

**Zone Atlas E-19-Z**

N.T.S.

**Indexing Information**

Projected Section 30, Township 11 North, Range 4 East,  
 N.M.P.M. into the Elena Gallegos Grant  
 Subdivision: North Town Plaza  
 Owner: Weingarten Realty Investors (Tract A-1)  
 WRI North Towne LLC % Weingarten Realty  
 Investors (Tract A-4)  
 UPC #: 101906234309740407 (Tract A-1)  
 101906238406240402 (Tract A-4)

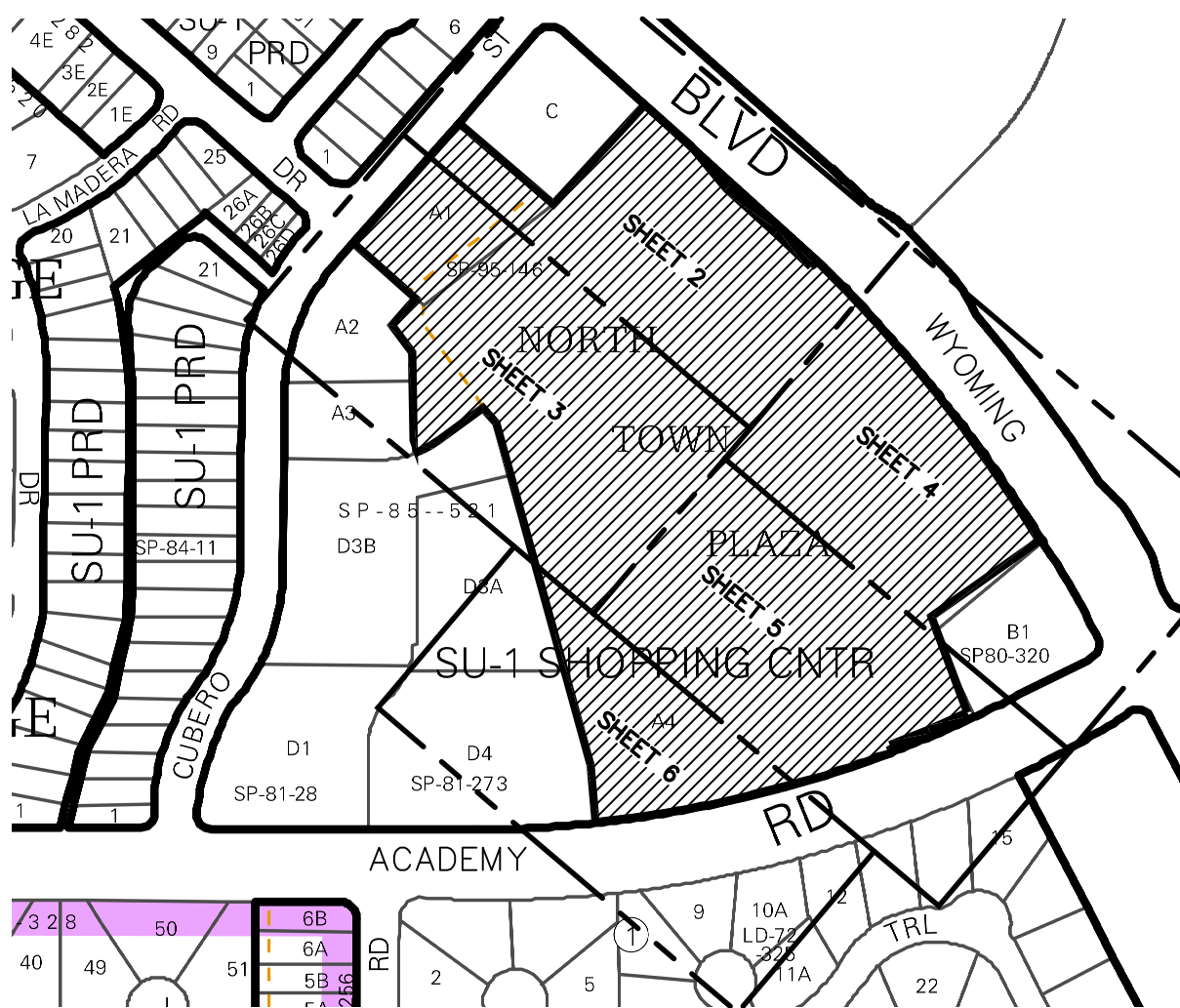
**Boundary Survey  
 for  
 Tracts A-1 and A-4  
 North Town Plaza  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 November 2016**

