

Zone Atlas E-19-Z
N.T.S.

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.

Legal Description

TRACTS A-1 AND A-4 OF NORTH TOWN PLAZA, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "REPLAT OF TRACT A, NORTH TOWN PLAZA FOR TRACTS A-1 THROUGH A-4, NORTH TOWN PLAZA, SITUATE WITHIN SECTION 30, T. 10 N., R. 2 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1995", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 27, 1995, IN BOOK 95C, PAGE 234.

Free Consent

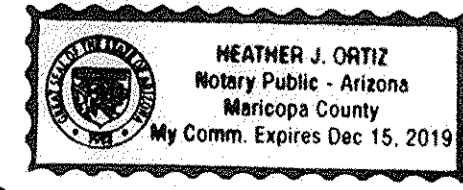
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF DO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SCOTT A. HENSON, AS REGIONAL DIRECTOR CONSTRUCTION
WEINGARTEN REALTY INVESTORS

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON JANUARY 5, 2017
BY: SCOTT A. HENSON, AS REGIONAL DIRECTOR CONSTRUCTION, WEINGARTEN REALTY INVESTORS

By: *Heather J. Ortiz*
NOTARY PUBLIC



MY COMMISSION EXPIRES DECEMBER 15, 2019

Indexing Information

Projected Section 30, Township 11 North, Range 4 East, N.M.P.M. into the Elena Gallegos Grant
Subdivision: North Town Plaza
Owner: Weingarten Realty Investors (Tract A-1)
WRI North Towne LLC % Weingarten Realty Investors (Tract A-4)
UPC #: 101906234309740407 (Tract A-1)
101906238406240402 (Tract A-4)

Subdivision Data

GROSS ACREAGE.....13.9216 ACRES
ZONE ATLAS PAGE NO.....E-19-Z
NUMBER OF EXISTING LOTS.....2
NUMBER OF LOTS CREATED.....2
MILES OF FULL-WIDTH STREETS.....0.000 MILES
MILES OF HALF-WIDTH STREETS.....0.000 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE.....0.000 ACRES
DATE OF SURVEY.....NOVEMBER 2016

Notes

1. FIELD SURVEY PERFORMED IN AUGUST 2015 AND SUPPLEMENTAL DATA IN NOVEMBER 2016.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND) USING GROUND TO GRID FACTOR OF 0.999651505.
4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS
5. THE ACTUAL EAST SIDE OF THE EASEMENT [21] IS LENGTHENED TO TERMINATE AT THE EAST END OF EASEMENT [20].
6. THE ACTUAL SIDES OF THE EASEMENT [21] EITHER SHORTENED OR LENGTHENED TO TERMINATE AT THE FACE OF THE BUILDING.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Documents

1. TITLE SEARCH AND REPORT FOR TRACT A-1 PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-33662 AND DATED NOVEMBER 1, 2016.
2. TITLE SEARCH AND REPORT FOR TRACT A-4 PROVIDED BY STEWART TITLE, HAVING FILE NO. 01147-33663 AND DATED OCTOBER 28, 2016.
3. PLAT OF NORTH TOWN PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 27, 1995, IN BOOK 95C, PAGE 234.
4. PLAT OF NORTH TOWN PLAZA, TRACTS A THRU D, BEING A REPLAT OF TRACTS A & B, BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 19, 1979, IN BOOK C16, PAGE 26.
5. PLAT OF BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 28, 1970, IN BOOK D4, PAGE 76.
6. SUMMARY PLAT OF TRACTS B-1 AND B-2, BEAR CANYON VILLAGE, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 30, 1980, IN BOOK C17, PAGE 83.
7. PLAT OF TRACTS D-3-A, D-3-B & D-4, NORTH TOWNE PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON SEPTEMBER 17, 1981, IN BOOK C18, PAGE 181.
8. PLAT OF AMENDED TRACTS D-3-A & D-3-B, NORTH TOWNE PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 6, 1985, IN BOOK C29, PAGE 12.
9. REPLAT OF TRACTS D-1 & D-20 OF THE AMENDED REPLAT OF TRACT D, NORTH TOWN PLAZA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JANUARY 27, 1981, IN BOOK C17, PAGE 195.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC

~~1019-062-384-062-1042~~ and ~~1019-062-343-097-40401~~

PROPERTY OWNER OF RECORD

~~WRI NORTH TOWN & WEINGARTEN REALTY INVESTORS~~

BERNALILLO COUNTY TREASURER'S OFFICE
[Signature]

**Plat for
Tracts A-1A and A-4A
North Town Plaza
Being Comprised of
Tracts A-1 and A-4
North Town Plaza
City of Albuquerque
Bernalillo County, New Mexico
December 2016**

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number: 1001754

Application Number: 17DRB-70002

Plat Approvals:

