedestrian aisle between the new storage facility and the existing anchor building and the loading dock areas are properly safeguarded. Parking and loading areas in the rear shall be clearly defined on the site plan.* This condition appears to have been satisfactorily met.
- ✓ 16. *The applicant shall be required to submit a site development plan amendment to obtain a building permit for any extensive modifications, beyond façade renovation, to the existing anchor building on the site.* No comment

Comments: There are substantive changes to the proposed exterior design of the new building. Upon further examination, I do not believe that the changes warrant an administrative amendment to the EPC-approved site plan as the changes do not affect overall building size or footprint or internal site circulation, as outlined in §14-16-2-22-A-6 of the Zoning Code. Among the changes noted is the inclusion of aluminum and stucco reveals, alternating stucco textures and coloring, and different storefront glass pane treatments. It is noted, however, that the proposed color of the wainscoting is not

included, although it is referred to in the elevations (Color number four [4]?). This needs to be clarified. Additionally, I would prefer to see more faux window treatments, or strategically paced groupings thereof, along both the Candelaria and Chelwood Park elevations; although the new proposed exteriors are significantly better than the original proposal, some more window treatments will offer some relief, given its scale and massing. Given the staggering along Candelaria, emphasis should be given to the Chelwood Park elevation, although some window treatments along Candelaria would not be discouraged.

Thank you.

A handwritten signature in black ink, appearing to read "J. Stallworth". The signature is written in a cursive style with a large, looping initial "J".



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1001740**

**AGENDA ITEM NO: 7**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** May 25, 2005

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

*Submitted  
for review  
10/16/06*

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: SUJEY THAKUR PHONE: 975 - 2433  
 ADDRESS: 1000 CAMINO DEL GUSTO FAX: \_\_\_\_\_  
 CITY: SANTA FE STATE NM ZIP 87507 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_  
 AGENT (if any): CONTROLLED AIR INCORPORATED PHONE: 704-929-0827  
 ADDRESS: 5208 CHRIS CT NW (ADAM ZELLER) FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: FINAL SIGN-OFF FOR EPC APPROVED  
SD.P. FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTA Block: 31-B Unit: \_\_\_\_\_  
 Subdiv. / Addn. BRENTWOOD HILLS  
 Current Zoning: SU1 FOR C-1 R-2 Proposed zoning: SU1 FOR C-1 R-2  
 Zone Atlas page(s): H 22 No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 2.7316 ACT density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? N/A  
 UPC No. 102 205 929 253 112 545 MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: CANDELARIA RD NE & CHELWOOD BND NE  
 Between: \_\_\_\_\_ and \_\_\_\_\_ **INTERSECTION**

CASE HISTORY: David Stallworth EPC Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
PROJ.# 1001740/04 EPC - 01838

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 5-17-05  
 (Print) \_\_\_\_\_ Applicant  Agent

### FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	05 DRB - 00823	SBP	P(3)	\$ 0
<input type="checkbox"/> All fees have been collected		CMF		\$ 20.00
<input type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>5-25-05</u>			Total \$ <u>20.00</u>

Andrew Garcia 5-17-05  
 Planner signature / date

Project # 1001740

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Blue-line copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

(AGENT) ADAM Zeller  
Applicant name (print)

[Signature]  
Applicant signature / date



Form revised October 2004

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
OSDRB - - 00823  
 - - -  
 - - -

Andrew Garcia 5-17-05  
Planner signature / date

**Project #** \_\_\_\_\_

City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, NM 87103

May 17, 2005

Re: Global Storage, 12000 Candelaria NE  
Project # 1001740\*

To Development Review Board,

The conditions of the Environmental Planning Commission decision have been satisfied in the following ways:

1. This letter shall specify all modifications that have been made to the plan since the EPC hearing (see item 17), as well as address all conditions of approval.
2. The site plan has been modified to comply with all DPM Standards. The site plan's scale has been corrected.
3. A 10' wide sidewalk has been provided at the primary entrance, on the East side of the building. An additional sidewalk of 9' wide has been provided at the secondary entry. Outdoor benches have been provided at the primary entrance and the secondary entrance. Outdoor amenities for employees include the bench, exterior ash tray, and a new shade tree.
4. All requirements of previous actions taken by the EPC and/or the DRB have been completed and provided for. There have been no prior actions.
5. The proposed development affects the right-of-way in two locations, at the removal of two curb cuts. These curb cuts will be replaced with sidewalk, curb and gutter to the City Standards.