**Legal Description**

TRACTS A-1 AND A-4 OF NORTH TOWN PLAZA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF TRACT A, NORTH TOWN PLAZA FOR TRACTS A-1 THROUGH A-4, NORTH TOWN PLAZA, SITUATE WITHIN SECTION 30, T. 10 N., R. 2 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1995", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 27, 1995, IN BOOK 95C, PAGE 234.

**Apparent Encroachments**

A BUILDING INTO P.U.E. BY AS MUCH AS 0.20 FEET, SEE SHEET 2.



**Map Key**

N.T.S.

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP NO. 35001C0143G.

**Documents**

1. TITLE SEARCH AND REPORT FOR TRACT A-1 PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-33662 AND DATED NOVEMBER 1, 2016.
2. TITLE SEARCH AND REPORT FOR TRACT A-4 PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-33663 AND DATED OCTOBER 28, 2016.
3. PLAT OF NORTH TOWN PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 27, 1995, IN BOOK 95C, PAGE 234.
4. PLAT OF NORTH TOWN PLAZA, TRACTS A THRU D, BEING A REPLAT OF TRACTS A & B, BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 19, 1979, IN BOOK C16, PAGE 26.
5. PLAT OF BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 28, 1970, IN BOOK D4, PAGE 76.
6. SUMMARY PLAT OF TRACTS B-1 AND B-2, BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 30, 1980, IN BOOK C17, PAGE 83.
7. PLAT OF TRACTS D-3-A, D-3-B & D-4, NORTH TOWNE PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 17, 1981, IN BOOK C18, PAGE 181.
8. PLAT OF AMENDED TRACTS D-3-A & D-3-B, NORTH TOWNE PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 6, 1985, IN BOOK C29, PAGE 12.
9. REPLAT OF TRACTS D-1 & D-20 OF THE AMENDED REPLAT OF TRACT D, NORTH TOWN PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JANUARY 27, 1981, IN BOOK C17, PAGE 195.

**Notes**

1. FIELD SURVEY PERFORMED IN NOVEMBER 2015 AND SUPPLEMENTAL DATA IN NOVEMBER 2016.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND), USING GROUND TO GRID FACTOR OF 0.999653293.

**Surveyor's Certificate**

I, Will Plotner Jr., New Mexico Professional Surveyor No. 14271, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