- Leonardo Vigil* 1-11-17
PNM Electric Services
- Greg [Signature]* 1-11-17
Quest Corp d/b/a CenturyLink QC
- Chris [Signature]* 1-11-17
New Mexico Gas Company
- [Signature]* 1/11/17
Comcast

City Approvals:

- Scott M. Risenhoover P.E.* 1/9/17
City Surveyor
- Roguel M. Weir* 1/18/17
Traffic Engineer
- Thilo [Signature]* 01-18-17
ABCWUA
- Carol S. Demont* 1-18-17
Parks and Recreation Department
- [Signature]* 1-18-17
AMAFCA
- [Signature]* 1-18-17
City Engineer
- [Signature]* 2-1-17
DRB Chairperson, Planning Department

Surveyor's Certificate

"I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 12/21/16
Will Plotner Jr. Date
N.M.R.P.S. No. 14271

CARTESIAN SURVEYS INC.

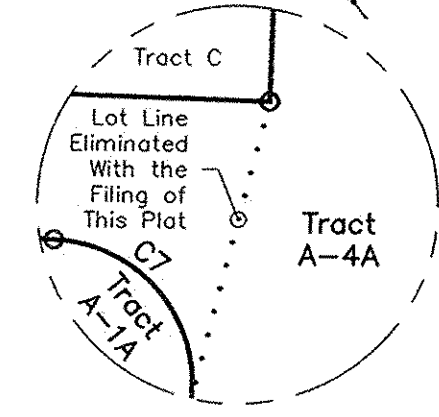
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



This Sheet Shows Existing and Vacated Easements Only

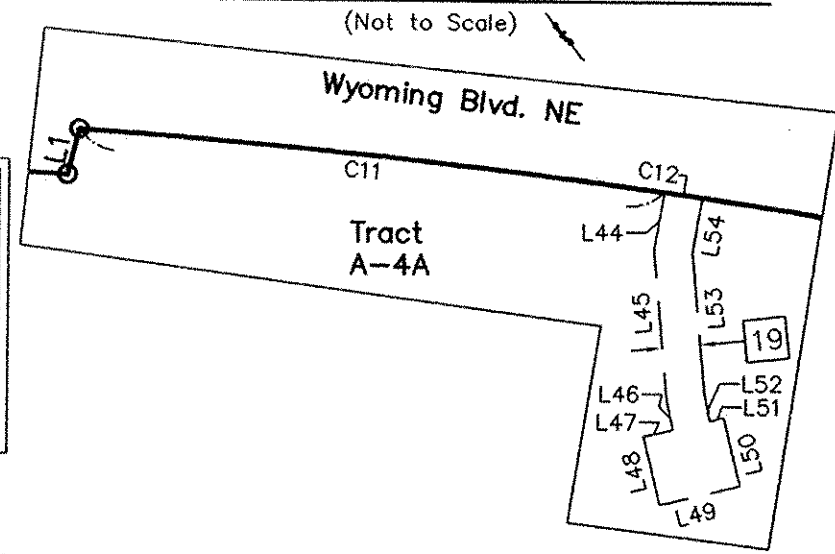
Plat for Tracts A-1A and A-4A North Town Plaza
 Being Comprised of Tracts A-1 and A-4 North Town Plaza
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2016

Detail G
(Not to Scale)

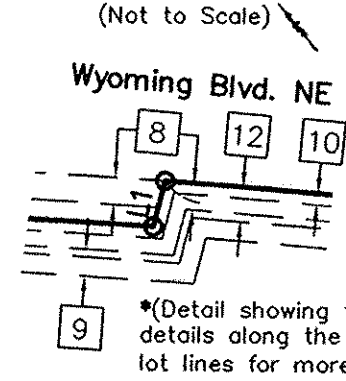


ACS Monument "13-E20"
 NAD 1983 CENTRAL ZONE
 X=1550598.401
 Y=1511612.268
 Z=N/A (NAVD 1988)
 G-G=0.999650558
 Mapping Angle=-0°10'22.86"

Detail for Easement 19
(Not to Scale)



Detail F *
(Not to Scale)



(Detail showing the details along the northern lot lines for more clarity)

Line Table*		
Line #	Direction	Length (ft)
L44	N 49°45'10" E	15.11'
L45	N 34°40'54" E	39.45'
L46	N 27°31'00" E	7.74'
L47	S 63°41'34" E	7.77'
L48	N 26°18'12" E	18.26'
L49	N 63°41'38" W	21.50'
L50	S 26°18'22" W	18.26'
L51	S 63°41'33" E	3.73'
L52	S 27°31'06" W	6.90'
L53	S 34°40'51" W	37.50'
L54	S 49°45'19" W	14.13'

Curve Table*					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C11	153.43'	2122.09'	4°08'33"	153.40'	N 44°21'34" W
C12	10.01'	2122.09'	0°16'13"	10.01'	N 42°09'11" W