6. Meetings with the Traffic Engineer have occurred and improvements to the layout have been made including: the primary access drive pad has been widened and reconfigured to better accommodate left turns from the site. Existing parking and new parking has been clearly distinguished on the plan.
7. There is no on-site sewer in the vicinity of the development. The existing sewer is at the South edge of the property.
8. A new refuse container has been located to the approval of the Solid Waste Management Department. The solid enclosure has been sized and detailed per City Standards.
9. Building Façade improvement has been accomplished. Long wall surfaces have been reduced in scale through the use of multiple colors, reveals (sort of a reversed pilaster), and a combination of faux and actual windows.
10. Wainscoting has been provided.
11. A portico / shade structure has been integrated into the design of the Primary entrance to emphasize this area.
12. The existing wireless telecommunication facility is not abandoned, and is currently under contract.
13. Building signage will not be lit between 10:30pm and 7:30 am.
14. On-site lighting shall be sensitively designed to prevent emission and upward light pollution. Building accent lighting will be calibrated to only light the surfaces of the building and not the night sky. Existing parking light standards that remain will be modified to shield emission.
15. The aisle between the existing building and the new building has been designed and safeguarded in the following ways: A 5' access sidewalk has been provided for pedestrians. A landscaped area adjacent to the sidewalk has been included. Security lighting has been provided. Drainage has been located in an underground culvert.
16. A site development plan amendment will be submitted in the event of any extensive modifications to the site plan at the time of development of the existing anchor building.
17. Other modifications the site plan include: the North façade of the new building is "stepped" in plan view (rather than angled.) This allows for simplified construction while also reducing the apparent scale of this façade.

~END~



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 18, 2005

### OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1001740\***  
04EPC-01838 EPC Site Development Plan-  
Building Permit

Sujay Thakur-Global Storage  
1000 Camino del Gusto  
Santa Fe, NM 87507

LEGAL DESCRIPTION: for all or a portion of Lot(s) A, Block 31-B, **Brentwood Hills**, zoned SU-1 for C-1 R-2 w/ Full Service Liquor, and located at the southeast corner of CHELWOOD PARK BOULEVARD, NE and CANDELARIA ROAD, NE, containing approximately 3 acres (H-22). David Stallworth, Staff Planner

On February 17, 2005 the Environmental Planning Commission voted to approve Project 1001740/04EPC – 01838, a request for consideration and approval of a site development plan for building permit for Lot A, Block 31-B, Brentwood Hills, zoned SU-1/C-1 and R-2 w/ Full Service Liquor, based of the following Findings and subject to the following Conditions:

#### FINDINGS:

1. This is a request for consideration and approval of a site development plan for building permit on the western portion of a 2.9-acre parcel known as Lot A, Block 31-B, Brentwood Hills, zoned SU-1 for C-1 R-2 w/ Full Service Liquor, to accommodate the construction of a new mini-storage facility on the western portion of this site.
2. The proposed project, an indoor self-storage facility, can reasonably serve as a neighborhood function that will not generate significant vehicular traffic and will not encourage noxious and loud activity, as articulated in *Policy II.B.5.d* of the *City/County Comprehensive Plan*.
3. No public improvements or extensions of public utilities are required to accommodate the request, and there are transit facilities in place to adequately support a commercial development, as articulated in *Policy II.B.5.e* of the *City/County Comprehensive Plan*.

OFFICIAL NOTICE OF DECISION  
FEBRUARY 17, 2005  
PROJECT #1001740  
PAGE 2 OF 5

4. The proposed project will offer employment opportunities and services that will complement the surrounding area and provide a catalyst for subsequent positive redevelopment, as articulated under *Policies II.B.5.i* and *II.B.5.o* of the *City/County Comprehensive Plan*.
5. The proposed project shall utilize existing access points, and no new curb cuts are anticipated. The scope of the proposed project will not adversely impact the surrounding street network, as articulated in *Policy II.B.5.k* of the *City/County Comprehensive Plan*.
6. Through the adherence to imposed conditions, the proposed project shall be sensitive to, and compatible with, surrounding development, as articulated in *Policy II.B.5.l* of the *City/County Comprehensive Plan*.
7. The applicant is authorized to pursue a site development plan for building permit on the subject property.
8. There is no known public opposition to the request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Site plan shall comply and be designed per DPM Standards. The applicant shall revise the site plan to reflect correct scales and measurements.
3. The applicant shall include ten-foot (10') wide pedestrian sidewalks along the major facades containing primary entrances for both proposed and existing buildings, provide outdoor seating for each facade greater than 100 feet in length, and include adequate outdoor amenities for employees on a revised site plan prior to DRB approval.
4. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

5. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
6. To the satisfaction of the Traffic Engineer, the applicant will need to provide: existing parking vs. new parking clearly labeled (circulation patterns as shown will need to be modified), how the site/Tract A will be accessed (i.e. to storage, retail, solid waste, emergency, etc.), information about median access to Candelaria and/or Chelwood Park and Tract B site plan (i.e. parking, access and circulation). This information is required, so that the site can be reviewed and recommendations made prior to DRB.
7. The on-site sewer, if existing and active, must be relocated to the Chelwood Park right-of-way as part of the site development.
8. Specifications for a solid enclosure for refuse containers in accordance with minimum solid waste requirements must be included on the site development plan.
9. The applicant shall be required to include pilasters spaced every fifty feet (50') along each façade that is greater than 100 feet in length. At least two faux window treatments containing mullions will be installed between interceding pilasters.
10. The applicant shall include wainscoting around the building where the material and color are complementary to the overall building.
11. The applicant shall either include a portico over the building's primary entrance or another form of building projection to accentuate and emphasize the building's entrance.
12. The applicant shall relocate the existing wireless telecommunication facility and provide for a shaded, direct pedestrian connection from Candelaria Road. Any replacement wireless telecommunication facility shall be slim-lined and stealth designed and can either be ground-based or building-mounted in accordance with §14-16-3-17 of the Zoning Code; angle towers, guy towers, conical steel monopole towers or concealed facilities utilizing faux vegetation shall not be allowed.
13. Signage shall not be illuminated between the hours of 10:30 PM to 7:30 AM to minimize potential impact on the surrounding residences.
14. On-site lighting shall be shielded to ensure downward light emission and prevent both light trespass and upward light pollution, to include any remaining parking lot light standards.



OFFICIAL NOTICE OF DECISION  
FEBRUARY 17, 2005  
PROJECT #1001740  
PAGE 4 OF 5

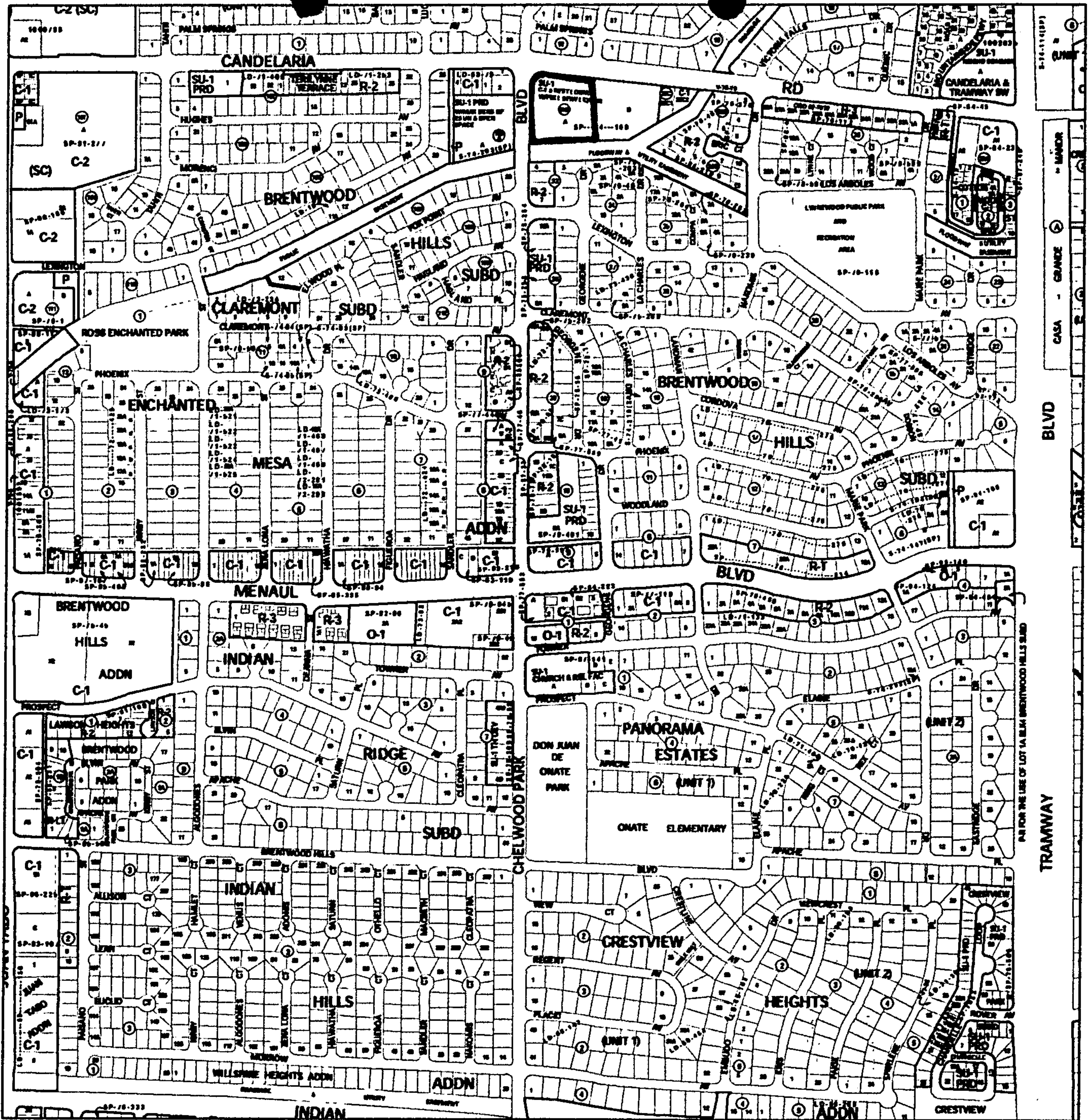
15. The applicant shall be required to demonstrate that both the pedestrian aisle between the new storage facility and the existing anchor building and the loading dock areas are properly safeguarded. Parking and loading areas in the rear shall be clearly defined on the site plan.
16. The applicant shall be required to submit a site development plan amendment to obtain a building permit for any extensive modifications, beyond façade renovation, to the existing anchor building on the site.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 4, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