Will Plotner Jr. 11/14/16  
 Will Plotner Jr. Date  
 N.M.R.P.S. No. 14271



**CARTESIAN SURVEYS INC.**

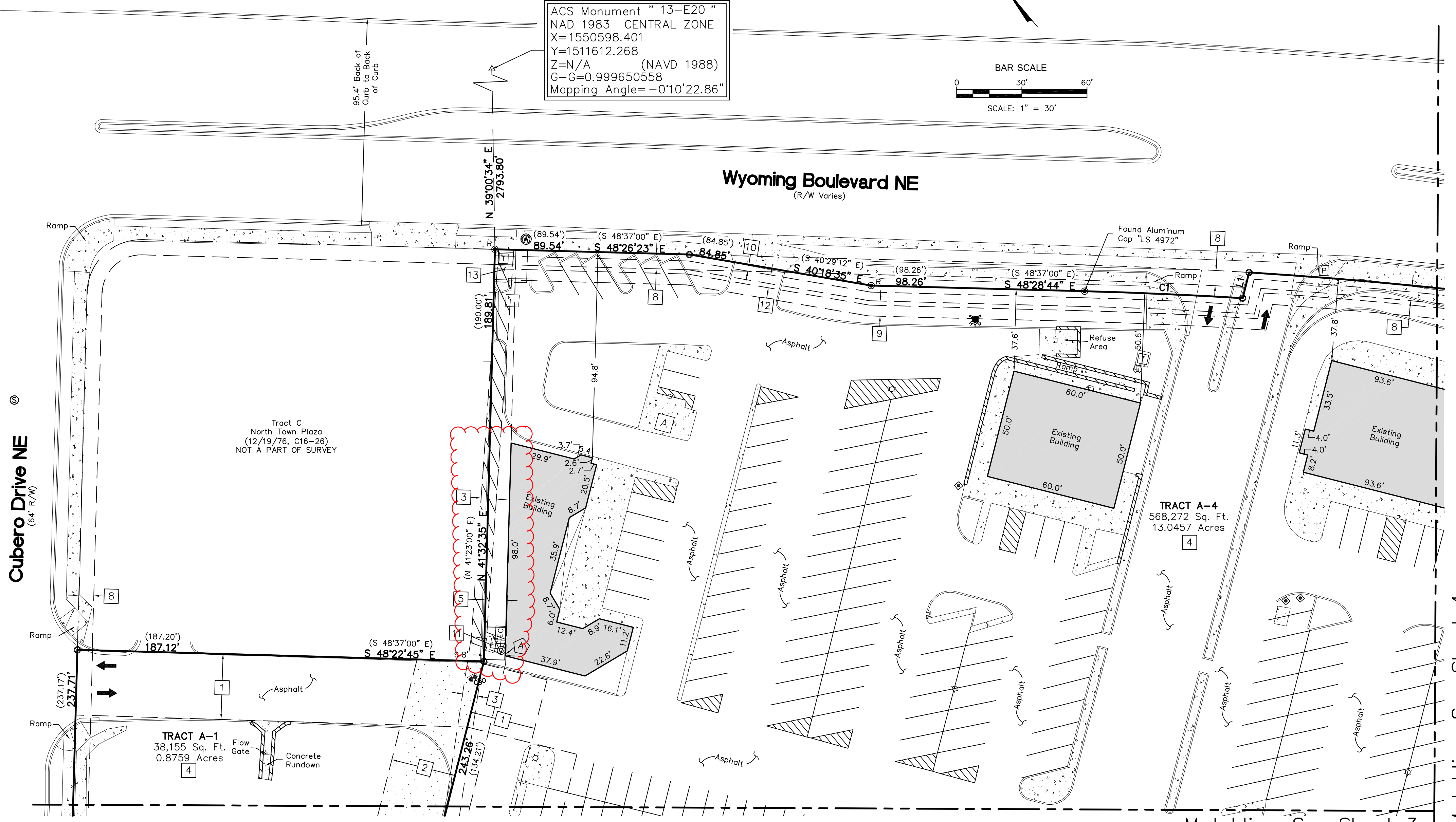
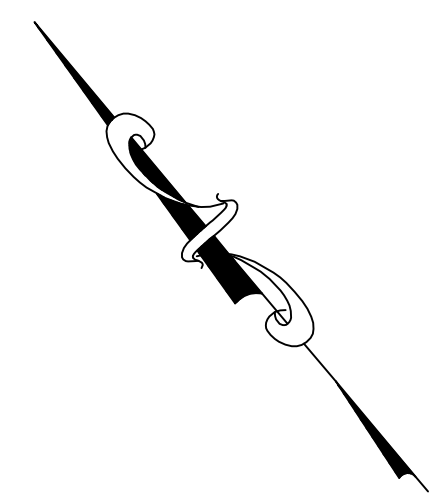
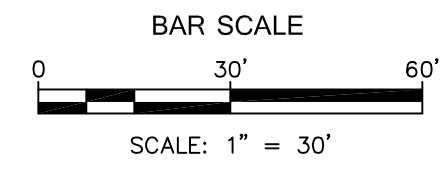
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896 - 3050 Fax (505) 891 - 0244

**Boundary Survey**  
for  
**Tracts A-1 and A-4**  
**North Town Plaza**  
City of Albuquerque  
Bernalillo County, New Mexico  
November 2016

Line Table		
Line #	Direction	Length (ft)
L1	N 54°08'59" E (N 54°00'02" E)	12.21' (12.21')