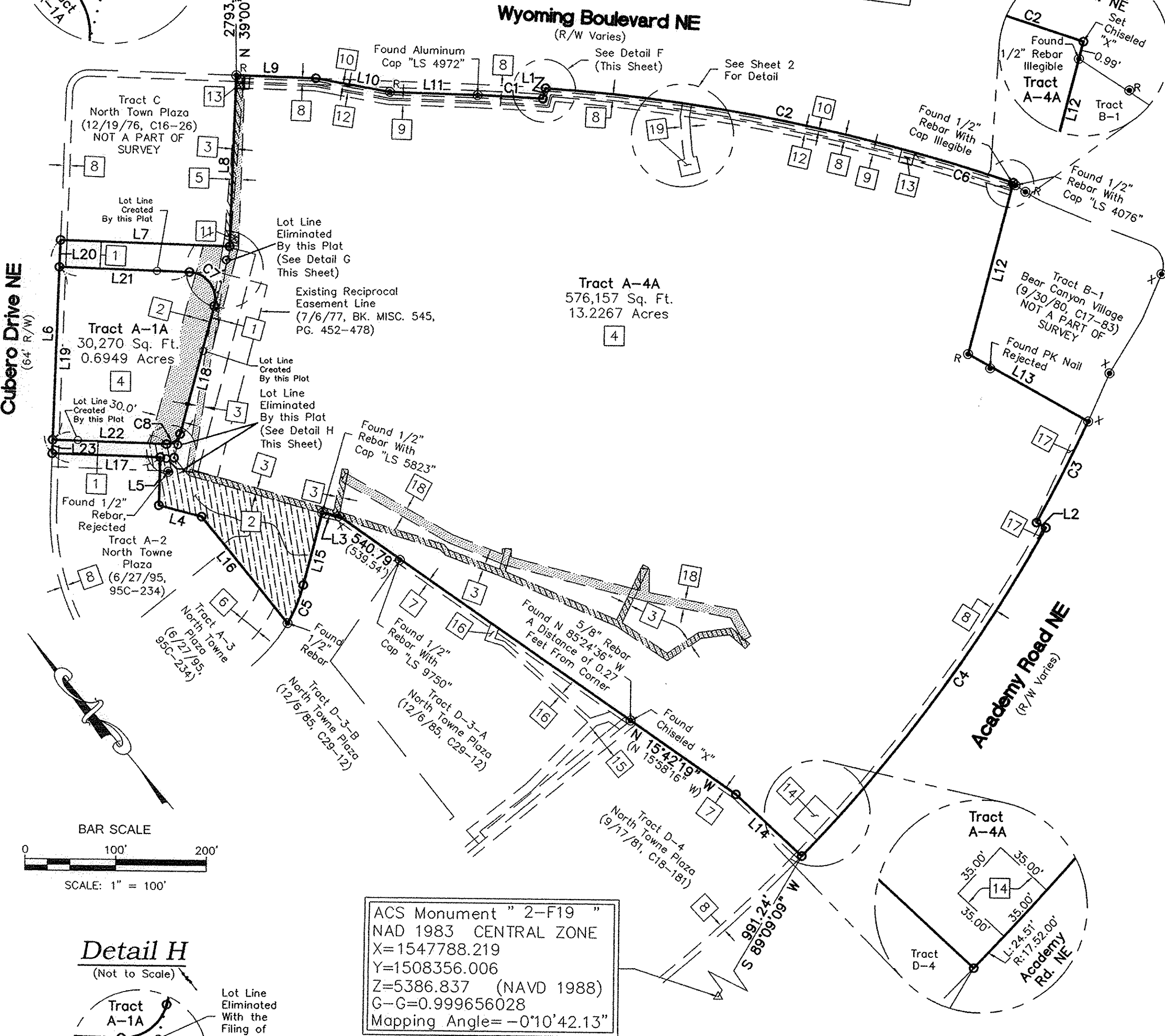
Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (6/27/95, 95C-234)
●	FOUND MONUMENT AS INDICATED
⊙	FOUND 5/8" REBAR
⊗	FOUND CHISELED "X"
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
.....	LOT LINE ELIMINATED BY THIS PLAT

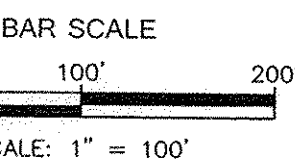
* This Line Table and Curve Table only shows the measurements for the easements on this sheet only. See Sheet 3 for more Line and Curve Tables