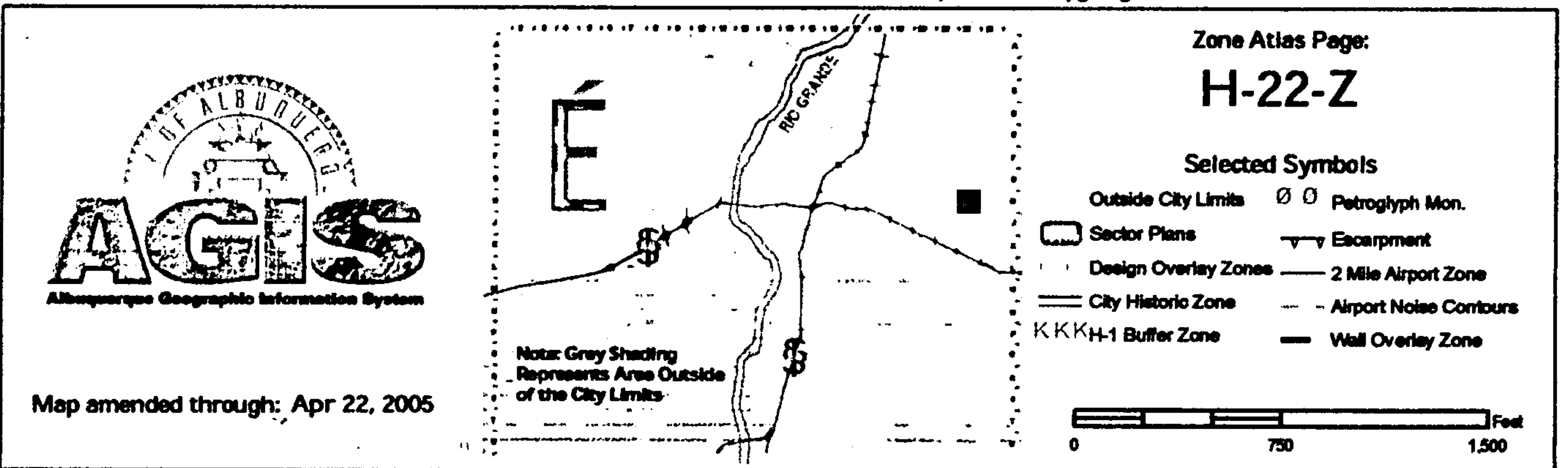
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC



For more current information and more details visit: <http://www.cabq.gov/gis>



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Sujey Thakur  
AGENT Controlled Ari Incorporated  
ADDRESS 5208 Chris Ct. NW  
PROJECT & APP # 1001740 / 05 DRB 00823  
PROJECT NAME Global Storage

\$ 20.00 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

5/17/2005 10:45AM LOC: ANHX  
RECEIPT# 00040493 WSH 008 TRANSH 0006  
Account 441032 Fund 0110  
Activity 3424000 TRSCCS  
Trans Amt \$20.00  
J24 Misc \$20.00  
VI \$20.00  
CHANGE \$0.00