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	72.77' (72.77')	2110.09' (2110.09')	1°58'33"	72.77'	S 47°28'46" E

ACS Monument " 13-E20 "  
NAD 1983 CENTRAL ZONE  
X=1550598.401  
Y=1511612.268  
Z=N/A (NAVD 1988)  
C-C=0.999650558  
Mapping Angle=-0°10'22.86"



©  
**Cubero Drive NE**  
(64' R/W)

Tract C  
North Town Plaza  
(12/19/76, C16-26)  
NOT A PART OF SURVEY

**TRACT A-4**  
568,272 Sq. Ft.  
13.0457 Acres

**TRACT A-1**  
38,155 Sq. Ft.  
0.8759 Acres

-See Sheet 5 for Legend  
-See Sheet 6 for Easement Notes

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Matchline-See Sheet 4

Matchline-See Sheet 3



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for  
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November 2016

Line Table		
Line #	Direction	Length (ft)
L3	N 39°58'36" W (N 35°59'58" W)	19.26' (20.66')
L4	N 35°53'12" W (N 36°03'07" W)	49.26' (49.26')
L5	N 41°33'21" E (N 41°23'26" E)	53.23' (53.24')

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C5	46.21' (45.88')	172.40' (172.40')	15°21'31"	46.07'	S 61°56'08" W

Matchline—See Sheet 2

**Cubero Drive NE**  
(64' R/W)

**TRACT A-1**  
38,155 Sq. Ft.  
0.8759 Acres

**TRACT A-4**  
568,272 Sq. Ft.  
13.0457 Acres

Tract A-2  
North Towne Plaza  
(6/27/95, 95C-234)

Tract A-3  
North Towne Plaza  
(6/27/95, 95C-234)

Tract D-3-B  
North Towne Plaza  
(12/6/85, C29-12)

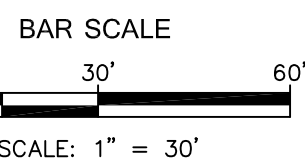
Tract D-3-A  
North Towne Plaza  
(12/6/85, C29-12)