Easement Notes

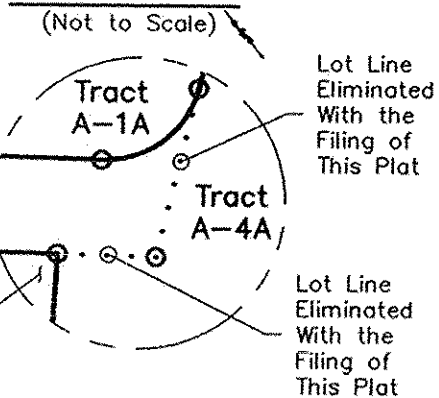
- EXISTING 30' PRIVATE CROSS ACCESS EASEMENT (6/27/95, 95C-234)
- EXISTING PRIVATE DRAINAGE EASEMENT (6/27/95, 95C-234) THIS AREA SUBJECT TO DRAINAGE COVENANTS (3/6/96, BK. 96-6, PG. 8425-8469) SHOWN HEREON AS [diagram], THOSE PORTIONS VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [diagram]
- EXISTING 7' UNDERGROUND PNM & MST&T EASEMENT (10/31/78, BK. MISC. 648, PG. 6-7) WAIVED AND RELEASED BY PNM (4/10/97, BK. 97-9, PG. 8596) THAT PORTION RELEASED BY PNM SHOWN HEREON AS [diagram]
- EXISTING RECIPROCAL ACCESS, UTILITY, PARKING PEDESTRIAN EASEMENT (7/6/77, BK. MISC. 545, PG. 452-478) AND AMENDED (2/15/90, BCR 90-3, PG. 4249-4268)
- EXISTING 10' P.U.E. (6/27/95, 95C-234) VACATED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [diagram]
- EXISTING 24' PRIVATE ACCESS AND DRAINAGE EASEMENT (6/27/95, 95C-234)
- EXISTING 5' EASEMENT FOR LANDSCAPING AND IRRIGATION PURPOSES (1/27/81, C17-195)
- EXISTING 7' UTILITY EASEMENT (12/19/79, C16-26)
- EXISTING 7' P.U.E. (6/27/95, 95C-234)
- EXISTING 3' PUBLIC ROADWAY EASEMENT (6/27/95, 95C-234)
- EXISTING 15' X 9.6' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- EXISTING 6' PUBLIC SIDEWALK EASEMENT (6/27/95, 95C-234)
- EXISTING 15' X 15' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- EXISTING 35' X 35' WATERLINE EASEMENT (9/6/77, BK. MISC. 557, PG. 141-143)
- EXISTING 14' UTILITY EASEMENT (9/17/81, C18-181)
- EXISTING UTILITY EASEMENT, WIDTHS SHOWN HEREON (12/6/85, C29-12)
- EXISTING NON EXCLUSIVE PERMANENT EASEMENT FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF ROADWAY AND UTILITY IMPROVEMENTS (4/14/93, BK. 93-9, PG. 3674)
- EXISTING 10' PNM & USWEST COMMUNICATIONS, INC EASEMENT (4/10/97, BK. 97-9, PG. 8605) VACATED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [diagram]
- EXISTING 10' PNM EASEMENT (1/21/2016, DOC. NO. 2016006289 AND 2016006290)



Tract A-4A
 576,157 Sq. Ft.
 13.2267 Acres



Detail H
(Not to Scale)



ACS Monument "2-F19"
 NAD 1983 CENTRAL ZONE
 X=1547788.219
 Y=1508356.006
 Z=5386.837 (NAVD 1988)
 G-G=0.999656028
 Mapping Angle=-0°10'42.13"

**This Sheet Shows All
Remaining Easements
and Granted Easements
After Platting Actions**

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (6/27/95, 95C-234)
⊙	FOUND MONUMENT AS INDICATED
⊙ ^R	FOUND 5/8" REBAR
⊙ ^X	FOUND CHISELED "X"
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED

ACS Monument " 13-E20 "
NAD 1983 CENTRAL ZONE
X=1550598.401
Y=1511612.268
Z=N/A (NAVD 1988)
G-G=0.999650558
Mapping Angle=-0°10'22.86"

Line #	Direction	Length (ft)
L1	N 54°08'59" E (N 54°00'02" E)	12.21' (12.21')
L2	S 21°22'04" E (S 21°32'21" E)	12.00' (12.00')
L3	N 39°58'36" W (N 35°59'58" W)	19.26' (20.66')
L4	N 35°53'12" W (N 36°03'07" W)	49.26' (49.26')
L5	N 41°33'21" E (N 41°23'26" E)	53.23' (53.24')
L6	N 41°32'55" E (N 41°23'00" E)	237.71' (237.17')
L7	S 48°22'45" E (S 48°37'00" E)	187.12' (187.20')
L8	N 41°32'35" E (N 41°23'00" E)	189.81' (190.00')
L9	S 48°26'23" E (S 48°37'00" E)	89.54' (89.54')
L10	S 40°18'35" E (S 40°29'12" E)	84.85' (84.85')
L11	S 48°28'44" E (S 48°37'00" E)	98.26' (98.26')
L12	S 54°09'52" W (S 54°00'02" W)	197.10' (197.07')
L13	S 21°23'44" E (S 21°32'21" E)	153.42' (153.36')

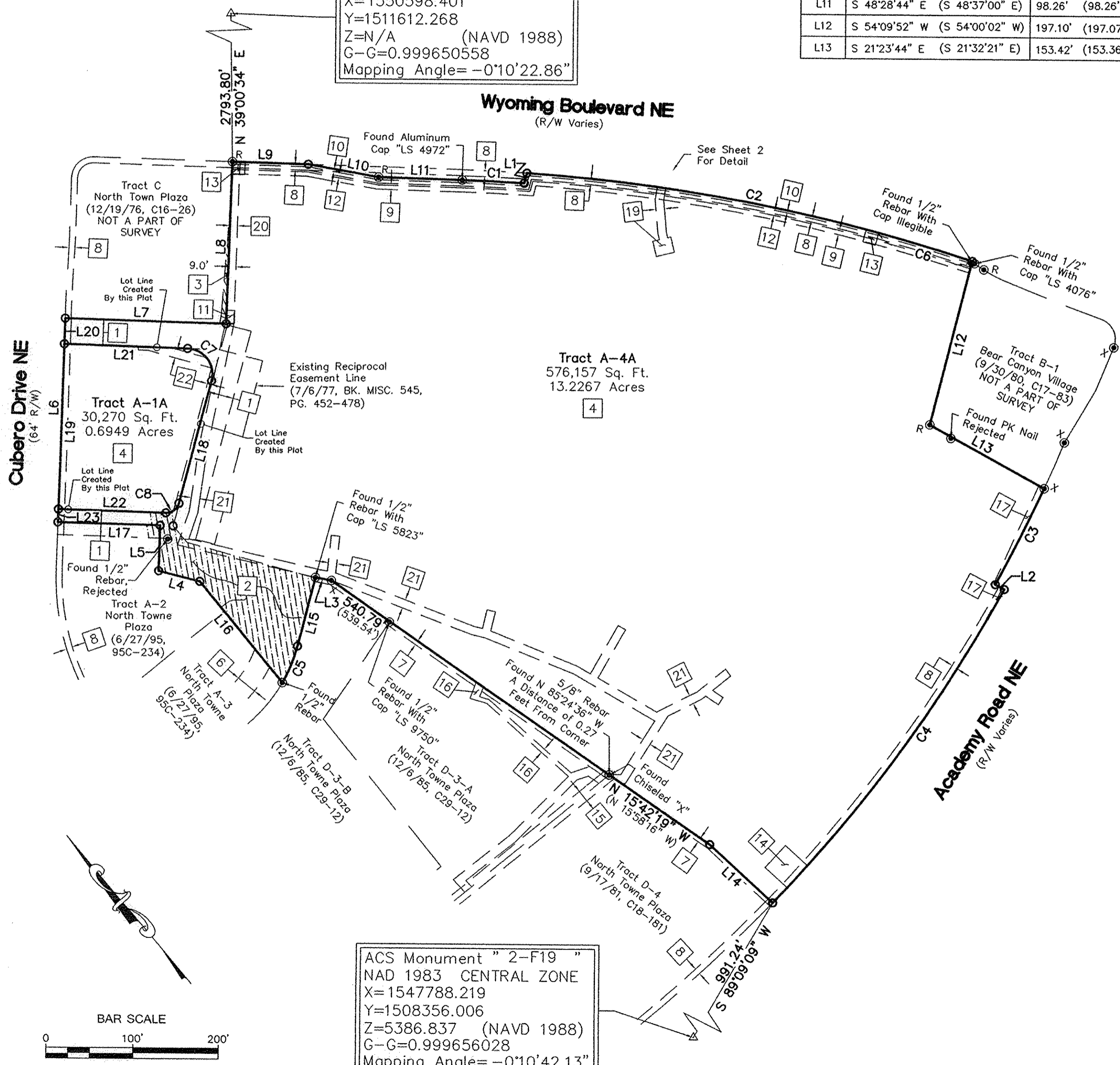
Line #	Direction	Length (ft)
L14	N 07°39'23" W (N 07°35'43" W)	100.52' (100.52')
L15	S 54°15'22" W (S 54°00'02" W)	83.09' (83.37')
L16	N 00°23'35" E (N 00°13'40" E)	152.73' (152.75')
L17	N 48°28'47" W (N 48°38'42" W)	119.09' (119.03')
L18	S 54°21'31" W	147.63'
L19	N 41°32'55" E (N 41°23'00" E)	192.67'
L20	N 41°32'55" E (N 41°23'00" E)	30.00'
L21	S 48°14'20" E	143.47'
L22	N 48°23'12" W	125.24'
L23	N 41°32'55" E (N 41°23'00" E)	15.04'

**Plat for
Tracts A-1A and A-4A
North Town Plaza
Being Comprised of
Tracts A-1 and A-4
North Town Plaza
City of Albuquerque
Bernalillo County, New Mexico
December 2016**