Matchline—See Sheet 4

Matchline—See Sheet 5

Matchline—See Sheet 6

—See Sheet 5 for Legend  
—See Sheet 6 for Easement Notes

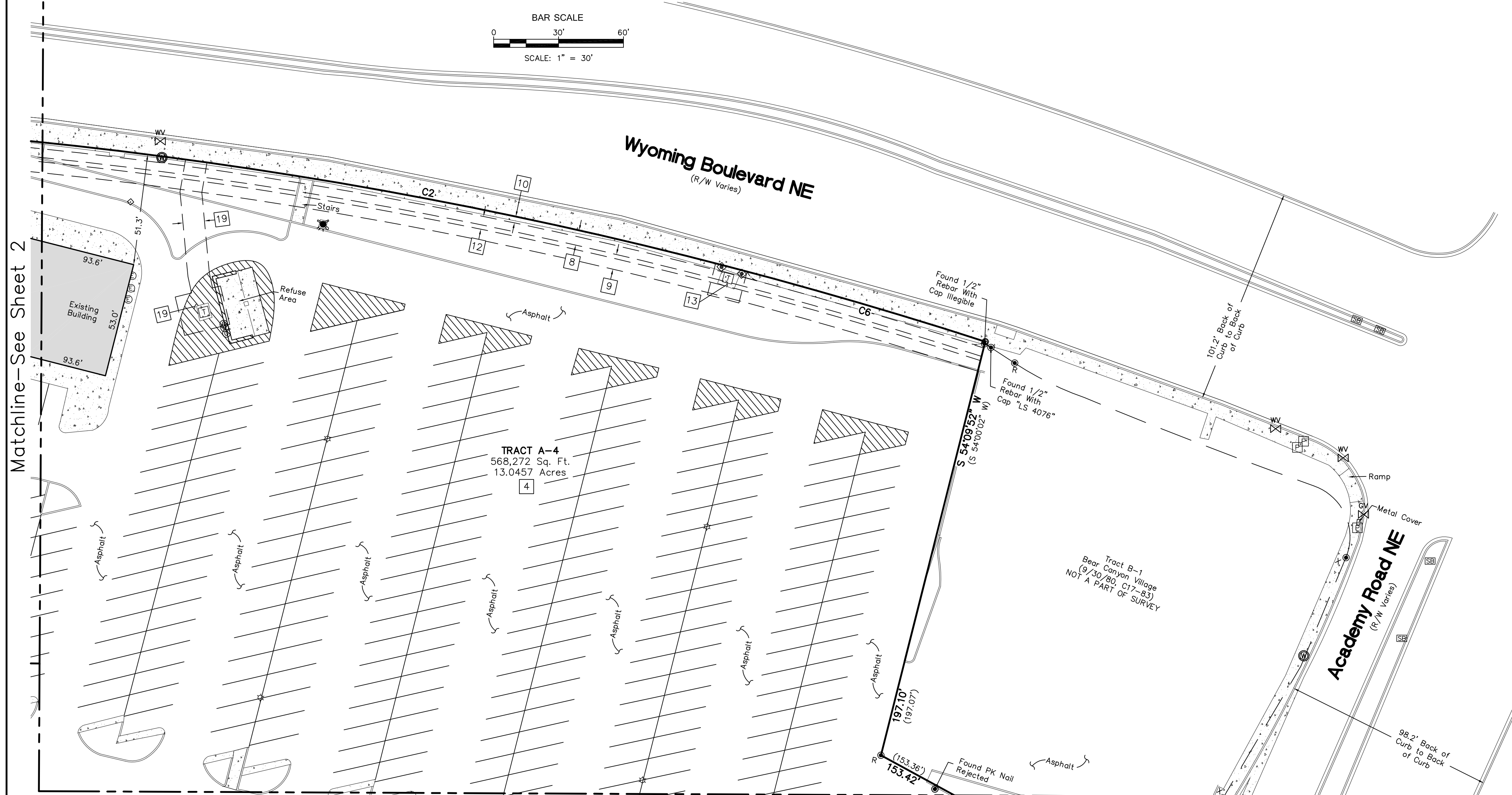
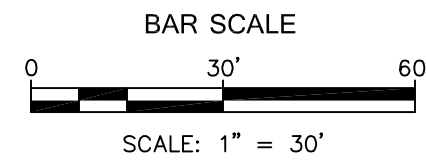
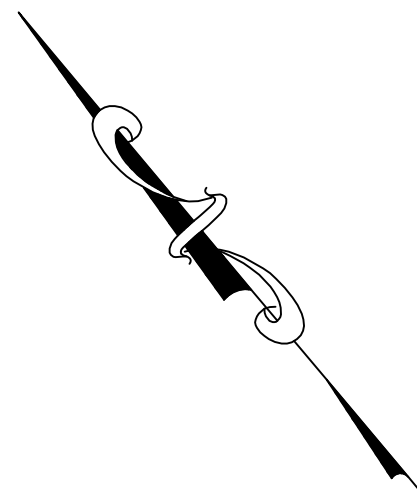


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Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C2	532.96' (532.96')	2122.09' (2122.09')	14°23'23"	531.56'	S 39°14'09" E
C6	114.76'	2122.09' (2122.09')	3°05'55"	114.75'	N 33°35'25" W