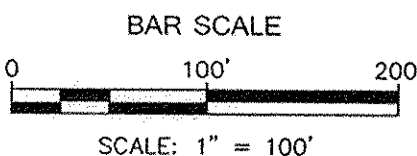
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	72.77' (72.77')	2110.09' (2110.09')	1°58'33"	72.77'	S 47°28'46" E
C2	532.96' (532.96')	2122.09' (2122.09')	14°23'23"	531.56'	S 39°14'09" E
C3	125.91' (126.11')	1740.00' (1740.00')	4°08'46"	125.89'	S 66°33'33" W
C4	456.38' (456.38')	1752.00' (1752.00')	14°55'30"	455.09'	S 76°05'41" W
C5	46.21' (45.88')	172.40' (172.40')	15°21'31"	46.07'	S 61°56'08" W
C6	114.76'	2122.09' (2122.09')	3°05'55"	114.75'	N 33°35'25" W
C7	53.72'	30.00'	102°35'51"	46.83'	N 03°03'36" E
C8	20.23'	15.00'	77°15'16"	18.73'	S 87°00'51" E

Easement Notes

- 1 EXISTING 30' PRIVATE CROSS ACCESS EASEMENT (6/27/95, 95C-234)
- 2 EXISTING PRIVATE DRAINAGE EASEMENT (6/27/95, 95C-234) THIS AREA SUBJECT TO DRAINAGE COVENANTS (3/6/96, BK. 96-6, PG. 8425-8469) SHOWN HEREON AS [diagonal lines]
- 3 REMAINING PORTIONS OF 7' UNDERGROUND PNM & MST&T EASEMENT (10/31/78, BK. MISC. 648, PG. 6-7) WAIVED AND RELEASED BY PNM (4/10/97, BK. 97-9, PG. 8596) THAT PORTION RELEASED BY PNM SHOWN HEREON AS [diagonal lines]
- 4 EXISTING RECIPROCAL ACCESS, UTILITY, PARKING PEDESTRIAN EASEMENT (7/6/77, BK. MISC. 545, PG. 452-478) AND AMENDED (2/15/90, BCR 90-3, PG. 4249-4268)
- 6 EXISTING 24' PRIVATE ACCESS AND DRAINAGE EASEMENT (6/27/95, 95C-234)
- 7 EXISTING 5' EASEMENT FOR LANDSCAPING AND IRRIGATION PURPOSES (1/27/81, C17-195)
- 8 EXISTING 7' UTILITY EASEMENT (12/19/79, C16-26)
- 9 EXISTING 7' P.U.E. (6/27/95, 95C-234)
- 10 EXISTING 3' PUBLIC ROADWAY EASEMENT (6/27/95, 95C-234)
- 11 EXISTING 15' X 9.6' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- 12 EXISTING 6' PUBLIC SIDEWALK EASEMENT (6/27/95, 95C-234)
- 13 EXISTING 15' X 15' SWITCH GEAR EASEMENT (6/27/95, 95C-234)
- 14 EXISTING 35' X 35' WATERLINE EASEMENT (9/6/77, BK. MISC. 557, PG. 141-143) SEE SHEET 2 FOR DEFINED LOCATION
- 15 EXISTING 14' UTILITY EASEMENT (9/17/81, C18-181)
- 16 EXISTING UTILITY EASEMENT, WIDTHS SHOWN HEREON (12/6/85, C29-12)
- 17 EXISTING NON EXCLUSIVE PERMANENT EASEMENT FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF ROADWAY AND UTILITY IMPROVEMENTS (4/14/93, BK. 93-9, PG. 3674)
- 19 EXISTING 10' PNM EASEMENT (1/21/2016, DOC. NO. 2016006289 AND 2016006290) SEE SHEET 2 FOR DEFINED LOCATION
- 20 9' P.U.E. GRANTED WITH THE FILING OF THIS PLAT
- 21 10' TELEPHONE AND PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT, SEE SHEET 4 FOR DEFINED LOCATION.
- 22 DRAINAGE EASEMENT BENEFITING LOT A-1A, TO BE MAINTAINED BY THE OWNERS OF SAID LOT GRANTED WITH THE FILING OF THIS PLAT, SEE SHEET 4 FOR DEFINED LOCATION.