Matchline—See Sheet 2

Matchline—See Sheet 5

—See Sheet 5 for Legend  
—See Sheet 6 for Easement Notes

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**Legend**

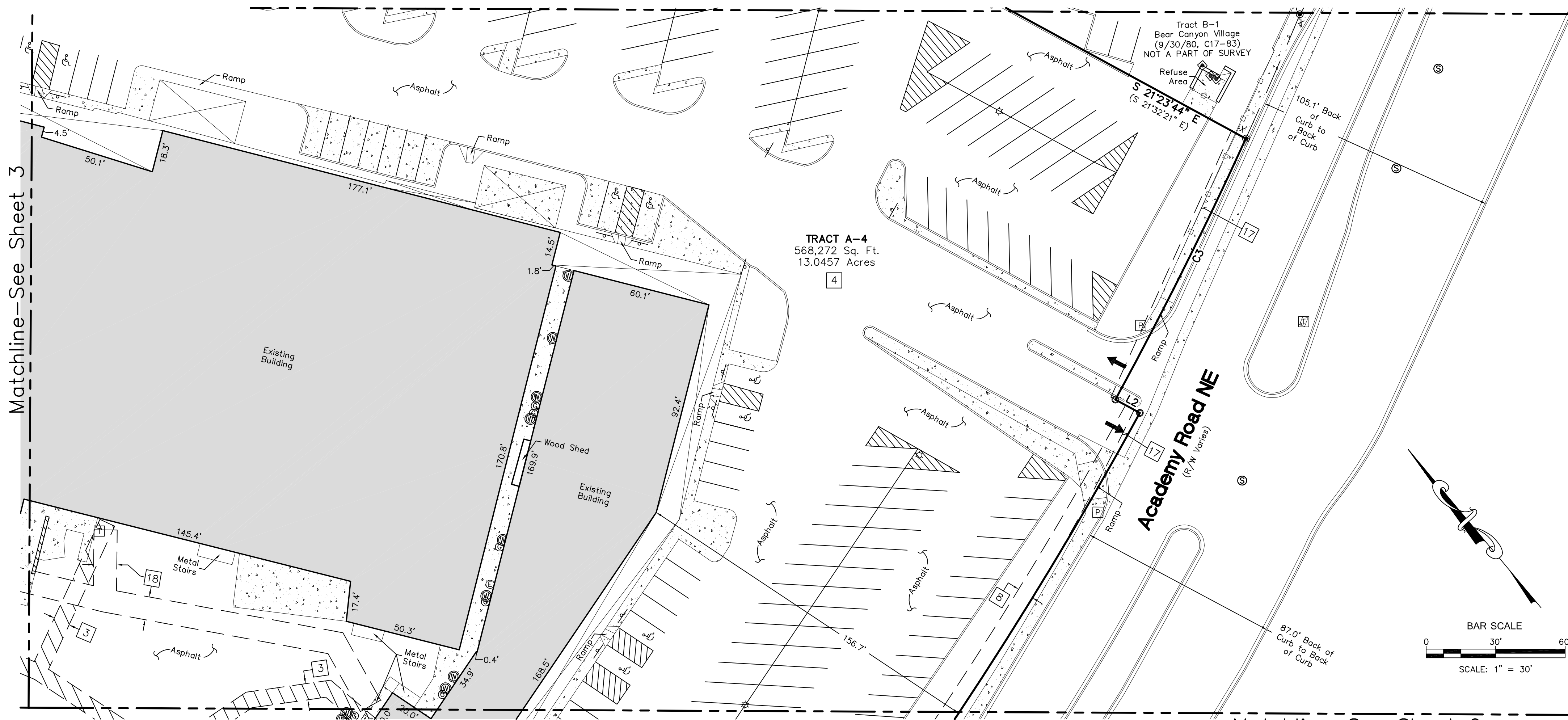
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES	P	PULL BOX	⊙	SANITARY SEWER MANHOLE
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (6/27/95, 95C-234)	☆	LIGHT POLE	⊙∞	SAS CLEANOUT
●	FOUND MONUMENT AS INDICATED	⊙	ELECTRIC METER	↔	CURB CUT/INDICATION OF ACCESS TO ROADWAY
● <sup>R</sup>	FOUND 5/8" REBAR	T	TRANSFORMER	□	UTILITY PEDESTAL
● <sup>X</sup>	FOUND CHISELED "X"	EC	ELECTRIC CABINET		
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED	SB	SIGNAL BOX		
⊠	COVERED AREA	A	ATM		
▨	CONCRETE	⊙	GAS METER		
▨▨▨	BLOCK WALL	⊙V	GAS VALVE		
—□—	METAL FENCE	⊙W	WATER VALVE		
—//—	WOOD FENCE	⊙M	WATER METER		
□	BOLLARD	⊙F	FIRE HYDRANT		
		⊙D	ROOF DRAIN		

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for  
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Line Table		
Line #	Direction	Length (ft)
L2	S 21°22'04" E (S 21°32'21" E)	12.00' (12.00')

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C3	125.91' (126.11')	1740.00' (1740.00')	4°08'46"	125.89'	S 66°33'33" W

Matchline—See Sheet 4



Matchline—See Sheet 3

Matchline—See Sheet 6

—See Sheet 6 for Easement Notes

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**Easement Notes**

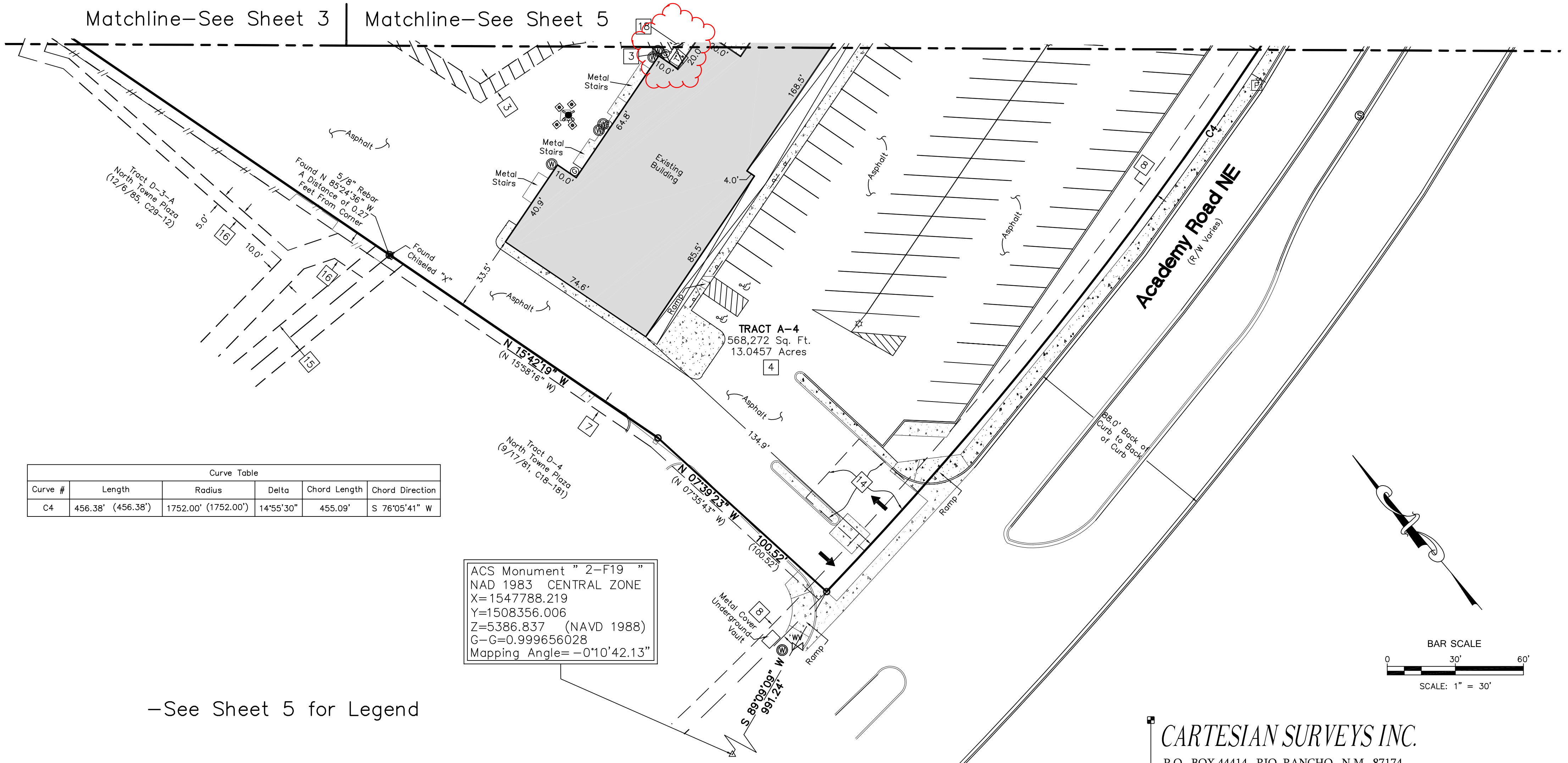
- 1 EXISTING 30' PRIVATE CROSS ACCESS EASEMENT (6/27/95, 95C-234)
- 2 EXISTING PRIVATE DRAINAGE EASEMENT (6/27/95, 95C-234) SHOWN HEREON AS  THIS AREA SUBJECT TO DRAINAGE COVENANTS (3/6/96, BK. 96-6, PG. 8425-8469)
- 3 EXISTING 7' UNDERGROUND PNM & MST&T EASEMENT (10/31/78, BK. MISC. 648, PG. 6-7) WAIVED AND RELEASED BY PNM (4/10/97, BK. 97-9, PG. 8596) THAT PORTION RELEASED BY PNM SHOWN HEREON AS
- 4 EXISTING RECIPROCAL ACCESS, UTILITY, PARKING PEDESTRIAN EASEMENT (7/6/77, BK. MISC. 545, PG. 452-478) AND AMENDED (2/15/90, BCR 90-3, PG. 4249-4268)
- 5 EXISTING 10' P.U.E. (6/27/95, 95C-234)
- 6 EXISTING 24' PRIVATE ACCESS AND DRAINAGE EASEMENT (6/27/95, 95C-234)
- 7 EXISTING 5' EASEMENT FOR LANDSCAPING AND IRRIGATION PURPOSES (1/27/81, C17-195)
- 8 EXISTING 7' UTILITY EASEMENT (12/19/79, C16-26)
- 9 EXISTING 7' P.U.E. (6/27/95, 95C-234)
- 10 EXISTING 3' PUBLIC ROADWAY EASEMENT (6/27/95, 95C-234)