ACS Monument " 2-F19 "
NAD 1983 CENTRAL ZONE
X=1547788.219
Y=1508356.006
Z=5386.837 (NAVD 1988)
G-G=0.999656028
Mapping Angle=-0°10'42.13"

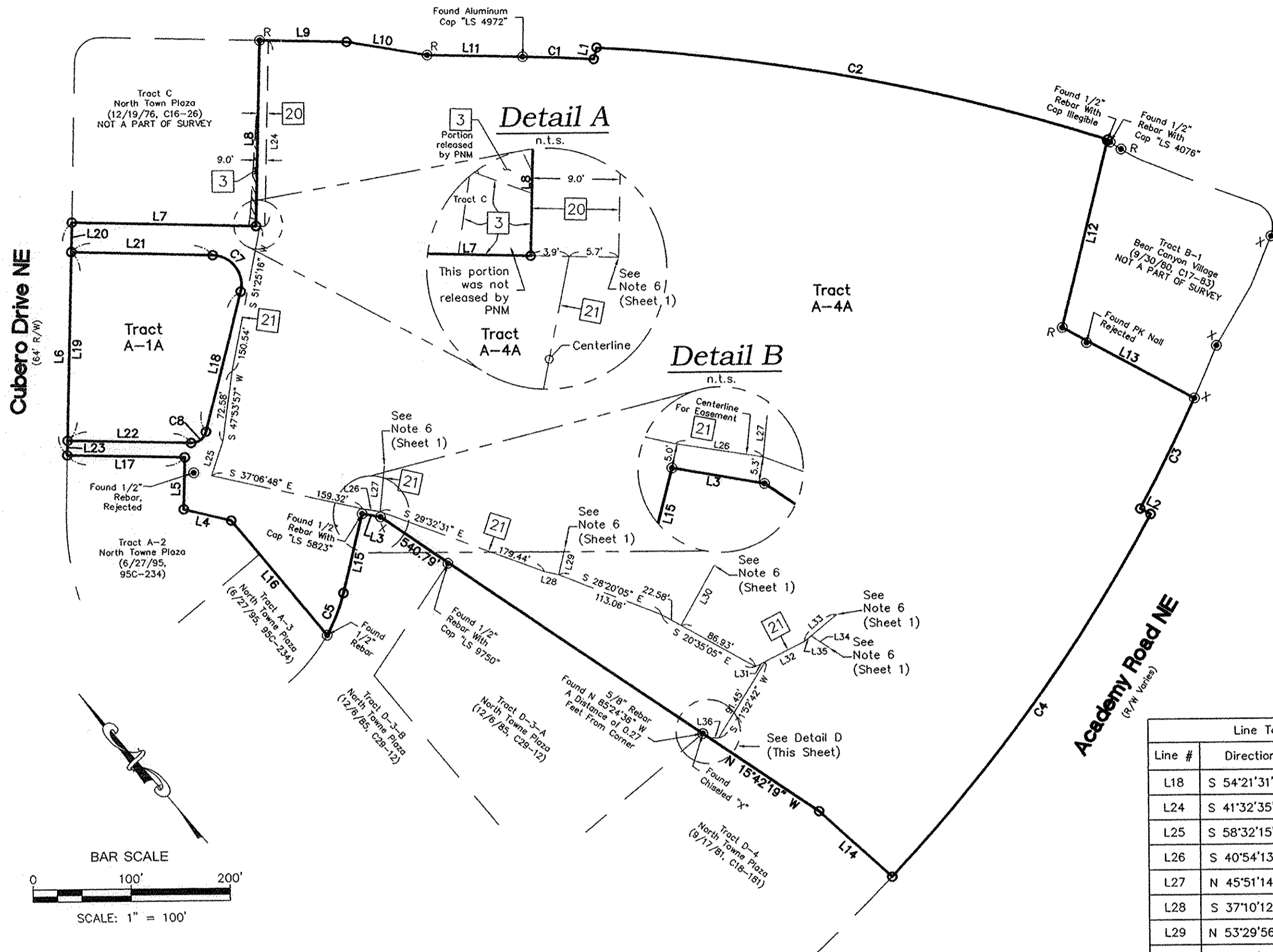


CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

**Plat for
Tracts A-1A and A-4A
North Town Plaza
Being Comprised of
Tracts A-1 and A-4
North Town Plaza
City of Albuquerque
Bernalillo County, New Mexico
December 2016**

Detail For Easements 20 and 21

Wyoming Boulevard NE
(R/W Varies)



Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. **Public Service Company of New Mexico ("PNM")**, a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. **New Mexico Gas Company** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. **Qwest Corporation d/b/a CenturyLink QC** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. **Cable TV** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