**Easement Notes (Cont'd)**

- 11 EXISTING 15' X 9.6' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- 12 EXISTING 6' PUBLIC SIDEWALK EASEMENT (6/27/95, 95C-234)
- 13 EXISTING 15' X 15' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- 14 EXISTING 35' X 35' WATERLINE EASEMENT (9/6/77, BK. MISC. 557, PG. 141-143)
- 15 EXISTING 14' UTILITY EASEMENT (9/17/81, C18-181)
- 16 EXISTING UTILITY EASEMENT, WIDTHS SHOWN HEREON (12/6/85, C29-12)
- 17 EXISTING NON EXCLUSIVE PERMANENT EASEMENT FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF ROADWAY AND UTILITY IMPROVEMENTS (4/14/93, BK. 93-9, PG. 3674)
- 18 EXISTING 10' PNM & USWEST COMMUNICATIONS, INC EASEMENT (4/10/97, BK. 97-9, PG. 8605)
- 19 EXISTING 10' PNM EASEMENT (1/21/2016, DOC. NO. 2016006289 AND 2016006290)

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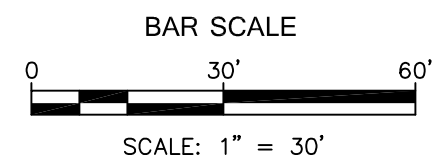
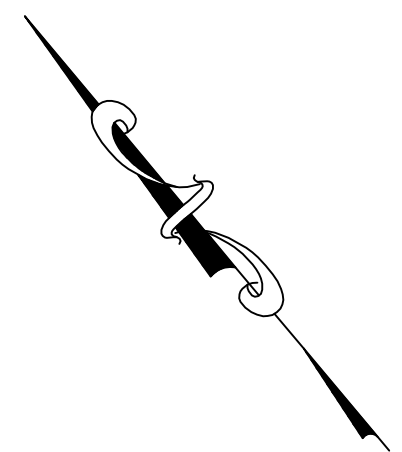
Matchline—See Sheet 3 | Matchline—See Sheet 5



Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C4	456.38' (456.38')	1752.00' (1752.00')	14°55'30"	455.09'	S 76°05'41" W

ACS Monument " 2-F19 "  
NAD 1983 CENTRAL ZONE  
X=1547788.219  
Y=1508356.006  
Z=5386.837 (NAVD 1988)  
G-C=0.999656028  
Mapping Angle= -0°10'42.13"

—See Sheet 5 for Legend



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