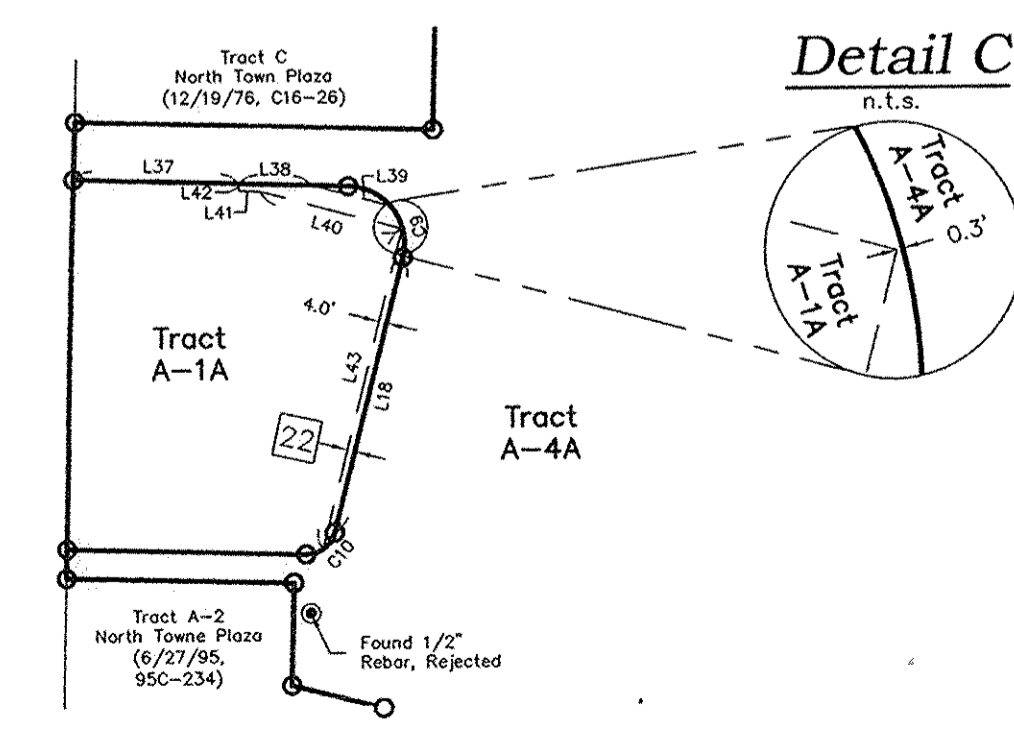
Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

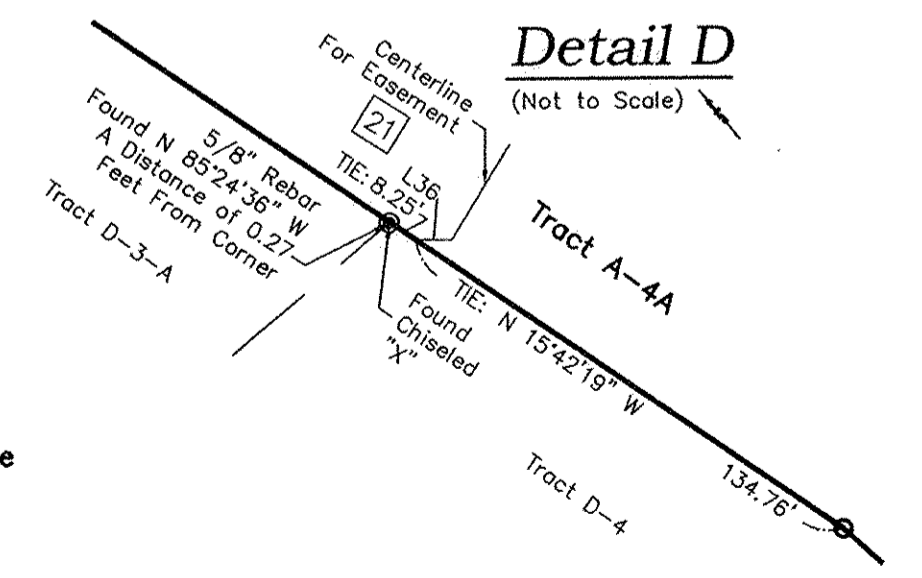
Line Table*		
Line #	Direction	Length (ft)
L18	S 54°21'31" W	147.63'
L24	S 41°32'35" W	189.81'
L25	S 58°32'15" W	36.99'
L26	S 40°54'13" E	18.24'
L27	N 45°51'14" E	47.06'
L28	S 37°10'12" E	15.10'
L29	N 53°29'56" E	27.33'
L30	N 69°24'55" E	70.04'
L31	S 76°37'31" E	11.17'
L32	S 76°37'31" E	45.22'
L33	S 89°14'45" E	42.58'
L34	S 16°38'03" E	21.53'
L35	S 89°14'45" E	8.67'
L36	S 49°39'04" E	9.35'
L37	S 48°14'20" E	86.52'
L38	S 48°14'20" E	37.87'
L39	S 34°45'16" E	42.59'
L40	N 34°45'28" W	76.39'
L41	N 47°59'16" W	11.22'
L42	N 42°13'49" E	3.87'
L43	S 54°18'01" W	171.93'

Curve Table*					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C9	28.58'	30.00'	54°34'57"	27.51'	S 27°04'03" W
C10	10.96'	15.00'	41°52'16"	10.72'	S 75°17'39" W

Detail For Easement 22



Detail C
n.t.s.



Detail D
(Not to Scale)

* This Line Table and Curve Table only shows the measurements for the easements on this sheet only. See Sheet 3 for more Line and Curve Tables

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